



AGENDA

The City of Beaufort

HISTORIC DISTRICT REVIEW BOARD

Wednesday, January 13, 2020, 2:00 P.M.

~~City Hall, Planning Conference Room — 1911 Boundary Street, Beaufort, SC~~

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86384958681?pwd=aTlaUGtONTI0TW9zYTBKVUJNLzc0Zz09>

Password: 248835

Meeting ID: 863 8495 8681

Call in Phone# 1+929 205 6099

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Approval of Minutes:

A. December 9, 2020 Meeting

III. Update from the Director of Community and Economic Development

IV. Old Business:

A. 505 Pinckney Street, PIN R120 004 000 0760A 0000, Renovation/Addition

Applicant: Ansley Manuel (20-46 HRB.2)

The applicant is requesting final approval for a renovation/addition to a rear porch of a single-family residence at 505 Pinckney Street.

B. 510 Craven Street, PIN R120 004 000 0890 0000, Change After Certification.

Applicant: Marcellene Trask (20-47 HRB.1)

The applicant is requesting a change after certification regarding exterior paint colors, porch lights, brick walkway and front door.

C. 1409 King Street, PIN R120 004 000 1009 0000, Alterations / Additions / New Construction

Applicant: Andrew Rogerson, Garvin Design Group (20-28 HRB.3)

The applicant is requesting final approval of alterations to a contributing structure in the Northwest Quadrant, eight attached dwelling units in the Northwest Quadrant along Prince Street and Site Plan parking lot layout.

V. Discussion:

A. Demolition Process

VI. Adjournment



Historic District Review Board Meeting Minutes – December 9, 2020

1 CALL TO ORDER

0:47

A meeting of the Historic District Review Board was held via Zoom on December 9, 2020 at 2:00 pm.

2 ATTENDEES

Members in attendance: John Dickerson (Chairman), Bill Allison (Vice-Chair), Stacy Applegate, Katherine Pringle, and Chuck Symes.

Staff in attendance: Jeremy Tate (Meadors Architecture), and Dan Frazier (City of Beaufort Senior Planner of Community and Economic Development).

3 REVIEW OF MINUTES

0:57

All Historic District Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at iburgess@cityofbeaufort.org.

Mr. Dickerson said moving forward when a vote is not unanimous, we should list the vote of each individual of who was in favor and who was not in favor of the motion. Mr. Dickerson asked that the motion of page 3 of the minutes be changed to reflect this.

Motion: Mr. Symes made a motion to approve the November 18, 2020 minutes with the one change; seconded by Ms. Applegate. The motion passed unanimously.

4 UPDATE FROM THE DIRECTOR OF COMMUNITY & ECONOMIC DEVELOPMENT

2:18

- A. 411 Bayard Street
- B. Guidelines for Approval of Conceptual Review

5 OLD BUSINESS

4:18

- A. 809 Port Republic Street, PIN R120 004 000 1013 0000, New Construction
Applicant: Bill Chambers, R.W. Chambers Architect (20-35 HRB.2)

The applicant is requesting final approval to construct a new hotel at 809 Port Republic Street.

The chairman, John Dickerson, invited the public comment.

Motion: Mr. Allison made a motion to approve the project with staff's two changes and including the downspouts, moving of the bicycle rack, west street columns, west street columns, window on the east side, and the open pickets to match the Tabby Place; seconded by Mr. Symes. The motion passed unanimously.

6 NEW BUSINESS

- A. **801 Bay Street, PIN R120 004 000 929A 0000**, Alteration/Addition **41:53**
Applicant: Kyle Campbell, Preservation South, LLC (20-49 HRB.1)

Applicant is requesting final approval for multiple renovations to the exterior building located at 801 Bay Street (Verdier House).

The chairman, John Dickerson, invited the public comment.

Motion: Ms. Pringle made a motion to approve the application as submitted along with the exception of staff's comment #4 which is in reference to the replacement of the columns on the porch now; seconded by Mr. Allison. The motion passed unanimously.

- B. **501 Pinckney Street, PIN R120 004 000 0760 0000**, Renovation **1:12:52**
Applicant: Christine & Tony Kameen (20-48 HRB.1)

The applicant is requesting final approval for multiple renovations of a single-family residence at 505 Pinckney Street.

The chairman, John Dickerson, invited the public comment.

Motion: Mr. Symes made a motion to grant final approval to the project and because Historic District Beaufort Foundation (HBF) has an easement on the grounds of the Marshlands, that the comments made by staff be taken under advisement by HBF and that HBF provide, to the City, stipulating approval of the project; seconded by Ms. Pringle. The motion passed unanimously.

7 ADJOURNMENT **1:40:28**

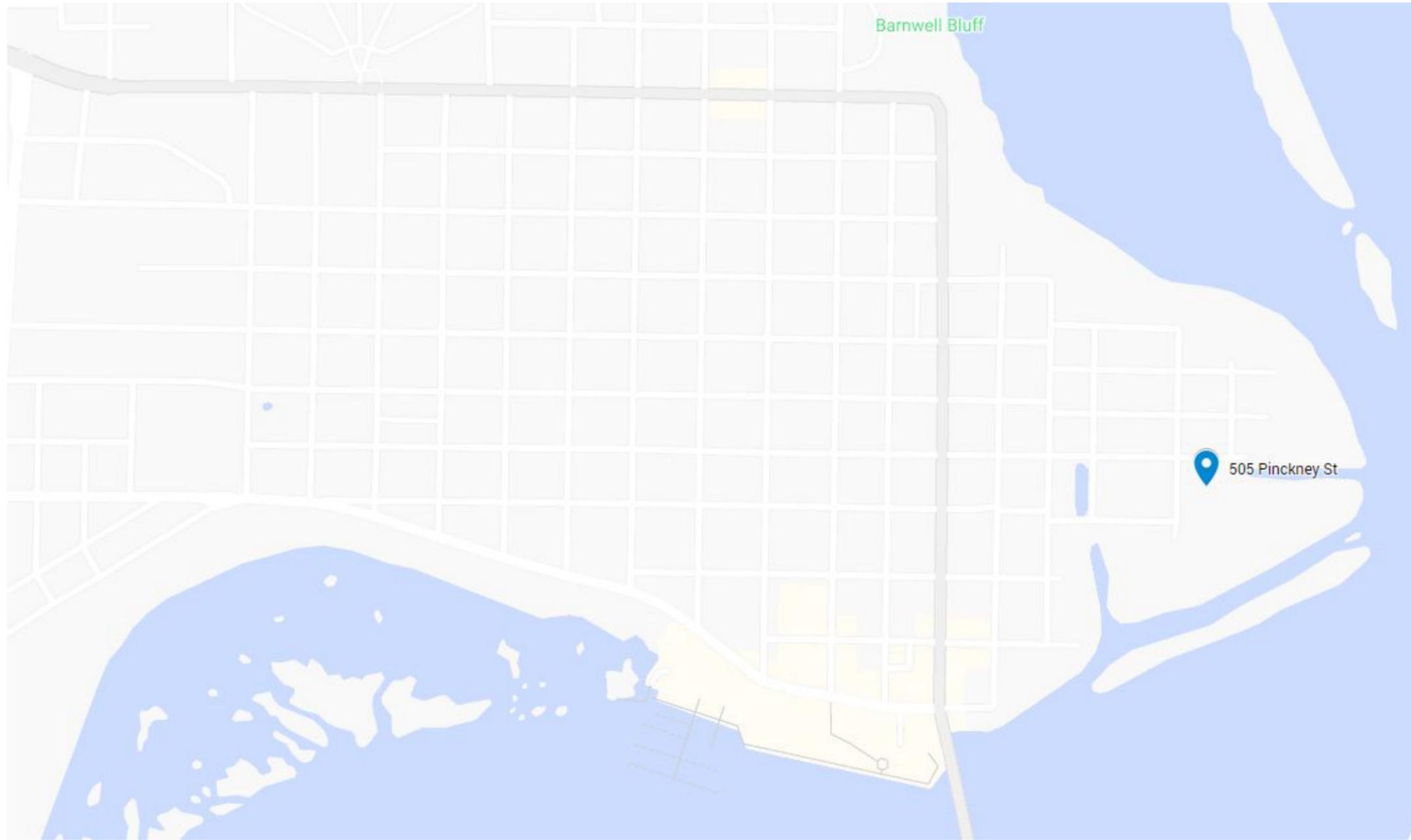
Motion: Mr. Dickerson made a motion to adjourn the meeting; seconded by Ms. Pringle. The motion passed unanimously. The meeting ended at 3:40 pm.

Chair

Date of approval

CITY STAFF INTRODUCTION

505 PINCKNEY STREET



PROJECT LOCATION - 505 PINCKNEY STREET







417
109
←

STAFF PHOTO: VIEW FROM
EASTERN END OF KING
STREET



STAFF PHOTO: VIEW FROM
EASTERN END OF KING
STREET

APPLICANT PRESENTATION

505 PINCKNEY STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Ansley Hester Manuel, Architect
Applicant Address: 104 Pritchard Street Bluffton, S.C. 29910
Applicant E-mail: manuel.studio@aol.com Applicant Phone Number: 843.338.8932

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Steve and Saki Amaro (Amaro Family Trust)
Owner Address: 505 Pinckney Street Beaufort, S.C. 29902

Project Name: "La Casa Verde" - Porch Addition
Property Address: 505 Pinckney Street Beaufort, S.C. 29902
Property Identification Number (Tax Map & Parcel Number): R 120 004 000 760A 000
Date Submitted: 15 December 2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 15 December 2020
Owner's Signature: C Steve Amaro Date: 12/15/20

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | Updated February 5, 2016



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: "La Casa Verde" Porch Addition

Property Size in Acres: 0.71 Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition*
- Relocation*

*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

3536 sq ft existing heated 470 sq ft existing rear porch 1112 sq ft proposed rear porch

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

505 Pinckney Street is nestled in a neighborhood of many important structures. The property dwellers are Steve and Saki Amaro with the ownership listed as the Amaro Family Trust. It is a mostly brick veneer residence built in the year of 1968. The street side of the property has numerous live oaks and a grand, double flight of curved stairs, while the rear, river-facing side of the property is mostly open lawn.

The applicant proposes removing the existing rear, double-story porch and replacing with a new wider and deeper double-story porch. The existing porch is currently too tight for an ample lounge furniture layout. By increasing the depth and width, the porch will become an outdoor living area able to have gathering areas for eating, lounging and social activities.

The proposed porch will change the roofline from a rear-facing gable to a shed roof. The column spacing is dictated by the existing placement of openings. The column bay rhythm is an A/B/A/B/A. The porch ends are recessed two feet from the existing building corners to allow definition of the main roof and gable ends. The existing upstairs dining and bedroom triple windows will be replaced with french doors and sidelites.

The color scheme will remain the same monotone light green. Bottom pier columns will be 20" x 20" brick veneer and the upper columns 12" fiberglass Tuscan style round columns. Railings will mimic the existing railings.

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

AMARO MATERIALS & COLORS

12/15/2020 12/21/2020 REVISED

ROOF - 1/2" STANDING SEAM @ 16" O.C. GALVALUME
ML150 (SEE SPECIFICATIONS) SENTRYGARD (4M METALS)
COLORS 1st CHOICE - CHARCOAL GRAY 2ND CHOICE - SLATE GRAY
WILL CONSIDER DOVE GRAY & ASH GRAY

BRICK @ FLOOR (1st PORCH) - MATCH EXISTING FLOOR BRICK

BRICK @ PIER/COLUMNS - MATCH EXISTING PAINTED WALL BRICK

COLUMNS - 10" TUSCAN WOOD (MATCH EXISTING)

RAILING - MATCH EXISTING

2ND PORCH FLOOR DECKING - TONGUE & GROOVE CHARLESTON GREEN

2ND PORCH CEILING - "V" JOINT BEADBOARD PINE PAINTED
CEVEY GREEN

FRENCH DOORS AND SIDELITES - MARVIN

HISTORIC CUSTOM DOORS - ALL WOOD, TRUE DIVIDED

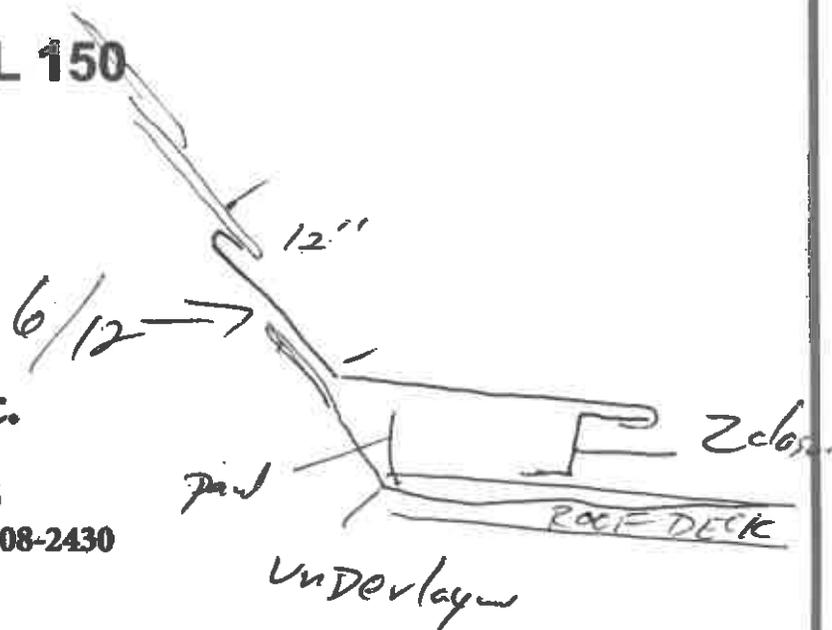
SIDELITES WITH MATCHING MUNTIN WIDTH AND PROFILE

PAINTED CEVEY GREEN



SENTRIGARD ML 150

4M Metals Inc.
201 Red Oaks Way
Ridgeland, SC 29936
tel: 843-208-2433 • fax: 843-208-2430



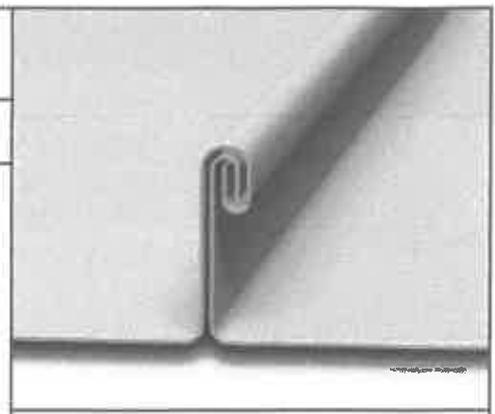
ML150

1 1/2" Mechanical Lock Panel

PRODUCT DESCRIPTION

- Classic Architectural Standing Seam Metal Roofing System
- Ideal for residential and light commercial applications
- Specially designed clip allows thermal movement
- Tested panel for rated assemblies achieves high performance levels
- Mechanical locked seam for long-term weather tight performance
- Excellent for roofing installation requiring exotic metals such as copper and terne

1-1/2" Mechanical Lock Panel; max width 16.3"; Double Lock 180 Degree Seam fastened with (2) #10-12 x 1" long No. 2 Phillips drive pancake head, wood screws; Floating Clip Assembly ML150R Clip fastening metal to panel to min. 15/32" plywood decking; maximum 24" clip spacing; Panel Rollformer: Schiebach Quadro-Plus Rollformer; Maximum Allowable Roof Uplift Pressure (steel): -59.75 psf Main Field @ 24" Clip Spacing; Perimeter and Corner Pressure -123.5 psf @ 6" Clip Spacing; Oil Canning is a characteristic of light gauge architectural metals and is not a flaw and therefore is not a cause for rejection.



www.sentrigard.com



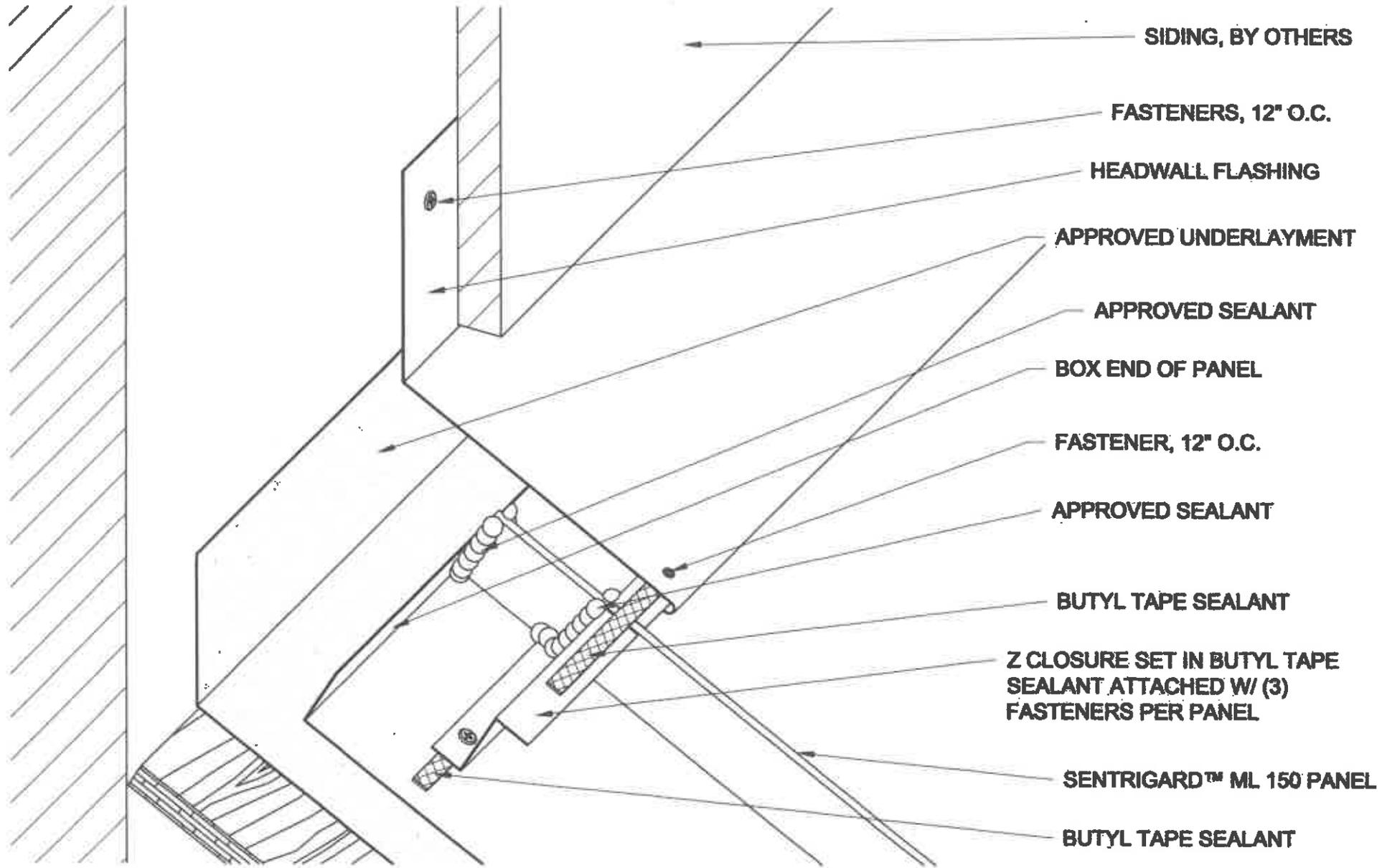
DESIGN INFORMATION

- Minimum Slope = 1-1/2":12"
- Actual Panel Width: 16.3" from 20" Coil
- Solid Substrate Required
- Architectural, Hydrokinetic Panel
- Mechanically Seamed in the Field
- 24 and 26 Gauge Galvalume®
- .032" Aluminum
- 16oz Copper
- 30 Year Finish Warranty on Kynar 500 Finish
- Weather Tight Warranty Available
- Underlayment Required



TEST REPORT SUMMARY

- Miami-Dade Building Code Compliance Approved
- Florida Building Code 2007
- Chapter 15: Roof Assemblies
- Section 1504.3.2; 1505.3; 1507.4
- Chapter 16: Structural Design
- Chapter 22: Steel; Section 2209 Cold Form Steel
- Chapter 23: Wood
- Testing per TAS 125-03 Std. Requirements for Metal Roof Systems
- Test Assembly #6 by Underwriters Laboratory for:
 - a) UL 580-94, per FBC, Uplift Resistance of Roof Assemblies
 - b) UL 1897-98, per FBC, Uplift Tests for Roof Covering Systems
- Testing per TAS 100 Wind Driven Rain Test
- FPA #9860.5 – HVHZ – 24ga
- FPA #15636.1 – HVHZ – .032" Aluminum
- M-D NOA #10-0603.07 - HVHZ - 24ga

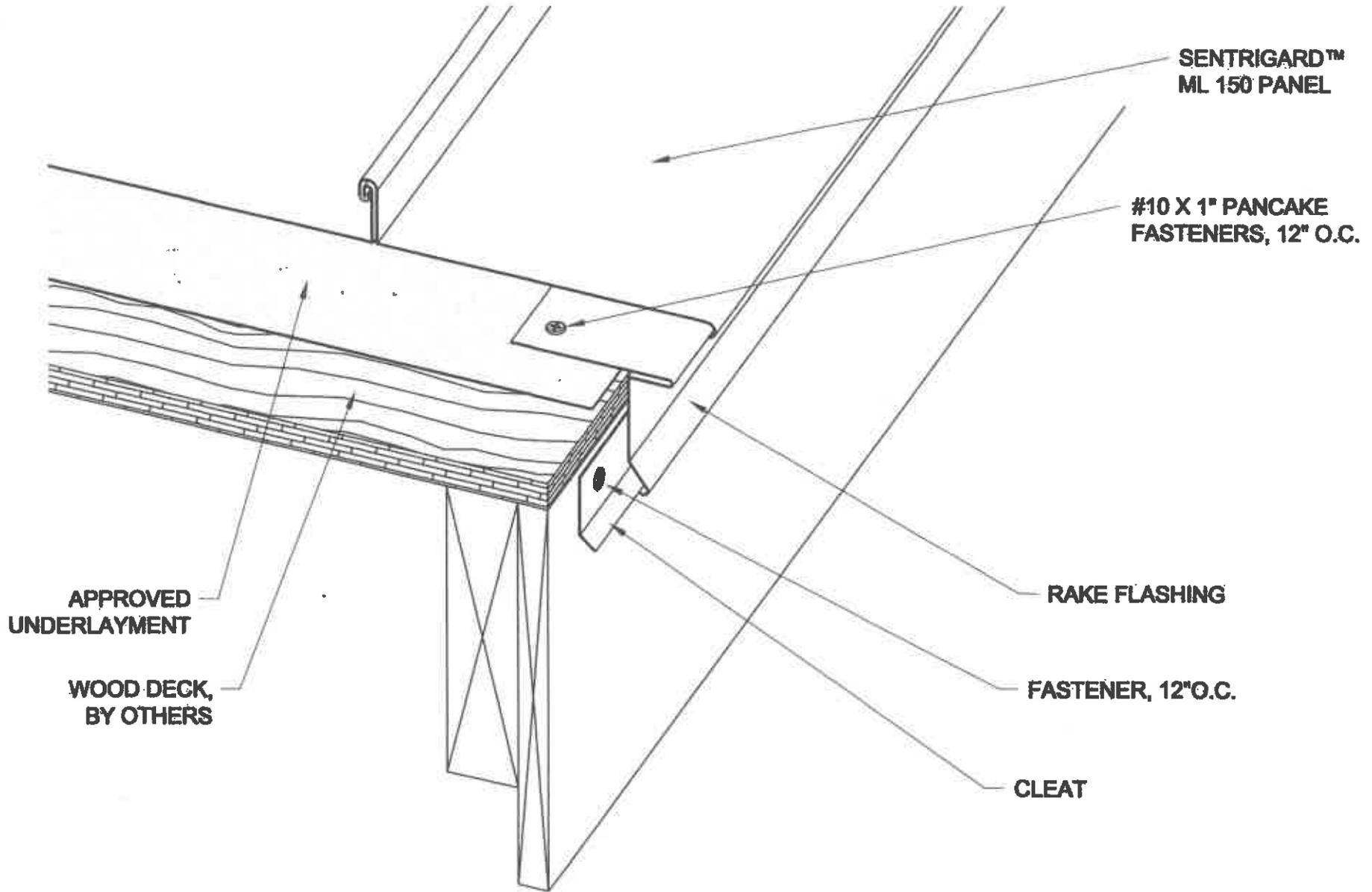


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|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

THIS DRAWING IS THE PROPERTY OF N.B. HANDY CO., INC. THE USE OF THIS DRAWING WITHOUT THE EXPRESS PERMISSION OF N.B. HANDY IS PROHIBITED.

4M Metals Inc.
 201 Red Oaks Way
 Ridgeland, SC 29936
 tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 150 HW-3



Project:

Contractor:

Designer:

Date:

Scale:

N/A

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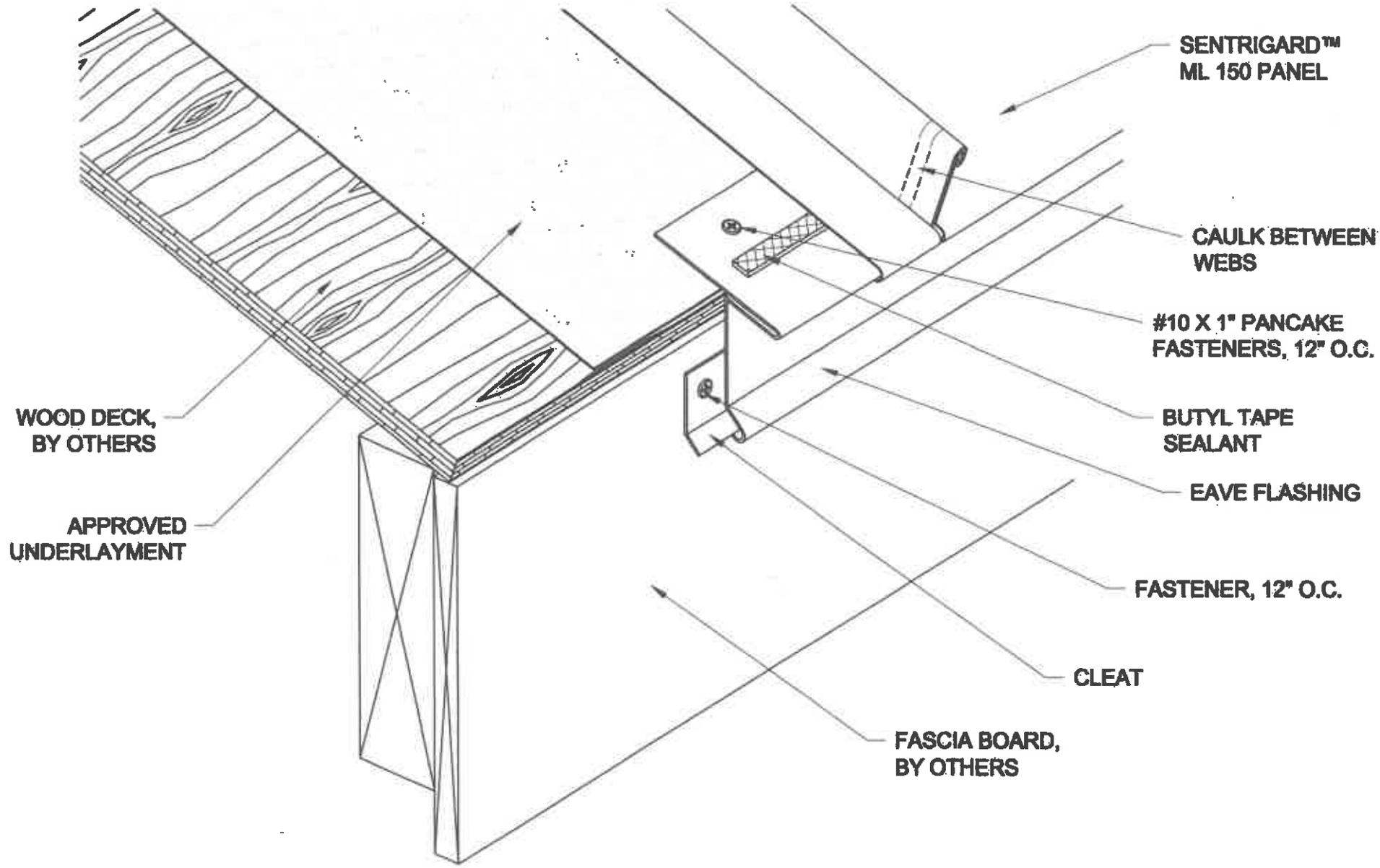
4M Metals Inc.

201 Red Oaks Way

Ridgeland, SC 29936

tel: 843-208-2433 • fax: 843-208-2430

SENTRIGARD ML 150 RK-3



| | | |
|-------------|-------|--------|
| Project: | | |
| Contractor: | | |
| Designer: | Date: | Scale: |
| | | N/A |

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Your partner for smarter historic restorations

For four generations, Marvin has built a reputation for doing the tough window replacement projects. We collaborate early on with architects, facilities managers and general contractors; review products and options; navigate the National Parks Service guidelines; discuss window specifications with local historic commissions; and attend field testing. We offer the best project-based solutions and work with all participants to achieve excellent performance and historical accuracy.

PRELIMINARY SUBMITTAL - APPLICANT ACKED
TO CHANGE PITCH AND MATERIAL OF PROPOSED
SHED ROOF

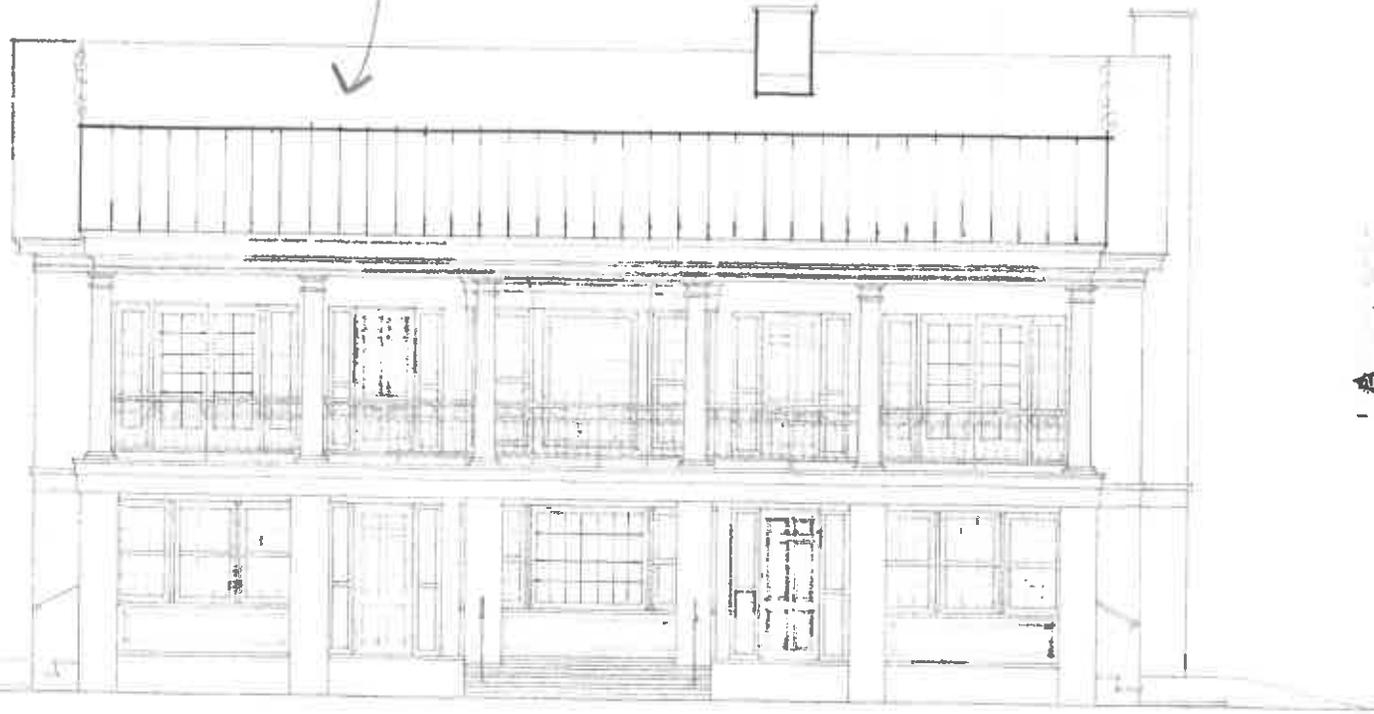


13.2017
PORCH ADDITION OF THE AMARO RESIDENCE
506 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANSOLEY H. MANUEL, ARCHITECT 843. 998. 8792

RIGHT ELEVATION

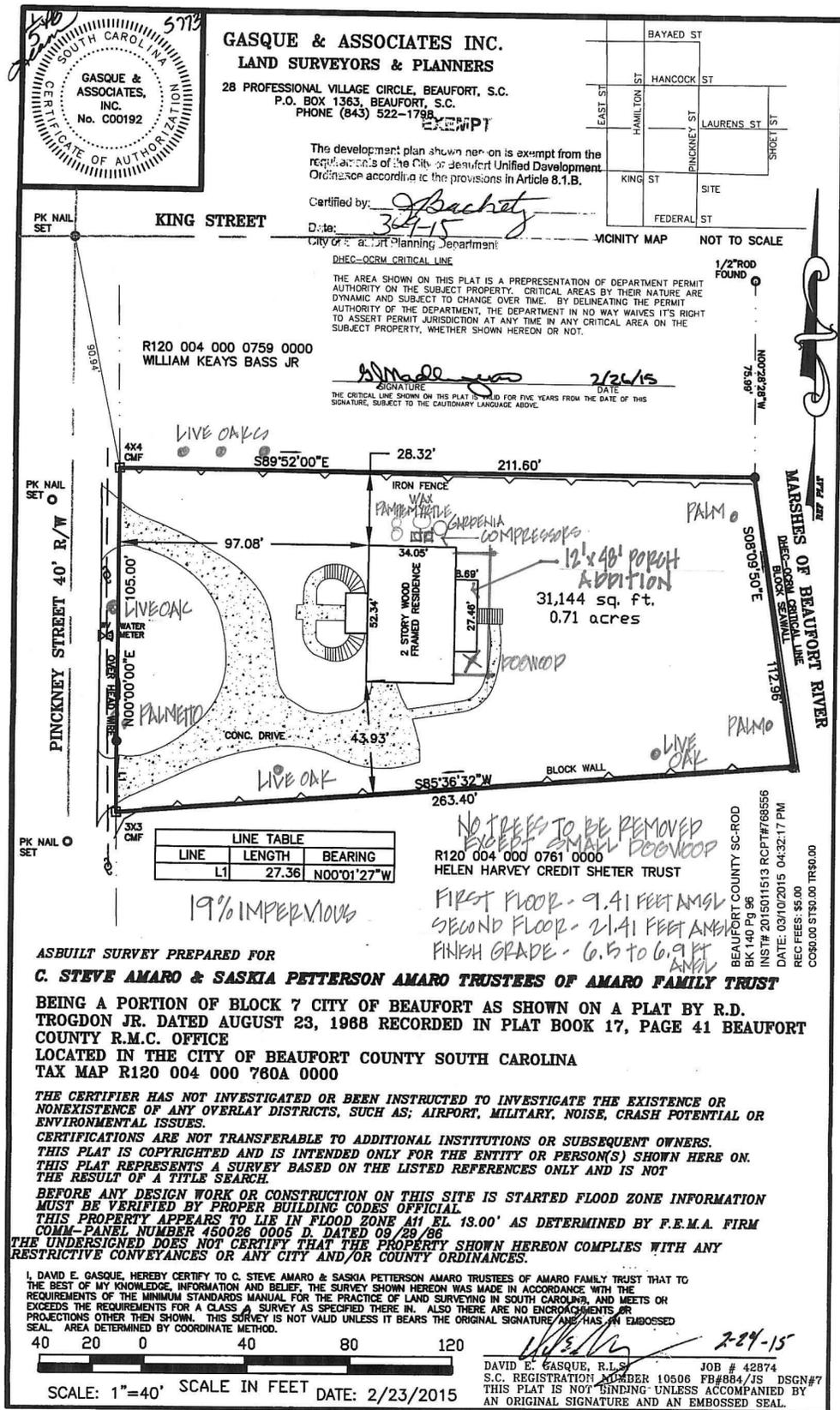
DATE: 10/16/16

PRELIMINARY SUBMITTAL - APPLICANT ASKED
TO CHANGE PITCH AND MATERIAL OF PROPOSED
SHED ROOF



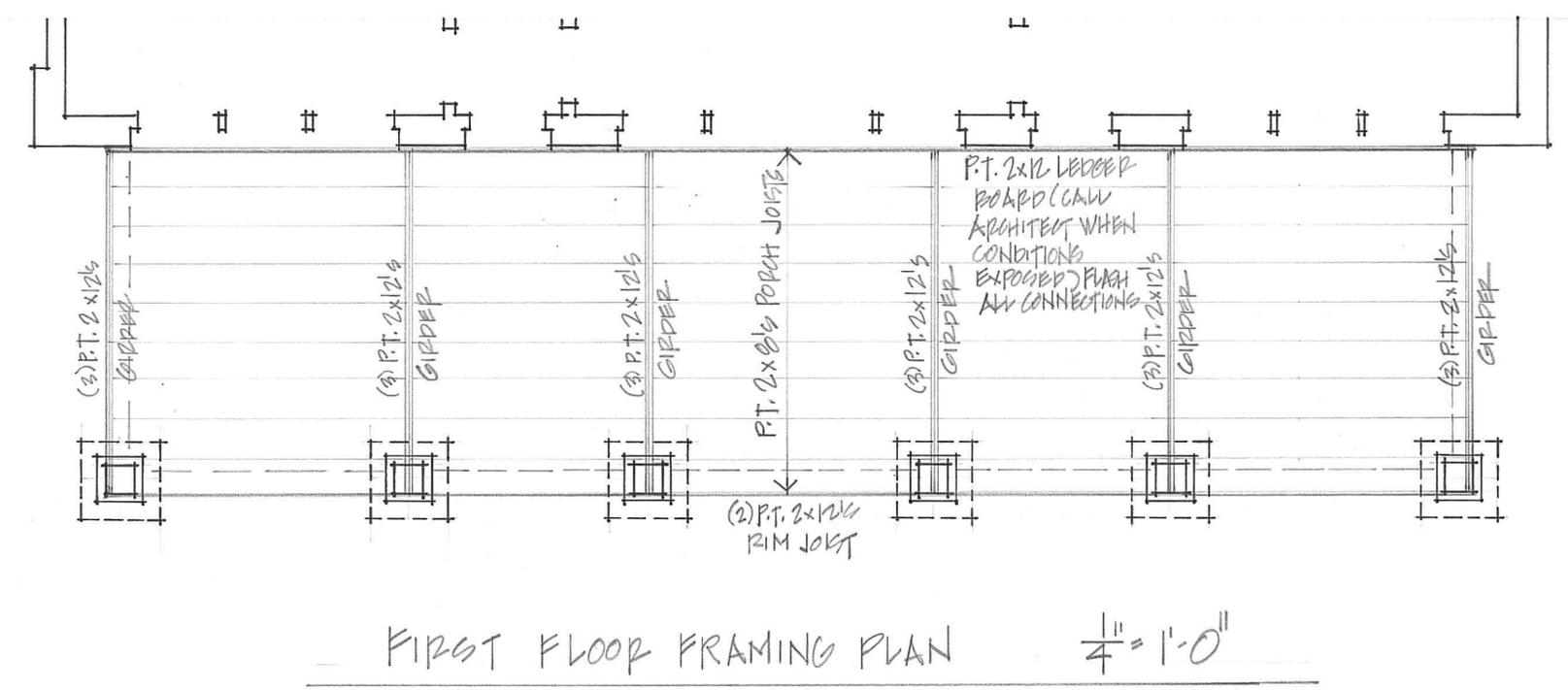
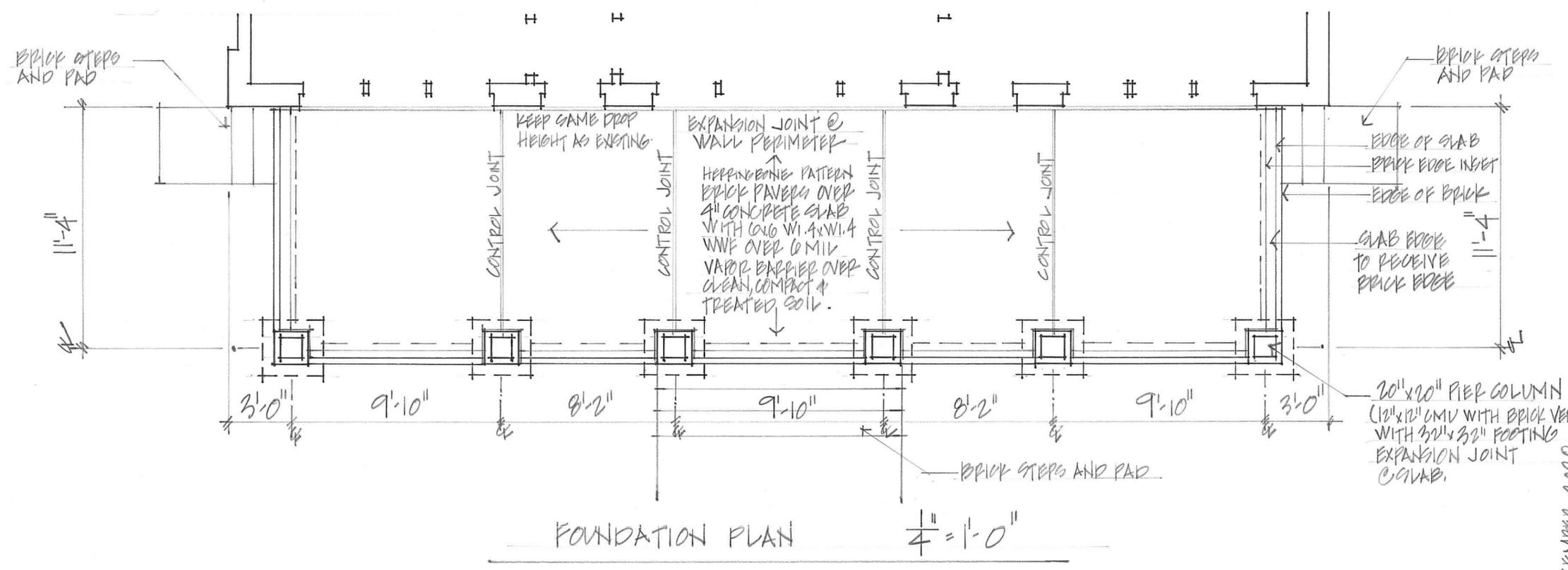
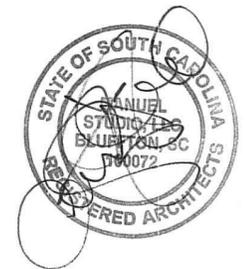
— 2nd FLOOR ELEVATION —

ALVIN
PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINEKNY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANGLBY H. MANUEL, ARCHITECT 843.940.8932



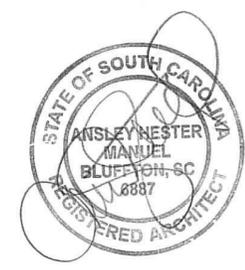
15 DECEMBER 2020
 21 DECEMBER 2020
 PORCH ADDITION FOR THE AMARO RESIDENCE
 506 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA
 MANUEL STUDIO, LLC ANGLE H. MANUEL, ARCHITECT 843.330.8992

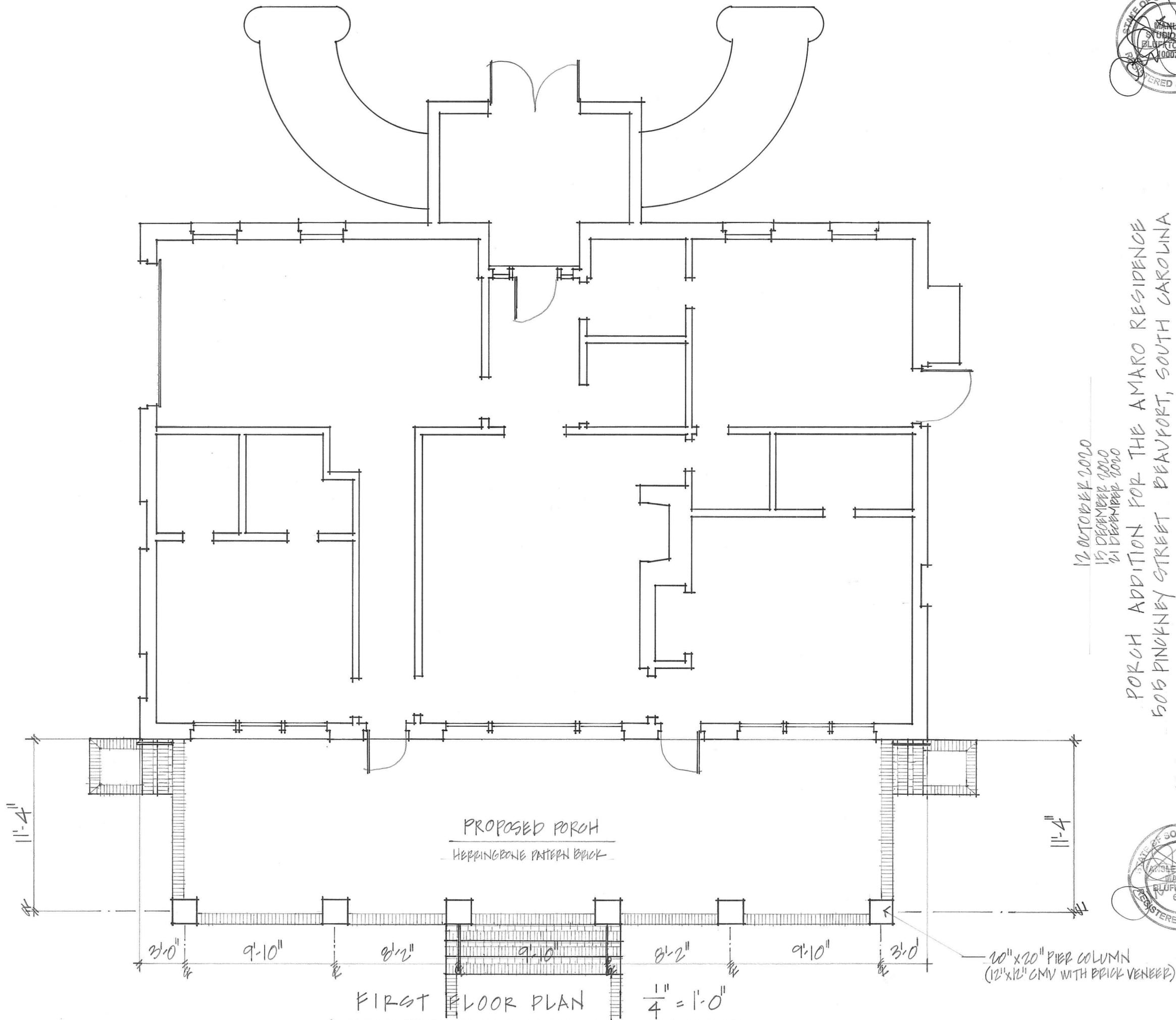
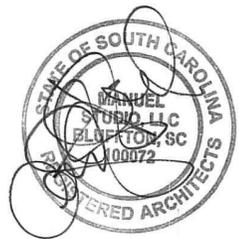




15 DECEMBER 2020
21 DECEMBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.330.8722

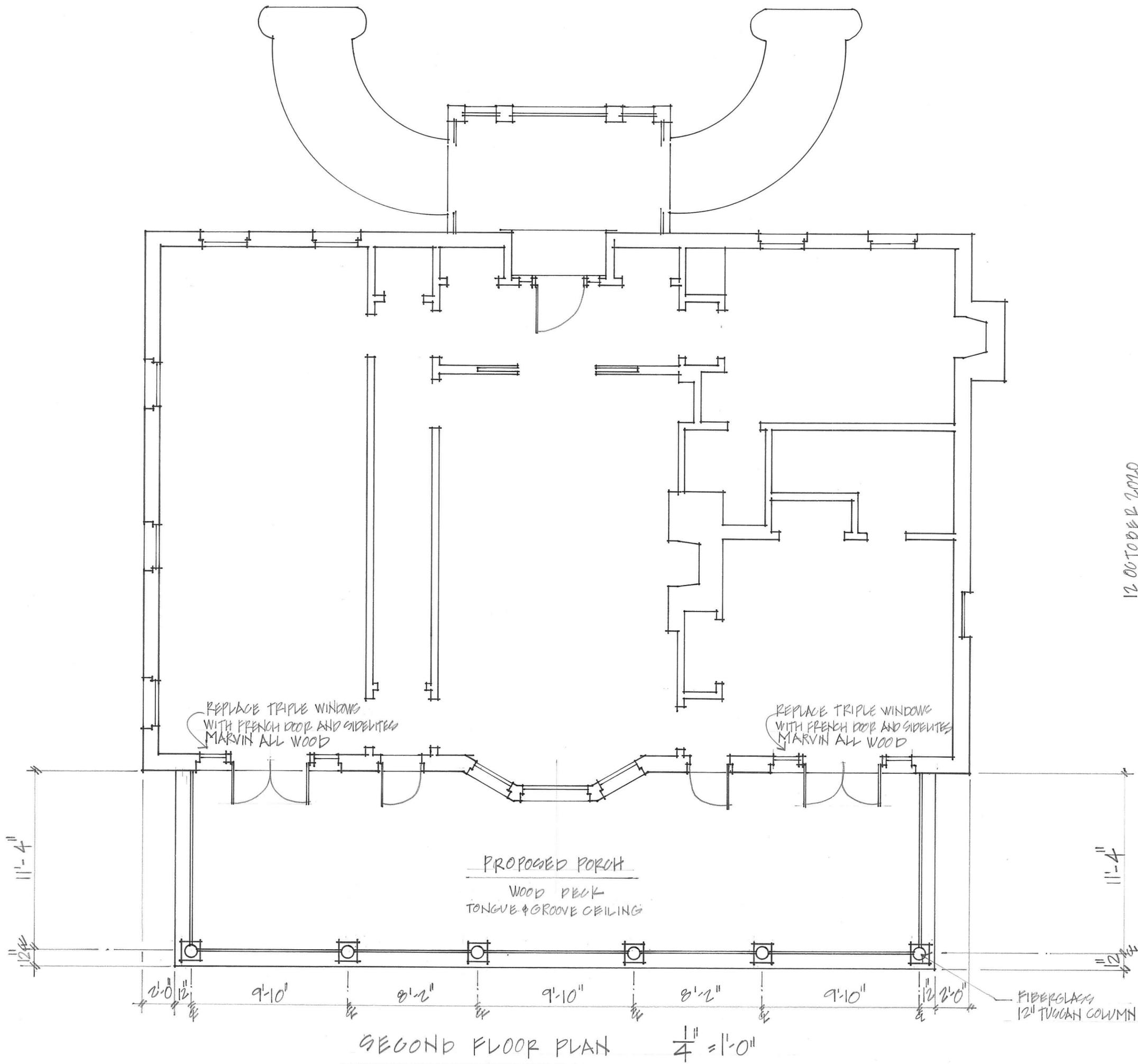




12 OCTOBER 2020
15 DECEMBER 2020
21 DECEMBER 2020

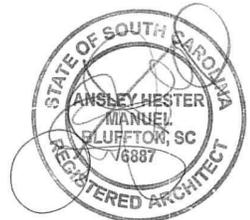
PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLO ANSLEY H. MANUEL, ARCHITECT 843.730.8922

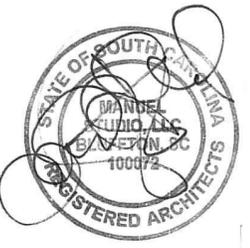




12 OCTOBER 2020
15 DECEMBER 2020
21 DECEMBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.338.8922





STUCCO FINISH

FIBERGLASS

12" TUSCAN COLUMN

WROUGHT IRON RAILING

10" x 20" BRICK COLUMN

← EXISTING RESIDENCE | PROPOSED PORCH →

RIGHT ELEVATION $\frac{1}{4}'' = 1'-0''$

19 DECEMBER 2020 12 DECEMBER 2020
12 OCTOBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE
506 PINKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLO ANSLEY H. MANUEL, ARCHITECT 849.998.8932





12 OCTOBER 2020
15 DECEMBER 2020
21 DECEMBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANGLE H. MANUEL, ARCHITECT 843.390.8932

REAR ELEVATION $\frac{1}{4}'' = 1'-0''$





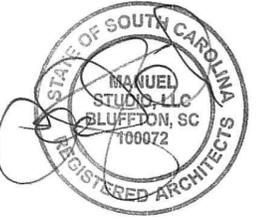
← PROPOSED PORCH EXISTING RESIDENCE →

LEFT ELEVATION 1/4" = 1'-0"

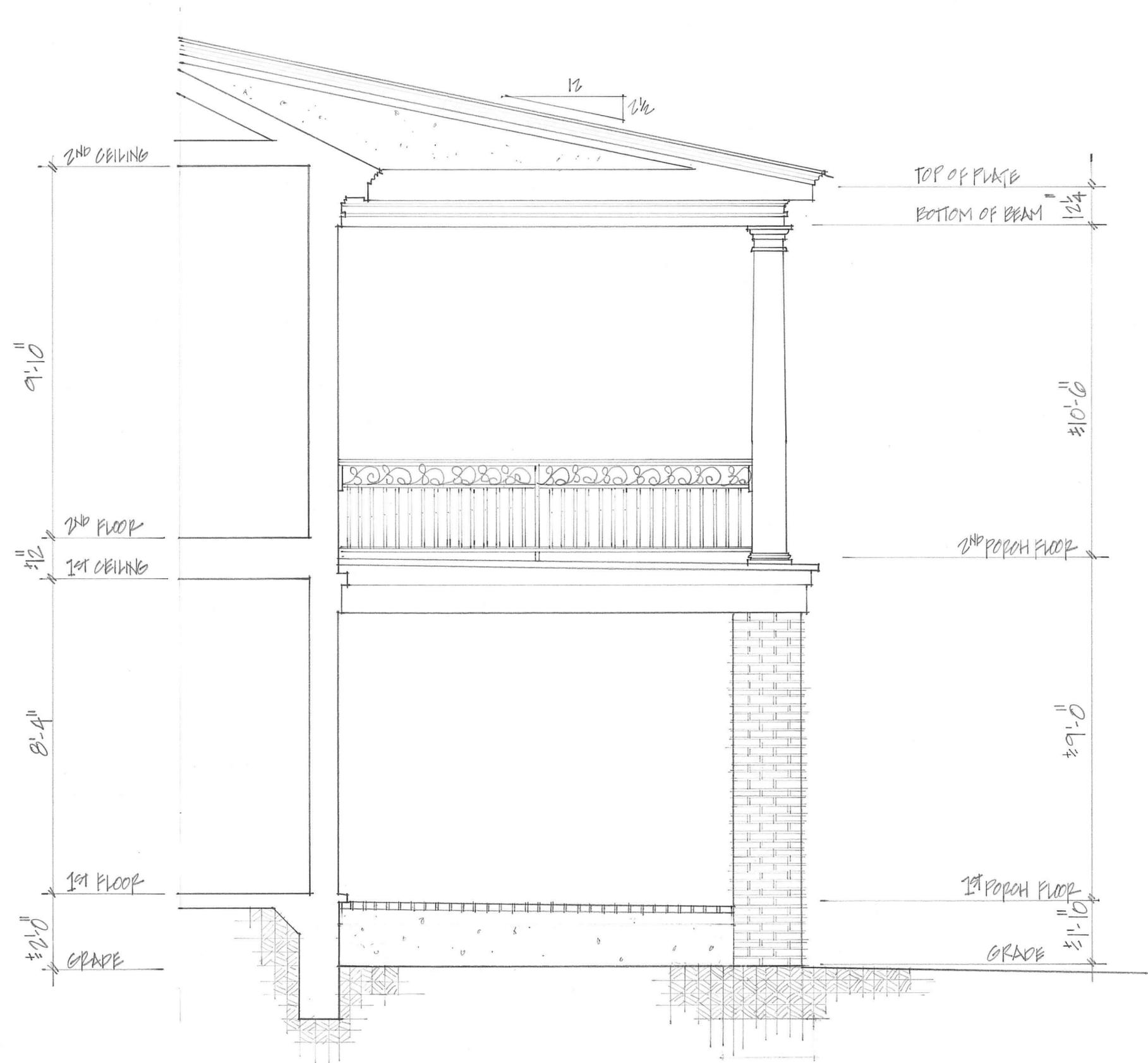
12 OCTOBER 2020
15 DECEMBER 2020
21 DECEMBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.338.8932



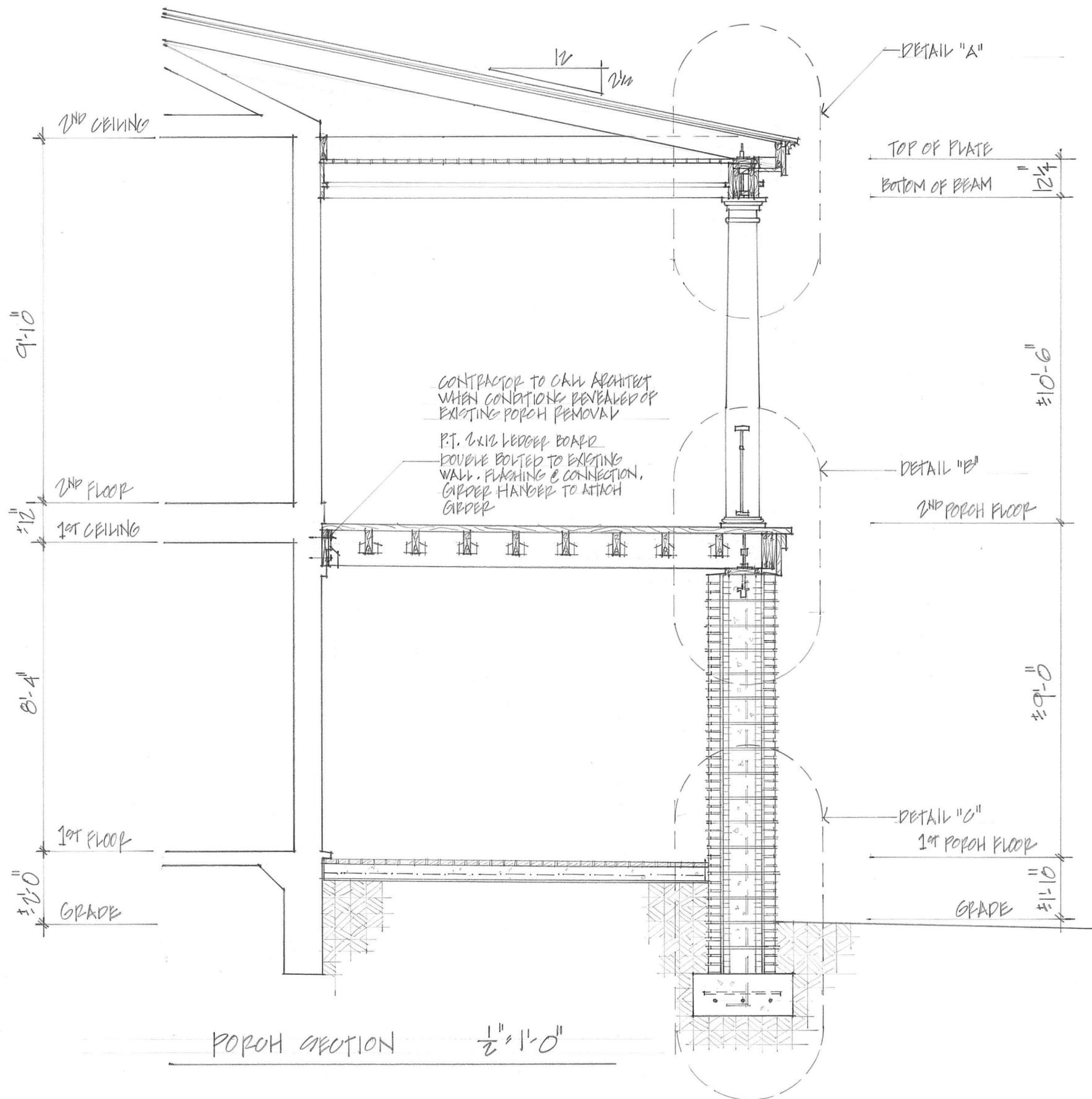


15 DECEMBER 2010
21 DECEMBER 2010
PORCH ADDITION FOR THE AMARO RESIDENCE
506 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.939.8912



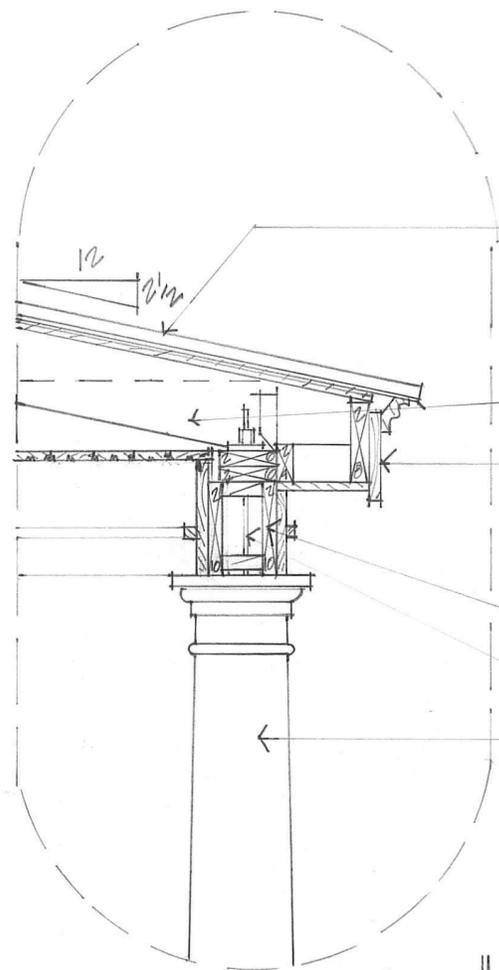
WALL SECTION WITH PORCH ELEVATION $\frac{1}{2}'' = 1'-0''$





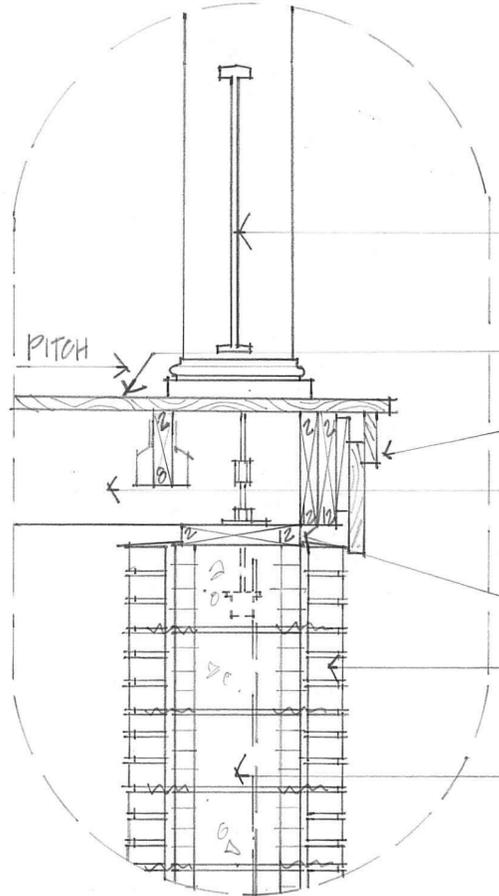
19 DECEMBER 2010
 21 DECEMBER 2010
 PORCH ADDITION FOR THE AMARO RESIDENCE
 505 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA
 MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.338.8932





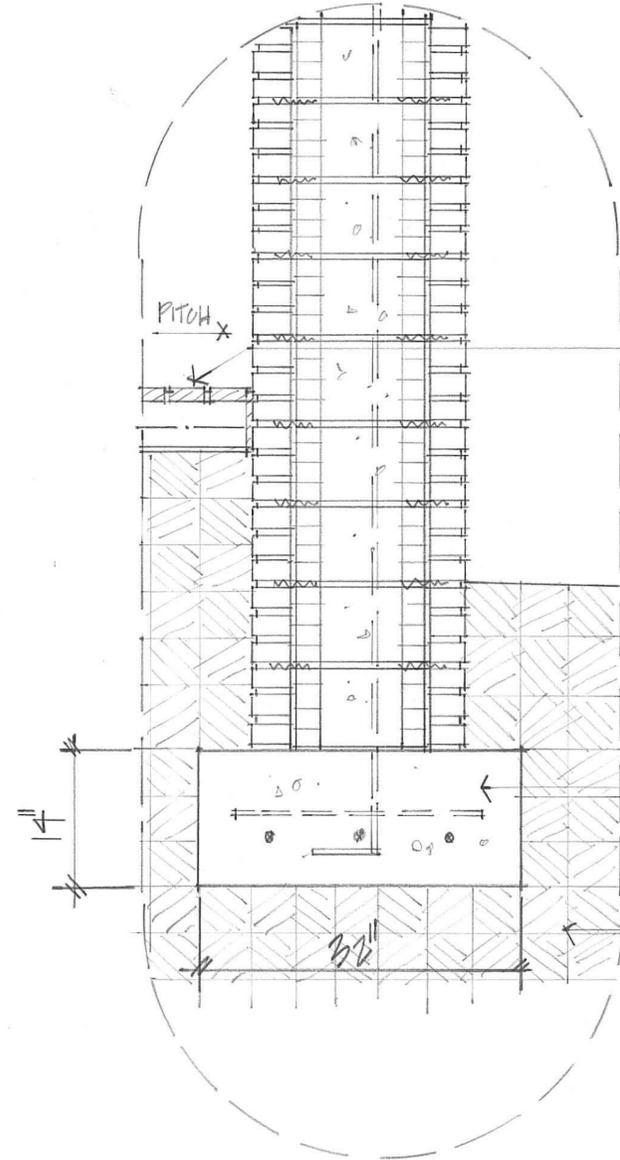
- 1 1/2" STANDING SEAM GALVALUME METAL ROOF. SEAMS 16" O.C. OVER 30# FELT OVER 1/2" CDX PLYWOOD OVER 2x8'S @ 16" O.C. RAFTERS WITH SIMPSON MS10 STRAPS
- 2x8'S @ 16" O.C. CEILING JOISTS WITH PINE TONGUE AND GROOVE BEADED BOARD FINISH
- MATCH EXISTING FACIA, SOFFIT AND CORNICE DETAIL AND MATERIALS
- 2x10 BOX BEAM
- CONTINUOUS TIE ROD FROM PLATE TO PIER
- 10" WOOD TUGGAN COLUMN

DETAIL "A" 1" = 1'-0"



- MATCH EXISTING RAILING (EXISTING @ 32" HEIGHT NEED TO CONSULT BUILDING DEPARTMENT)
- 5/4 x 4 TONGUE + GROOVE DECK
- COORDINATE BANDBOARD WITH BRICKBAND
- (3) P.T. 2x12'S GIRDER WITH P.T. 2x8'S @ 16" O.C. WITH SIMPSON JOIST HANGERS
- P.T. 2x12 GILL OVER TERMITE SHIELD
- PAINTED BRICK VENEER TO MATCH HOUSE BRICK TIES EVERY 3RD COURSE
- 12" x 12" CMU PIER WITH (1) #5 VERTICAL REBAR. GROUT SOLID.

DETAIL "B" 1" = 1'-0"



- BRICK PAVERS IN HERRINGBONE PATTERN OVER 4" CONCRETE SLAB WITH 6x6 W1.4 x W1.4 WWF OVER 6 MIL VAPOR BARRIER. EXPANSION JOINT AT PIER.
- 32" x 32" x 14" CONCRETE FOOTING WITH (3) #5'S EACH WAY.
- CLEAN, COMPACT AND TREATED SOIL

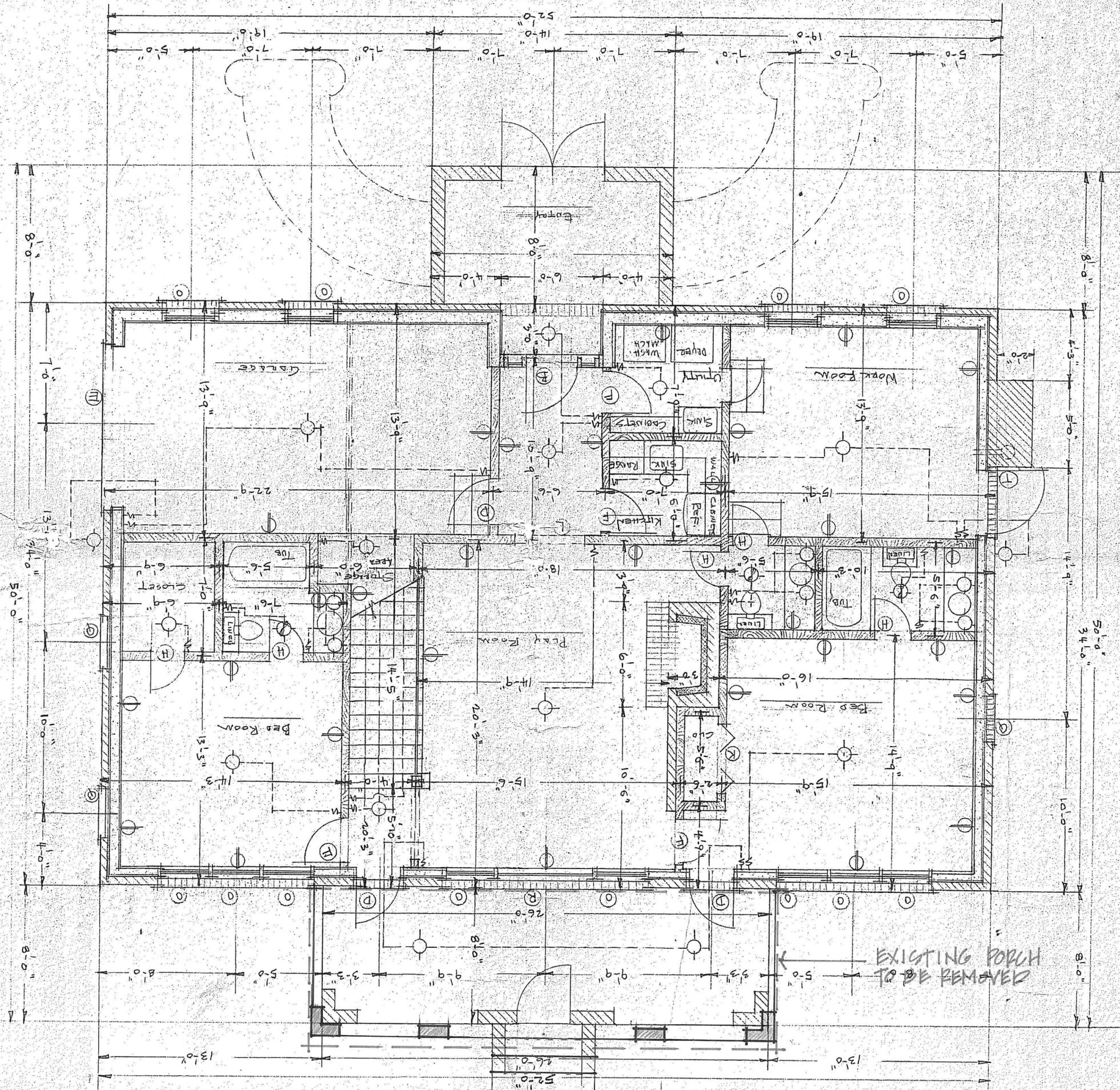
DETAIL "C" 1" = 1'-0"

15 DECEMBER 2020
21 DECEMBER 2020

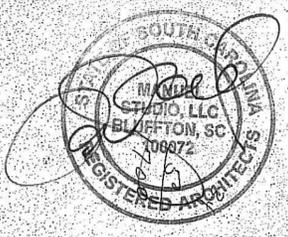
PORCH ADDITION FOR THE AMARO RESIDENCE
505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.338.8932



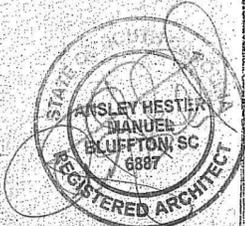
ROAD LEVEL



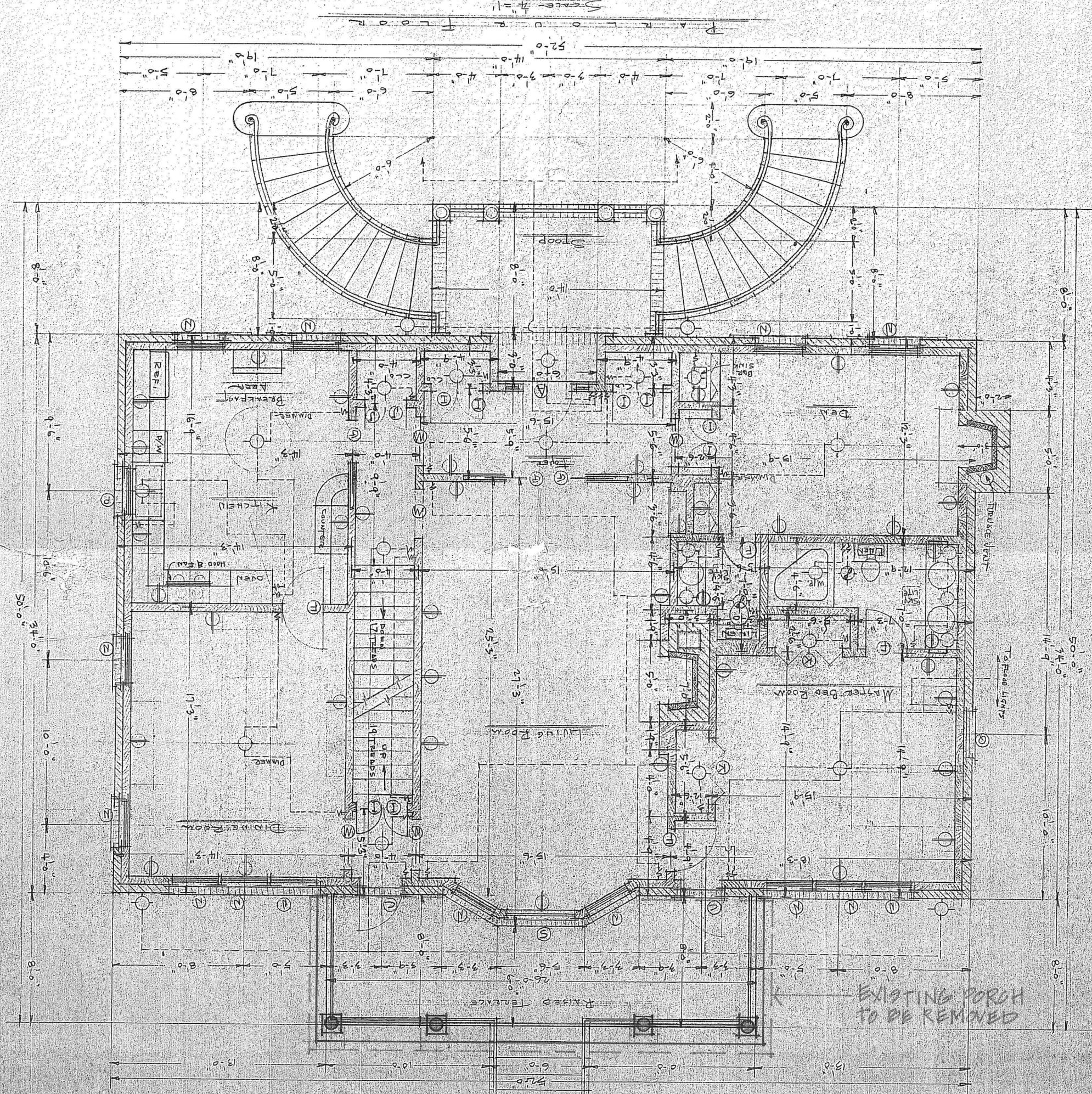
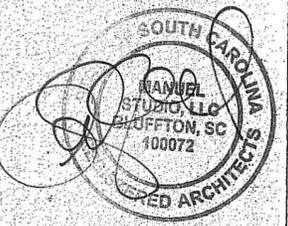
DEMO PLAN



14 DECEMBER 2020
 15 DECEMBER 2020
 PORCH ADDITION FOR THE AMARO RESIDENCE
 505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA

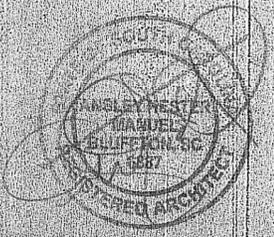


3/1/20
 3/1/20



DEMO PLAN

01 DECEMBER 2010
15 DECEMBER 2010
PORCH ADDITION FOR THE AMARO RESIDENCE
606 PINKNEY STREET BEAUFORT, SOUTH CAROLINA



8'36"
50'
52
54











Meredith Jacobs

From: Manuel Studio <manuel.studio@aol.com>
Sent: Monday, December 21, 2020 2:54 PM
To: Meredith Jacobs
Subject: Re: Revised Amaro_Combined.pdf

FYI - I had to spec 1 1/2" metal roof seam which is a change from previous 1". 1 1/2" is rated for roof slope under 3:12. 1" is not. Ansley

Sent from my iPhone

On Dec 21, 2020, at 2:38 PM, Meredith Jacobs <meredith@meadorsinc.com> wrote:

Received. Thank you, Ansley.

Meredith Jacobs

Meadors Architecture

2811 Azalea Drive
Charleston, SC 29405
Cell: 843.729.0172
Office: 843.723.8585

www.meadorsinc.com

From: Manuel Studio <manuel.studio@aol.com>
Sent: Monday, December 21, 2020 1:43 PM
To: Julie Bachety <jbachety@cityofbeaufort.org>
Cc: Meredith Jacobs <meredith@meadorsinc.com>
Subject: Revised Amaro_Combined.pdf

Sent from my iPhone
<Amaro_Combined.pdf>



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
13 January 2021

1 SUMMARY OF REQUEST

505 Pinckney Street, Renovation/addition

Applicant: Ansley Manuel (20-46 HRB.2)

The applicant is requesting final approval for a renovation/addition to a rear porch of a single-family residence at 505 Pinckney Street.

This is a non-contributing structure in the Historic Preservation Neighborhood.

Background: The Historic Review Board granted preliminary approval of this project on November 18, 2020.

2 FACTS

| | |
|--------------------------|------------------------|
| Property Address: | 505 Pinckney Street |
| Parcel ID: | R120 004 000 760A 000 |
| Case Number: | 20-46 HRB.1 |
| Applicant: | Ansley Manuel |
| Zoning: | T4-HN |
| Use: | Single Family Dwelling |

District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
 - *Front- Average prevailing setback on block.*
 - *Rear setback – 15' min.*
 - *Side Corner/Alley – 5' min.*
 - *Side Interior – 6' min, 10 ft min in the Point*
- **Impervious Surface Coverage:** 55% maximum lot coverage by roof; total impervious coverage may be an additional 10%.
- **Current Flood Zone:** A11

References:

- The Beaufort Preservation Manual Supplement



3 STAFF COMMENTS/ RECOMMENDATIONS

1. Staff is in support of the revised lower pitch of the proposed porch roof. This lower pitch makes the addition subordinate to the main structure, in turn creating a better proportional relationship with the main structure. This complies with the following from pages 17 and 18 of the Preservation Manual Supplement: “an addition to a building ... should be subordinate to the original building, and should read clearly as an addition.....The proportions of the addition should be complementary to the proportions of the original house... Additions should be sited to have the least visual impact from the street.”
2. Staff is in support of the proposed Marvin wood doors since they will have true divided lights and matching muntin width and profile.
3. It appears that the porch steps on the lower level of the addition are designed to match existing, however, this is not clearly labeled. If the porch steps will not match existing, a detail of these steps must be submitted for review. Applicant to clarify porch step design.
4. The side of the proposed porch roof appears to be detailed with trim board. Staff feels that it would be more appropriate to match the detailing of the gable ends of the main building and add a geison to the sides of the porch rather than detail the porch with only trim boards. Staff is otherwise in support of the design of the proposed cornice, as it is detailed to match that of the main house.
5. The proposed 1 1/2“ Metal Standing Seam roof complies with Chapter 9 of the Beaufort Preservation Manual Supplement. Applicant to avoid using large bulky trim pieces in application of this roof, especially along the rake edge. Staff color preference is Charcoal or Slate Grey and that the color match the existing asphalt shingle roof as much as possible.

STAFF RECOMMENDATION:

Final Approval with noted conditions.

CITY STAFF INTRODUCTION

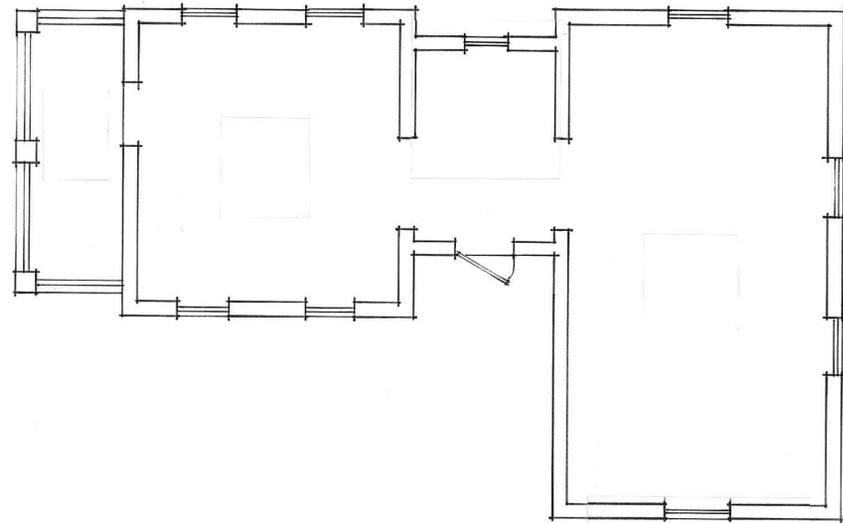
510 CRAVEN STREET



PROJECT LOCATION - 510 CRAVEN STREET



PREVIOUSLY APPROVED FINAL CARRIAGE
HOUSE SUBMISSION - OCTOBER 2020

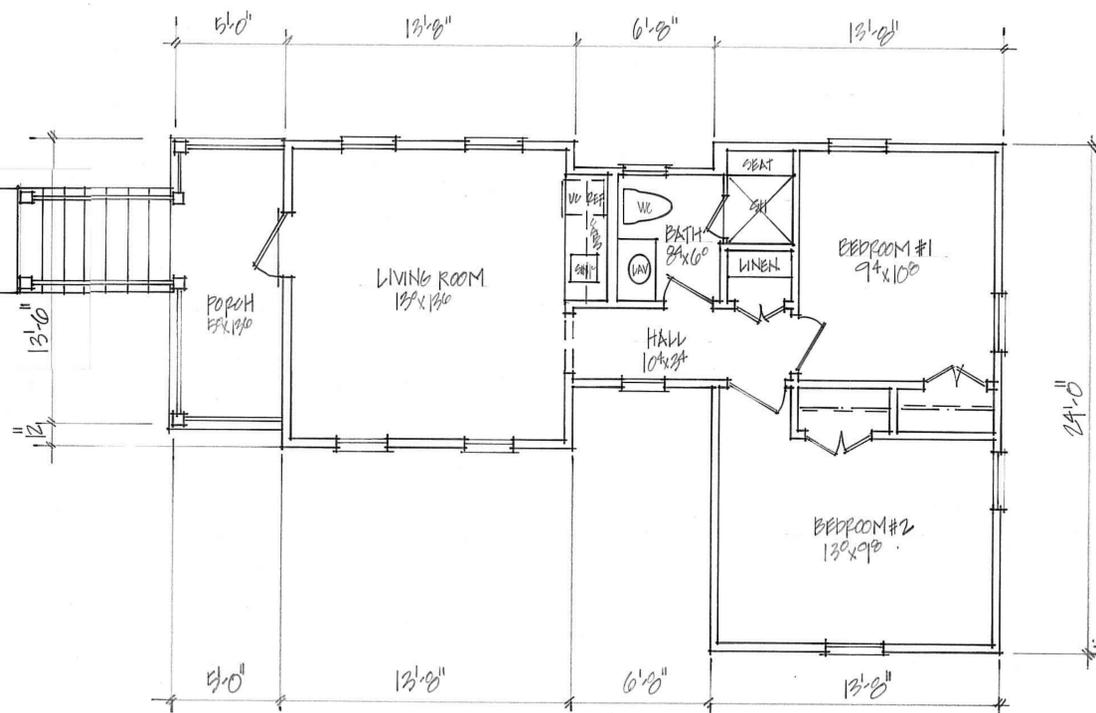


PROPOSED FOUNDATION PLAN SCALE OF $\frac{1}{4}'' = 1'-0''$



PROPOSED NORTH ELEVATION SCALE OF $\frac{1}{4}'' = 1'-0''$

RENOVATIONS TO THE MARCELLENE TRASK GUEST HOUSE
510 CRAVEN STREET BEAUFORT, SOUTH CAROLINA
MANUEL STUDIO LLC, ANGELEY H. MANUEL, ARCHITECT, 843.238.8932



PROPOSED FLOOR PLAN SCALE OF $\frac{1}{4}'' = 1'-0''$



PROPOSED WEST ELEVATION SCALE OF $\frac{1}{4}'' = 1'-0''$

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

INTENSIVE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 828
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Intensive Level-Building

Historic name(s): _____ Map Ref.: BFT 09 (BR) Tax Number: R120 004 000 0890 0000
Common name(s): _____ City Block Ref.: 27 01 Island: Port Royal Is.
Address/location: 510 Craven St. City/Vicinity of (vic.): Beaufort
Date: 1885 ca. Alteration date: Not known
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

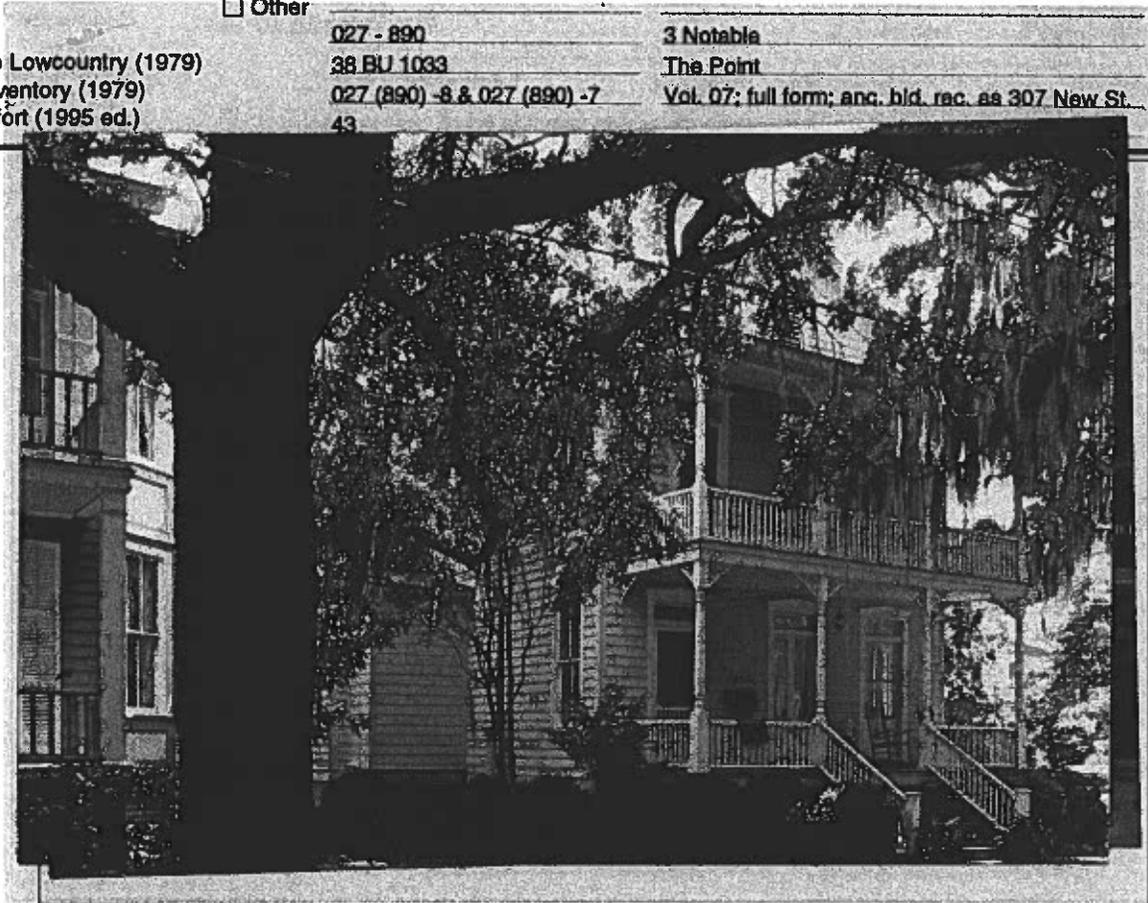
National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other
 Feiss-Wright (1969) 027 - 890 3 Notable
 Historic Resources of the Lowcountry (1979) 38 BU 1033 The Point
 Milner Historic District Inventory (1979) 027 (890) - 6 & 027 (890) - 7 Vol. 07; full form; anc. hld. rec. ea 307 New St.
 A Guide to Historic Beaufort (1995 ed.) 43

Photograph: _____



Photographs:

- prints
- slides
- negatives

Date: 8.8.97

Recorder: C. Brooker, Brooker Arch. Cons.

Roll # Neg. View of:
B-11 2 N fac. & E elev., fac SW
B-11 14 Other house

Style: Folk Victorian Commercial Form: _____
 Core Shape: L-rear-left Stories: 2 stories Construction: frame
 Roof: Shape: gable (end to front) Material: _____
 Chimney: Type: interior Material: brick
 Exterior Walls: weatherboard
 Windows: single Type: double hung Pane 2/2
 Config.: _____
 Doors: single double Foundation: brick piers
 Porch Height: 2 or more with tiers Porch Width: full facade Porch Roof Shape: shed
 Porch Details: columns Decorative wood
 slat balusters Elements: _____
 Outbuildings: other house Interior Features: _____

Number of Related Resources: _____

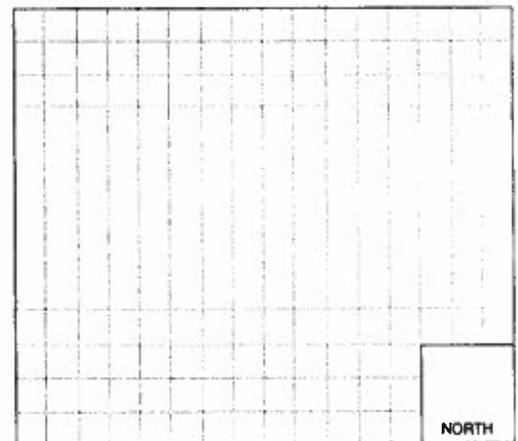
Surroundings: residential Acreage: less than 1 Quadrangle: Beaufort

Alterations: Alteration date: Not known Integrity: good Condition: good
 Single story addition with screen porch to south.

Description: 2 story end gable dwelling with wing to rear extending east. Porch facing street to north is 2 story with turned columns and decorative brackets.

Historical Data: One of three adjacent structures built on an identical plan. For original plan form see Sanborn Insurance Co. map of Beaufort dated 1899.

Sketch:



Site Number: U - 13 - 828

Informant/
Bibliography:

APPLICANT PRESENTATION

510 CRAVEN STREET



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. Upon receipt of an application, staff will review the submittal and then contact the applicant letting them know when the meeting will be. A complete schedule can be found at: https://www.cityofbeaufort.org/379/Design-Review-Board

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: [] Conceptual [] Preliminary [] Final [X] Change After certification

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [] Yes [] No

Applicant, Property, and Project Information

Applicant Name: Marcellene Trask
Applicant Address: 510 Craven Street, Beaufort 29902
Applicant E-mail: marcellenetrask@yahoo.com Applicant Phone Number: 843-441-0808
Applicant Title: [X] Homeowner [] Tenant [] Architect [] Engineer [] Developer
Owner (if other than the Applicant):
Owner Address:
Project Name: 510 Craven Street
Property Address: 510 Craven Street, Beaufort 29902
Property Identification Number (Tax Map & Parcel Number): R120 004 000 0890 000
Date Submitted: December 16, 2020



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Required Project Information

Project Name: 510 Craven Street

Property Size in Acres: 0.15 Proposed Building Use: Residential

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
2,357

of Parking Spaces Required: # of Parking Spaces Provided:

Is this project a redevelopment project: Y [checked]

Are there existing buildings on the site? [checked] N if yes, will they remain? [checked] N

Provide a brief Project Narrative and outline any specific questions you would like addressed.

- 1. New Exterior Paint + Colors
2. Proposed porch lights (hanging for main house + matching sconce for Carriage House)
3. Proposed brick walk from sidewalk to porch landing replacing existing cracked concrete walk (7' x 11').
4. Proposed Front Door for Main House - solid sapele

Applicant's Signature: Marcelene Trask Date: 12-16-2020

Owner's Signature: Date:

(The owner's signature is required if the applicant is not the owner.)

wood to replace existing front door, which is in poor condition with a 4 panel solid sapele wood door. The existing front door has been compromised with plastic inserts, which the

CONTACT INFORMATION: Milner report calls "inappropriate modern materials" (Milner, p. 93). The 4 panel solid sapele wood door replacement is "appropriate to the style of the structure," (Milner, p. 94).
Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

List of Paint Color Choices for 510 Craven Street Main House & Carriage House, Beaufort, SC 29902

Exterior:

Roycroft Vellum
Sherwin Williams 2833
(Historic Color)



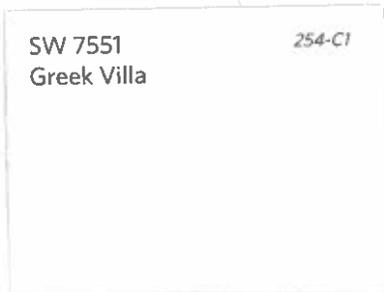
**Foundation, Lattice work
between foundation piers, and
Exterior Door & French Doors:**

Roycroft Bronze Green
Sherwin Williams 2846
(Historic Color)



**All Trim including porch railings,
porch columns, window sashes,
and balustrade:**

Greek Villa
Sherwin Williams 7551



Porch Ceilings:

Ice Blue Benjamin & Moore 2052-70



Porch Floor and Stairs:

Cheslea Gray
Sherwin Williams 2850
(Historic Color)



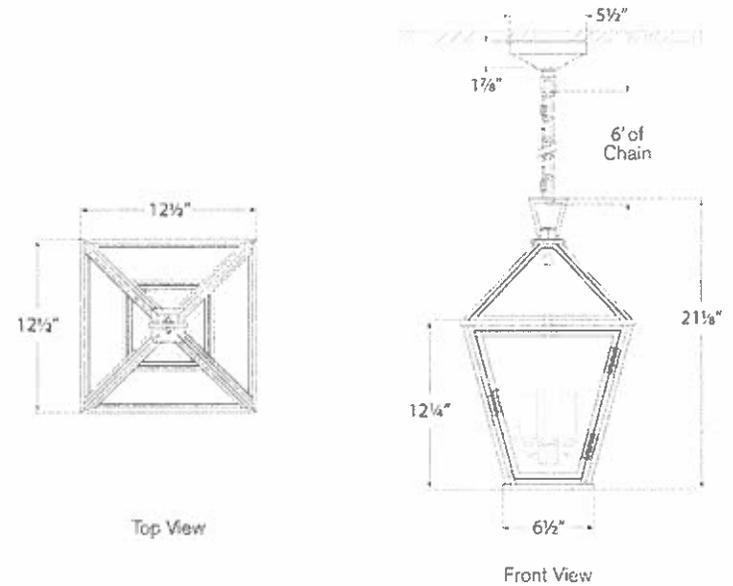
SPEC SHEET

Front Door / Porch
500 Craven St.

Classic Darlana Medium Hanging Lantern
Item # CHO 5132BZ-CG

Designer: Chapman & Myers

Height: 21"
Width: 12.5"
Canopy: 5.5" Round
Finishes: BZ
Glass Options: CG
Socket: 4 - E12 Candelabra
Wattage: 4 - 40 C
Note: UL Only



SPEC SHEET

Carriage House
510 Craven St

Classic Darlana Medium Bracketed Wall Lantern
Item # CHO 2132BZ-CG

Designer: Chapman & Myers

Height: 24"

Width: 12.5"

Extension: 14.25"

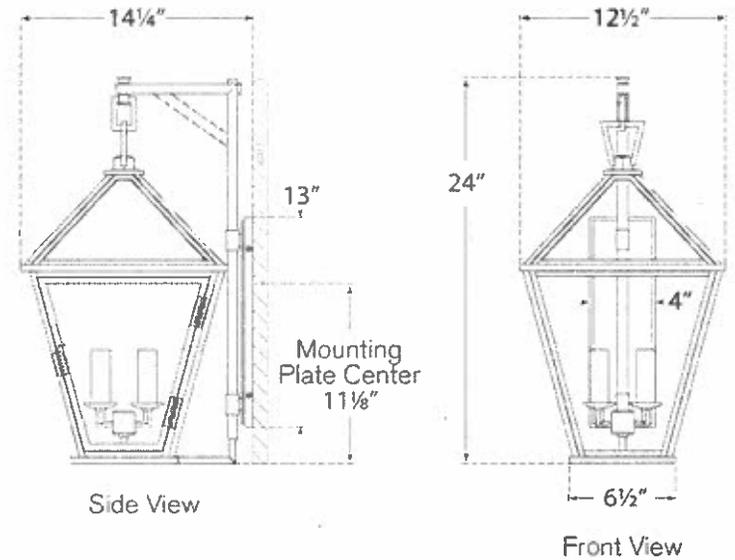
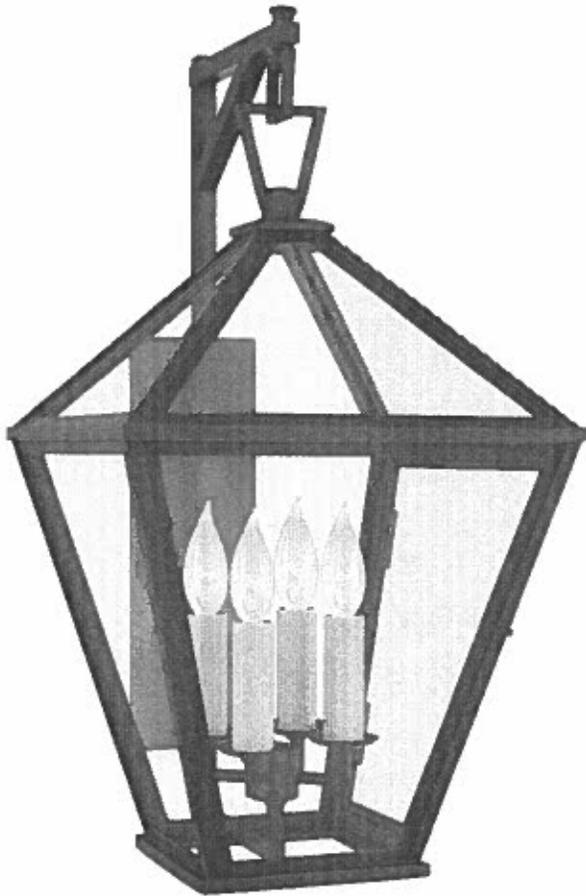
Backplate: 4" x 13" Rectangle

Finishes: BZ

Glass Options: CG

Socket: 4 - E12 Candelabra

Wattage: 4 - 40 C





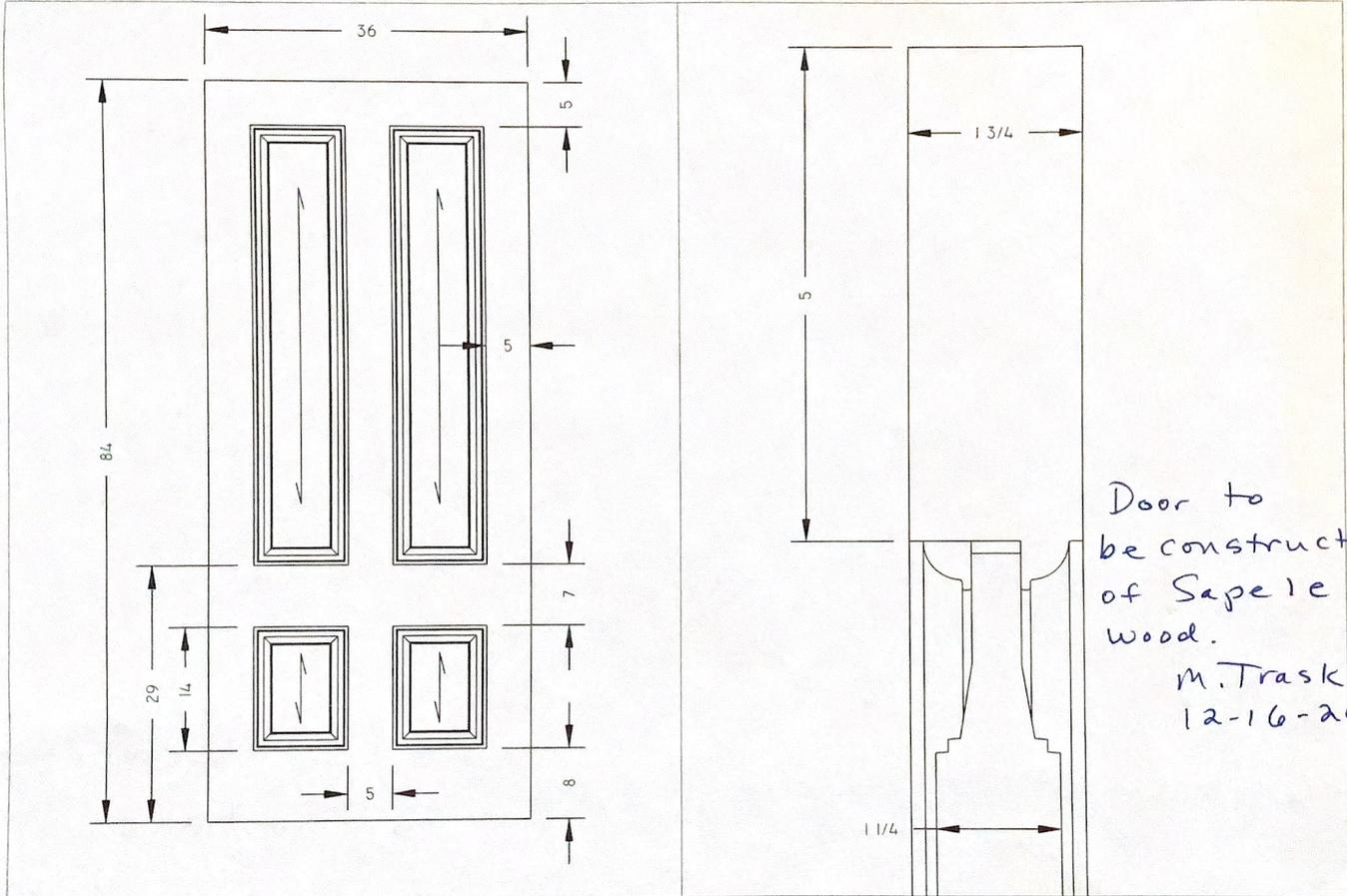
Existing Front Walkway (submitted by Applicant)



Proposed Brick Material for Walkway (submitted by Applicant)



508 Craven Walkway (submitted by Applicant)



Door to
be constructed
of Sapele
wood.
M.Trask
12-16-2020

| | | | | |
|-----------------|---|--|--|--|
| DATE: 10-27-20 | PG: 1/1 | <input type="checkbox"/> - NO EXCEPTIONS | I APPROVE THE DESIGN AS DRAWN AND DIMENSIONED ON THIS PAGE AND ACKNOWLEDGE THAT THIS PRODUCT IS SPECIAL ORDER AND NOT RETURNABLE FOR CREDIT. | GRAYCO BUILDING CENTER 345 BUCK ISLAND ROAD BLUFFTON, SC 29910 PHONE (843) 815-5788 FAX (843) 815-5799 |
| MARCELLEN TRASK | <input type="checkbox"/> - EXCEPTIONS NOTED, RESUBMITTAL NOT REQUIRED | X _____ DATE _____ | | |
| | <input type="checkbox"/> - EXCEPTIONS NOTED, REVISE AND RESUBMIT | | | |



Existing Front Door Proposed to be Replaced (Applicant)



Closeup - Existing Front Door Proposed to be Replaced (Applicant)



Existing Front Door - French Door Comparison (Applicant)



510 Craven – google streetview 2016 (Staff)



Front Door Comparison 1 (Applicant)



Front Door Comparison 2 (Applicant)



Front Door Comparison 3 (Applicant)



Front Door Comparison 4 (Applicant)



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
13 January 2021

1 SUMMARY OF REQUEST

510 Craven Street, Change after Certification

Applicant: Marcellene Trask (20-47 HRB.1)

The applicant is requesting a change after certification regarding exterior paint colors, porch lights, brick walkway and front door.

This is a contributing structure in the Historic Preservation Neighborhood.

Background: The Historic Review Board granted final approval for the re-roof and change of exterior colors for the main residence on August 12, 2020. The Historic Review Board granted final approval for a renovation and addition to the carriage house on October 14, 2020.

2 FACTS

| | |
|--------------------------|-------------------------|
| Property Address: | 510 Craven Street |
| Parcel ID: | R120 004 000 0890 0000 |
| Case Number: | 20-34 HRB.1 |
| Applicant: | Marcellene Trask |
| Zoning: | T4-HN |
| Use: | Single Family Dwelling |

References:

Secretary of Interiors Standards
Beaufort Preservation Manual
Beaufort Preservation Manual Supplement



3 STAFF COMMENTS/ RECOMMENDATIONS

1. Door Replacement:
 - a. The Secretary of Interiors Standards for Preservation recommend “retaining and preserving entrances and their functional and decorative features that are important in defining the overall historic character of the building. The materials themselves (including masonry, wood, and metal) are significant, as are their features, such as

doors....” Furthermore, the Standards do not recommend “replacing historic entrance and porch features instead of repairing or replacing only the deteriorated material.”

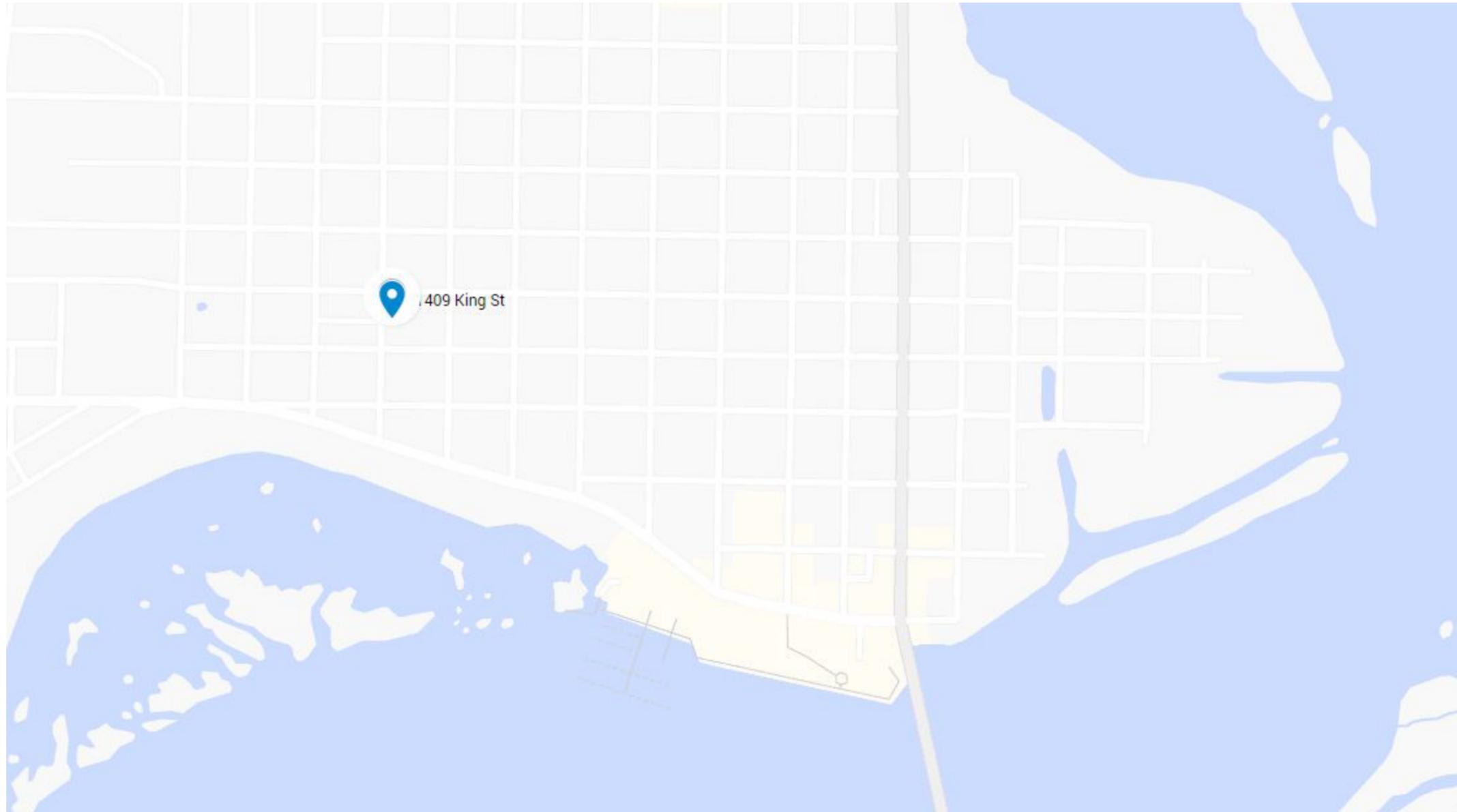
- b. Preservation Manual Supplement, p. 36: “Save as much historic door fabric as possible. In some cases, this will involve removing deteriorated sections and patching as invisibly as possible....Extant screen doors of nineteenth century should be retained, maintained, and repaired as necessary.”
 - c. Staff feels that it is hard to say whether the door itself is original from the documentation provided. The art glass may have been added at a later date, but the door itself is likely historic. Staff does not support replacement of the door.
2. Staff feels that the proposed lighting fixtures are appropriate. Applicant to confirm the location of the lighting fixture proposed for the carriage house. Staff assumes that this will be located next to the front door of the structure, but applicant to verify this and note the mounting height.
 3. Staff supports the proposed color changes for the main house and carriage house.
 4. The use of brick as a paver is supported by the Preservation Manual Supplement. Staff is in support of the proposed brick paver and recommends that the applicant review page 133 of the Beaufort Preservation Manual when planning the paving pattern.

STAFF RECOMMENDATION:

Final Approval with conditions noted.

CITY STAFF INTRODUCTION

1409 KING STREET



PROJECT LOCATION - 1409 KING STREET

EXISTING JAIL STRUCTURE: 1409 KING STREET



APPLICANT PRESENTATION

1409 KING STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Andrew Rogerson, Garvin Design Group

Applicant Address: 1209 Lincoln St, Columbia, SC 29201

Applicant E-mail: arogerson@garvindesigngroup.com Applicant Phone Number: 803-212-1032

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Wheeler & Wheeler

Owner Address: 1711 Gervais St, Columbia, SC 29201

Project Name: Justice Square

Property Address: 1409 King St

Property Identification Number (Tax Map & Parcel Number): TMS R120 004 000 1009 0000

Date Submitted: 12/16/2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Andrew P Rogerson Date: 12/16/2020

Owner's Signature: [Handwritten Signature] Date: 04/03/2020



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

Project Name: Justice Square

Property Size in Acres: 0.87 Proposed Building Use: Residential

Nature of Work (check all that apply):

- Checkboxes for: New Construction, Primary Structure; Alterations / Additions; Demolition*; Relocation*
*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
Jail: 5,000 sf 1st floor, 3,500 sf 2nd floor | Attached Units: 3,000 sf 1st, 2nd, & 3rd per bldg

Is this project a redevelopment project? [X] Y [] N
Are there existing buildings on the site? [X] Y [] N if yes, will they remain? [X] Y [] N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

The project consists of renovating the historic jail building into (9) rental apartments, complete mechanical, plumbing, and electrical upfits, and interior finishes in compliance with National Park Service, Department of the Interior standards for historical preservation.

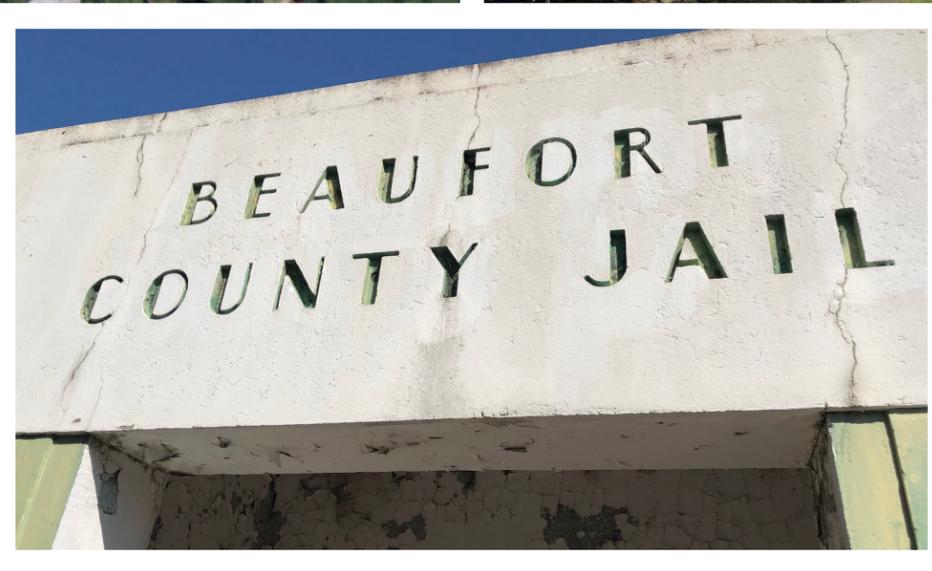
The project also includes new construction of (8) attached dwelling units along Prince Street, associated site work, and parking to meet the needs of the project.

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February

EXISTING JAIL STRUCTURE: 1409 KING STREET



CONTEXT - SURROUNDING STRUCTURES: 1409 KING STREET



1407 KING STREET



1509 KING STREET



509 MONSON STREET



PREVIOUS SUBMITTAL - PRELIMINARY

CONTEXT - SURROUNDING STRUCTURES: 1409 KING STREET



1405 PRINCE STREET



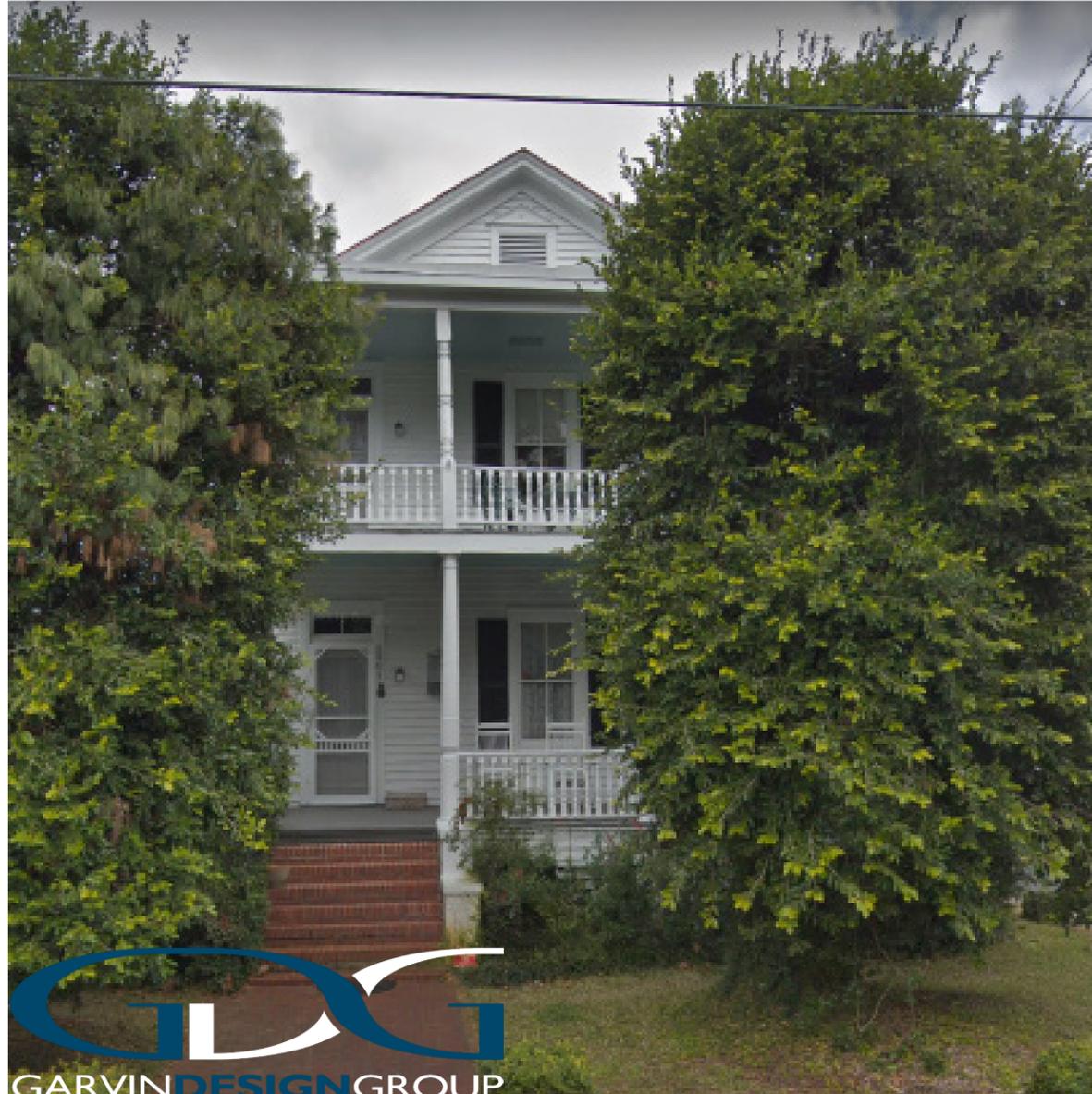
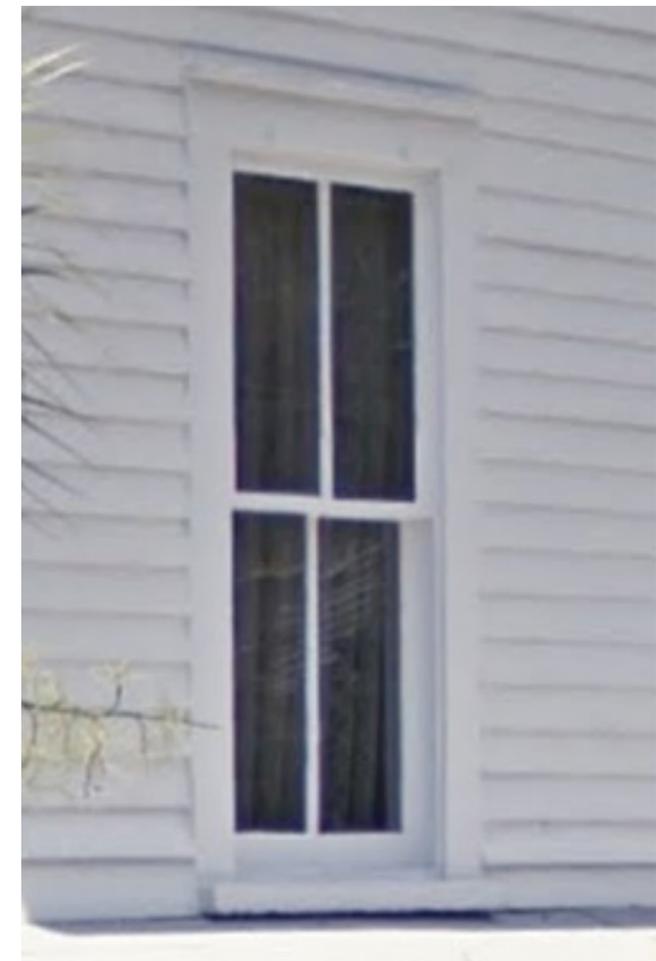
600 MONSON STREET



1413 PRINCE STREET

PREVIOUS SUBMITTAL - PRELIMINARY

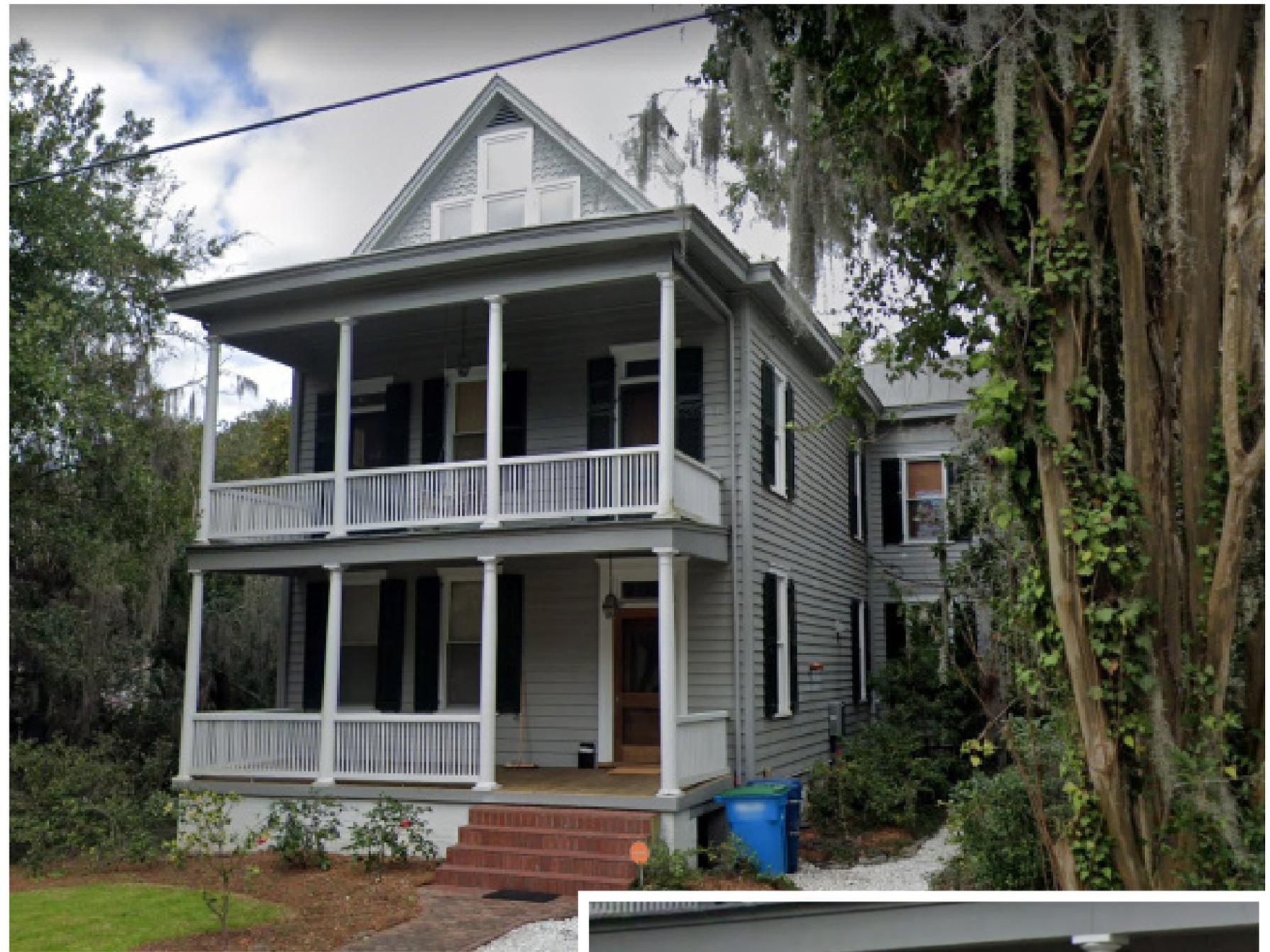
2.5 STORY EXAMPLE: 1301 NORTH STREET (c. 1901)



PREVIOUS SUBMITTAL - PRELIMINARY

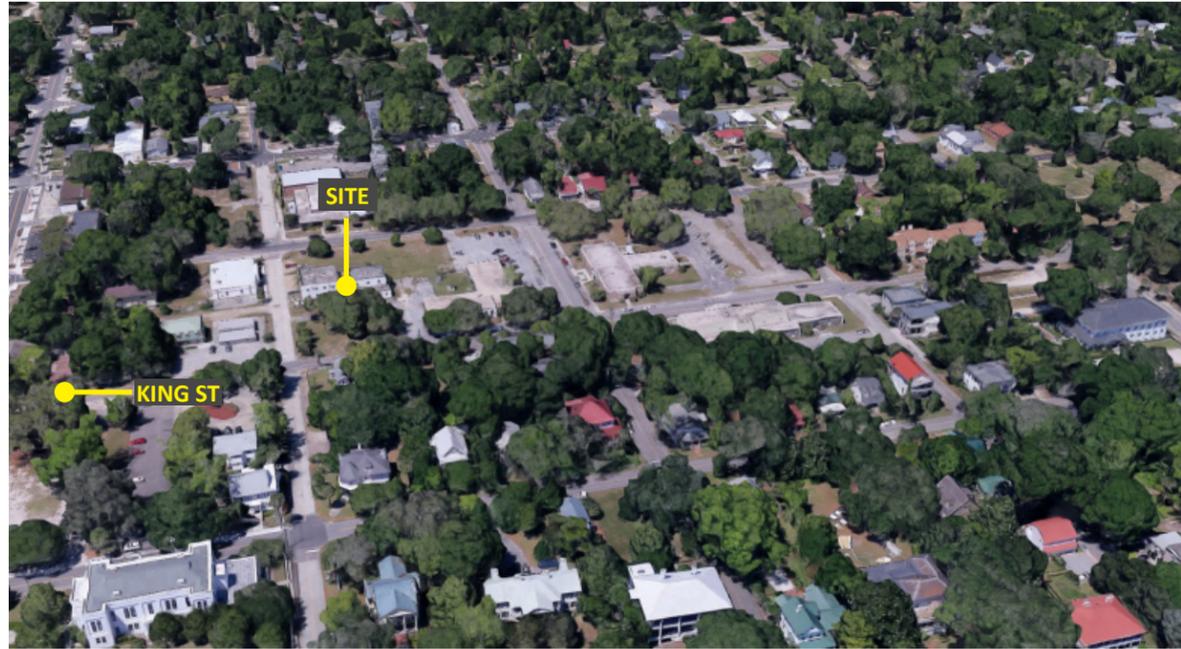


2.5 STORY EXAMPLE: 1407 NORTH STREET (c. 1880)



PREVIOUS SUBMITTAL - PRELIMINARY

2.5 STORY EXAMPLE: KING STREET



1708 KING STREET (C. 2006)

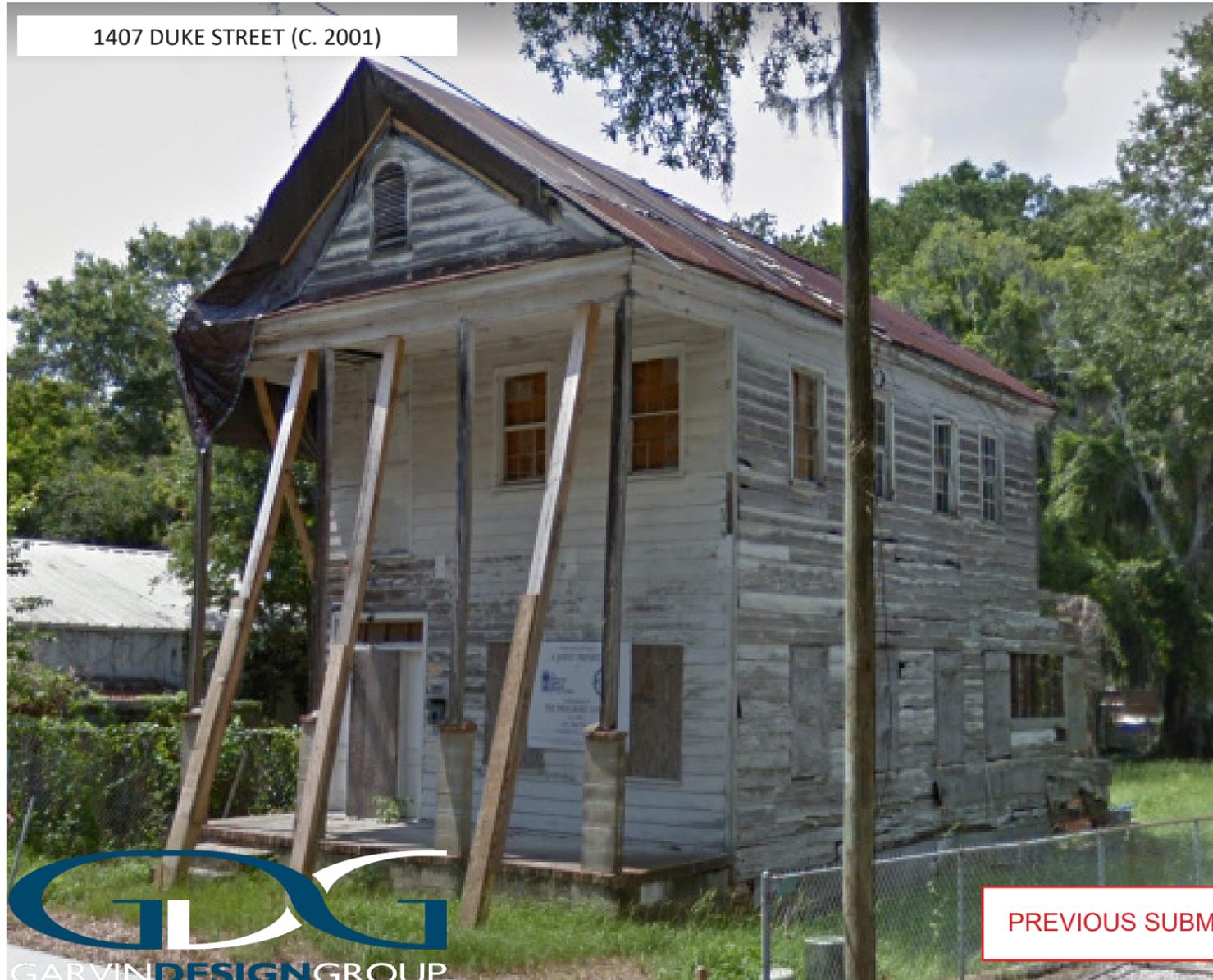


PREVIOUS SUBMITTAL - PRELIMINARY

1706 KING STREET (C. 2006)



2.5 STORY EXAMPLE: DUKE STREET



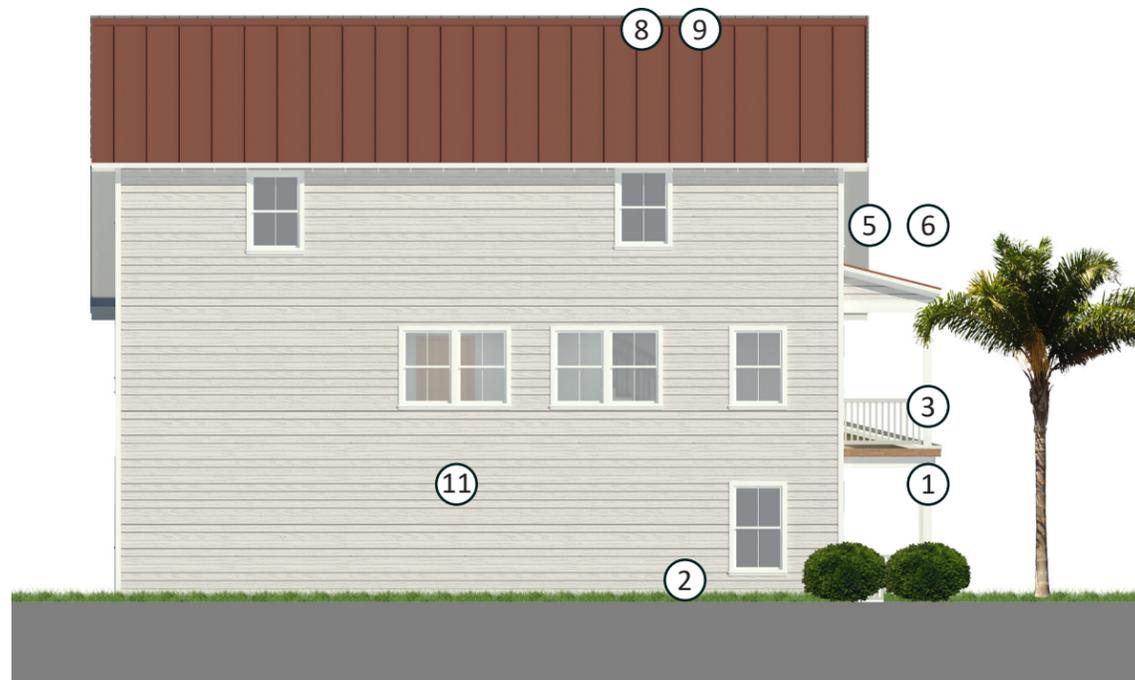
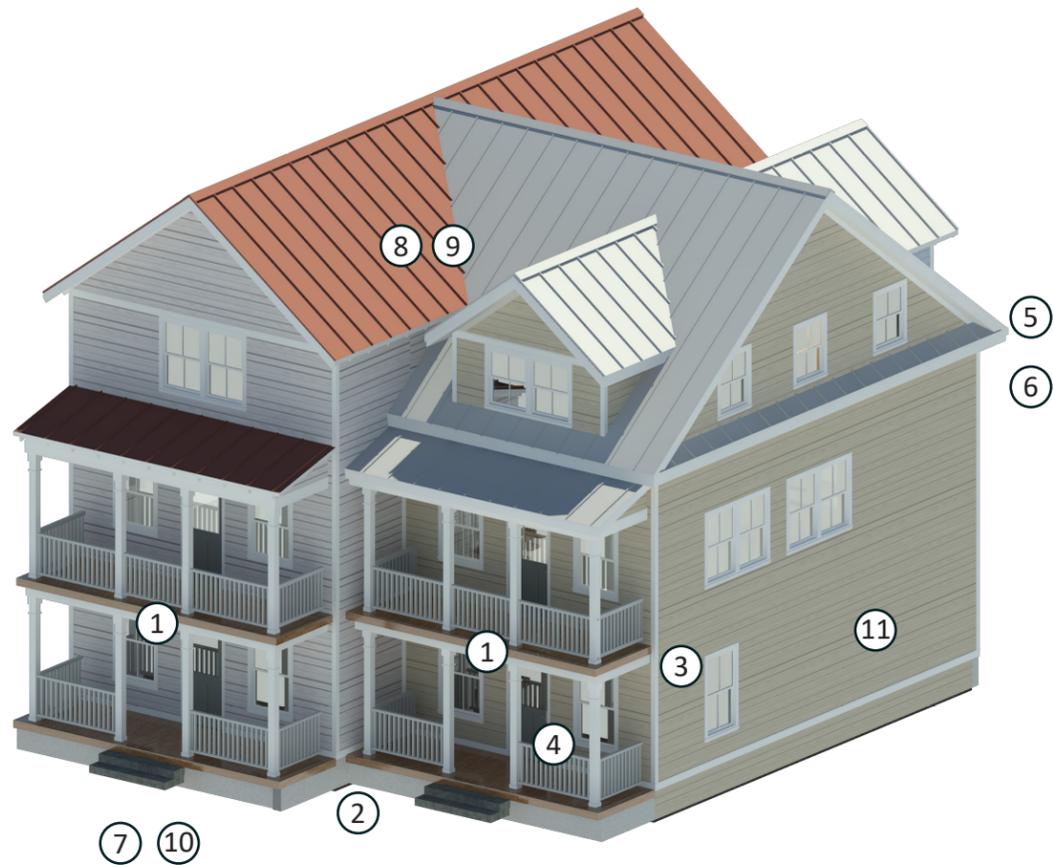
1407 DUKE STREET (C. 2001)



PREVIOUS SUBMITTAL - PRELIMINARY

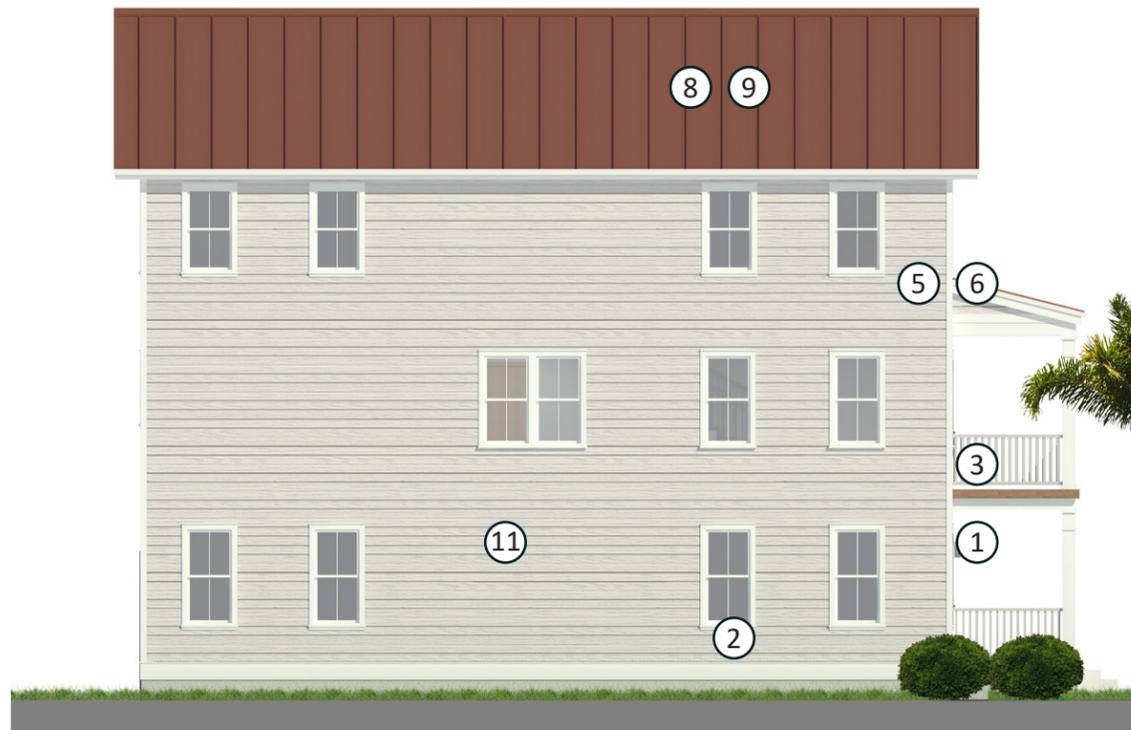
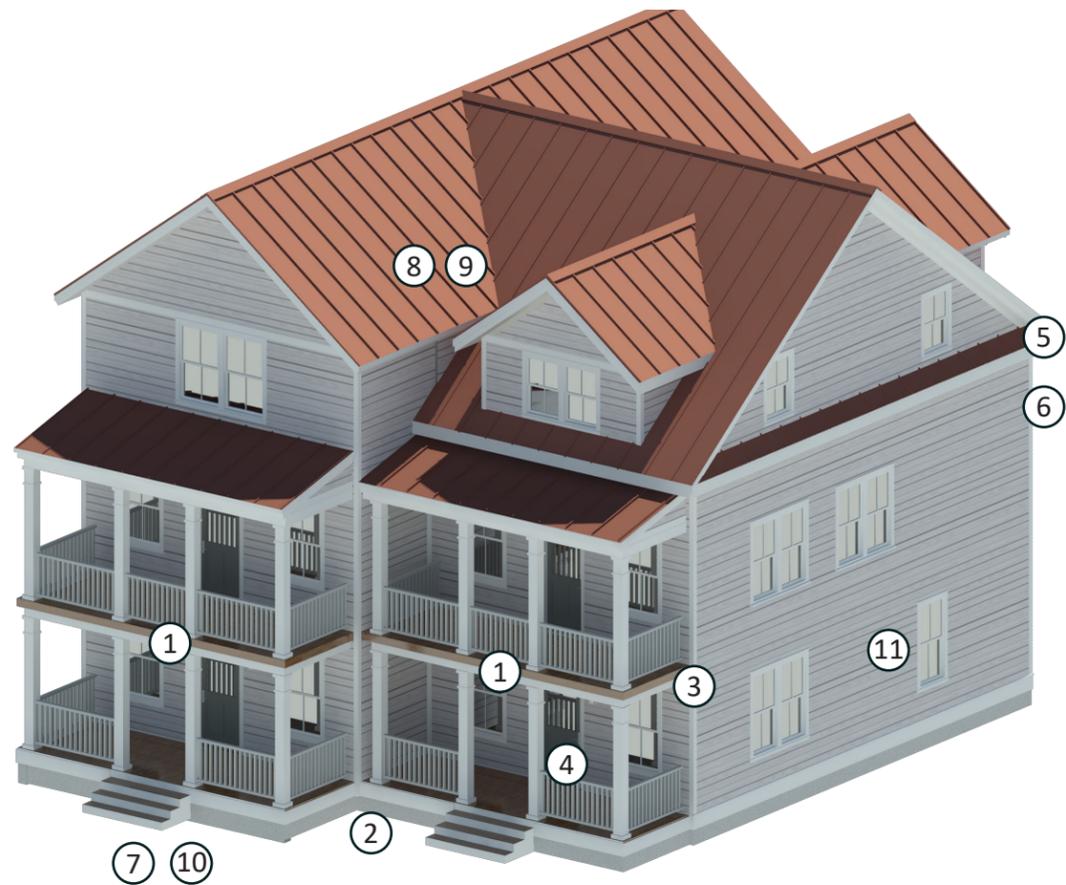


1401 DUKE STREET (C. 2001)



DESIGN GUIDELINE REFERENCES:

- ①. Porch design follows the “Beaufort Style” 2-story porch with central entry as seen detailed on pg 33 of the Beaufort Preservation Manual by Milner Associates, pg 14 & 39 of the Northwest Quadrant Design Principles by Winter & Company
- ②. Elevation of first floor follows guidance from pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 44 of the Northwest Quadrant Design Principles by Winter & Company
- ③. Floor to floor height considers neighborhood context per pg 42 of the Beaufort Preservation Manual by Milner Associates
- ④. Bays, windows, and doors draw on proportions and number of bays in neighborhood structures per pg 42 of the Beaufort Preservation Manual by Milner Associates
- ⑤. Absolute size (1.5 - 2.5 stories) considers scale of neighborhood buildings per pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 24 of the Northwest Quadrant Design Principles by Winter & Company
- ⑥. Massing considers the weight of neighborhood buildings per pg 43 of the Beaufort Preservation Manual by Milner Associates
- ⑦. Principal facades are oriented to Prince Street per pg 43 of the Beaufort Preservation Manual by Milner Associates, pg 14 of the Northwest Quadrant Design Principles by Winter & Company
- ⑧. Roof forms harmonize with hips and gables of nearby existing construction per pg 45 of the Beaufort Preservation Manual by Milner Associates, pg 23 of the Northwest Quadrant Design Principles by Winter & Company
- ⑨. Roof materials follow guidelines on pg 34 of the Northwest Quadrant Design Principles by Winter & Company
- ⑩. Siting follows setback of neighborhood buildings per pg 46 of the Beaufort Preservation Manual by Milner Associates
- ⑪. Use of horizontal lap siding is in line with recommendations on pg 30-31 of the Northwest Quadrant Design Principles by Winter & Company
- ⑫. Porch design follows the “Bungalow Style” 1-story porch with central entry as seen detailed on pg 34 of the Beaufort Preservation Manual by Milner Associates

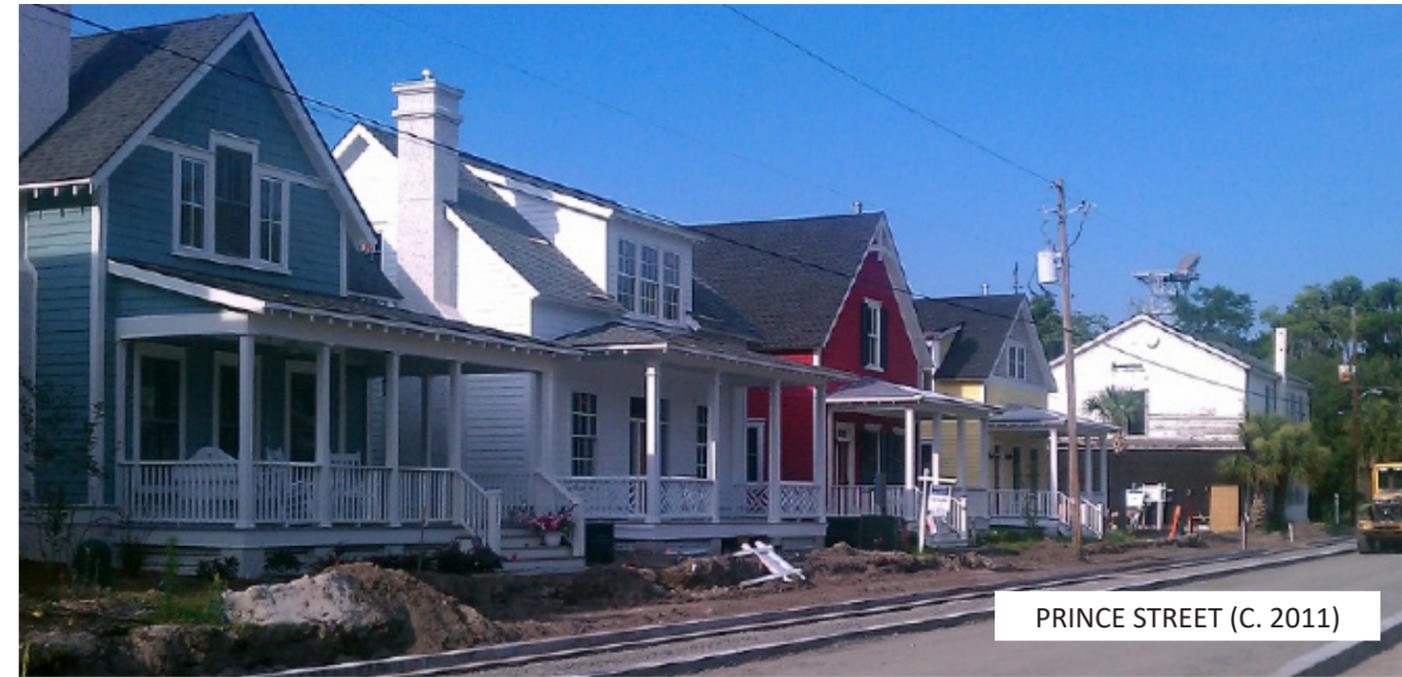


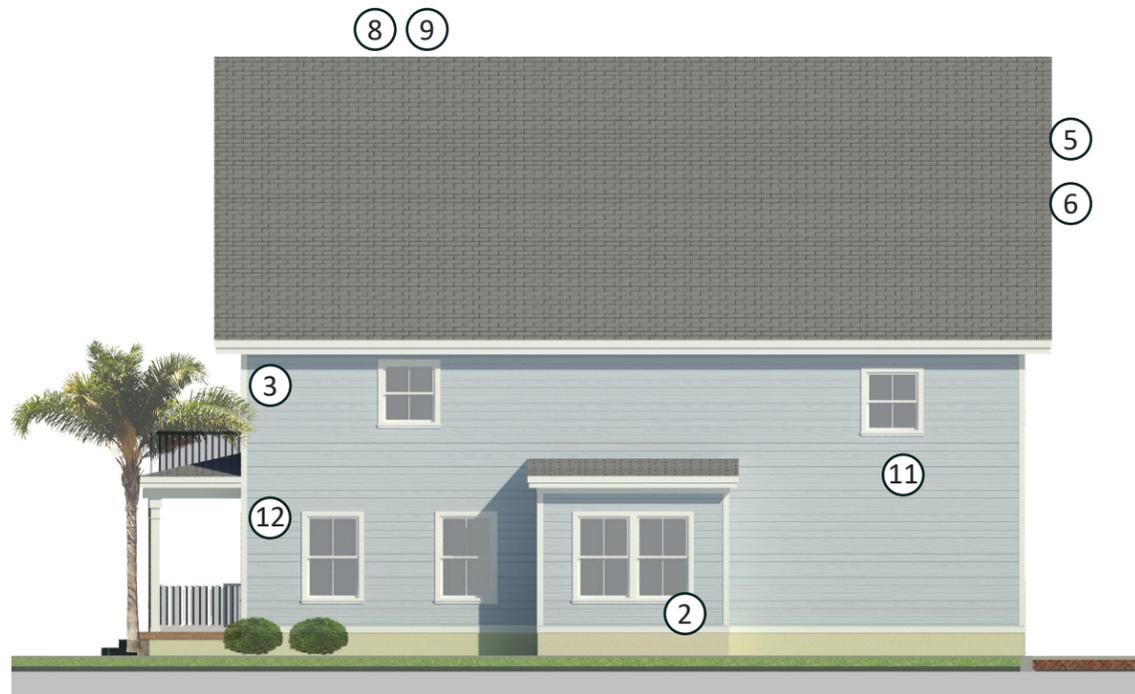
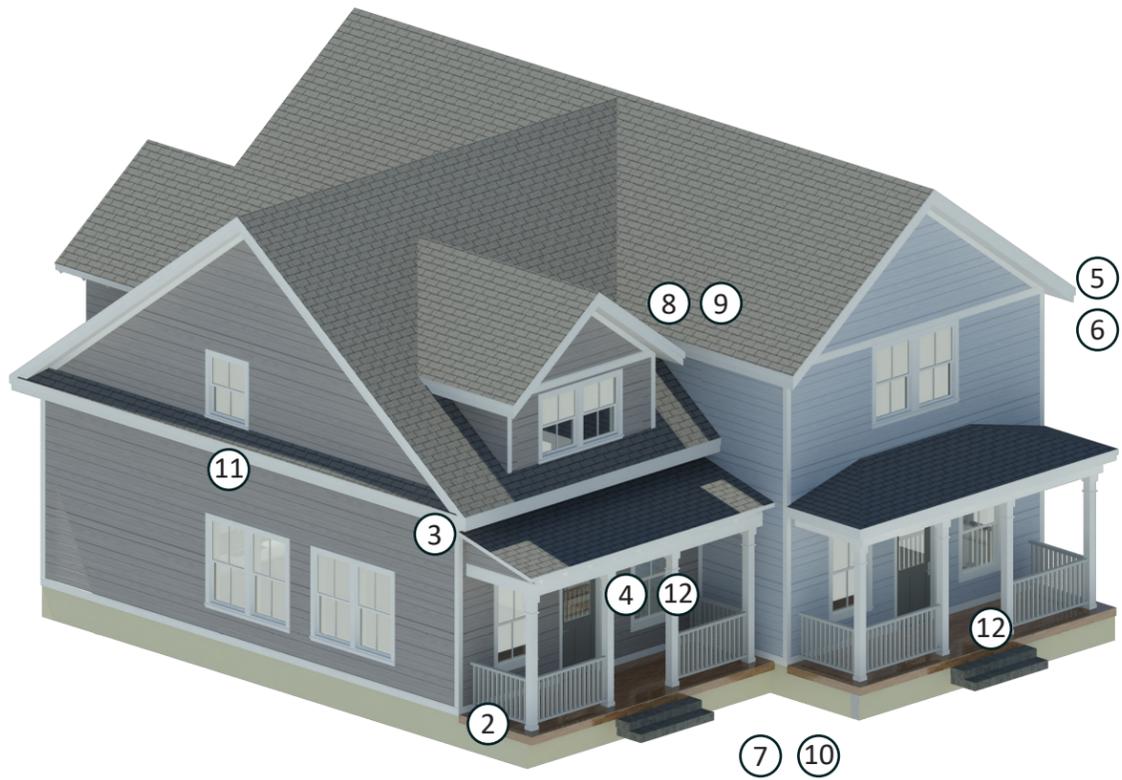
CURRENT SUBMITTAL - FINAL

DESIGN GUIDELINE REFERENCES:

- ①. Porch design follows the “Beaufort Style” 2-story porch with central entry as seen detailed on pg 33 of the Beaufort Preservation Manual by Milner Associates, pg 14 & 39 of the Northwest Quadrant Design Principles by Winter & Company
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- ⑤. Absolute size (1.5 - 2.5 stories) considers scale of neighborhood buildings per pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 24 of the Northwest Quadrant Design Principles by Winter & Company
- ⑥. Massing considers the weight of neighborhood buildings per pg 43 of the Beaufort Preservation Manual by Milner Associates
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- ⑧. Roof forms harmonize with hips and gables of nearby existing construction per pg 45 of the Beaufort Preservation Manual by Milner Associates, pg 23 of the Northwest Quadrant Design Principles by Winter & Company
- ⑨. Roof materials follow guidelines on pg 34 of the Northwest Quadrant Design Principles by Winter & Company
- ⑩. Siting follows setback of neighborhood buildings per pg 46 of the Beaufort Preservation Manual by Milner Associates
- ⑪. Use of horizontal lap siding is in line with recommendations on pg 30-31 of the Northwest Quadrant Design Principles by Winter & Company
- ⑫. Porch design follows the “Bungalow Style” 1-story porch with central entry as seen detailed on pg 34 of the Beaufort Preservation Manual by Milner Associates

1.5 STORY EXAMPLE: PRINCE STREET

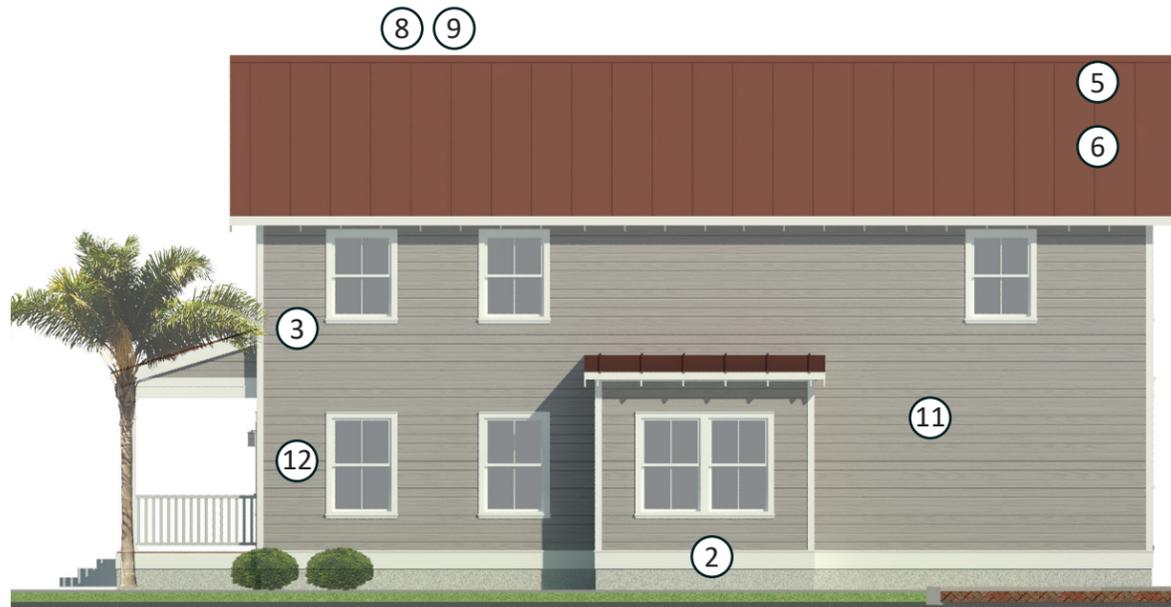
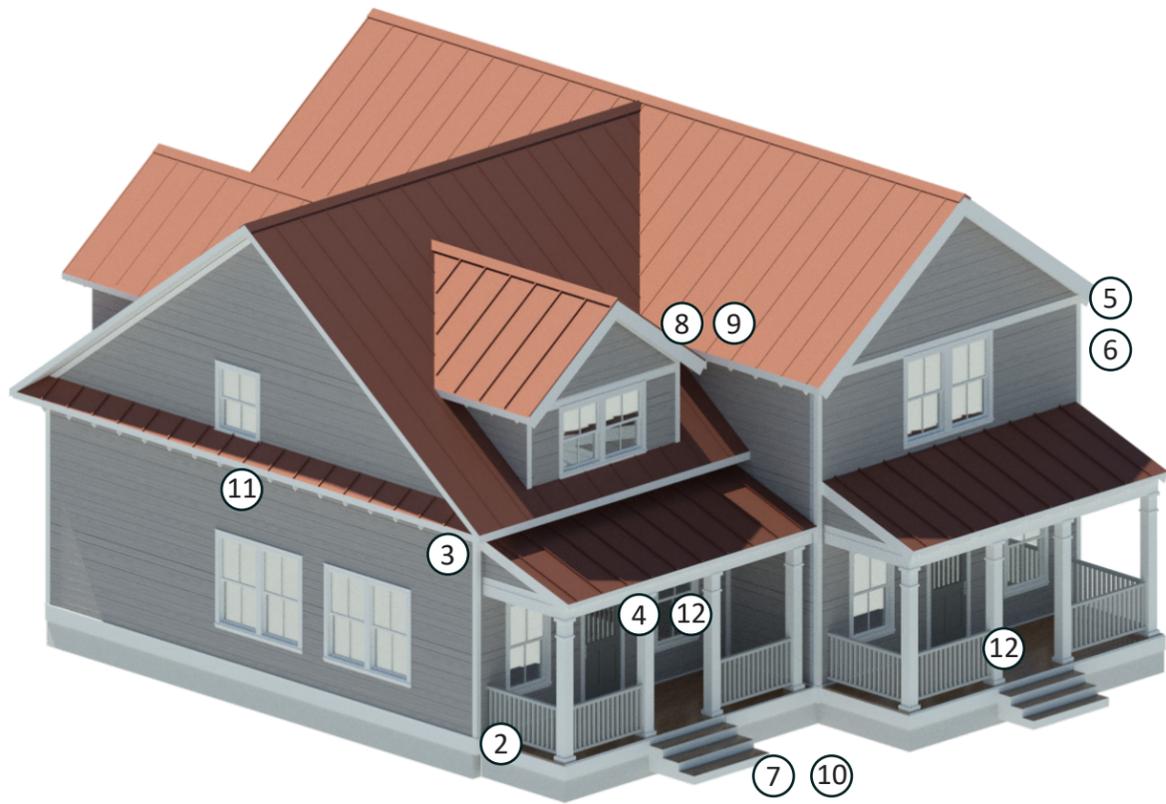




DESIGN GUIDELINE REFERENCES:

- ①. Porch design follows the “Beaufort Style” 2-story porch with central entry as seen detailed on pg 33 of the Beaufort Preservation Manual by Milner Associates, pg 14 & 39 of the Northwest Quadrant Design Principles by Winter & Company
- ②. Elevation of first floor follows guidance from pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 44 of the Northwest Quadrant Design Principles by Winter & Company
- ③. Floor to floor height considers neighborhood context per pg 42 of the Beaufort Preservation Manual by Milner Associates
- ④. Bays, windows, and doors draw on proportions and number of bays in neighborhood structures per pg 42 of the Beaufort Preservation Manual by Milner Associates
- ⑤. Absolute size (1.5 - 2.5 stories) considers scale of neighborhood buildings per pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 24 of the Northwest Quadrant Design Principles by Winter & Company
- ⑥. Massing considers the weight of neighborhood buildings per pg 43 of the Beaufort Preservation Manual by Milner Associates
- ⑦. Principal facades are oriented to Prince Street per pg 43 of the Beaufort Preservation Manual by Milner Associates, pg 14 of the Northwest Quadrant Design Principles by Winter & Company
- ⑧. Roof forms harmonize with hips and gables of nearby existing construction per pg 45 of the Beaufort Preservation Manual by Milner Associates, pg 23 of the Northwest Quadrant Design Principles by Winter & Company
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PREVIOUS SUBMITTAL - PRELIMINARY



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- ⑤. Absolute size (1.5 - 2.5 stories) considers scale of neighborhood buildings per pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 24 of the Northwest Quadrant Design Principles by Winter & Company
- ⑥. Massing considers the weight of neighborhood buildings per pg 43 of the Beaufort Preservation Manual by Milner Associates
- ⑦. Principal facades are oriented to Prince Street per pg 43 of the Beaufort Preservation Manual by Milner Associates, pg 14 of the Northwest Quadrant Design Principles by Winter & Company
- ⑧. Roof forms harmonize with hips and gables of nearby existing construction per pg 45 of the Beaufort Preservation Manual by Milner Associates, pg 23 of the Northwest Quadrant Design Principles by Winter & Company
- ⑨. Roof materials follow guidelines on pg 34 of the Northwest Quadrant Design Principles by Winter & Company
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- ⑪. Use of horizontal lap siding is in line with recommendations on pg 30-31 of the Northwest Quadrant Design Principles by Winter & Company
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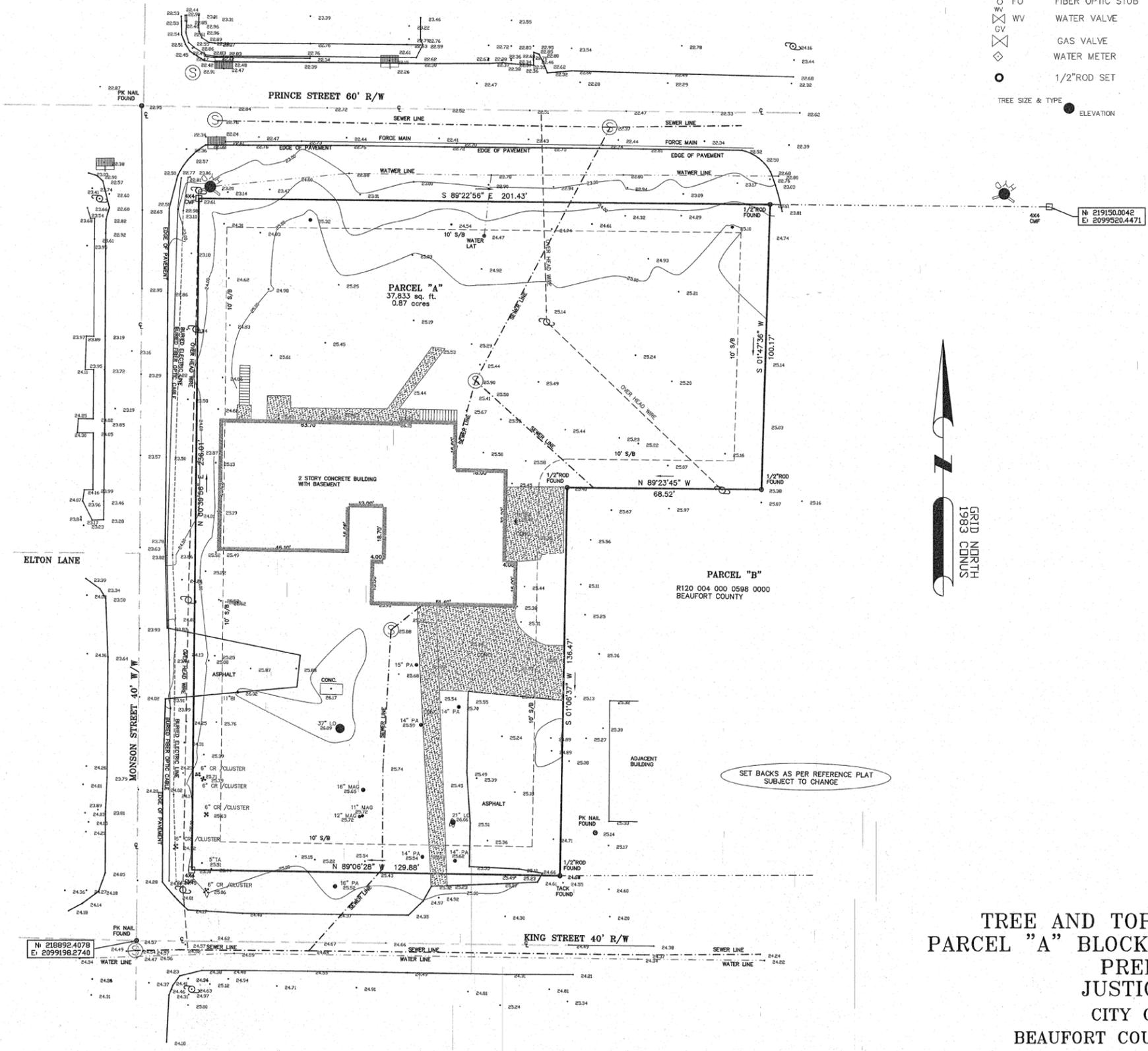


LEGEND OF SYMBOLS & ABBREVIATIONS

- CO FIRE HYDRANT
- PP CLEAN OUT
- FO POWER POLE
- FO TELEPHONE PEDESTAL
- FO FIBER OPTIC STUB
- WV WATER VALVE
- GV GAS VALVE
- WM WATER METER
- 1/2" ROD SET
- ELEVATION
- MVM MAIN VALVE MONUMENT
- MH MANHOLE
- GW GUY WIRE
- CB CABLE BOX
- OE OVERHEAD POWERLINE
- EDGE OF PAVEMENT
- BACK OF CURB
- LIGHTPOLE
- GAS LINE
- CENTER LINE
- CONTOUR LINE



LOCATION MAP (N.T.S.)



- NOTES:**
- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 - 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
 - 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
 - 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
 - 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 - 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 - 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
 - 9.) SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
 - 10.) THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "C" AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450026 0005 D. DATED 09/29/86
 - 11.) CONTOUR INTERVAL IS 1'.
 - 12.) VERTICAL DATUM IS 1929 NGVD.

- REFERENCES:**
- 1.) T.M.S. R120 004 000 1009 0000
 - 2.) PLAT BY R.D. TROGDON JR DATED 5/23/06 BOOK 115, PAGE 151 BEAUFORT COUNTY R.M.C. OFFICE

TREE AND TOPOGRAPHICAL SURVEY
 PARCEL "A" BLOCK 113. CITY OF BEAUFORT
 PREPARED FOR
 JUSTICE SQUARE I
 CITY OF BEAUFORT
 BEAUFORT COUNTY SOUTH CAROLINA

DATE 8/7/2019 SCALE 1"=20'

GASQUE & ASSOCIATES INC.
 LAND SURVEYORS · PLANNERS
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 (843) 522-1798

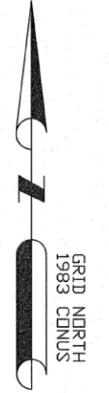
[Signature]
 David E. Gasque, R.L.S.
 S.C. Registration Number 10506

PREVIOUS SUBMITTAL - PRELIMINARY

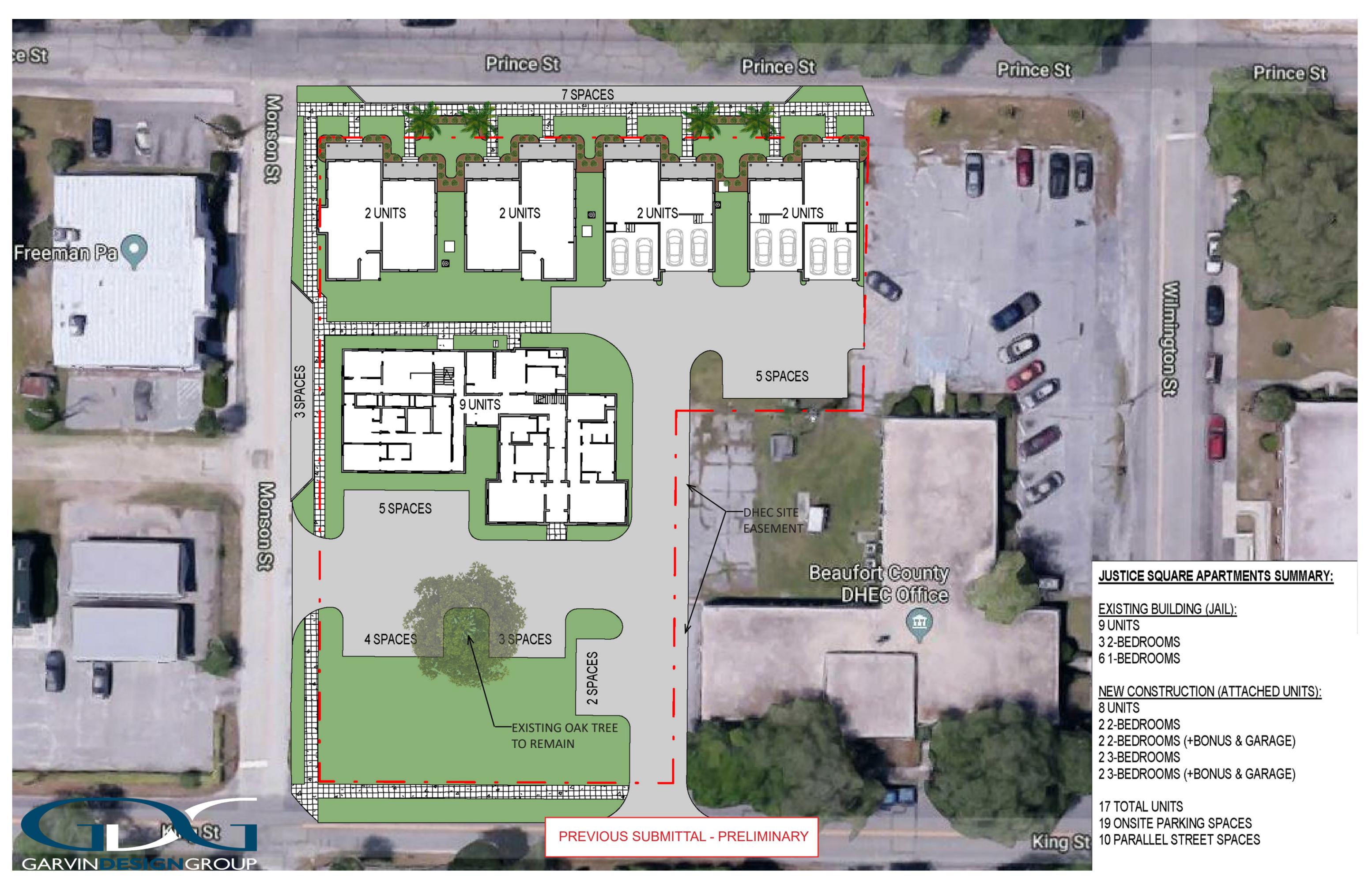
TREE LEGEND

| CODE | COMMON NAME | BOTANICAL NAME |
|------|---------------------|-------------------------|
| PN | PINE | Pinus spp. |
| LD | LIVE OAK | Quercus virginiana |
| CO | COAK | Quercus spp. |
| MAG | SOUTHERN MAGNOLIA | Magnolia grandiflora |
| PA | PALMETTO | Sabal palmetto |
| SUB | SUGARBERRY | Celtis laevigata |
| EL | ELM | Ulmus spp. |
| HI | HICKORY | Carya spp. |
| BAY | BAY MAGNOLIA | Gordonia spp. |
| MY | MYRTLE | Mycrs certifera |
| CH | CHERRY | Prunus spp. |
| CE | EASTERN RED CEDAR | Juniperus virginiana |
| TA | CHINESE TALLOW-TREE | Sapindus sibiricum |
| PO | YELLOW POPLAR | Liriodendron tulipifera |
| BI | BIRCH | Betula spp. |
| CY | BALDYPRESS | Taxodium distichum |
| SY | AMERICAN SYCAMORE | Pterocarya occidentalis |
| PE | PECAN | Carya hirsuta |
| CO | COAHN/WATTLE | Lagerstromia indica |
| FR | FRUIT TREE | Morus spp. |
| MP | MAPLE | Morus spp. |
| DW | DOGWOOD | Cornus florida |
| QU | QU | Quercus spp. |
| MO | WATER OAK | Quercus nigra |
| LA | LAUREL OAK | Quercus laurifolia |
| UNK | UNKNOWN | |

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK. THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 0.5 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BULGES AT THE BASE OF THE TREE. INTERMEDIATE TREE LOCATIONS THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE AGREED UPON.



THIS PLAT IS COPYRIGHTED AND IS ONLY INTENDED FOR THE USE OF THE ENTITY OR PERSON(S) SHOWN HERE ON.



Prince St

Prince St

Prince St

Prince St

Monson St

Wilmington St

King St

2 UNITS

2 UNITS

2 UNITS

2 UNITS

7 SPACES

3 SPACES

9 UNITS

5 SPACES

5 SPACES

4 SPACES

3 SPACES

2 SPACES

EXISTING OAK TREE TO REMAIN

DHEC SITE EASEMENT

Beaufort County DHEC Office

JUSTICE SQUARE APARTMENTS SUMMARY:

EXISTING BUILDING (JAIL):

- 9 UNITS
- 3 2-BEDROOMS
- 6 1-BEDROOMS

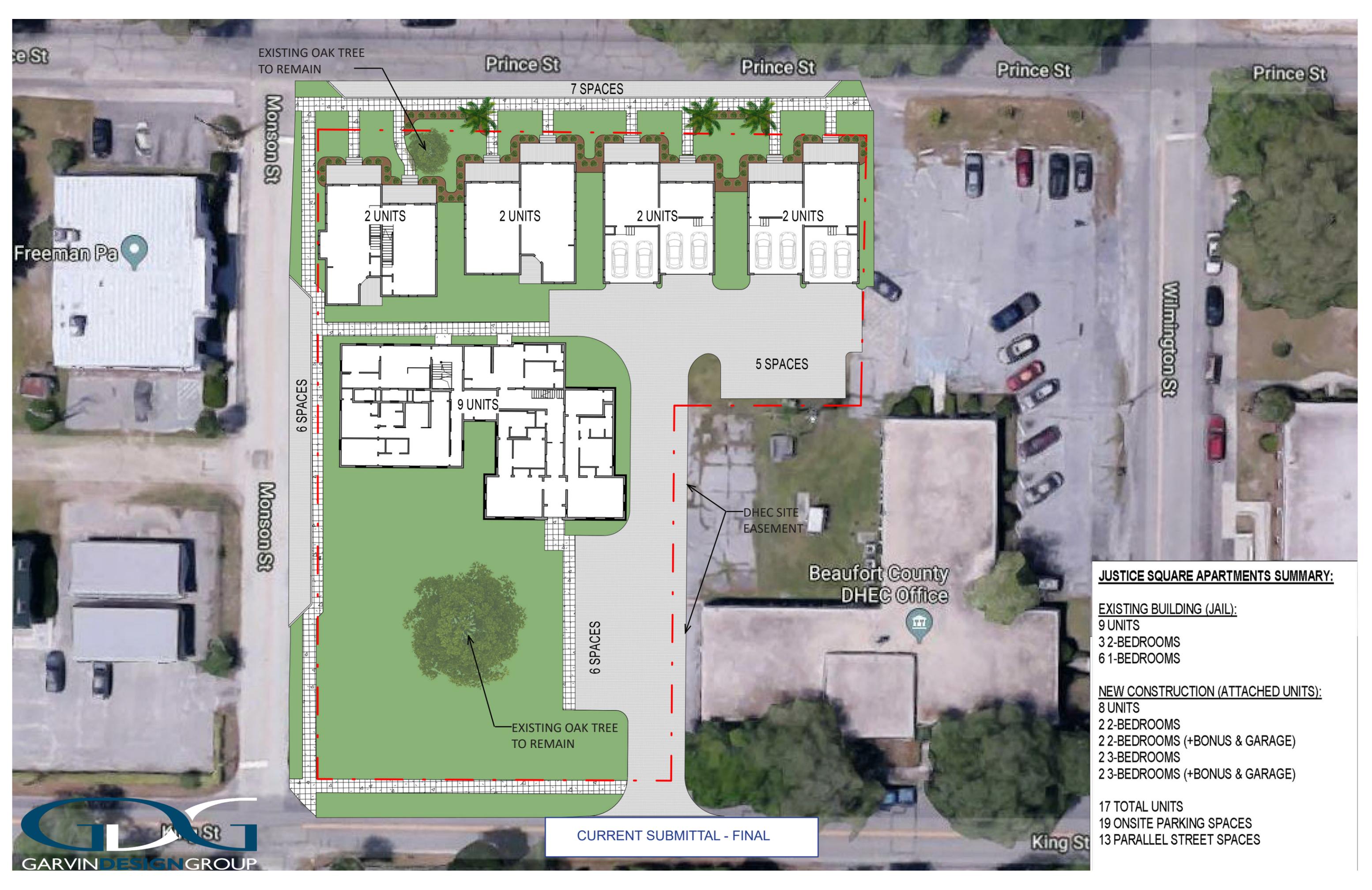
NEW CONSTRUCTION (ATTACHED UNITS):

- 8 UNITS
- 2 2-BEDROOMS
- 2 2-BEDROOMS (+BONUS & GARAGE)
- 2 3-BEDROOMS
- 2 3-BEDROOMS (+BONUS & GARAGE)

- 17 TOTAL UNITS
- 19 ONSITE PARKING SPACES
- 10 PARALLEL STREET SPACES

PREVIOUS SUBMITTAL - PRELIMINARY





EXISTING OAK TREE TO REMAIN

Prince St

Prince St

Prince St

Prince St

Monson St

7 SPACES

2 UNITS

2 UNITS

2 UNITS

2 UNITS

6 SPACES

9 UNITS

5 SPACES

Monson St

6 SPACES

DHEC SITE EASEMENT

Beaufort County DHEC Office

EXISTING OAK TREE TO REMAIN

Wilmington St

JUSTICE SQUARE APARTMENTS SUMMARY:

EXISTING BUILDING (JAIL):

- 9 UNITS
- 3 2-BEDROOMS
- 6 1-BEDROOMS

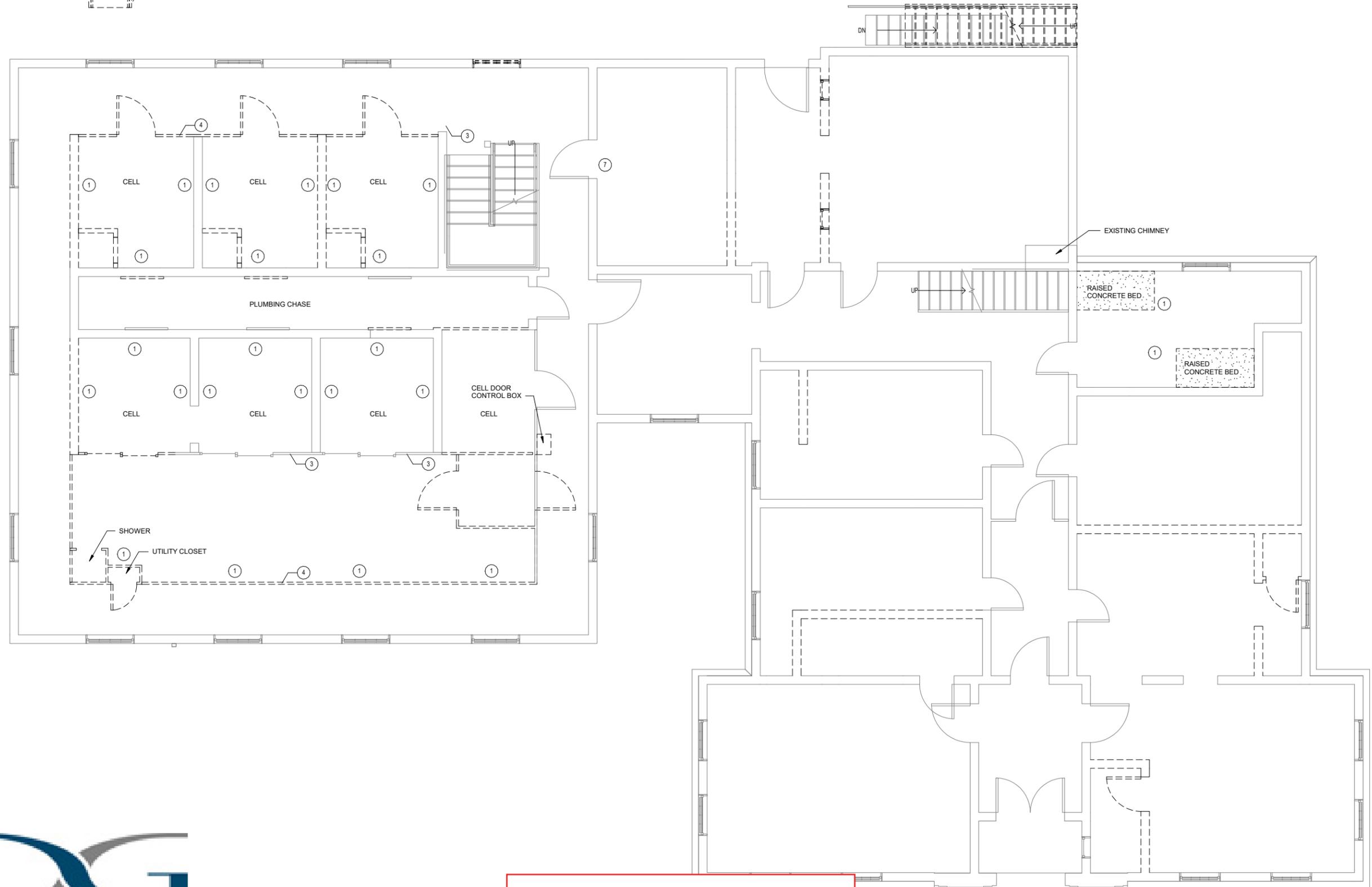
NEW CONSTRUCTION (ATTACHED UNITS):

- 8 UNITS
- 2 2-BEDROOMS
- 2 2-BEDROOMS (+BONUS & GARAGE)
- 2 3-BEDROOMS
- 2 3-BEDROOMS (+BONUS & GARAGE)

- 17 TOTAL UNITS
- 19 ONSITE PARKING SPACES
- 13 PARALLEL STREET SPACES

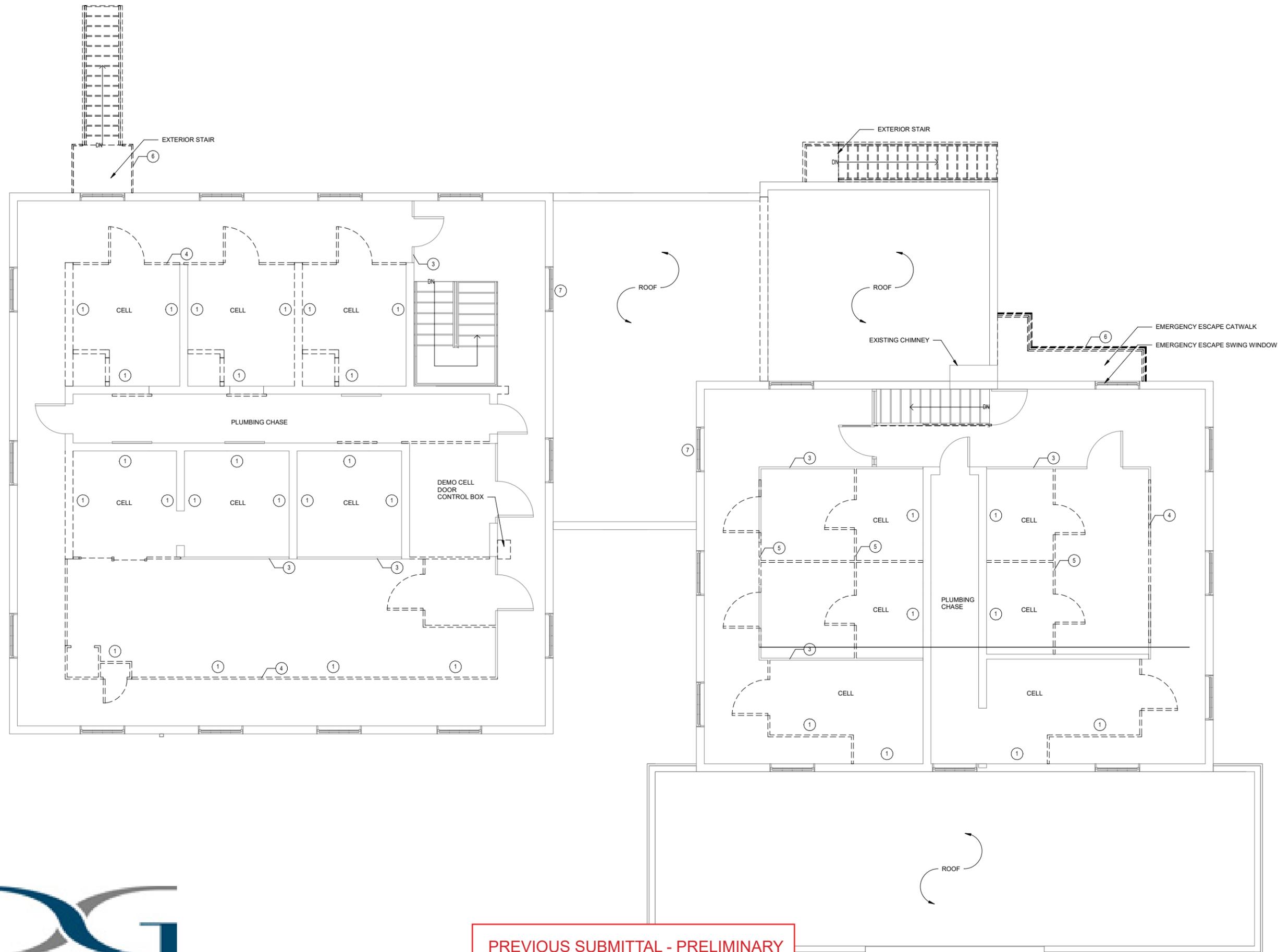
CURRENT SUBMITTAL - FINAL





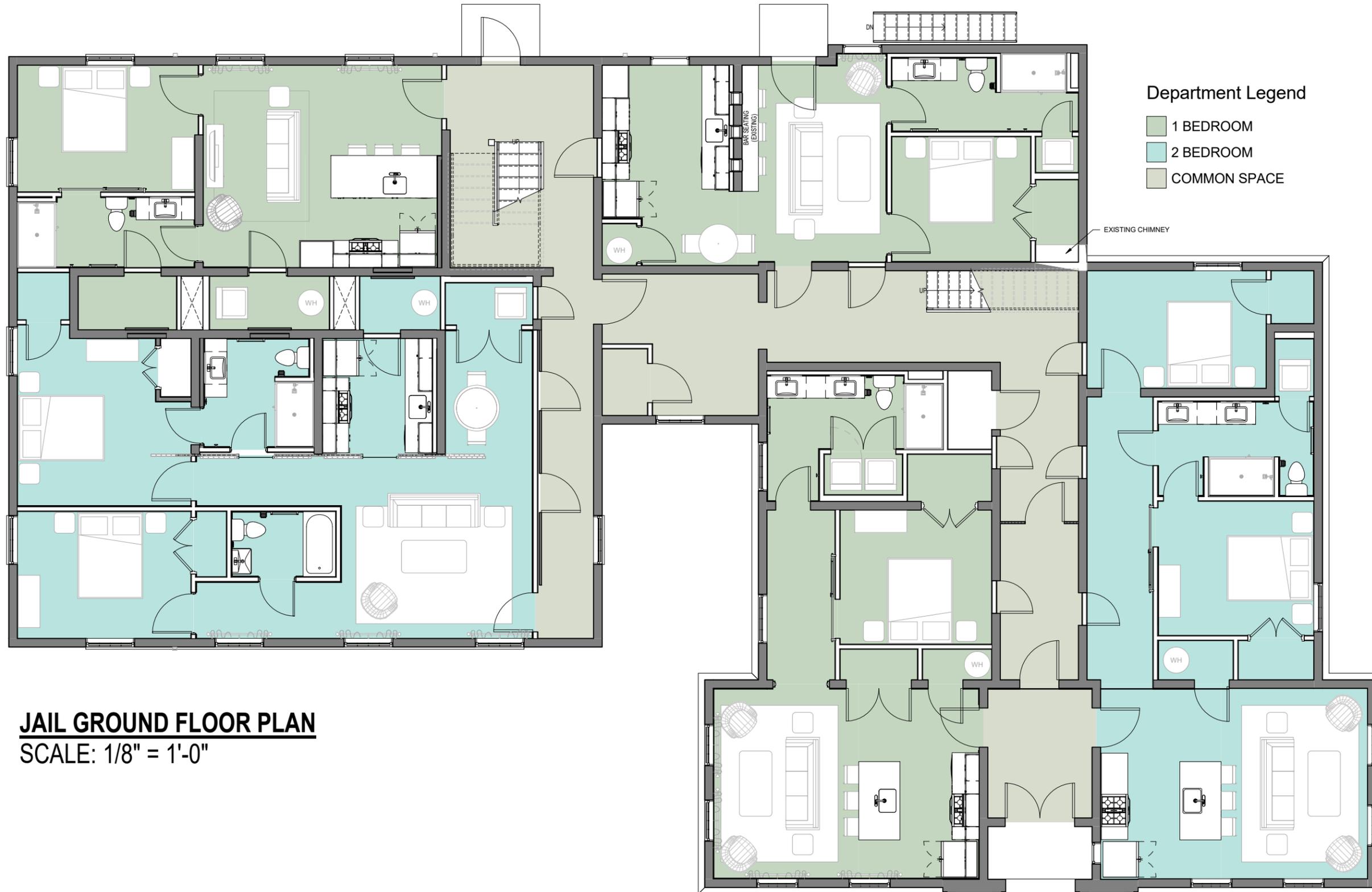
PREVIOUS SUBMITTAL - PRELIMINARY





PREVIOUS SUBMITTAL - PRELIMINARY





Department Legend

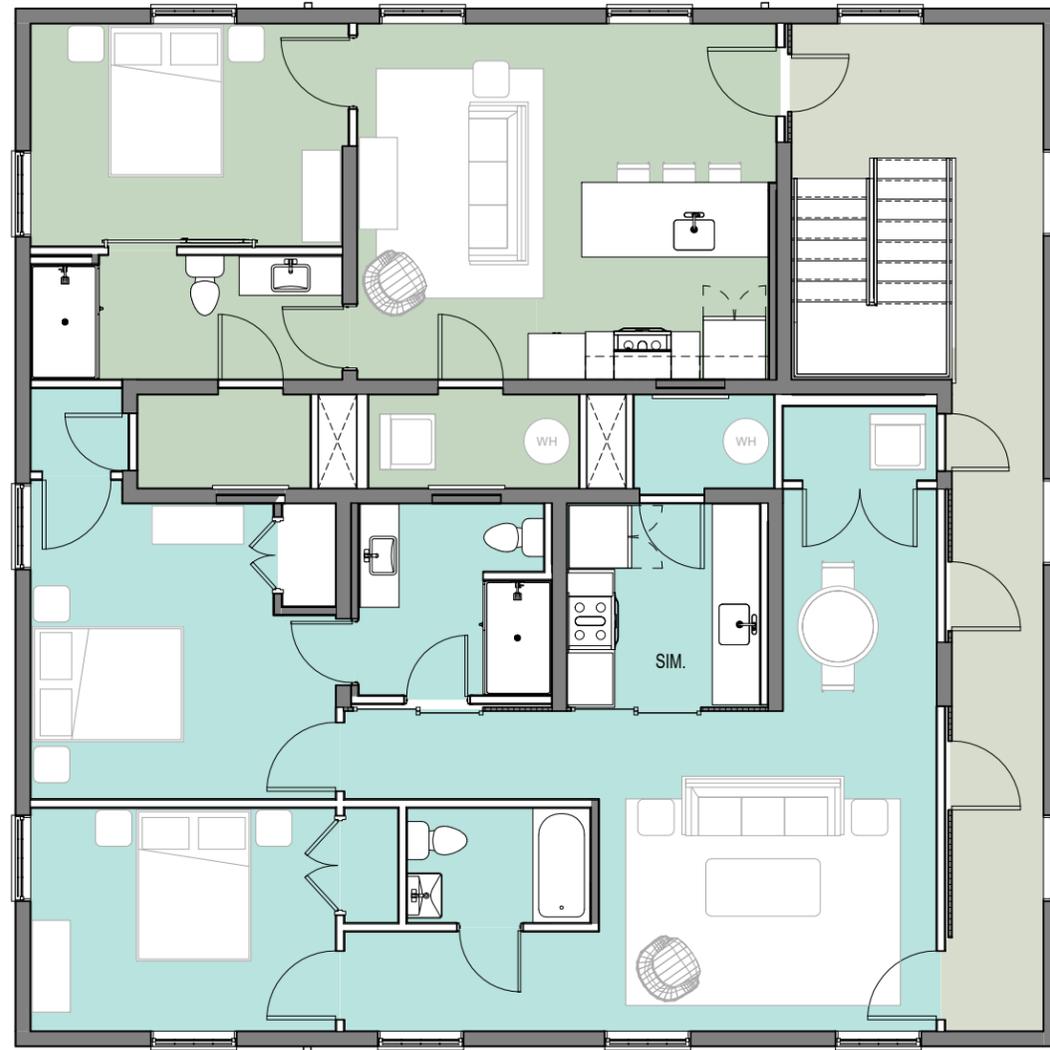
- 1 BEDROOM
- 2 BEDROOM
- COMMON SPACE

JAIL GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"

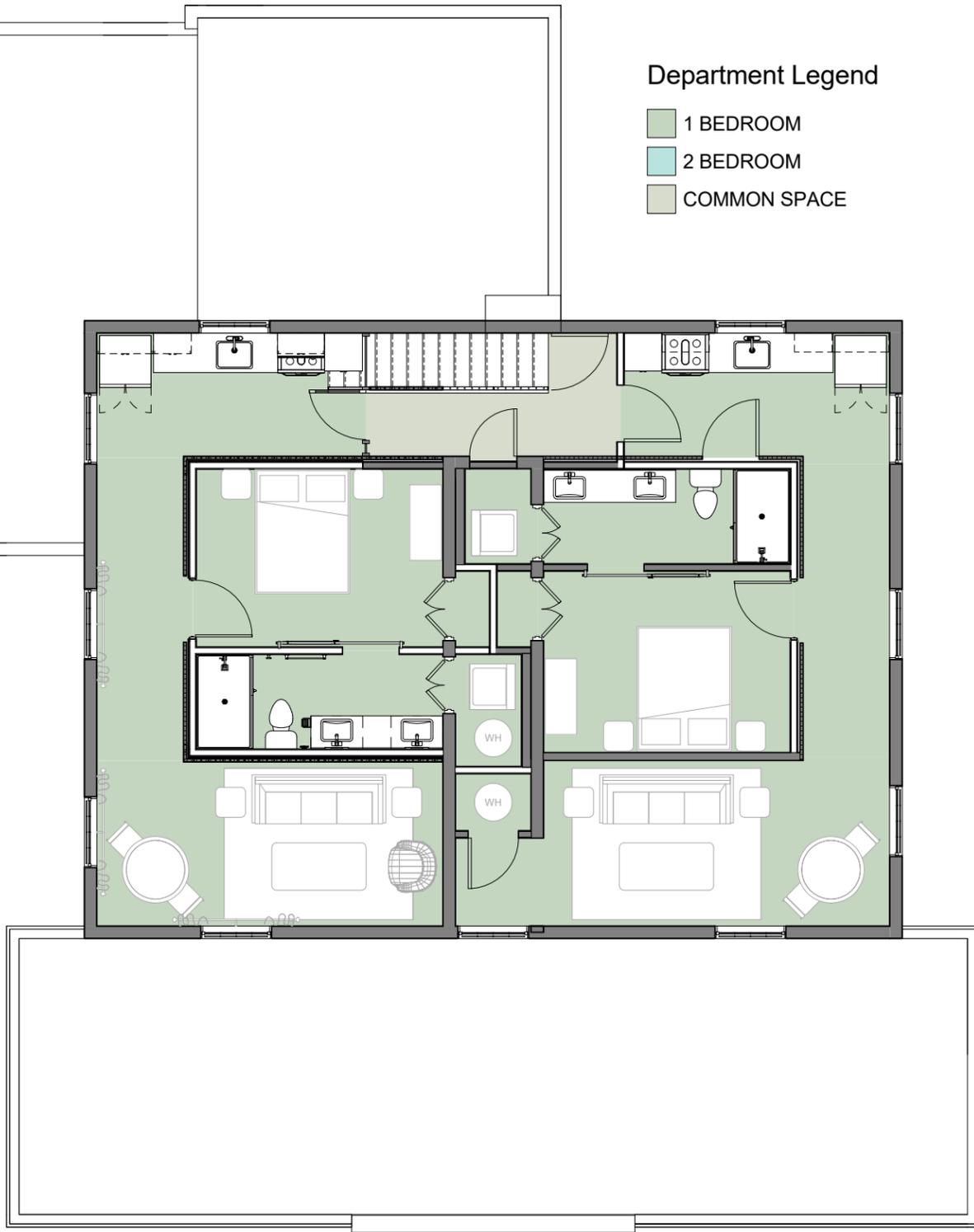
PREVIOUS SUBMITTAL - PRELIMINARY





Department Legend

- 1 BEDROOM
- 2 BEDROOM
- COMMON SPACE



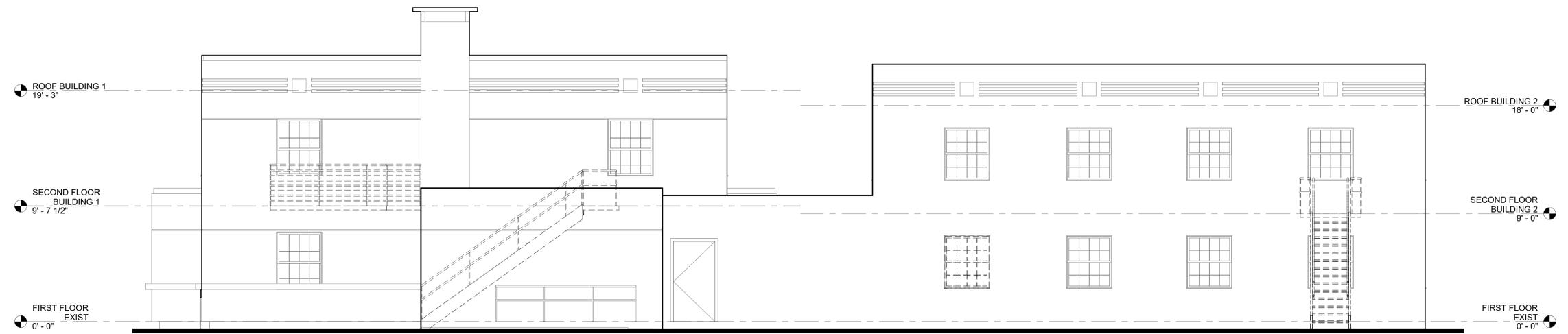
JAIL SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PREVIOUS SUBMITTAL - PRELIMINARY

Jail Elevations - Existing



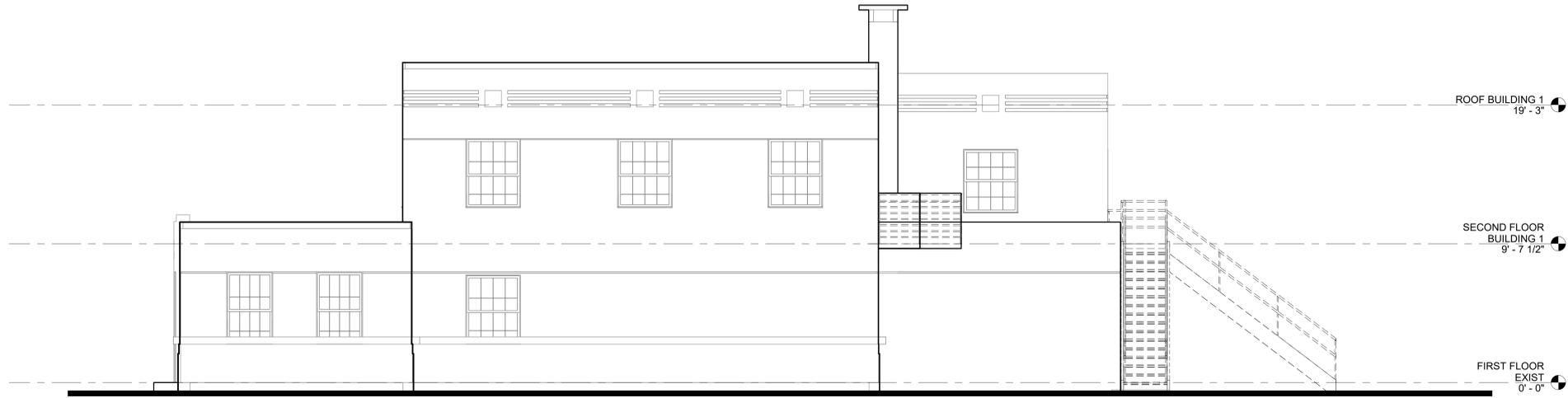
E1 EXISTING - SOUTH ELEVATION
 E201 1/4" = 1'-0"
REFERENCED: D1.1
 OR



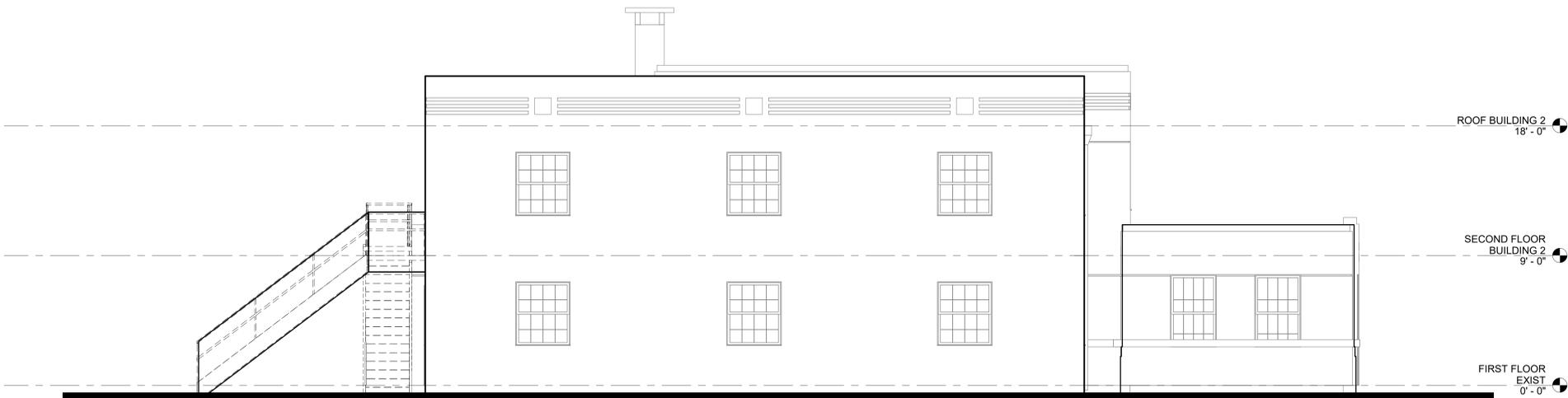
A1 EXISTING - NORTH ELEVATION
 E201 1/4" = 1'-0"
REFERENCED: D1.1
 OR

PREVIOUS SUBMITTAL - PRELIMINARY

Jail Elevations - Existing



E1 EXISTING - EAST ELEVATION
E202 1/4" = 1'-0" REFERENCED: D1.1
OK

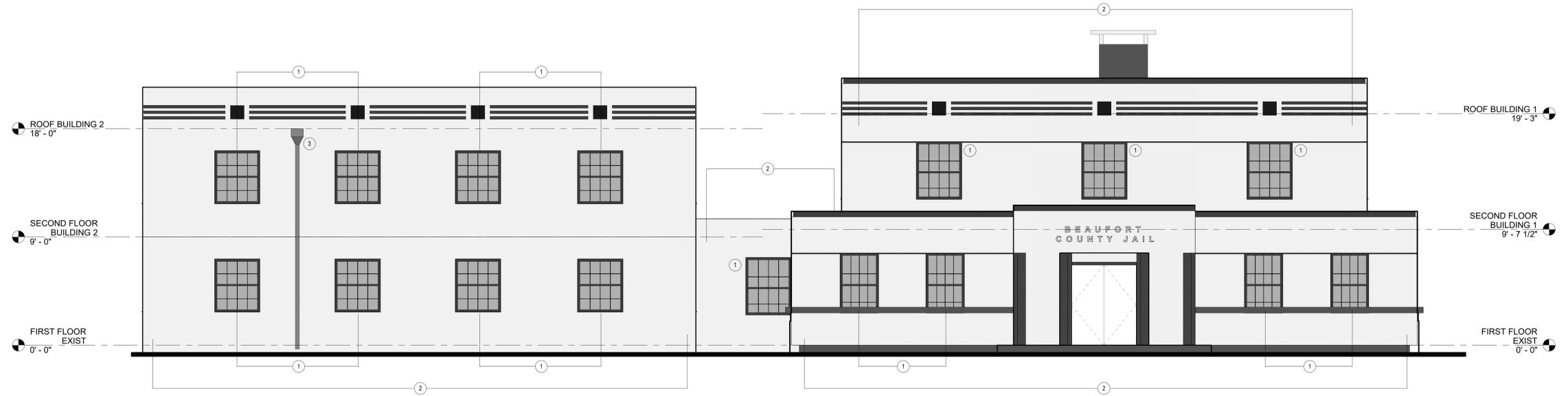


A1 EXISTING - WEST ELEVATION
E202 1/4" = 1'-0" REFERENCED: D1.1
OK

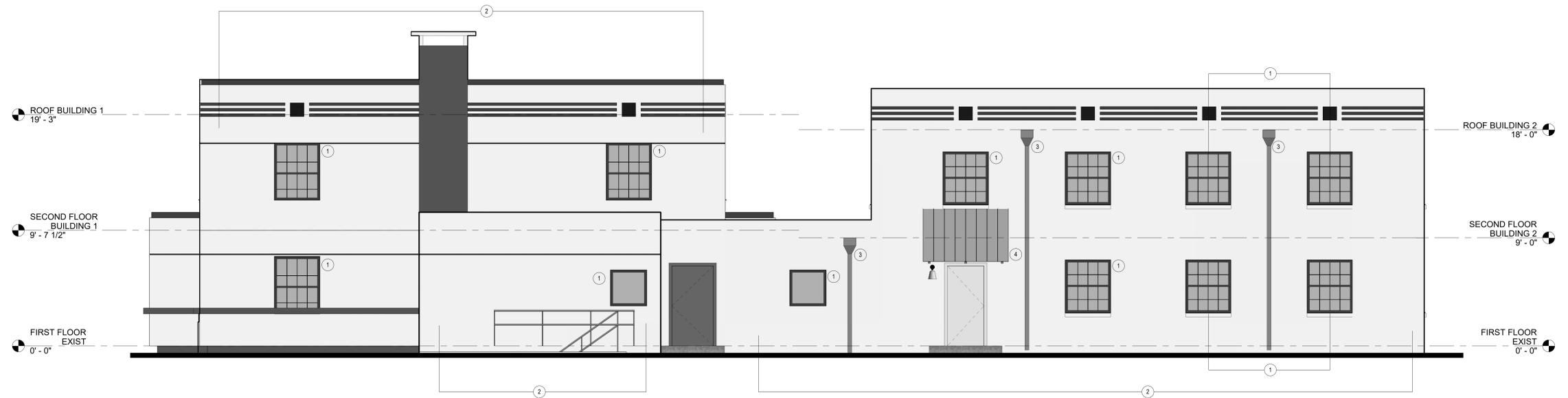
PREVIOUS SUBMITTAL - PRELIMINARY

KEYNOTES - EXTERIOR ELEVATIONS

- 1 EXISTING STEEL WINDOW AND BARS TO REMAIN, REFURBISH AND REPAINT
- 2 EXISTING EXTERIOR BRICK TO BE PRESSURE WASHED TO REMOVE DEBRIS, PAINT TO MATCH ORIGINAL
- 3 EXISTING DOWNSPOUTS TO BE REPLACED, NEW CONDUCTOR HEAD AND DOWNSPOUT TO MATCH HISTORICAL
- 4 NEW ALUMINUM CANOPY



1 JAIL - SOUTH ELEVATION
A4.1 1/4" = 1'-0" REFERENCED: E101 OR



2 JAIL - NORTH ELEVATION
A4.1 1/4" = 1'-0" REFERENCED: A1.1 OR

PREVIOUS SUBMITTAL - PRELIMINARY

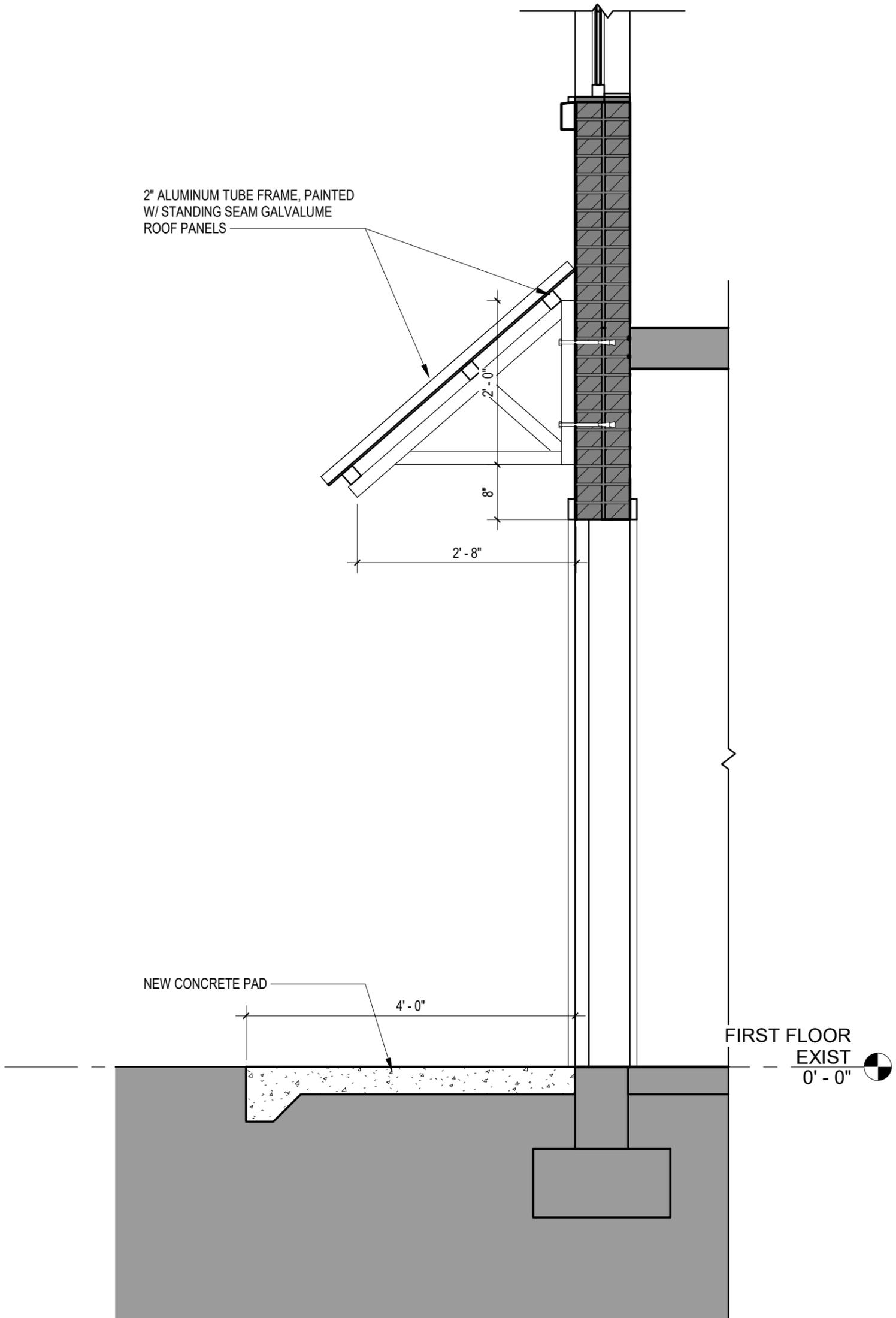
PROJECT TITLE
JUSTICE SQUARE - JAIL RENOVATION
1409 KING ST
BEAUFORT, SC 29902

| NO. | REVISIONS | NAME | DATE |
|-----|-----------|------|------|
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CHECKED BY: CHECKED
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DRAWING TITLE
BUILDING ELEVATION

PROJECT NO. B500.18
DATE 06.12.2020
DRAWING NO. A4.1



3 JAIL - CANOPY DETAIL
 A6.1 3/4" = 1'-0" REFERENCED A1.1
 ON:

PREVIOUS SUBMITTAL - PRELIMINARY

Proposed Jail Conductor Heads

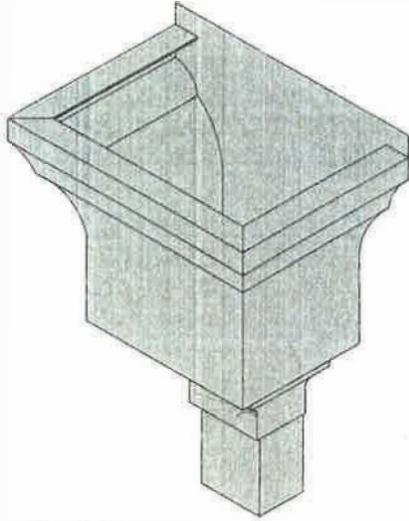


FIG 1-25A

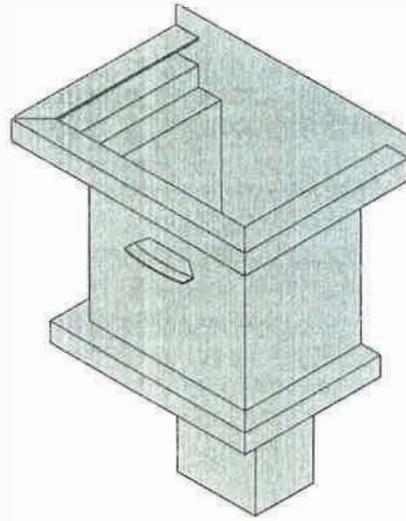


FIG 1-25B

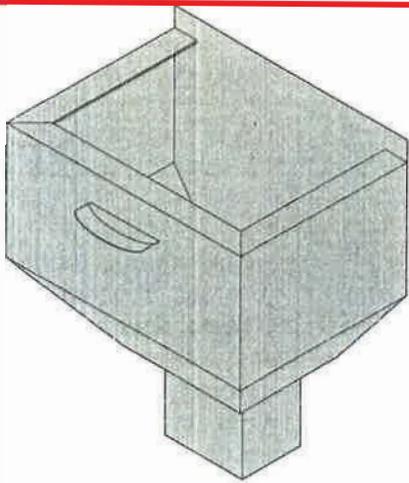


FIG 1-25C

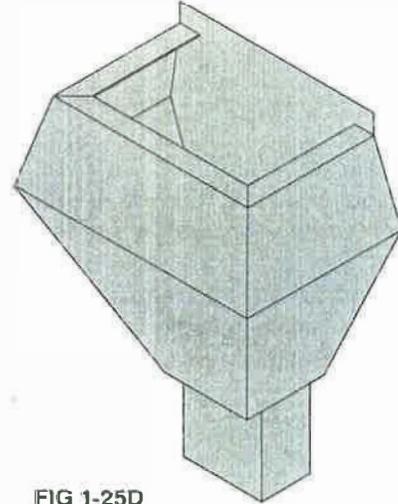


FIG 1-25D

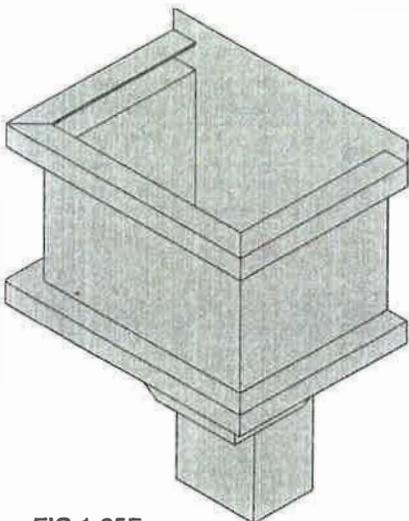


FIG 1-25E

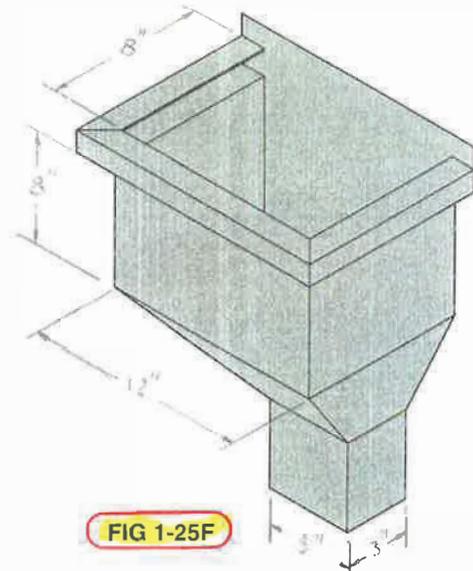


FIG 1-25F

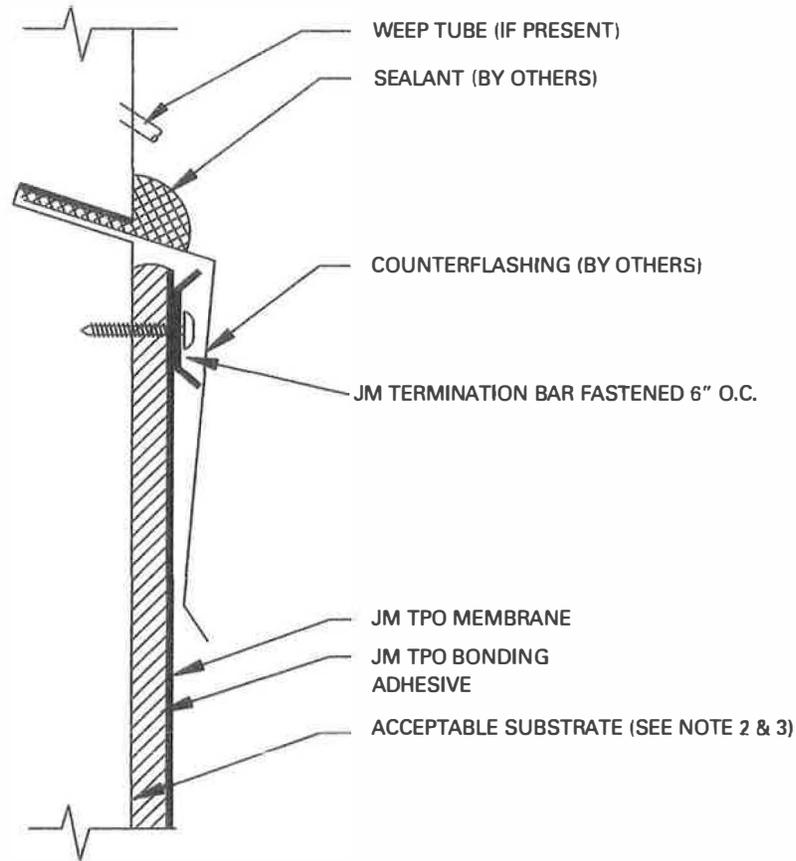
CONDUCTOR HEADS-TYPICAL

FIGURE 1-25

PREVIOUS SUBMITTAL - PRELIMINARY



Proposed Jail TPO Roof Flashing Detail



NOTES:

1. DETAILS TO BE USED IN CONJUNCTION WITH GUIDE SPECIFICATIONS CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, ETC.
2. IN NEW CONSTRUCTION ACCEPTABLE SUBSTRATES INCLUDE EXTERIOR GRADE PLYWOOD, POURED OR PRECAST CONCRETE, CEMENT BLOCK OR MASONRY WALLS. CONTACT JM TECHNICAL SERVICES FOR OTHER SUBSTRATES.
3. ON REROOFING PROJECTS AN APPROVED ASPHALT BARRIER MUST BE INSTALLED OVER THE EXISTING FLASHINGS TO FULLY DIVORCE THE JM TPO FLASHING MEMBRANE FROM ANY INCOMPATIBLE MATERIALS.
4. DO NOT APPLY JM TPO POLYURETHANE CAULK OVER ASPHALT OR OTHER MATERIALS THAT WILL PREVENT PROPER ADHESION.
5. WHEN REROOFING, COUNTER FLASHING CAN BE REBENT AND FASTENED THROUGH FACE WITH ACCEPTABLE FASTENER.

| | | | | |
|-----------------------------|---------------------------------------|--------------------|-----------------|--|
| DRAWING NO. TC-43 | TPO COUNTERFLASHING (MEMBRANE) | | |  Johns Marville |
| | SCALE N.T.S. | ISSUE DATE 3-06 | CAD TPO-5.04 | |

PREVIOUS SUBMITTAL - PRELIMINARY

SECTION 099113 - EXTERIOR PAINTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes surface preparation and the application of paint systems on the following exterior substrates:
 - 1. Galvanized metal.
 - 2. Exterior brick.
- B. Related Sections include the following:
 - 1. Division 05 Sections for shop priming of metal substrates with primers specified in this Section.
 - 2. Division 08 Sections for factory priming doors with primers specified in this Section.
 - 3. Division 09 Section "Interior Painting" for surface preparation and the application of paint systems on interior substrates.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples for Initial Selection: For each type of topcoat product indicated.
- C. Samples for Verification: For each type of paint system and each color and gloss of topcoat indicated.
 - 1. Submit Samples on rigid backing, 8 inches (200 mm) square.
 - 2. Step coats on Samples to show each coat required for system.
 - 3. Label each coat of each Sample.
 - 4. Label each Sample for location and application area.
- D. Product List: For each product indicated, include the following:
 - 1. Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules.
 - 2. Printout of current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.

PREVIOUS SUBMITTAL - PRELIMINARY

1.4 QUALITY ASSURANCE

A. MPI Standards:

1. Products: Complying with MPI standards indicated and listed in "MPI Approved Products List."
2. Preparation and Workmanship: Comply with requirements in "MPI Architectural Painting Specification Manual" for products and paint systems indicated.

B. Mockups: Apply benchmark samples of each paint system indicated and each color and finish selected to verify preliminary selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.

1. Architect will select one surface to represent surfaces and conditions for application of each paint system specified in Part 3.
 - a. Vertical and Horizontal Surfaces: Provide samples of at least 100 sq. ft. (9 sq. m).
 - b. Other Items: Architect will designate items or areas required.
2. Final approval of color selections will be based on benchmark samples.
 - a. If preliminary color selections are not approved, apply additional benchmark samples of additional colors selected by Architect at no added cost to Owner.

1.5 DELIVERY, STORAGE, AND HANDLING

A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F (7 deg C).

1. Maintain containers in clean condition, free of foreign materials and residue.
2. Remove rags and waste from storage areas daily.

1.6 PROJECT CONDITIONS

A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F (10 and 35 deg C).

B. Do not apply paints in snow, rain, fog, or mist; when relative humidity exceeds 85 percent; at temperatures less than 5 deg F (3 deg C) above the dew point; or to damp or wet surfaces.

1.7 EXTRA MATERIALS

A. Furnish extra materials described below that are from same production run (batch mix) as materials applied and that are packaged for storage and identified with labels describing contents.

1. Quantity: Furnish an additional 5 percent, but not less than 1 gal. of each material and color applied.

PREVIOUS SUBMITTAL - PRELIMINARY

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
1. Benjamin Moore & Co.
 2. Coronado Paint.
 3. Duron, Inc.
 4. ICI Paints.
 5. Kelly-Moore Paints.
 6. M.A.B. Paints.
 7. PPG Architectural Finishes, Inc.
 8. Sherwin-Williams Company (The).

2.2 PAINT, GENERAL

- A. Material Compatibility:
1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
 2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- B. Colors: As indicated in a color schedule.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of work.
- B. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
- C. Begin coating application only after unsatisfactory conditions have been corrected and surfaces are dry.
1. Beginning coating application constitutes Contractor's acceptance of substrates and conditions.

3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual" applicable to substrates and paint systems indicated.

PREVIOUS SUBMITTAL - PRELIMINARY

- B. Remove plates, machined surfaces, and similar items already in place that are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
 - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
 - 2. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
- C. Clean substrates of substances that could impair bond of paints, including dirt, oil, grease, and incompatible paints and encapsulants.
 - 1. Remove incompatible primers and reprime substrate with compatible primers as required to produce paint systems indicated.
- D. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal fabricated from coil stock by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.

3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions.
 - 1. Use applicators and techniques suited for paint and substrate indicated.
 - 2. Paint surfaces behind movable items same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed items with prime coat only.
- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.

3.4 FIELD QUALITY CONTROL

- A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure at any time and as often as Owner deems necessary during the period when paints are being applied:
 - 1. Owner will engage the services of a qualified testing agency to sample paint materials being used. Samples of material delivered to Project site will be taken, identified, sealed, and certified in presence of Contractor.
 - 2. Testing agency will perform tests for compliance of paint materials with product requirements.
 - 3. Owner may direct Contractor to stop applying paints if test results show materials being used do not comply with product requirements. Contractor shall remove noncomplying-paint materials from Project site.

PREVIOUS SUBMITTAL - PRELIMINARY

will be required to remove rejected materials from previously painted surfaces if, on repainting with complying materials, the two paints are incompatible.

3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

3.6 EXTERIOR PAINTING SCHEDULE

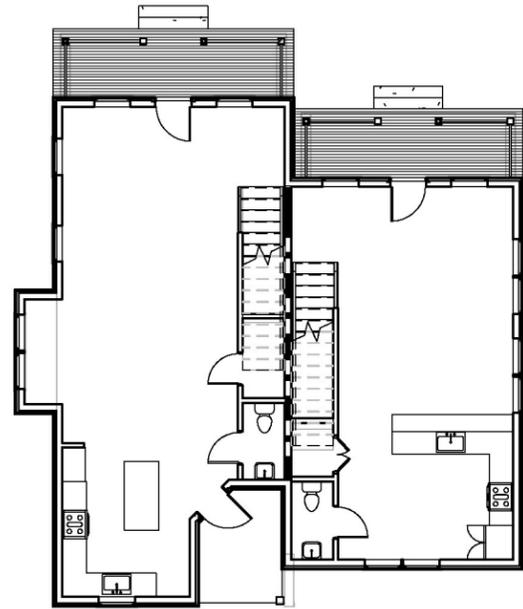
- A. Galvanized-Metal Substrates:
 - 1. Latex System: MPI EXT 5.3A.
 - 2. Alkyd System: MPI EXT 5.3B.
 - a. Prime Coat: Cementitious galvanized-metal primer.
 - b. Intermediate Coat: Exterior alkyd enamel matching topcoat.
 - c. Topcoat: Exterior alkyd enamel (gloss).
- B. Exterior Brick:
 - a. Prime Coat: Sherwin Williams – Loxon Acrylic Conditioner.
 - b. Topcoat: Sherwin Williams – Loxon Self-Cleaning Acrylic.

END OF SECTION 099113

PREVIOUS SUBMITTAL - PRELIMINARY

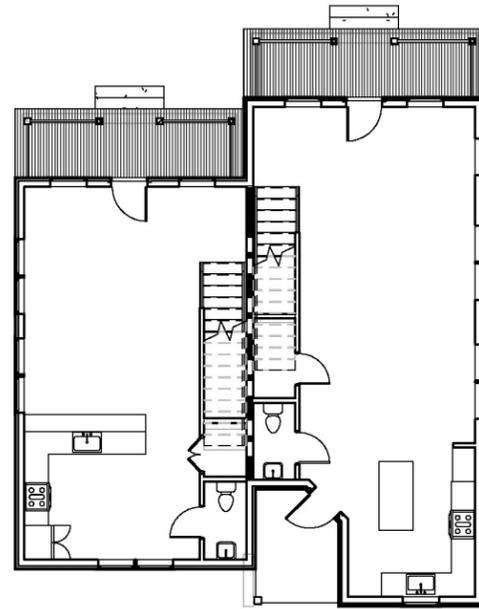
A1
3bd - 1,700 SF

A2
2bd - 1,360 SF



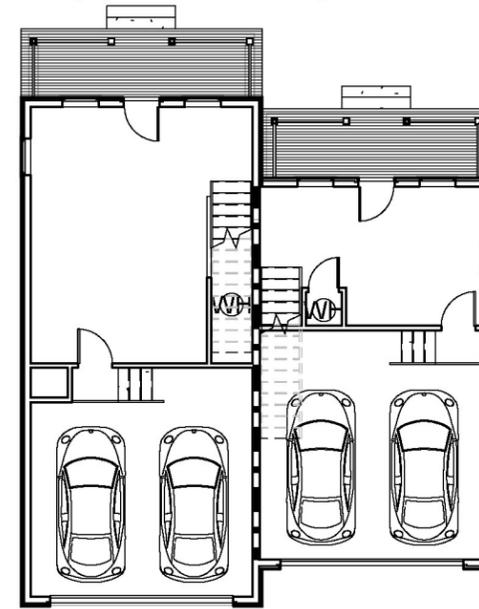
A1
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A2
2bd - 1,360 SF



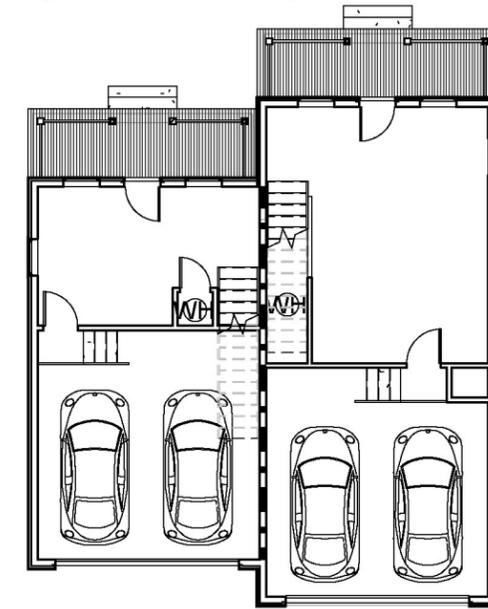
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Bonus - 475 SF
Garage - 425 SF

B2
2bd - 1,360 SF
Bonus - 265 SF
Garage - 425 SF



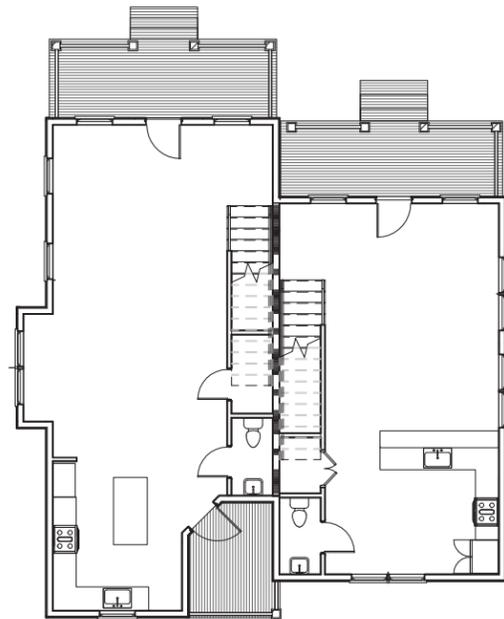
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Bonus - 475 SF
Garage - 425 SF

B2
2bd - 1,360 SF
Bonus - 265 SF
Garage - 425 SF

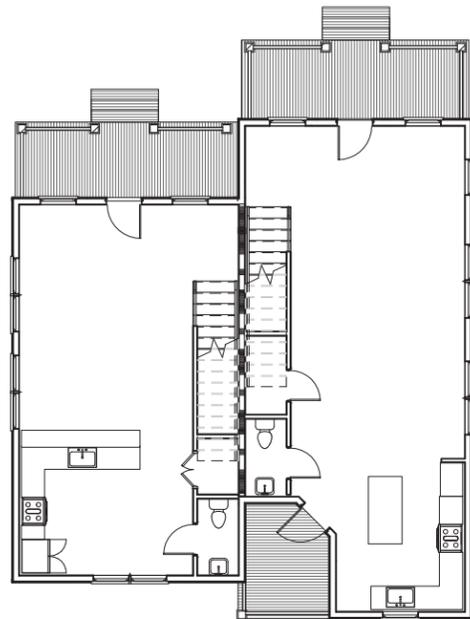


GROUND FLOOR PLAN
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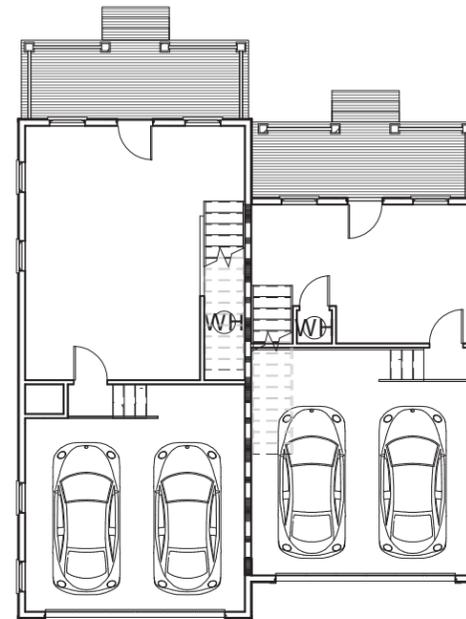
A1 A2
3bd - 1,700 SF 2bd - 1,360 SF



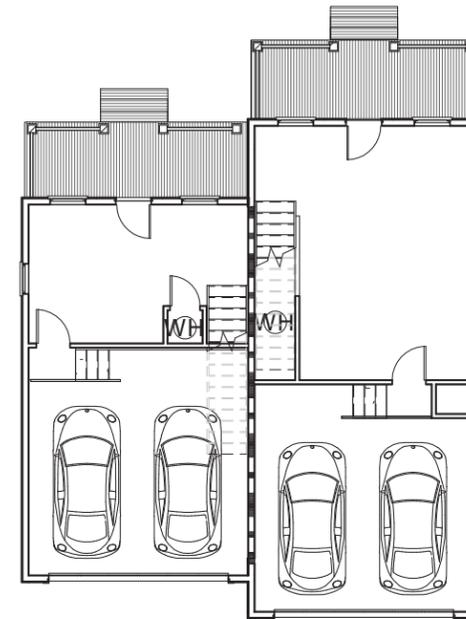
A2 A1
2bd - 1,360 SF 3bd - 1,700 SF



B1 B2
3bd - 1,700 SF 2bd - 1,360 SF
Bonus - 475 SF Bonus - 265 SF
Garage - 425 SF Garage - 425 SF



B2 B1
2bd - 1,360 SF 3bd - 1,700 SF
Bonus - 265 SF Bonus - 475 SF
Garage - 425 SF Garage - 425 SF

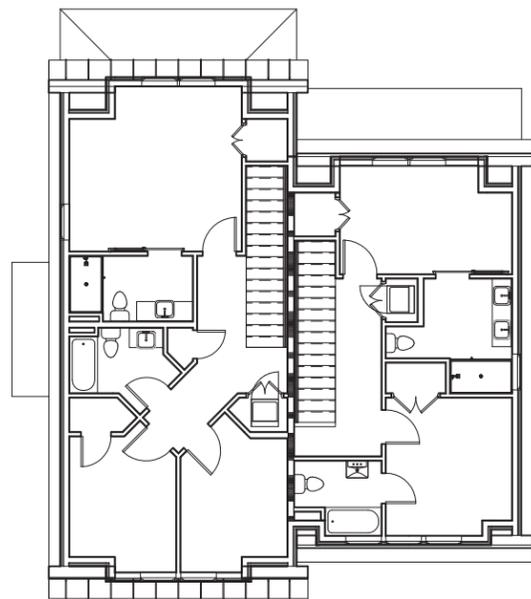


GROUND FLOOR PLAN

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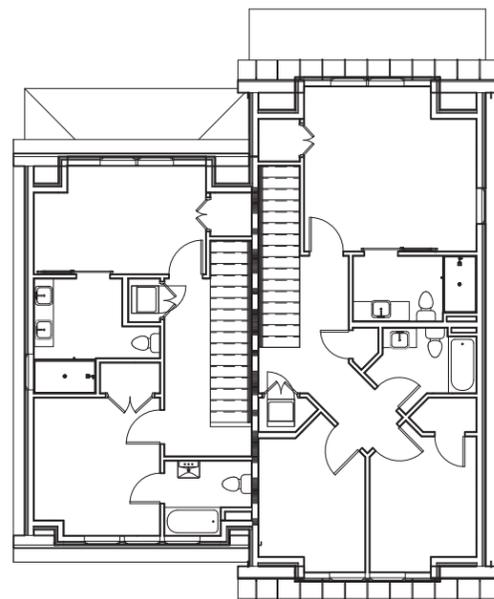
A1
3bd - 1,700 SF

A2
2bd - 1,360 SF



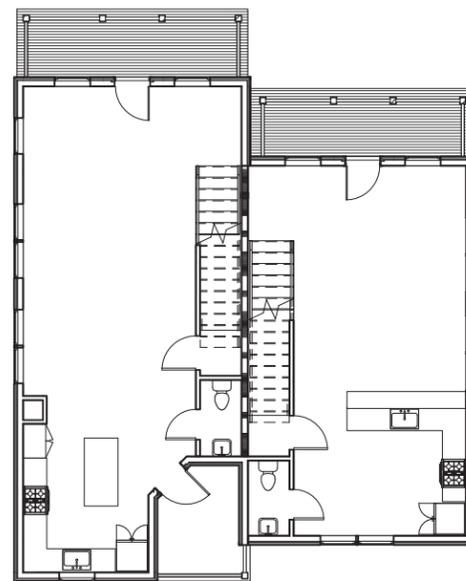
A1
3bd - 1,700 SF

A2
2bd - 1,360 SF



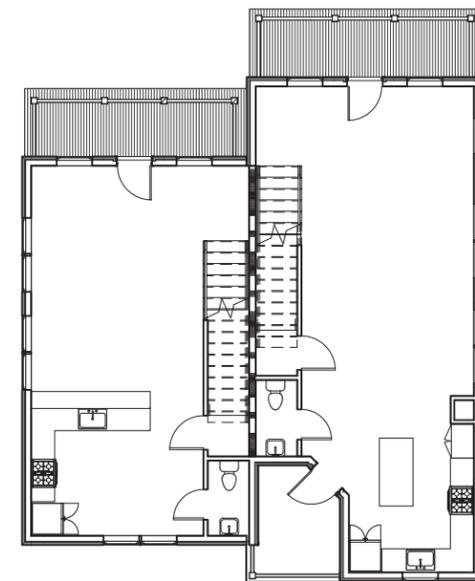
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Bonus - 475 SF
Garage - 425 SF

B2
2bd - 1,360 SF
Bonus - 265 SF
Garage - 425 SF



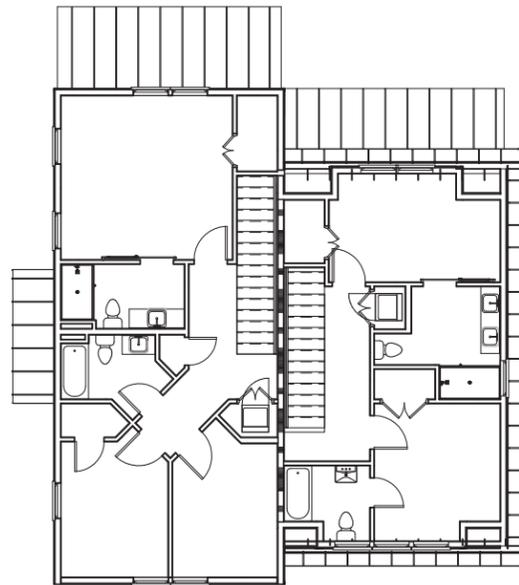
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Garage - 425 SF

B2
2bd - 1,360 SF
Bonus - 265 SF
Garage - 425 SF

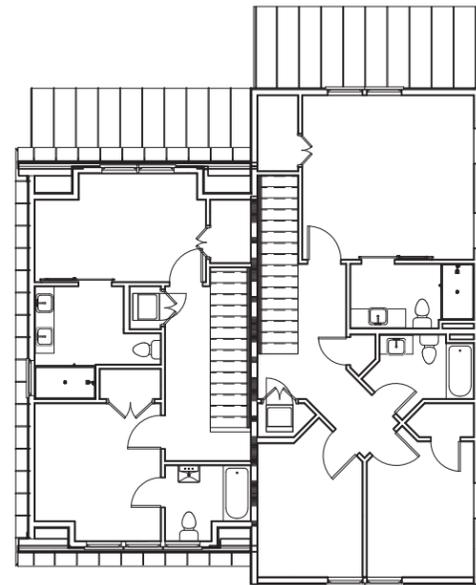


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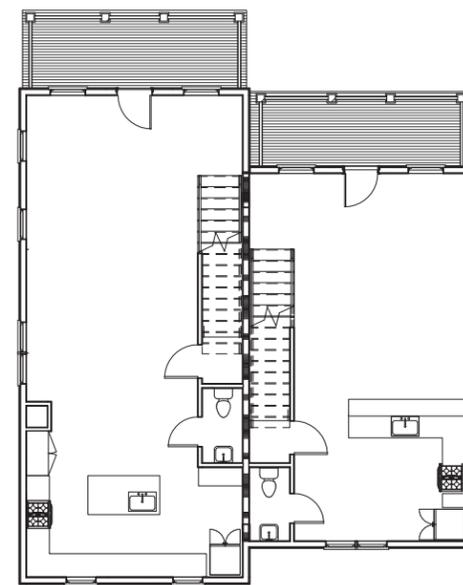
A1 3bd - 1,700 SF A2 2bd - 1,360 SF



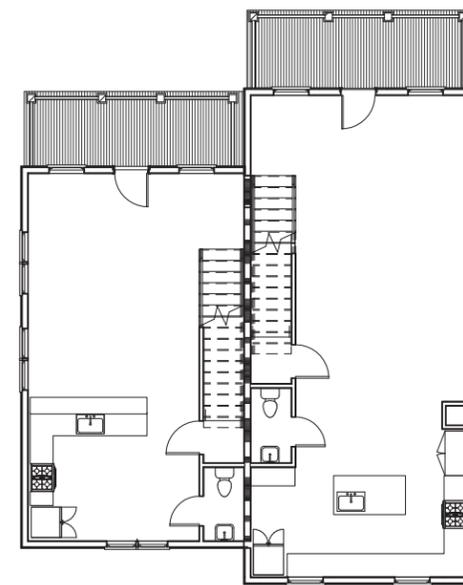
A2 2bd - 1,360 SF A1 3bd - 1,700 SF



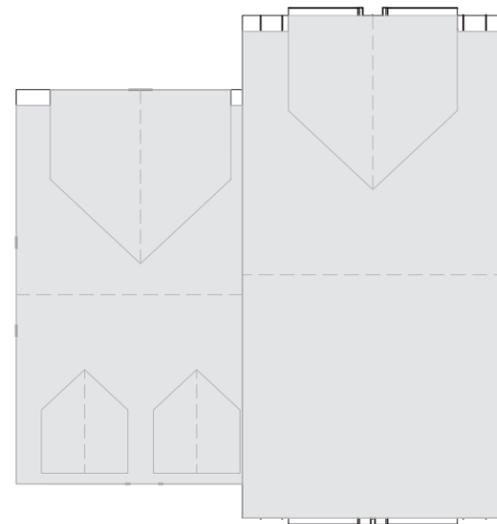
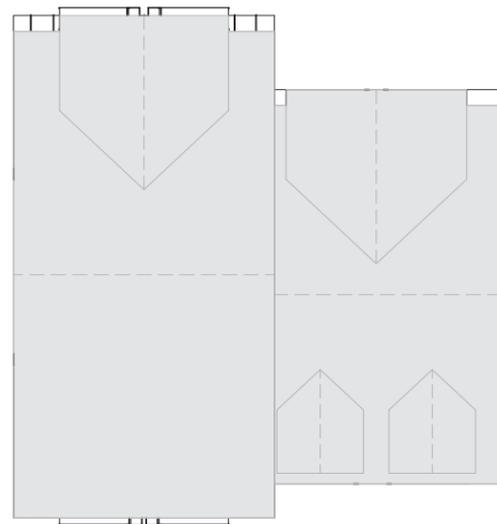
B1 3bd - 1,700 SF B2 2bd - 1,360 SF
Bonus - 475 SF Bonus - 265 SF
Garage - 425 SF Garage - 425 SF



B2 2bd - 1,360 SF B1 3bd - 1,700 SF
Bonus - 265 SF Bonus - 475 SF
Garage - 425 SF Garage - 425 SF

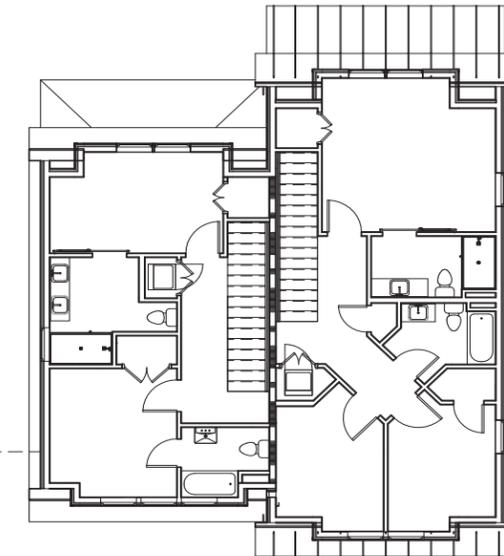
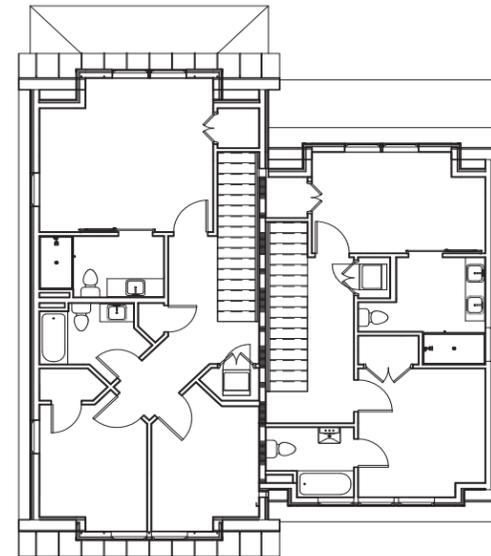


SECOND FLOOR PLAN
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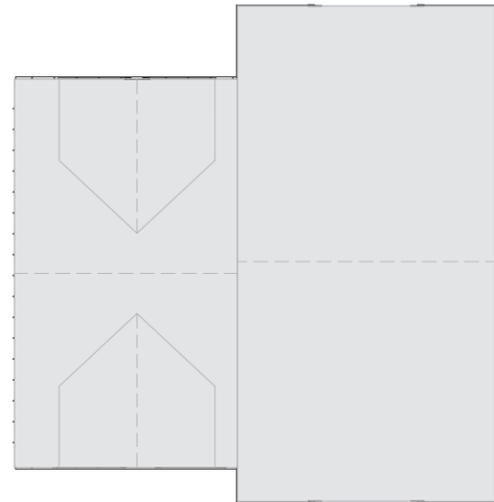
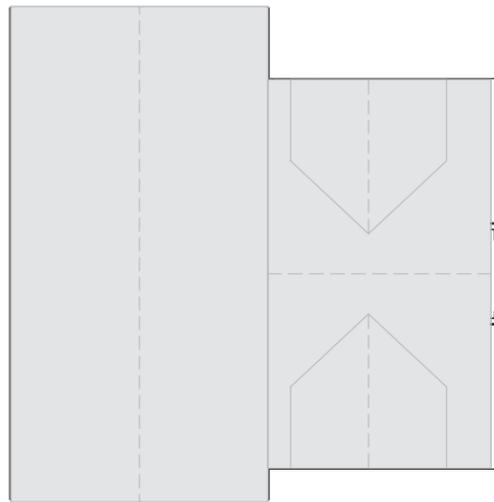


B1 **B2**
3bd - 1,700 SF 2bd - 1,360 SF
Bonus - 475 SF Bonus - 265 SF
Garage - 425 SF Garage - 425 SF

B1 **B2**
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Bonus - 475 SF Bonus - 265 SF
Garage - 425 SF Garage - 425 SF

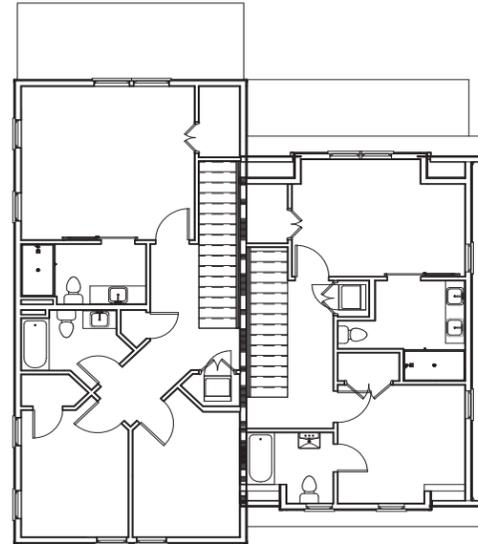


THIRD FLOOR PLAN
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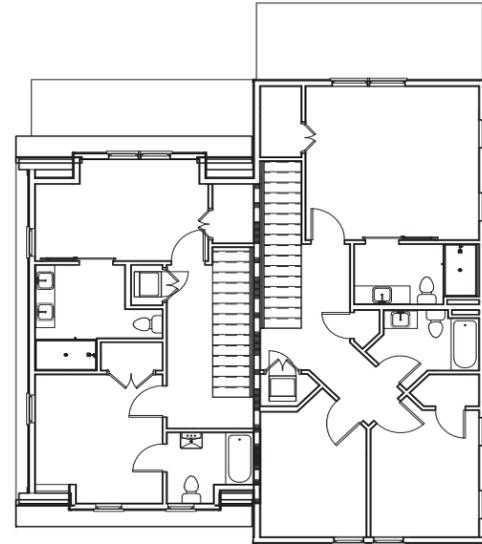
B1
3bd - 1,700 SF
Bonus - 475 SF
Garage - 425 SF

B2
2bd - 1,360 SF
Bonus - 265 SF
Garage - 425 SF

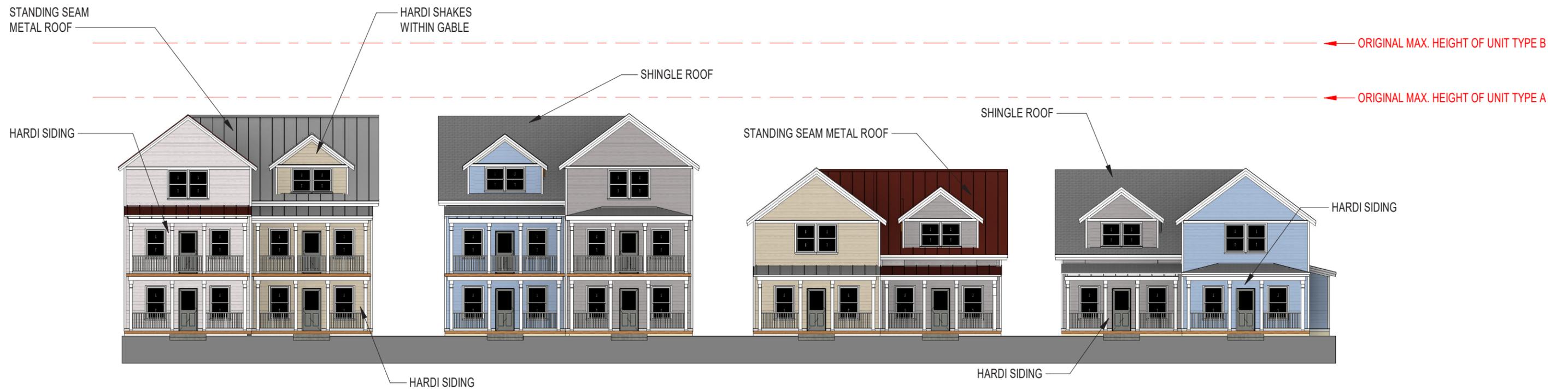


B2
2bd - 1,360 SF
Bonus - 265 SF
Garage - 425 SF

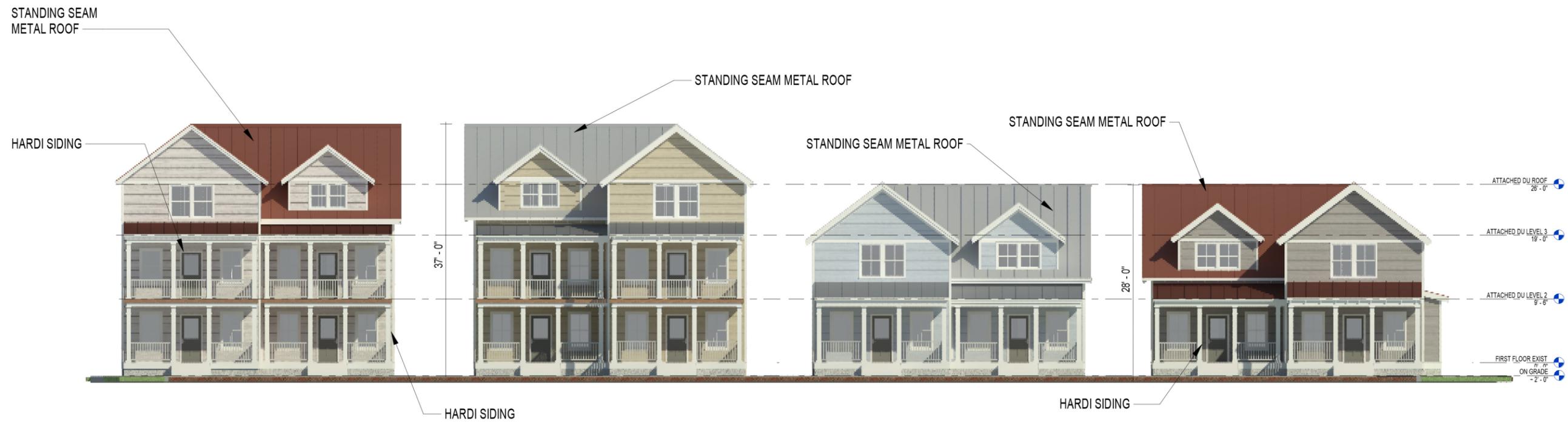
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Bonus - 475 SF
Garage - 425 SF



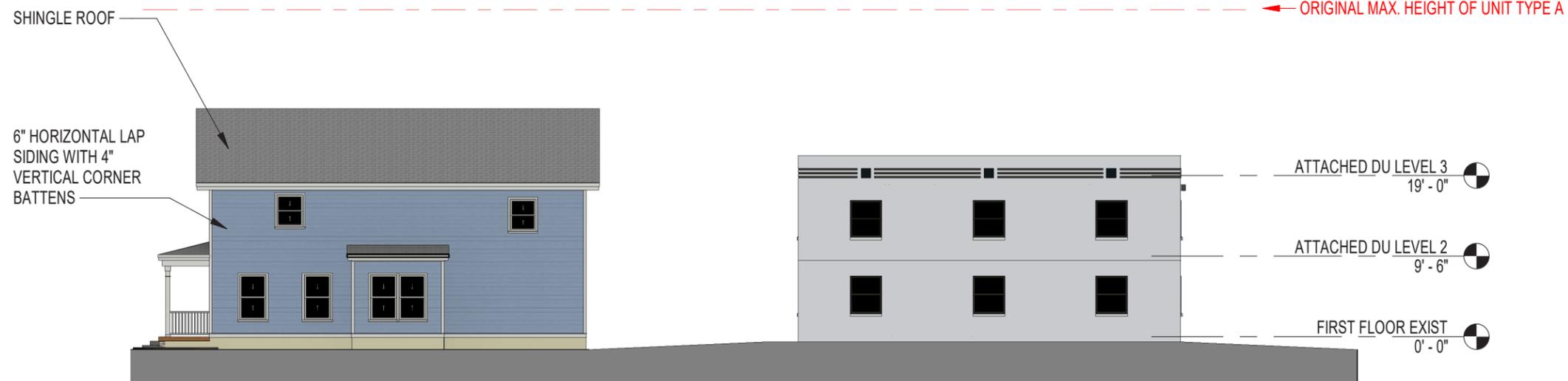
THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"



FRONT ELEVATION (PRINCE STREET)



FRONT ELEVATION (PRINCE STREET)



WEST ELEVATION (MONSON STREET)



EAST ELEVATION (SIDE LOT)



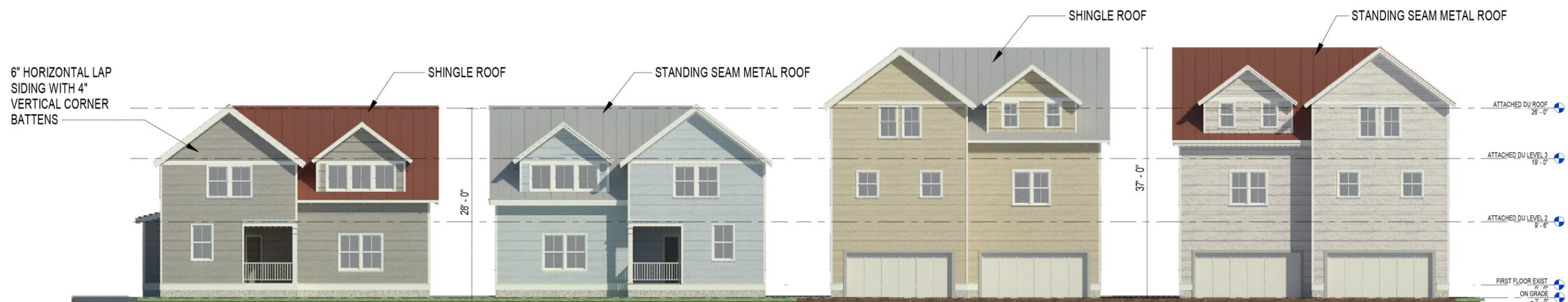
WEST ELEVATION (MONSON STREET)



EAST ELEVATION (SIDE LOT)



REAR ELEVATION (ALLEY)



REAR ELEVATION (ALLEY)



CURRENT SUBMITTAL - FINAL



ATTACHED DWELLING UNIT TYPE B



ATTACHED DWELLING UNIT TYPE A

1 ATTACHED DWELLING UNITS - PRINCE STREET ELEVATION
 A4.1 1/4" = 1'-0" REFERENCED OR



ATTACHED DWELLING UNIT TYPE A



ATTACHED DWELLING UNIT TYPE B

| | |
|--|--|
| | |
| | |

PROJECT TITLE
JUSTICE SQUARE - ATTACHED DWELLING UNITS
 1409 KING ST
 BEAUFORT, SC 29902

| NO. | REVISIONS | NAME | DATE |
|-----|-----------|------|------|
| | | | |
| | | | |

DRAWN BY: AUTHZ:
 CHECKED BY: CHECKED:
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DRAWING TITLE
BUILDING ELEVATIONS

PROJECT NO. 8500.18
 DATE 12.21.2020
 DRAWING NO. **A4.1**



1 ATTACHED DWELLING UNIT TYPE A - LONG SIDE ELEVATION
 A4.2 1/4" = 1'-0" REFERENCED 1,2 OK



2 ATTACHED DWELLING UNIT TYPE A - SHORT SIDE ELEVATION
 A4.2 1/4" = 1'-0" REFERENCED A1.1 OK



3 ATTACHED DWELLING UNIT TYPE B - LONG SIDE ELEVATION
 A4.2 1/4" = 1'-0" REFERENCED A1.1 OK



4 ATTACHED DWELLING UNIT TYPE B - SHORT SIDE ELEVATION
 A4.2 1/4" = 1'-0" REFERENCED A1.1 OK

12/21/2020 10:20:55 AM

AE SEAL
 AE SEAL

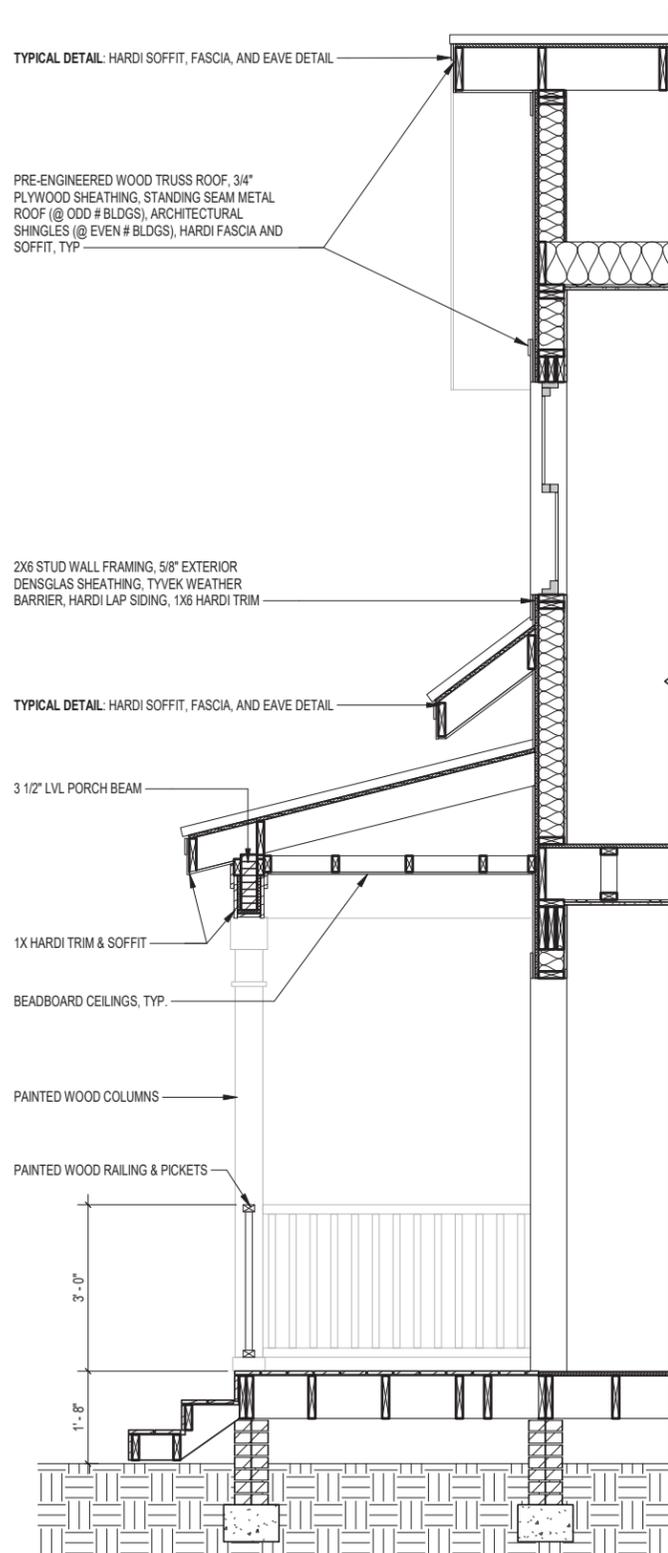
PROJECT TITLE
JUSTICE SQUARE - ATTACHED DWELLING UNITS
 1409 KING ST
 BEAUFORT, SC 29902

| NO. | REVISIONS | NAME | DATE |
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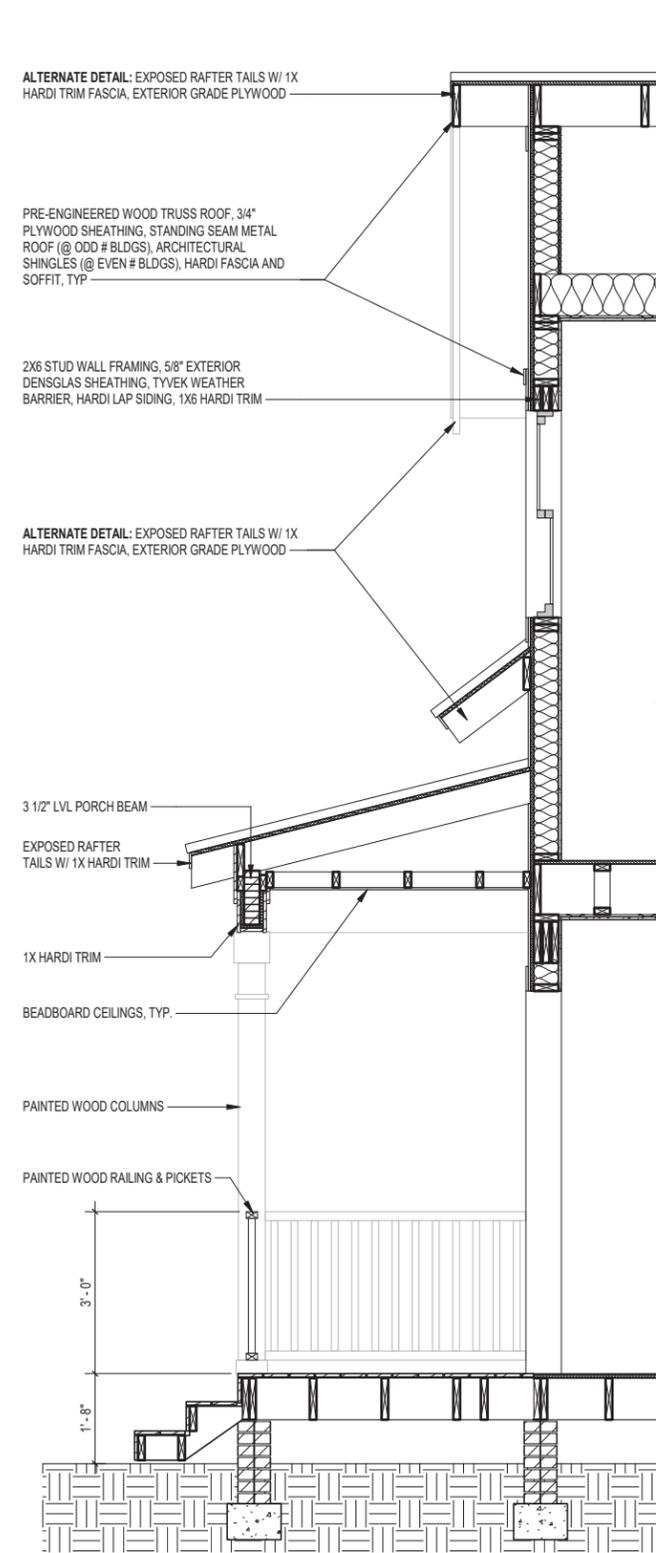
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 CHECKED BY: CHECKZ
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DRAWING TITLE
BUILDING ELEVATIONS

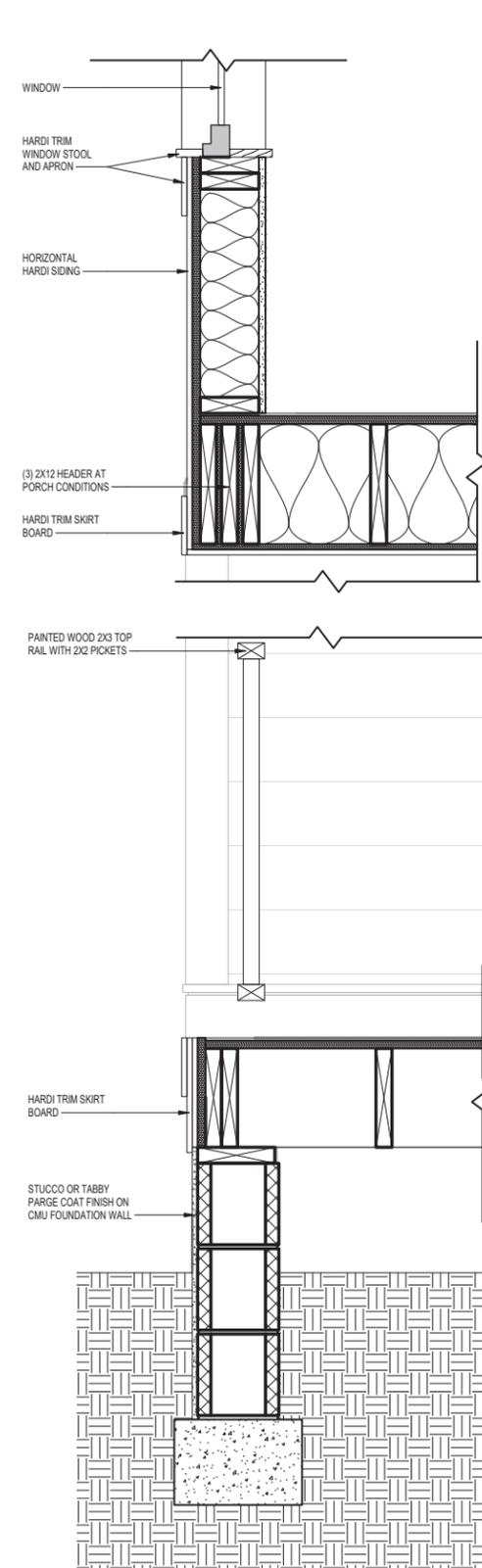
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 DATE 12.21.2020
 DRAWING NO. **A4.2**



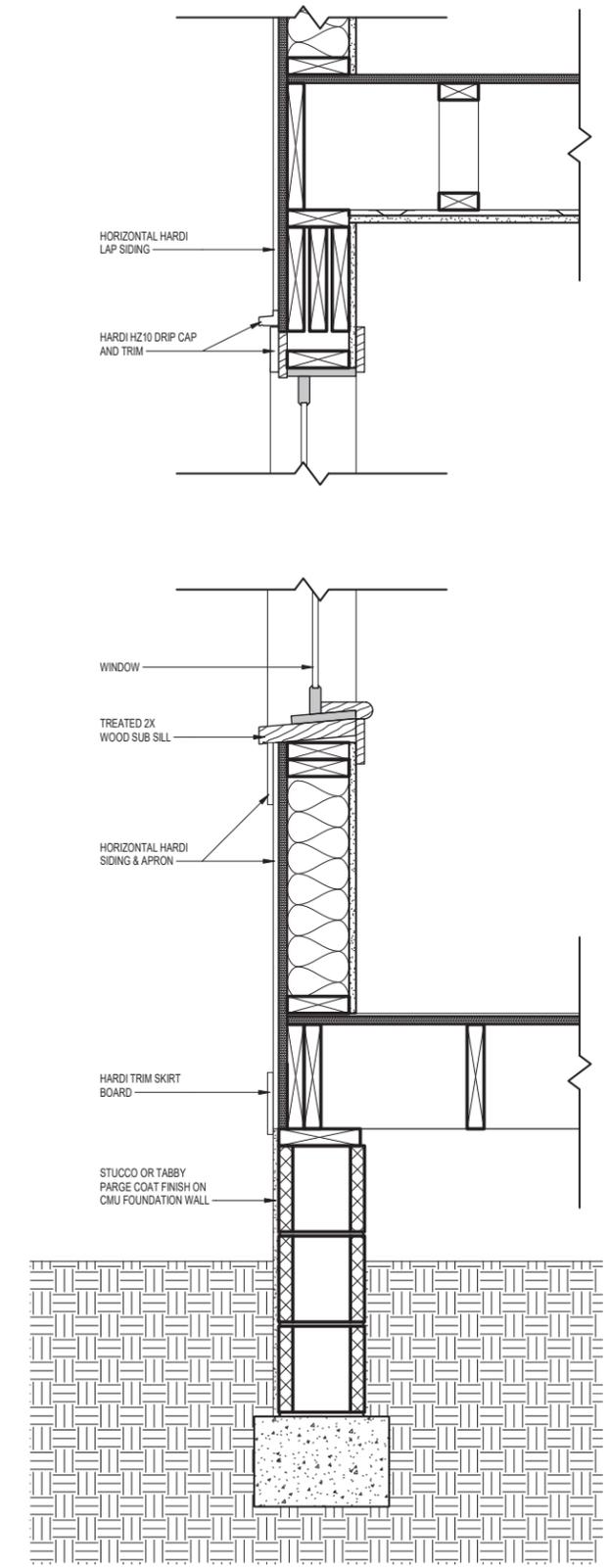
WALL SECTION @ PORCH



ALT WALL SECTION @ PORCH

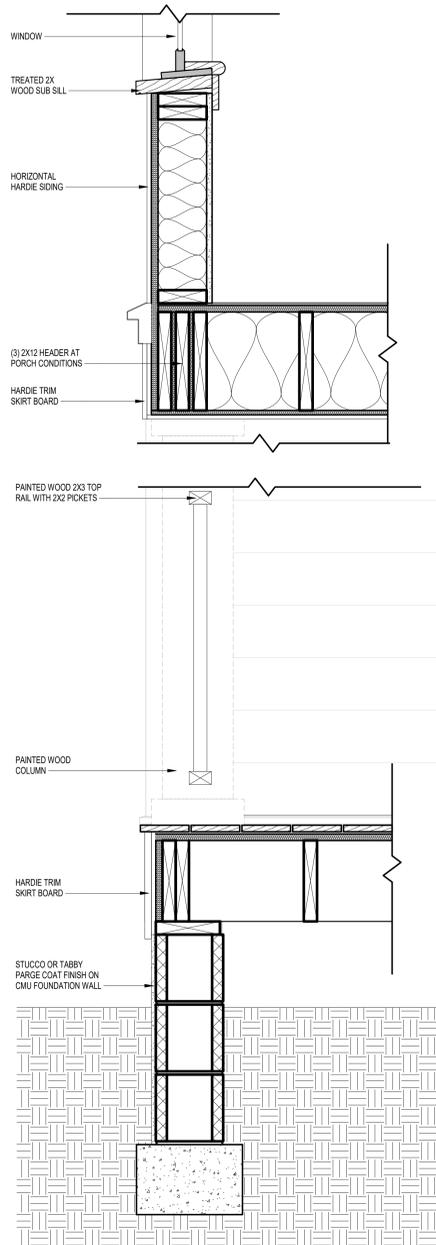


REAR PORCH DETAIL

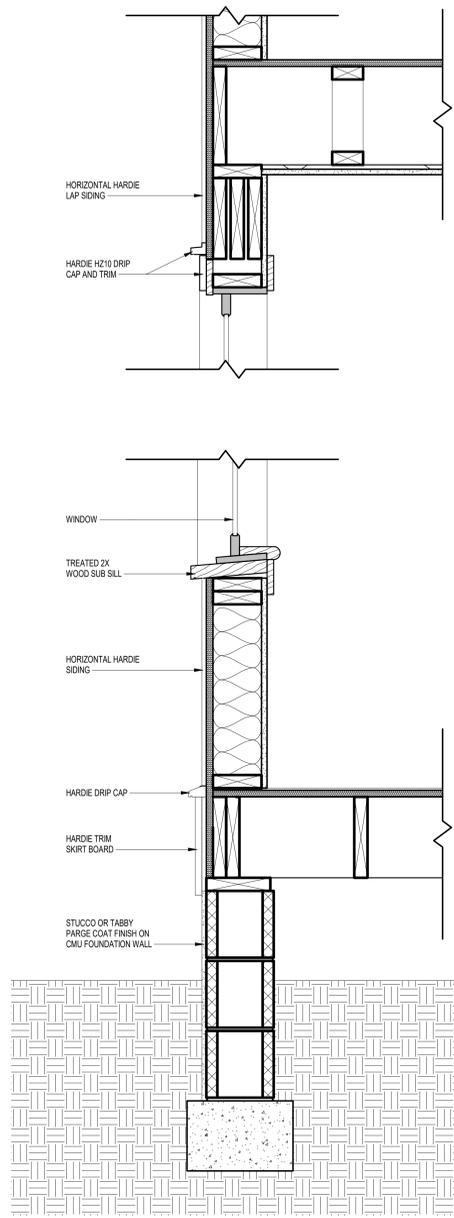


FOUNDATION & WINDOW DETAIL

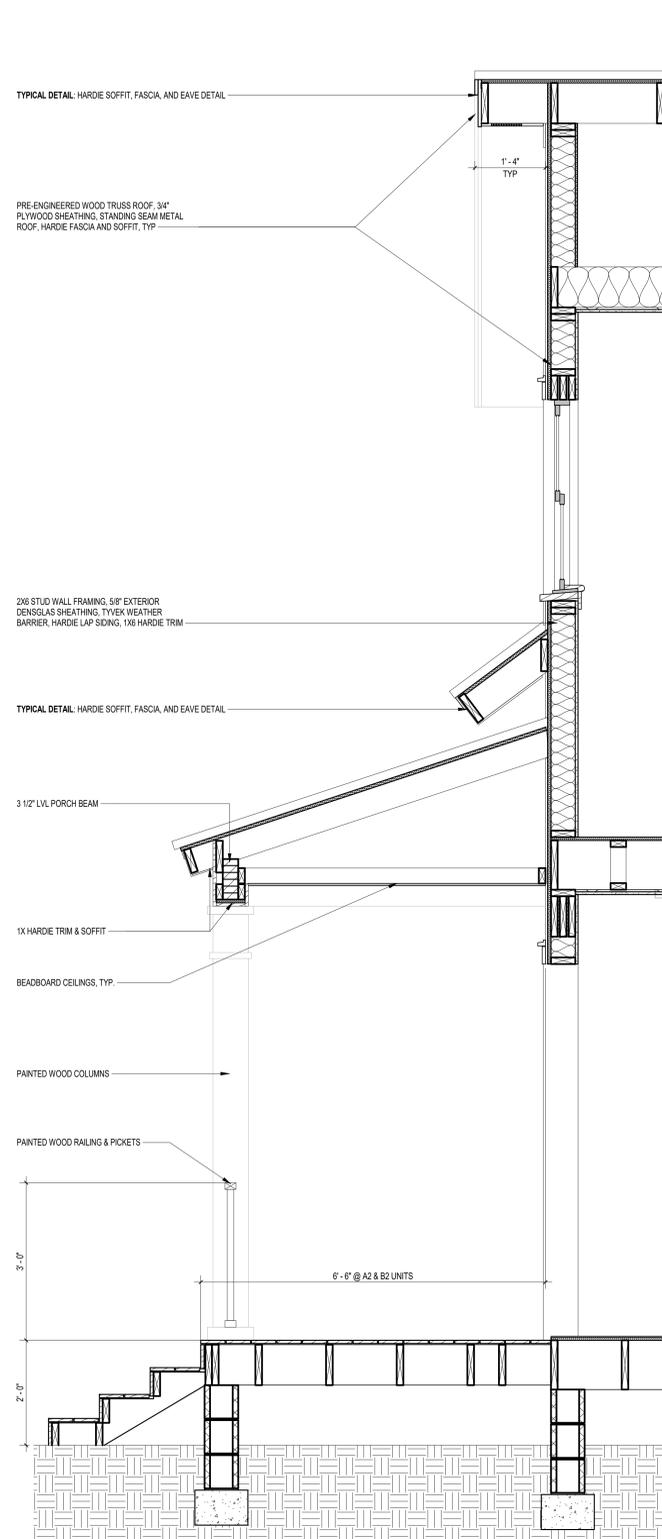
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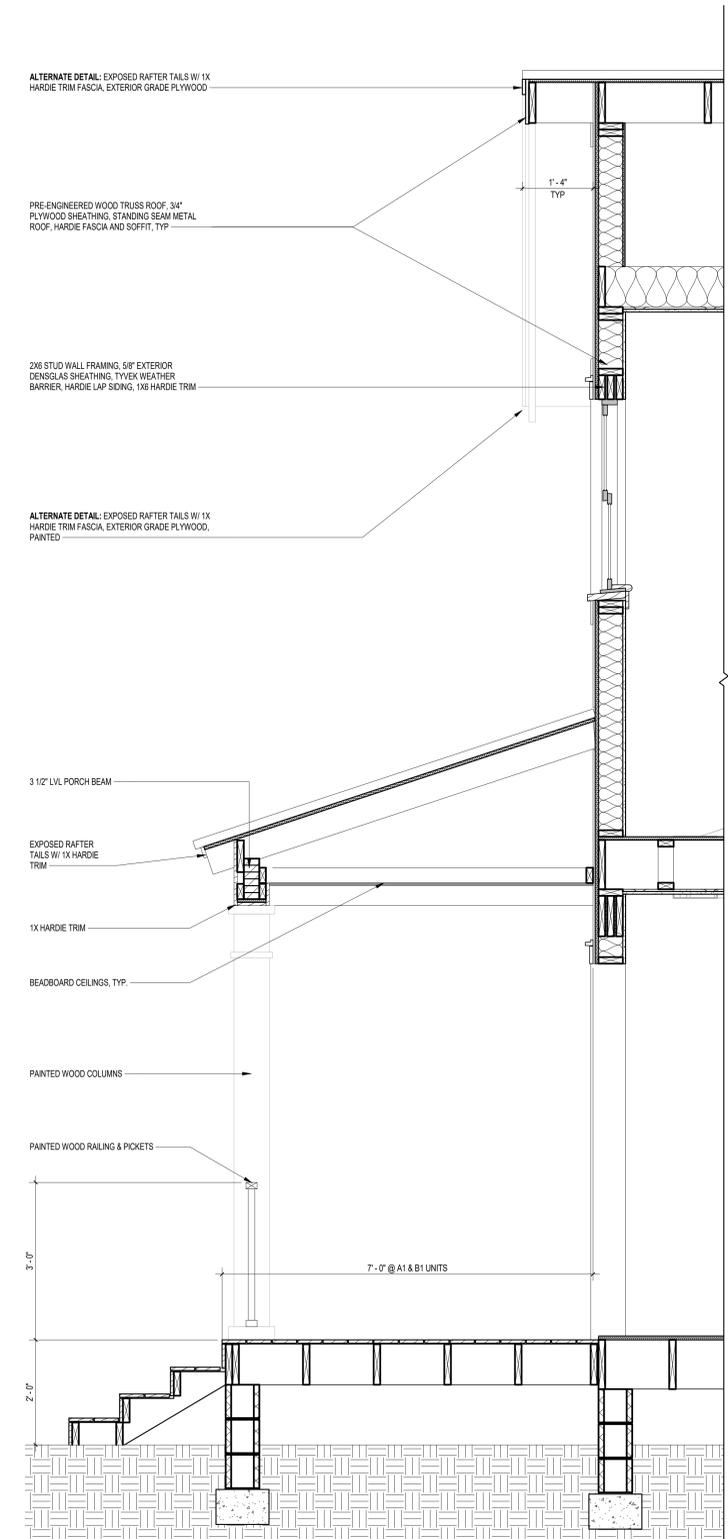
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REFERENCED A1.1
OK



4 FOUNDATION & WINDOW DETAIL
A6.1 1/12" = 1'-0"
REFERENCED A1.1
OK



1 PORCH SECTION - ATTACHED TYPE_2 UNIT
A6.1 3/4" = 1'-0"
REFERENCED A1.1
OK



6 PORCH SECTION - ATTACHED TYPE_1 UNIT
A6.1 3/4" = 1'-0"
REFERENCED A1.1
OK

AE SEAL
AE SEAL

PROJECT TITLE
JUSTICE SQUARE - ATTACHED DWELLING UNITS
1409 KING ST
BEAUFORT, SC 29902

| NO. | REVISIONS | NAME | DATE |
|-----|-----------|------|------|
| | | | |
| | | | |
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DRAWN BY: A6/22
CHECKED BY: [Signature]
AUTHOR: [Signature]
CHECKER: [Signature]

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DRAWING TITLE
WALL SECTIONS

PROJECT NO. B500.18
DATE 12.16.2020
DRAWING NO. **A6.1**











1409 King Street – Justice Square Materials

Material Index

| | | |
|----|-------------------------------------|-------------|
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| 02 | Beaded Wood Porch Ceilings | (pg. 11-12) |
| 03 | Standing Seam Metal Roofing | (pg. 13-15) |
| 04 | Ply Gem Windows | (pg. 16-20) |
| 05 | ThermaTru Doors | (pg. 21-32) |
| 06 | Outdoor Entry Sconce Light Fixture | (pg. 33-36) |



James Hardie Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



HardieShingle®
Siding



HardiePanel® Vertical
Siding & HardieTrim®
Batten Boards



HardiePlank®
Lap Siding



HardieTrim®
Boards



HardieSoffit®
Panels

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®
Boards
Arctic White

HardiePlank®
Lap Siding
Select Cedarmill®
Khaki Brown

A classic look for
THE HOME OF THEIR DREAMS.

HardiePlank®

Thickness 5/16 in
Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

| | Width | 5.25 in* | 6.25 in | 7.25 in | 8.25 in |
|----------------------|-------|----------|---------|---------|---------|
| Exposure | | 4 in | 5 in | 6 in | 7 in |
| Prime Pcs/Pallet | | 360 | 308 | 252 | 230 |
| ColorPlus Pcs/Pallet | | 324 | 280 | 252 | 210 |
| Pcs/Sq | | 25.0 | 20.0 | 16.7 | 14.3 |

SELECT CEDARMILL®



| | Width | 5.25 in* | 6.25 in | 7.25 in | 8.25 in |
|-----------------------|-------|----------|---------|---------|---------|
| STATEMENT COLLECTION™ | | | | | ✓ |
| DREAM COLLECTION™ | | ✓ | ✓ | ✓ | ✓ |
| PRIME | | ✓ | ✓ | ✓ | ✓ |

SMOOTH



| | Width | 5.25 in* | 6.25 in | 7.25 in | 8.25 in |
|-----------------------|-------|----------|---------|---------|---------|
| STATEMENT COLLECTION™ | | | | | ✓ |
| DREAM COLLECTION™ | | ✓ | ✓ | ✓ | ✓ |
| PRIME | | ✓ | ✓ | ✓ | ✓ |

BEADED CEDARMILL®

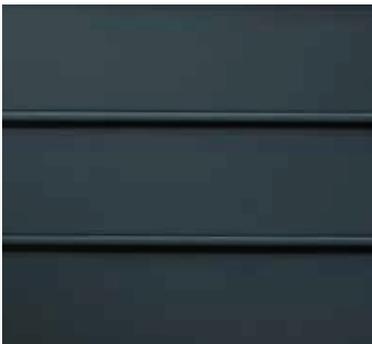


BEADED CEDARMILL® & BEADED SMOOTH

| | |
|----------------------|---------|
| Width | 8.25 in |
| Exposure | 7 in |
| ColorPlus Pcs/Pallet | 210 |
| Pcs/Sq | 14.3 |

| | |
|-----------------------|-------|
| STATEMENT COLLECTION™ | _____ |
| DREAM COLLECTION™ | ✓ |
| PRIME | _____ |

BEADED SMOOTH



HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.

HardieTrim®
Boards
Khaki Brown

HardiePlank®
Lap Siding
Navajo Beige

The performance you require.

THE DISTINCTIVENESS YOU DESIRE.

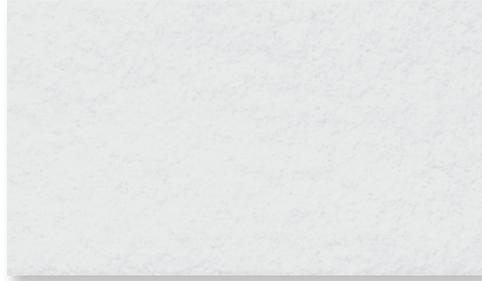
HardieTrim®

Length 12 ft boards

RUSTIC GRAIN®



SMOOTH



4/4 RUSTIC GRAIN®

| | | | | | |
|------------------|--------|--------|---------|---------|----------|
| Thickness | .75 in | | | | |
| Width | 3.5 in | 5.5 in | 7.25 in | 9.25 in | 11.25 in |
| Prime Pcs/Pallet | 312 | 208 | 156 | 104 | 104 |

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

| | | | | |
|---|---|---|---|---|
| ✓ | ✓ | ✓ | ✓ | ✓ |
|---|---|---|---|---|

4/4 SMOOTH

| | | | | | |
|----------------------|--------|--------|---------|---------|----------|
| Thickness | .75 in | | | | |
| Width | 3.5 in | 5.5 in | 7.25 in | 9.25 in | 11.25 in |
| Prime Pcs/Pallet | 312 | 208 | 156 | 104 | 104 |
| ColorPlus Pcs/Pallet | 312 | 208 | 156 | 104 | 104 |

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

| | | | | |
|---|---|---|---|---|
| ✓ | ✓ | ✓ | | ✓ |
| ✓ | ✓ | ✓ | ✓ | ✓ |
| ✓ | ✓ | ✓ | ✓ | ✓ |

5/4 RUSTIC GRAIN®

| | | | | | |
|------------------|--------|--------|---------|---------|----------|
| Thickness | 1 in | | | | |
| Width | 3.5 in | 5.5 in | 7.25 in | 9.25 in | 11.25 in |
| Prime Pcs/Pallet | 240 | 160 | 120 | 80 | 80 |

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

| | | | | |
|---|---|---|---|---|
| ✓ | ✓ | ✓ | ✓ | ✓ |
|---|---|---|---|---|

5/4 SMOOTH

| | | | | | | |
|----------------------|--------|--------|--------|---------|---------|----------|
| Thickness | 1 in | | | | | |
| Width | 3.5 in | 4.5 in | 5.5 in | 7.25 in | 9.25 in | 11.25 in |
| Prime Pcs/Pallet | 240 | 200 | 160 | 120 | 80 | 80 |
| ColorPlus Pcs/Pallet | 240 | 200 | 160 | 120 | 80 | 80 |

STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

| | | | | | |
|---|---|---|---|---|---|
| ✓ | ✓ | ✓ | ✓ | | ✓ |
| ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |
| ✓ | ✓ | ✓ | ✓ | ✓ | ✓ |

BATTEN BOARDS

SMOOTH

| | |
|----------------------|--------|
| Thickness | .75 in |
| Length | 2.5 in |
| Prime Pcs/Pallet | 190 |
| ColorPlus Pcs/Pallet | 437 |



STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

| |
|---|
| ✓ |
| ✓ |
| ✓ |

RUSTIC GRAIN®



STATEMENT COLLECTION™

DREAM COLLECTION™

PRIME

| |
|---|
| |
| ✓ |
| ✓ |

HardieSoffit®

A home is only as strong as its weakest point. HardieSoffit® panels reinforce your work by protecting the vulnerable gap between eaves and exterior walls.

Available in vented, non-vented and a range of pre-cut sizes, these panels complete your design and help protect it from moisture and pests.

VENTILATION BENEFITS

Using vented soffit improves ventilation in the attic space and reduces the chance of water vapor condensation that can lead to issues such as mold and mildew growth, stained ceilings and damage to the framing of the house.

In warm climates, HardieSoffit panels allow hot, humid air to escape, which not only helps prevent condensation in the attic, but can also help reduce air conditioning costs.

In cool climates, HardieSoffit panels help prevent condensation from forming on the interior side of the roof sheathing and reduce the chances of roof-damaging ice dams.



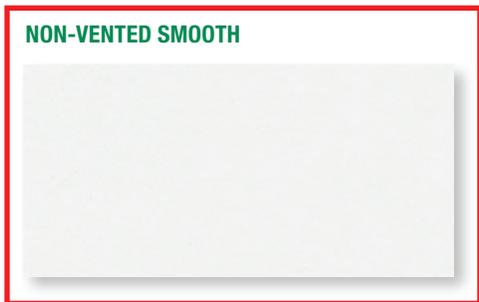
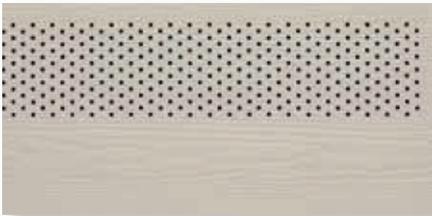
For complete confidence
EVERY DETAIL MATTERS.

HardieSoffit®

Thickness 1/4 in



VENTED CEDARMILL®



NON-VENTED CEDARMILL®



BEADED PORCH PANEL



VENTED SMOOTH & CEDARMILL®

| | | | |
|----------------------|-------|-------|-------|
| Length | 12 ft | 12 ft | 8 ft |
| Width | 12 in | 16 in | 24 in |
| Prime Pcs/Pallet | 200 | 150 | 100 |
| ColorPlus Pcs/Pallet | 216 | 156 | 108 |

| | | | |
|-----------------------|---------------|---------------|--------------|
| Size | 12 ft x 12 in | 12 ft x 16 in | 8 ft x 24 in |
| STATEMENT COLLECTION™ | ✓ | AW | AW |
| DREAM COLLECTION™ | ✓ | ✓ | ✓ |
| PRIME | ✓ | ✓ | ✓ |

| | | | |
|-----------------------|---------------|---------------|--------------|
| Size | 12 ft x 12 in | 12 ft x 16 in | 8 ft x 24 in |
| STATEMENT COLLECTION™ | | | |
| DREAM COLLECTION™ | ✓ | ✓ | ✓ |
| PRIME | ✓ | ✓ | ✓ |

NON-VENTED SMOOTH & CEDARMILL®

| | | | | |
|----------------------|-------|-------|-------|-------|
| Length | 12 ft | 12 ft | 8 ft | 8 ft |
| Width | 12 in | 16 in | 24 in | 48 in |
| Prime Pcs/Pallet | 200 | 150 | 100 | 50 |
| ColorPlus Pcs/Pallet | 216 | 156 | 108 | — |

| | | | | |
|-----------------------|---------------|---------------|--------------|--------------|
| Size | 12 ft x 12 in | 12 ft x 16 in | 8 ft x 24 in | 8 ft x 48 in |
| STATEMENT COLLECTION™ | ✓ | AW | AW | |
| DREAM COLLECTION™ | ✓ | ✓ | ✓ | |
| PRIME | ✓ | ✓ | ✓ | ✓ |

| | | | | |
|-----------------------|---------------|---------------|--------------|--------------|
| Size | 12 ft x 12 in | 12 ft x 16 in | 8 ft x 24 in | 8 ft x 48 in |
| STATEMENT COLLECTION™ | | | | |
| DREAM COLLECTION™ | ✓ | ✓ | ✓ | |
| PRIME | ✓ | ✓ | ✓ | ✓ |

BEADED PORCH PANEL

| | | | |
|------------------|--------|-----------------------|---|
| Thickness | 1/4 in | STATEMENT COLLECTION™ | — |
| Length | 8 ft | DREAM COLLECTION™ | ✓ |
| Width | 48 in | PRIME | ✓ |
| Prime Pcs/Pallet | 50 | | |

AW - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

STATEMENT COLLECTION™

Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering



Trim Color Offering



Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.



HardieTrim®
Boards
Arctic White

HardiePlank®
Select Cedarmill®
Timber Bark

As unforgettable
AS IT IS UNCOMPROMISING.

Porch Ceilings

RoyOMartin

SmartCore[®] Beaded Plywood

SmartCore[®] Beaded Decorative-Grade Plywood is used in wainscoting, ceilings, and other decorative applications in a variety of construction projects.

Discover the Value of SmartCore[®] Beaded Plywood

01 Pre-sanded, ready-to-coat surfaces

02 Convenient ship-lap (Caribbean) panels

03 Old-world richness at an affordable cost

04 Available Forest Stewardship Council[®] (FSC[®]) certified



The mark of responsible forestry

All RoyOMartin products are available Forest Stewardship Council[®] (FSC[®]) certified.



(800) 299-5174
RoyOMartin.com

Printed October 2017 | ©2017 RoyOMartin



Length



96

Lengths are nominal. All widths are 48" (nominal)

Thickness

11/32

Performance categories



Caribbean Beaded Decorative Panels

Pattern

1.6" on-center pattern; ship-lap edge

Handling

Allow product to acclimate to room environment for 48 hours prior to installation.

Spacing

This product, like all plywood, will expand and shrink slightly with changes in temperature and moisture content. To assure best performance in all applications, panel joints (ends and edges) should be spaced 1/8" apart.

Fastening

Place nails 3/8" from panel ends and edges. Do not nail directly through the shiplap. Nail under-lap and over-lap separately.

Finishing Tips

- Seal panel edges with acrylic latex primer before installation
- Repair surface damage, and fill nail holes with wood filler prior to painting
- Allow wood filler to dry completely, and lightly sand before applying finishes
- Panel surfaces should be clean and dry before applying primer and paint, and finishes should be applied as soon as possible after installation
- Brush-apply at least one coat of stain-resistant acrylic primer
- Apply two top-coats of acrylic latex paint, allowing sufficient drying time between coats
- Top-coats can be applied by brush, roller, or spray

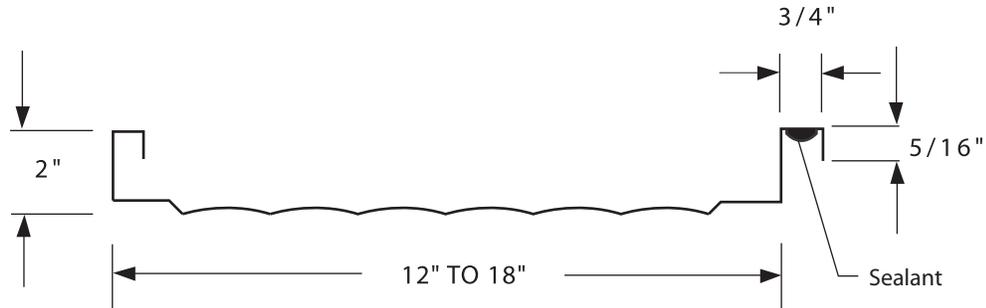
Certification

SmartCore® panels are certified by APA-The Engineered Wood Association and are available Forest Stewardship Council® (FSC®) certified. Class C fire rating. Meets CA Resource Board (CARB) regulations.

MRS System 2500

12" - 18" o.c.
2" high
Mechanical Seam
Single or Double Lock

.032 or .040 aluminum
22 or 24 gauge steel



U.L. 580 Class 90 Certified ASTM E1592, E1646, E1680 Tested

Ideal for low slope conditions in commercial or residential applications

Material: .032 or .040 Aluminum, 22 or 24 gauge Steel
12" to 18" o.c.

Features: Striations (Recommended)
Flat
Stress Ribs
Curved
Optional Sealant in Female Leg

Requirements: Solid Substrate, Open Framing
Ice & Water Shield or Synthetic Underlayment
Minimum Roof Pitch: 1/2" on 12"

Finish: Hylar 5000[®] or Kynar 500[®]

Locations:

7670 Mikron Drive
Stanley, NC 28164
Tel: 704-820-3110
Fax: 704-820-0113

2451 Bulk Plant Road
Conway, SC 29526
Tel: 843-365-6673
Fax: 843-365-6683

5512 Fort Henry Drive
Kingsport, TN 37663
Tel: 423-239-0013
Fax: 423-447-7150



METAL ROOFING
Systems, Inc

Website: www.metalroofingsystems.biz



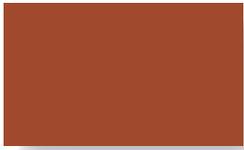
METAL ROOFING Systems, Inc

35
YEAR
WARRANTY

SEE REVERSE SIDE FOR MATERIAL AVAILABILITY



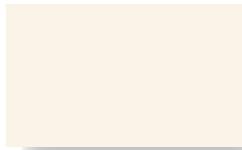
ENVIRONMENTALLY SMART COLORS - DESIGNED ENERGY EFFICIENT



TERRA COTTA



AGED COPPER



BONE WHITE



SANDSTONE



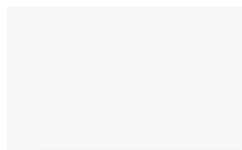
SURREY BEIGE



COLONIAL RED



PATINA GREEN



REGAL WHITE



ASH GRAY



SIERRA TAN



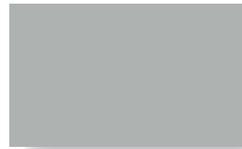
REGAL RED



HEMLOCK GREEN



STONE WHITE



DOVE GRAY



MEDIUM BRONZE



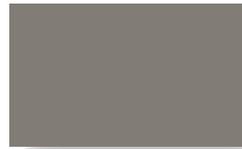
BURGUNDY



HARTFORD GREEN



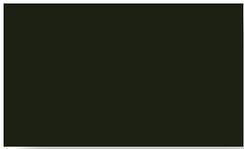
SLATE BLUE



SLATE GRAY



MANSARD BROWN



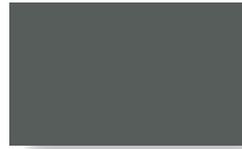
MATTE BLACK



EVERGREEN



REGAL BLUE



CHARCOAL GRAY

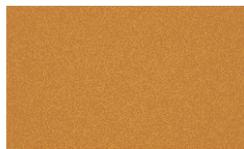


DARK BRONZE

METALLIC COLORS



*SILVER



*COPPER



*CHAMPAGNE



*PRE-WEATHERED
GALVALUME®



ACRYLIC COATED
GALVALUME®

NON-PAINTED

* CONTACT YOUR REPRESENTATIVE FOR EXACT COLOR CHIP SAMPLE



LOCATIONS

7687 Mikron Drive
Stanley, NC 28164
P: 704.820.3110
F: 704.820.0113

370-C Allied Drive
Conway, SC 29526
P: 843.347.6673
F: 843.347.6693

3214 Hanover Drive
Johnson City, TN 37604
P: 423.434.0535
F: 423.434.0537



*Available at a slight price premium.

Colors shown are matched as accurately as possible, but may vary slightly from finished product. These rich and vibrant colors are produced with either Kynar 500® or Hylar 5000® resins, which provide superior color retention, and allow us to offer non-prorated coating warranties for most applications. Coating warranty varies for Regal Red, Matte Black, Copper, Silver, Champagne, and Pre-Weathered Galvalume. Metallics are warranted for chip, crack, and peel only. Please contact your representative for more information.

www.metalroofingsystems.biz

Faster. Smarter. Better. Period.

STOCK AVAILABILITY MATRIX

| | | | | | | | GALVALUME | ALUMINUM | | | | |
|---------------------------|---|---|------|------|------|-----|-----------|----------|------|------|------|--|
| | | | | | | | 24 ga. | .032 | .040 | .050 | .063 | |
| | | | ISR | EMI | 3yr. | SRI | | | | | | |
| Aged Copper | ★ | L | 0.47 | 0.85 | 0.46 | 53 | ● | ● | | | | |
| Ash Gray | ★ | L | 0.39 | 0.84 | 0.39 | 41 | ● | | | | | |
| Bone White | ★ | L | 0.47 | 0.83 | N/A | 58 | ● | ● | ● | ● | ● | |
| Burgundy | ★ | | 0.25 | 0.85 | 0.23 | 23 | ● | | | | | |
| Champagne Metallic | ★ | L | 0.37 | 0.80 | 0.35 | 37 | ● | | | | | |
| Charcoal Gray | ★ | | 0.29 | 0.84 | 0.28 | 28 | ● | | | | | |
| Colonial Red | ★ | L | 0.30 | 0.85 | 0.29 | 30 | ● | ● | ● | ● | | |
| Copper Metallic | ★ | L | 0.49 | 0.86 | 0.47 | 56 | ● | ● | | | | |
| Dark Bronze | ★ | | 0.26 | 0.84 | 0.25 | 24 | ● | ● | ● | ● | ● | |
| Dove Gray | ★ | L | 0.49 | 0.86 | N/A | 56 | ● | | | | | |
| Evergreen | ★ | | 0.27 | 0.86 | 0.26 | 26 | ● | ● | ● | ● | | |
| Hartford Green | ★ | | 0.26 | 0.85 | 0.25 | 24 | ● | ● | ● | ● | | |
| Hemlock Green | ★ | L | 0.29 | 0.86 | 0.29 | 29 | ● | | | | | |
| Mansard Brown | ★ | | 0.27 | 0.86 | 0.25 | 26 | ● | ● | ● | ● | | |
| Matte Black | ★ | | 0.29 | 0.83 | 0.27 | 27 | ● | ● | ● | ● | | |
| Medium Bronze | ★ | L | 0.30 | 0.87 | 0.28 | 31 | ● | ● | ● | ● | ● | |
| Patina Green | ★ | | 0.28 | 0.87 | 0.28 | 28 | ● | | | | | |
| Pre-weathered Galvalume® | ★ | | 0.30 | 0.79 | 0.28 | 27 | ● | | | | | |
| Regal Blue | ★ | | 0.26 | 0.85 | 0.25 | 24 | ● | | | | | |
| Regal Red | ★ | L | 0.42 | 0.83 | 0.41 | 45 | ● | ● | | ● | | |
| Regal White | ★ | L | 0.67 | 0.86 | 0.67 | 81 | ● | ● | ● | ● | | |
| Sandstone | ★ | L | 0.54 | 0.86 | 0.53 | 63 | ● | ● | ● | ● | | |
| Sierra Tan | ★ | L | 0.35 | 0.86 | 0.34 | 37 | ● | ● | ● | ● | | |
| Silver Metallic | ★ | L | 0.59 | 0.79 | 0.60 | 67 | ● | ● | ● | ● | | |
| Slate Blue | ★ | | 0.29 | 0.85 | 0.28 | 28 | ● | | | | | |
| Slate Gray | ★ | L | 0.33 | 0.84 | 0.33 | 33 | ● | ● | ● | ● | | |
| Stone White | ★ | L | 0.60 | 0.86 | 0.56 | 71 | ● | ● | ● | ● | ● | |
| Surrey Beige | ★ | L | 0.42 | 0.85 | 0.41 | 46 | ● | | | | | |
| Terra Cotta | ★ | L | 0.35 | 0.86 | 0.35 | 37 | ● | ● | ● | | | |
| Acrylic Coated Galvalume® | ★ | L | 0.67 | 0.14 | 0.55 | 56 | ● | | | | | |

*** IF DESIRED COLOR IS NOT LISTED ON MATRIX PLEASE CONTACT METAL ROOFING SYSTEMS FOR AVAILABILITY**

| NOTES |
|---|
| <ul style="list-style-type: none"> All metal is painted with a .20 mil primer and .70 - .90 mil Top Coat of 70% Kynar 500 or Hylar 5000. The reverse side has a .20 primer and .30 - .40 backer coating. 22 gauge steel available upon request. For low slope roofing to meet Energy Star requirements the ISR must be ≥ 0.65. After 3 years, the solar reflectance must be ≥ 0.50. For steep slope roofing to meet Energy Star requirements the ISR must be ≥ 0.25. After 3 years, the solar reflectance must be ≥ 0.15. For low slope roofing to meet LEED 2009 requirements the SRI must be ≥ 78. For steep slope roofing to meet LEED 2009 requirements the SRI for 100% of the roof must be ≥ 29. Low slope is defined as $\leq 2:12$. Steep slope is defined as $>2:12$. |

| KEY | |
|-----|---------------------------|
| ● | Stocked Item |
| ★ | Energy Star Compliant |
| L | LEED 2009 Compliant |
| ISR | Initial Solar Reflectance |
| EMI | Emissivity |
| SRI | Solar Reflectance Index |



METAL ROOFING
Systems, Inc



Oil canning is an aesthetic issue and is an inherent part of light gauge cold formed metal products. By using coil that has been processed properly, designing for thermal movement, following stringent specifications for installation and proper handling most oil canning can be eliminated. Oil canning is not grounds for coil/panel rejection.

Galvalume® is a registered trademark of BIEC. Hylar 5000 is a registered trademark of Solvay Solexis, Inc. Kynar 500 is a registered trademark of Atofina, Inc.



1500 Vinyl Collection

Single Hung Windows

BUILDER



Building choice into every view.

1500 Single Hung Windows



Upgrade your view

- High performance in a builder's window
- Traditional or contemporary frame design
- SDL or GBG grilles
- Sizes to meet your need
- Egress Size: 3050SH, 4040SL
- Limited Lifetime Warranty

When you build a lot of homes, you expect a lot from your windows. Quality. Performance. Value. A company you can count on. Our new 1500 vinyl windows offer all that and more, including a full range of options to meet your every need.

Color options

New exterior colors are on brickmould and flat casing only. *Some restrictions may apply.



Frame Options



Brickmould



Beveled



Flat

Grille types

Also available with no grilles.



GBG Grilles

3/4" Flat, 5/8" or 1" Sculptured



SDL Grilles

7/8" or 1-1/4" SDL with Shadow Bar

Glass options

Compare U-Factor ratings

visit 1500vinylcollection.com for more detailed information

Low-E

| | | |
|--|-----|----------|
| 7/8" Low-E | .35 | SHGC .29 |
| One lite of Low-E | | |
| 7/8" Low-E ^{SC} | .35 | SHGC .22 |
| One lite of solar cooling Low-E | | |
| 7/8" Low-E2+ | .30 | SHGC .28 |
| One lite of Low-E and one lite of Interior Surface Low-E | | |

Low-E with Argon

| | | |
|---|-----|----------|
| 7/8" HP | .32 | SHGC .28 |
| One lite of Low-E with argon | | |
| 7/8" HP ^{SC} | .32 | SHGC .22 |
| One lite of solar cooling Low-E with argon | | |
| 7/8" HP2+ | .28 | SHGC .28 |
| One lite of Low-E and one lite of Interior Surface Low-E with argon | | |

Triple-Glazed

| | | |
|---|-----|----------|
| 7/8" HP2 _{Max} | .25 | SHGC .25 |
| Two lites of Low-E with two chambers of argon | | |
| 7/8" HP3 _{Max} | .23 | SHGC .22 |
| Two lites of Low-E, two chambers of argon, one lite of Interior Surface Low-E | | |
| 1" HP3 _{Max} | .22 | SHGC .22 |
| Two lites of Low-E, two chambers of argon, one lite of Interior Surface Low-E | | |

Values reflect 3050 call size brickmould non-drywall glazed single window with 3mm glass, WarmEdge Spacer, no grilles.

Window Anatomy

Multi-chamber construction with fusion-welded sash and frame

7/8" or 1" dual or triple pane insulated glass with Warm Edge spacer saves energy

Sloped sill drains water away from home exterior

Integral J-channel for simple, secure siding installation (optional double utility trim)



easyinstall

for a quick, correct fit

- Alignment clips
- Double utility trim
- Integral J-channel
- Jamb extensions or drywall receiver options
- Accessory grooves
- Protective construction film

Window Highlights



Optional H-LC 50 Upgrade in Limited Sizes



Interior



Exterior



Jamb Alignment Clips

Aligns and holds frame in place during installation; enables one person to center smaller windows.



Removable Meeting Rail

Patented meeting rail anchor makes removing rail simple; ideal for drywall applications.

Patent #: 9624713



Integral Mulls

Twins and triples with continuous head and sill frame allows a mix of operating and fixed windows.

Patent #: 9038333



Interlocking Sashes

Sashes lock tightly together to help keep out intruders and inclement weather.



Forced Entry Resistant Locks

Enhanced security locks meet tough AAMA forced entry requirements. ADA accessible and auto-lock options available.



ADA Accessible Lock



Auto Lock



Building choice into every view

WindowSpecs

FRAME

- 3 1/2" dual wall brickmould frame depth
- 2 7/8" beveled frame depth
- 1 3/8" integral nail fin set back
- Optional 1/2" flush flange for block installs
- Optional 3/2" flat casing for rectangles and arches
- Optional double utility trim simplifies siding installation
- Custom and traditional sizing to meet your needs
- Integral J-pocket simplifies siding installations
- Interior/exterior accessory grooves
- Sloped sill for water management
- Screen clip Patent #: 61738783
- Mixed operating and fixed integral mulls Patent #: 9038333
- Easy to remove meeting rail Patent #: 9624713

SASH

- Interior glazed top glass
- Exterior glazed bottom glass
- Interlocking sash with dual pile weatherstripping
- Inverted block & tackle or constant force coil balances
- Recessed tilt-latch
- Dual lift rails for easy operation
- Half screens (shipped separately)

GLASS

- Double: Low-E, Low-E^{SC}, Low-E2+, Low-E2+^{SC}, HP, HP^{SC}, HP2+, HP2+^{SC}, LE^{PS}, LE2+^{PS}, HP^{PS} and HP2+^{PS}
- Triple: HP2^{MAX}, HP2^{MAX}^{SC}, HP3^{MAX}, HP3^{MAX}^{SC}
- Optional Warm Edge+ spacers
- Configurable STC values up to 35
- Impact, tempered, obscure and rain options
- Bronze Tint, Grey Tint and Black Spandrel options
- EZ Clean option

GRILLES

- GBG (Grilles Between Glass) 3/4" Flat, 5/8" or 1" Sculptured
- SDL (Simulated Divided Lite) 7/8" or 1 1/4" with Shadow Bar
- Colonial, Plaza, Prairie, Diamond, Gothic patterns available

LOCKS

- Standard forced entry resistant cam lock
- Self-latching forced entry resistant auto-lock option
- ADA accessible forced entry resistant auto-lock option

PERFORMANCE CERTIFICATIONS



FLORIDA APPROVED
For a list of Ply Gem's Florida approved products visit floridabuilding.org.



CANADIAN STANDARDS ASSOCIATION CERTIFIED



TEXAS DEPARTMENT OF INSURANCE

| Product Type | Test Unit Size (inches) | Overall Rating | NAFS Product Performance | | | | | | | Housing Performance | |
|------------------------|-------------------------|----------------|-----------------------------|-----------------------------|----------------------|---------------------------|------------------|------------------|--------------|-----------------------|------------------------|
| | | | Air Infiltration (scfm/ft²) | Air Exfiltration (scfm/ft²) | Water Pressure (psf) | Structural Pressure (psf) | Test Standard(s) | Florida Approval | TDI Approval | AAMA 1701.2 Wind Zone | AAMA 1704 Egress Rated |
| Single Hung | 36 x 62 | H-LC35 | 0.17 | 0.16 | 5.43 | +35/-35 | NAFS 05, 08, 11 | FL16103 | | | |
| | 35.5 x 73.5 | H-LC30 | 0.17 | 0.16 | 4.59 | +30/-30 | NAFS 05, 08, 11 | FL16103 | | | |
| | 40 x 72 | H-LC25 | 0.13 | 0.11 | 3.76 | +35/-35 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ II | Yes |
| | 44 x 77.125 | H-LC25 | 0.13 | 0.11 | 3.76 | +25/-25 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ I | Yes |
| | 35.5 x 73.5 | H-LC35 | 0.17 | 0.16 | 7.52 | +35/-35 | NAFS 05, 08, 11 | FL16103 | | | |
| | 36 x 74 | H-LC50 | 0.13 | 0.11 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes |
| | 44 x 77.125 | H-LC35 | 0.13 | 0.11 | 5.43 | +40/-40 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes |
| | 35.5 x 61.5 | H-LC50 | 0.17 | 0.16 | 7.52 | +55/-55 | NAFS 05, 08, 11 | FL16103 | | | |
| | 36 x 74 | H-LC35 | 0.17 | 0.16 | 5.43 | +35/-35 | NAFS 05, 08, 11 | FL16103 | | WZ II | Yes |
| | 36 x 74 | H-LC50 | 0.17 | 0.16 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | | WZ III | Yes |
| | 36 x 84 | H-LC50 | 0.11 | 0.06 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes |
| | 40 x 72 | H-LC50 | 0.11 | 0.05 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes |
| | 44 x 77.125 | H-LC40 | 0.11 | 0.05 | 7.52 | +40/-40 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes |
| | 48 x 72 | H-LC50 | 0.11 | 0.06 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes |
| | 48 x 96 | H-LC30 | 0.11 | 0.06 | 7.52 | +30/-35 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ I | Yes |
| | 52.125 x 62 | H-LC50 | 0.28 | 0.19 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | | |
| 53 x 77.125 | H-LC40 | 0.28 | 0.19 | 7.52 | +40/-40 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes | |
| 53 x 77.125 | H-LC50 | 0.28 | 0.19 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16103 | WIN-1769 | WZ III | Yes | |
| Integral Mull (Twin) | 38 x 77.125 | H-LC50 | 0.11 | 0.05 | 7.52 | +50/-60 | AAMA 506-06, 08 | FL16103 | WIN-1771 | NA | NA |
| | 52.125 x 62 | H-LC50 | 0.28 | 0.19 | 7.52 | +50/-60 | AAMA 506-06, 08 | FL16103 | | NA | NA |
| | 52.125 x 71 | H-LC50 | 0.28 | 0.19 | 7.52 | +50/-50 | AAMA 506-06, 08 | FL16103 | | | |
| | 71.5 x 73.5 | H-R25 | 0.17 | 0.14 | 3.76 | +40/-40 | NAFS 05, 08, 11 | FL16100 | | | |
| | 72.5 x 74 | H-LC25 | 0.18 | 0.15 | 3.76 | +35/-35 | NAFS 05, 08, 11 | FL16100 | | WZ II | Yes |
| | 71.5 x 73.5 | H-R50 | 0.17 | 0.14 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16100 | | | |
| | 71.5 x 73.5 | H-LC35 | 0.26 | 0.17 | 5.43 | +35/-35 | NAFS 05, 08, 11 | FL16100 | | WZ II | Yes |
| | 71.5 x 73.5 | H-LC50 | 0.26 | 0.17 | 7.52 | +50/-55 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes |
| | 76.125 x 65.125 | H-R50 | 0.30 | 0.30 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16100 | | | |
| | 81 x 72 | H-LC50 | 0.18 | 0.16 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes |
| Integral Mull (Triple) | 84.25 x 77.125 | H-LC40 | 0.18 | 0.16 | 7.52 | +40/-40 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes |
| | 81 x 72 | H-LC50 | 0.18 | 0.16 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes |
| | 84.25 x 77.125 | H-LC40 | 0.18 | 0.16 | 7.52 | +40/-40 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes |
| | 107.5 x 73.5 | H-R25 | 0.17 | 0.14 | 3.76 | +40/-40 | NAFS 05, 08, 11 | FL16100 | | | |
| | 109 x 74 | H-LC25 | 0.18 | 0.15 | 3.76 | +35/-35 | NAFS 05, 08, 11 | FL16100 | | WZ II | Yes |
| | 107.5 x 65.5 | H-LC50 | 0.26 | 0.17 | 7.52 | +50/-50 | NAFS 05, 08, 11 | FL16100 | | | |
| | 107.5 x 73.5 | H-LC35 | 0.26 | 0.17 | 5.43 | +35/-35 | NAFS 05, 08, 11 | FL16100 | | WZII | Yes |
| | 107.5 x 73.5 | H-LC50 | 0.26 | 0.17 | 7.52 | +50/-55 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes |
| 114.625 x 65.125 | H-R40 | 0.3 | 0.3 | 6.06 | +40/-45 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes | |
| 114.625 x 65.125 | H-R45 | 0.3 | 0.3 | 7.52 | +45/-50 | NAFS 05, 08, 11 | FL16100 | | | | |
| 121 x 77.125 | H-LC45 | 0.16 | 0.14 | 7.52 | +45/-45 | NAFS 05, 08, 11 | FL16100 | | WZ III | Yes | |

- Compression Tape Glazing
- Two-Sided Tape Glazing
- Impact Rated

Test Standards

- AAMA/WDMA/CSA 101/I.S.2/A440-05 (NAFS-05)
- AAMA/WDMA/CSA 101/I.S.2/A440-08 (NAFS-08)
- AAMA/WDMA/CSA 101/I.S.2/A440-11 (NAFS-11)
- AAMA 506-06



For more information, call 888-9PLYGEM.



SIDING + ACCESSORIES | WINDOWS + DOORS | STONE VENEER | TRIM + MOULDINGS | FENCE + RAILING | ROOFING



Plygem Window mockup:
- no horizontal muntins
- no shutters

A Complete Door System

THERMA TRU
DOORS



Uncompromising quality, inside and out.



Engineered to work together.

A Therma-Tru. door system with genuine Therma-Tru components is engineered with craftsman precision to help provide weather resistance and energy efficiency. So when a homeowner chooses a complete Therma-Tru door system, you can be confident it will perform as exceptionally as it looks.

Therma-Tru specifies all of the components to work together at the most critical points where an ordinary door system's performance can fail, letting in air and moisture.



Backed by our lifetime limited warranty.



We can stand behind more parts and for longer than other door companies because we make or specify everything that goes into our door systems. The homeowner has one source, Therma-Tru, to turn to if an issue arises with the door system.¹ Other companies either don't warrant as many parts of the door system or warrant them for a shorter period of time. That could leave the homeowner without coverage and confused about who to turn to if issues arise.

Warranty Coverage

| |  |  |  |  |  |  |  |
|---|---|---|---|---|--|---|---|
| | Door Panel | Glass & Lite Frame | Multi-Point Locking Mechanism ² | Sill & Hinges ² | Corner Seal Pads ³ | Bottom Sweep ³ & Weatherstrip ³ | Composite Door Frame |
| Therma-Tru. Fiberglass Doors Lifetime Limited Warranty | LIFETIME | LIFETIME | LIFETIME | LIFETIME | LIFETIME | LIFETIME | LIFETIME + 10 Year Transferable Warranty Rider |
| Other Fiberglass & Wood Door Companies' Warranties | 1 Year– Lifetime | 0–20 Years | 0 Years | 0 Years | 0 Years | 0 Years | 0 Years–Lifetime |

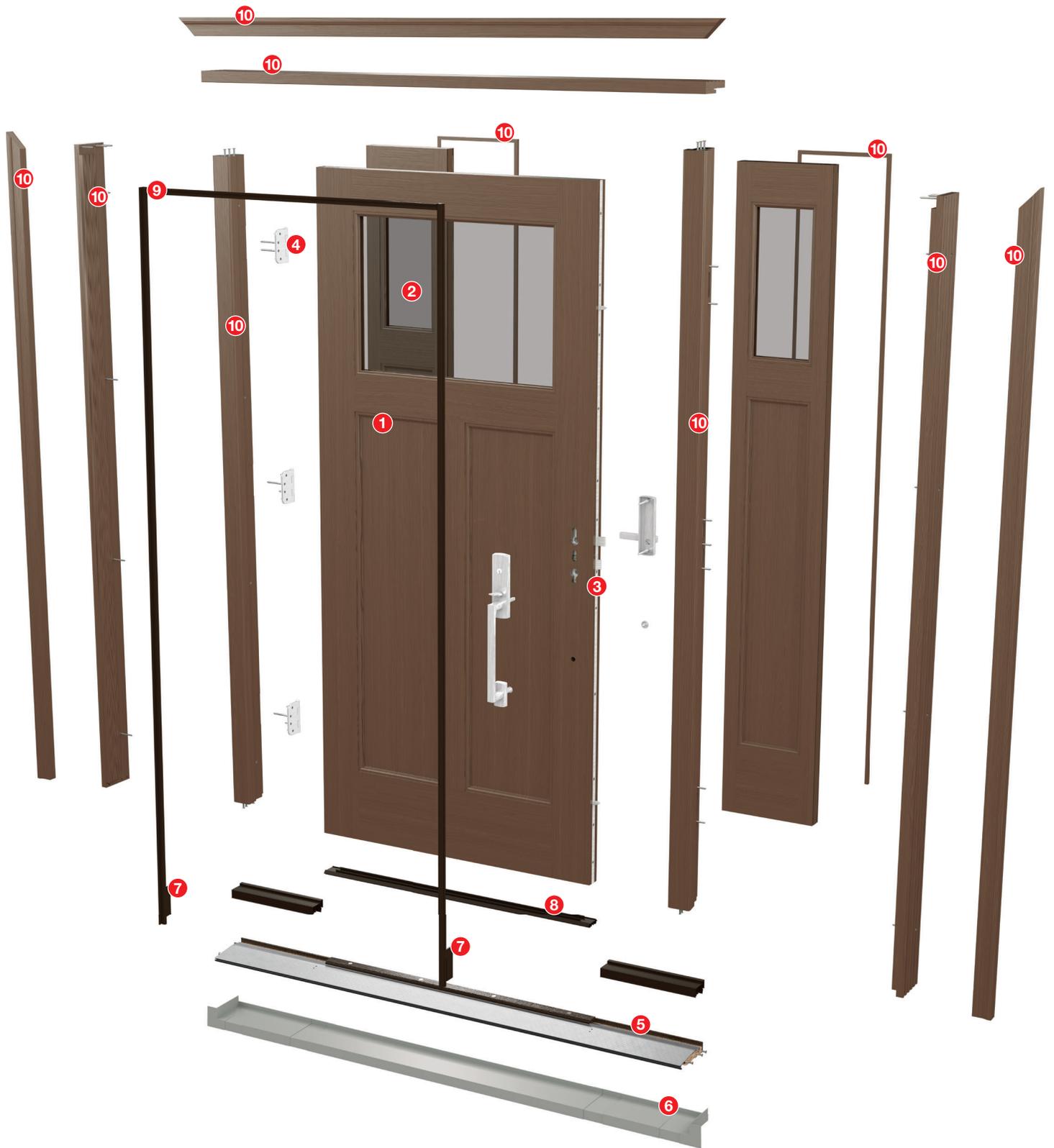
Note: See your Therma-Tru seller or visit www.thermatru.com for details on ENERGY STAR qualified products and for details on limited warranties and exclusions.

*See your Therma-Tru seller for details on product availability.

¹Excluding improper assembly of components into a door system by the distributor, dealer, builder or remodeler, and the installation of the door system.

²Excluding installations within 5 miles of a body of salt water and the finish.

³Excluding normal wear and tear.



A Complete Door System



- 1 Fiberglass Door Panel**
Delivers years of low-maintenance durability. Unlike wood, fiberglass will not warp or rot. Unlike steel, it will not dent or rust.



- 2 Glass**
Welcomes natural light into the home and is available in a variety of styles, many featuring triple-pane construction.



- 3 Multi-Point Locking System**
(Recommended)
Engages the door and frame at three points from top to bottom for enhanced stability.
More on pages 18-19.



- 4 Hinges**
Ensure smooth operation and position the door so it creates a tight seal with the weatherstrip when closed.
More on page 15.



- 5 Sills**
Provides a solid stepping surface and forms a tight seal at the bottom of the door system to help channel moisture away from the home.
More on pages 10-13.



- 6 Sill Pan**
Adds an extra layer of protection to help keep moisture away from the subfloor.
More on page 11.



- 7 Corner Seal Pads** (Inswing Only)
Fit securely behind the weatherstrip to help block wind-driven moisture infiltration at the bottom corner of the door system.
More on page 16.



- 8 Bottom Sweeps** (Inswing Only)
A dual-bulb, dual-fin design helps maintain tight contact with adjustable sill caps and creates added barriers against moisture.
More on pages 11-12.



- 9 Weatherstrip**
Features a resilient design to help deliver a precise seal between the door and frame.
More on page 17.



- 10 Composite Door Frame***
Provides a rot-free solution that delivers extra protection from the damaging effects of moisture.
More on pages 8-9.



- Astragals**
Cover the margin between double doors to help complete the seal against air and moisture infiltration, with aluminum construction for stability, holding power and durability.
More on page 21.

Need help determining which parts you need for your Therma-Tru door system?
See pages 22-23 for more information.

Finish Options

Therma-Tru offers an array of popular finish options to complement decorative glass coming, and interior and exterior home fixtures, to suit the home's style. Check with your Therma-Tru® seller for available finish and cap options.

Sill Finishes



Mill



Bronze



Satin Nickel

Cap Colors



Lightwood (Premium)
Composite Adjustable /
Composite Outswing



Darkwood (Premium)
Composite Adjustable /
Composite Outswing



Lightwood (Economy)
Basic Composite Adjustable



Darkwood (Economy)
Basic Composite Adjustable /
Basic Fixed



Hardwood
Hardwood Adjustable

| | Inswing Options | Composite Adjustable | Hardwood Adjustable | Basic Composite Adjustable | Basic Fixed | Outswing Options | Composite Outswing | Aluminum with Thermal Break | Aluminum without Thermal Break | Coastal | Public Access (Inswing / Outswing) | Public Access (ADA) |
|--------------------------------|-----------------|----------------------|---------------------|----------------------------|-------------|------------------|--------------------|-----------------------------|--------------------------------|---------|------------------------------------|---------------------|
| Sill Finishes | | | | | | | | | | | | |
| Mill | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Bronze | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Satin Nickel | ■ | ● | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Cap Colors | | | | | | | | | | | | |
| Lightwood | ■ | ● | ■ | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Darkwood | ■ | ● | ■ | ■ | ■ | ■ | ● | ● | ● | ● | ● | ● |
| Hardwood | ● | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Sill Configurations | | | | | | | | | | | | |
| Single | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| French | ■ | ■ | ● | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ■ |
| Double Patio | ■ | ■ | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Triple Patio | ■ | ● | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Lineal | ■ | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Sidelite Configurations | | | | | | | | | | | | |
| Boxed Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Single with Sidelites | ■ | ■ | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| French with Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Single Vented Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| French Vented Sidelites | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Depths | | | | | | | | | | | | |
| 4-9/16" | ■ | ● | ■ | ■ | ■ | ■ | ● | ■ | ■ | ■ | ■ | ■ |
| 5-3/4" | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ● | ● | ● | ● | ● |
| 6-9/16" | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ● | ■ |
| 7-3/4" | ■ | ■ | ■ | ■ | ■ | ● | ■ | ● | ● | ● | ● | ● |
| Substrates | | | | | | | | | | | | |
| Composite Extruded | ■ | ● | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Composite Injection Molded | ■ | ● | ■ | ● | ● | ● | ● | ● | ● | ● | ● | ● |
| Treated Pine | ● | ■ | ● | ■ | ■ | ● | ■ | ■ | ■ | ■ | ■ | ● |
| Other Options | | | | | | | | | | | | |
| Integrated Thermal Break | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ● | ● | ● | ■ | ■ |
| Screen Rail Available | ■ | ■ | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Sill Extenders Available | ■ | ■ | ■ | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| Sill Covers Available | ■ | ■ | ■ | ■ | ■ | ■ | ● | ● | ● | ● | ● | ● |
| Tru-Defense Eligible* | ■ | ● | ● | ● | ● | ■ | ● | ● | ● | ● | ● | ● |
| With Anchor Holes | ● | ● | ● | ● | ● | ● | ■ | ■ | ● | ● | ■ | ■ |
| Without Anchor Holes | ■ | ■ | ■ | ■ | ■ | ■ | ■ | ● | ■ | ■ | ■ | ● |

Hinge Finish Options



Bright Brass Brushed Nickel Black Nickel Polished Chrome Oil-Rubbed Bronze Stainless Steel Zinc Dichromate

Hinges

Adjustable Hinge

Finish Options:
Bright Brass
Brushed Nickel
Black Nickel
Polished Chrome
Oil Rubbed Bronze

(Recommended for Classic-Craft premium entryways.)
Allow the door to be moved horizontally and vertically in the frame, maintaining alignment and keeping the door performing beautifully.



Classic-Craft® Ball-Bearing

Finish Options:
Bright Brass
Brushed Nickel
Black Nickel
Polished Chrome
Oil Rubbed Bronze
Stainless Steel
Zinc Dichomate

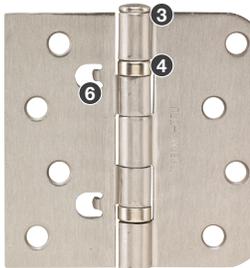
(Recommended for Classic-Craft premium entryways.)
Ball bearings help protect each hinge pivot for added support and stability.



Self-Aligning Ball-Bearing

Finish Options:
Bright Brass
Brushed Nickel
Black Nickel
Polished Chrome
Oil Rubbed Bronze
Stainless Steel
Zinc Dichomate

(Recommended for heavier Fiber-Classic, Smooth-Star and Steel doors.)
Contains locating tabs to assist in accurate alignment with specific door systems.



Self-Aligning

Finish Options:
Brushed Nickel
Black Nickel**
Polished Chrome**
Oil Rubbed Bronze
Stainless Steel**
Zinc Dichomate

(Recommended for heavier Fiber-Classic, Smooth-Star and Steel doors.)
Contains locating tabs to provide accurate alignment with specific door systems. Note: Non-removable pin option available with fixed pins, providing security on outswing applications.



Security Tab

Finish Options:
Brushed Nickel
Stainless Steel
Zinc Dichomate

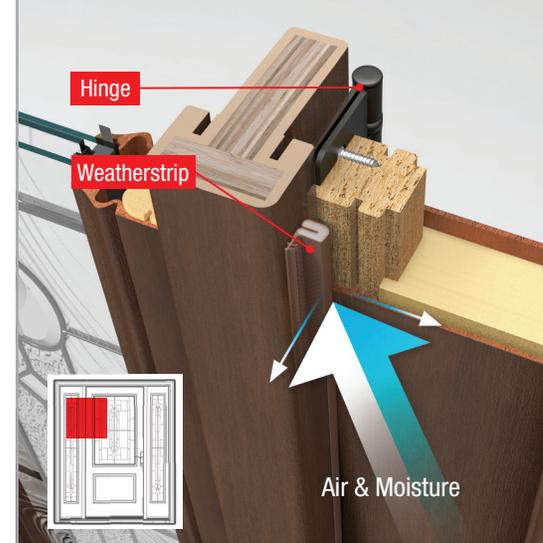
Security tabs prevent door from being taken off hinges, providing security on outswing applications.



Spring-Loaded

Finish Options:
Brushed Nickel
Black Nickel
Polished Chrome
Oil Rubbed Bronze
Stainless Steel
Zinc Dichomate

UL Listed with self-closing spring mechanism that helps pull the door closed for convenience or meets code requirements that may be applicable in Fire-door applications.***



Long-lasting, smooth performance.

Genuine Therma-Tru hinges are engineered with long-lasting durability and reliability in mind. They position the door to properly compress the weatherstrip to help form a tight, even seal when the door closes. Without precision engineering in this critical area, the weatherstrip can pinch if the door is too tight or gap if it is too loose, letting air and moisture pass between the door and frame.

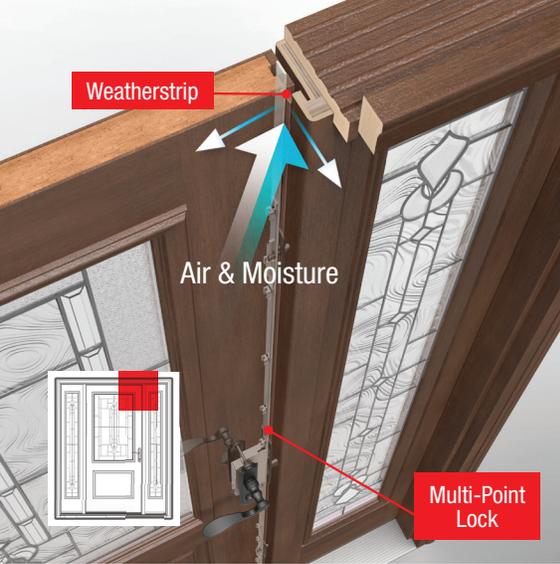
- Position the door for proper compression of the weatherstrip to form a tight seal when closed.
- Proper positioning also ensures smooth operation to help resist creaking and uneven wear.
- Offered in a variety of options designed to go with our door systems.

- 1 Hex screws adjust alignment of door in frame.
- 2 Fixed pins prevent door from being taken off hinges.
- 3 Removable pins allow door to be taken off hinges.
- 4 Ball bearings help protect each hinge pivot, for added support and stability.
- 5 C-shape hole pattern for premium wood door appearance.
- 6 Locating tabs for accurate alignment.
- 7 Security tab prevents door from being taken off hinges by driving out pins.
- 8 Self-closing spring mechanism that helps pull the door closed.

*For full details on the Tru-Defense Warranty Rider, visit www.thermatru.com/trudefense.

**Finishes only available for NRP Hinge.

***To confirm code requirements in your jurisdiction, always check with your local building code authority. Note: See your Therma-Tru seller for available component options.



Genuine Therma-Tru® multi-point locking systems engage the frame at three points from top to bottom, helping to preserve the seal even under wind pressure. Without precision engineering in this critical area, wind can push the top and bottom corners of the door away from the frame, allowing air and moisture to pass through.

- Provides more engagement of locking hardware than traditional deadbolt assemblies.
- Premium stainless steel construction provides excellent corrosion resistance.
- Highly recommended for 8'0" and double fiberglass door systems. (Not recommended for steel door systems.)

Multi-Point Locking Systems (MPLS)



- 1 Self-lubricating locks.
- 2 1" premium stainless steel deadbolt.
- 3 Integrated mishandling device.



Tongue

Heights: 6'6"
6'8"
7'0"
8'0"

Configurations:
Inswing
Outswing



Side view of door.

Exterior view of door.



Grip-Style MPLS +

Grip-style handlesets offer an intuitive approach to the multi-point locking system with on-trend aesthetics. A simple 90-degree twist of the thumbturn (interior) or a key (exterior) is all it takes to engage the door frame at three points with no need to lift the handleset lever. An integrated mishandling device protects the door and frame from accidental damage. Features deadbolt located above handleset. (Active option only. Not available for double door systems with an astragal.)



Exterior view of door.

Side view of door.



- 1 Self-lubricating locks.
- 2 1" premium stainless steel deadbolt.
- 3 Integrated mishandling device.



Tongue

| | |
|-----------------|------------------------|
| Heights: | Configurations: |
| 6'6" | Inswing |
| 6'8" | Outswing |
| 7'0" | |
| 8'0" | |



Shootbolt

(For door systems with an astragal.)

| | |
|-----------------|------------------------|
| Heights: | Configurations: |
| 6'6" | Inswing |
| 6'8" | Outswing |
| 7'0" | |
| 8'0" | |



Tongue
(Included in vented sidelite units.)

Heights:
6'6"
6'8"
8'0"

Lever-Style MPLS +

Lever-style handlesets bring form and function together with decorative styles. A convenient upward turn of the handle is required before all three points will engage. An integrated mishandling device helps protect the door and frame from accidental damage. Features deadbolt below the handleset.

Vented Sidelites MPLS

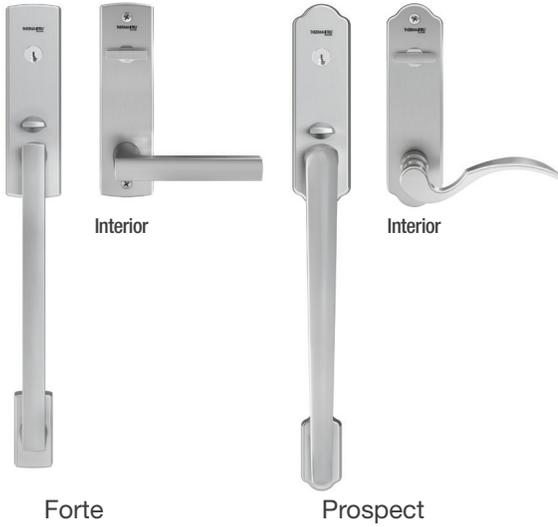
Constructed to provide ventilation without sliding screens blocking the view, vented sidelites work as small swinging doors with convenient removable screens. Engineered for durability and safety with wide patio mullions for strength, and multi-point locking gears and recessed strike plates for security.

Handleset Options for Standard Door MPLS

Designed to complement Therma-Tru door styles from traditional to contemporary.

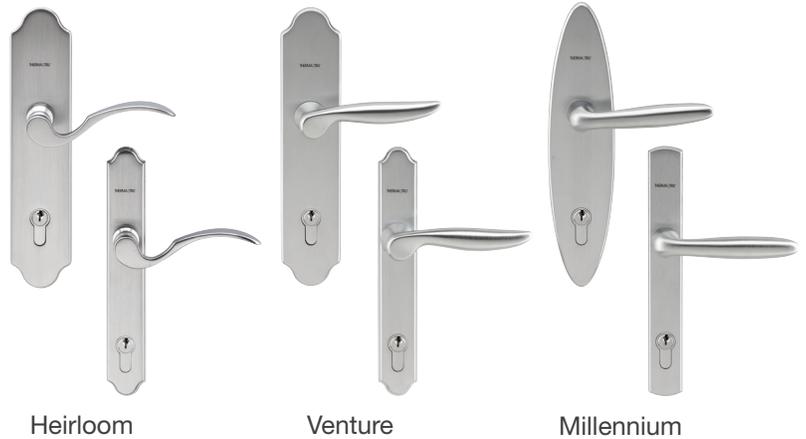
Grip-Style MPLS

Backplates: Wide
Locking: Active



Lever-Style MPLS

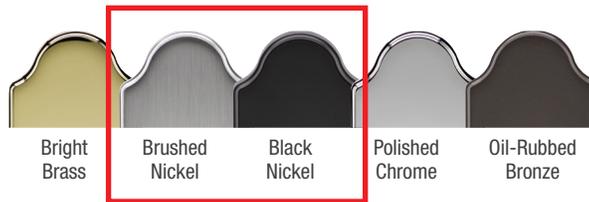
Backplates: Wide, Narrow
Locking: Active, Inactive



Grip-Style Finish Options



Lever-Style Finish Options



Latch & Deadbolt Strike Plate



Standard vs. Adjustable Security Strike Plate

Adjustable Security Strike Plate

(Recommended for standard lock and deadbolt handlesets only.)

Finish Options:
Brushed Nickel
Black Nickel
Polished Chrome
Oil Rubbed Bronze
Stainless Steel
Zinc Dichomate

A genuine Therma-Tru adjustable security strike plate helps enhance the safety and security of a home, wrapping around the door jamb and fully engaging the frame of the house for added support and strength against forced entry. Our adjustable security strike plates are tested to withstand up to three times the force of standard strike plates.*

- ❶ Wraps around the door jamb for added support and an exact fit.
- ❷ 2-½" screws fully engage with the frame of the house for added strength.

*ASTM-F476. As tested by an independent laboratory. Not available on certain configurations.

**To confirm code requirements in your jurisdiction, always check with your local building authority.

Engineered to work together.

Therma-Tru Door system components are designed to work together with our door families to create a tight seal.

| Door Collection | Corner Seal Pad | Weatherstrip | Hinges |
|---|--|--|---|
| <p>Classic-Craft®</p>  |  <p>Classic-Craft 7-Shape Pads ✚</p> | <p>Medium-Reach Weatherstrip ✚ For square edge doors</p>  <p>All Sides</p> |  <p>Classic-Craft Ball-Bearing Hinge ✚</p> |
| <p>Fiber-Classic® & Smooth-Star®</p>  |  <p>Fiber-Classic / Smooth-Star 7-Shape Pads ✚</p> | <p>Medium-Reach Weatherstrip ✚</p>  <p>Hinge Side</p> <p>Long-Reach Weatherstrip ✚ For bull edge doors</p>  <p>Lock & Head Side</p> |  <p>Self-Aligning Ball-Bearing Hinge ✚ Tabs for pass through door machining</p> |
| <p>Profiles™ & Traditions Steel</p>  |  <p>Basic Fixed Pads ✚</p> | <p>Medium-Reach Weatherstrip ✚</p>  <p>Hinge Side</p> <p>Long-Reach Weatherstrip ✚</p>  <p>Lock & Head Side</p> |  <p>Self-Aligning Hinge ✚ Tabs for pass through door machining</p> |



Smooth-Star

Technical Data
Glass
Frame
Total U-Value



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Home > Brands > Kichler > Wall Sconces > Kichler 49829

Item # bci3706528

KICHLER



Kichler

Beacon Square Single Light 12" Tall Outdoor Wall Sconce

Model: **49829WH**

from the Beacon Square Collection

7 Reviews | Write a Review

\$109.99

Finish: **White** - 180 In Stock

Olde Bronze
\$109.99
1340 In Stock

Chat with an E...



What are you shopping for?



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Home > Brands > Kichler > Wall Sconces > Kichler 49829

Item # bci3033922

KICHLER



Kichler

Beacon Square Single Light 12" Tall Outdoor Wall Sconce

Model: **49829OZ**

from the Beacon Square Collection

7 Reviews | Write a Review

\$109.99

Finish: **Olde Bronze** - 1340 In Stock

Olde Bronze
\$109.99
1340 In Stock

Chat with an E...

— Overview

Product Overview

Inspired by classic craftsman architecture, This Beacon Square 12 inch 1 light outdoor wall lantern's clean lines deliver a transitional and versatile style. Crafted from Kichler's Climates materials, each fixture is designed to withstand harsh outdoor elements, like saltwater spray and UV rays, for a beautiful and long-lasting White finish. The clear, hammered glass simulates the look of water, enhancing the overall style, while still letting the light shine through.

Features

- Constructed from EPMM to withstand the environment
- Comes with a clear hammered glass shade
- (1) 75 watt maximum medium (E26) bulb required
- Intended for outdoor use
- Fixture is not capable of being dimmed
- Designed for exposure to strong coastal climates
- ETL rated for wet locations

Dimensions

- Height: 12"
- Width: 6-1/2"
- Extension: 7-1/2"
- Product Weight: 3.4 lbs
- Backplate Height: 6-1/2"
- Backplate Width: 4-3/4"

Electrical Specifications

- Max Wattage: 75 watts
- Number of Bulbs: 1
- Max Watts Per Bulb: 75 watts
- Bulb Base: Medium (E26)
- Bulb Included: No

Additional Kichler Links

- [View the Manufacturer Warranty](#)
- [Browse All Kichler Products](#)
- [Kichler Beacon Square Collection](#)

This product is listed under the following manufacturer number(s):

Kichler 49829OZ
Olde Bronze

Kichler 49829WH
White

Dimensions and Measurements

| | | |
|------------------|--|----------|
| Backplate Height | <input data-bbox="769 1465 797 1501" type="text" value="?"/> | 6.5 in. |
| Backplate Width | <input data-bbox="769 1522 797 1558" type="text" value="?"/> | 4.75 in. |
| Extension | <input data-bbox="769 1579 797 1614" type="text" value="?"/> | 7.5 in. |
| HCO | <input data-bbox="769 1635 797 1671" type="text" value="?"/> | 2.5 in. |
| Height | <input data-bbox="769 1692 797 1728" type="text" value="?"/> | 12 in. |
| Nominal Height | <input data-bbox="769 1749 797 1785" type="text" value="?"/> | 12 in. |
| Nominal Width | <input data-bbox="769 1806 797 1841" type="text" value="?"/> | 7 in. |
| Product Weight | <input data-bbox="769 1862 797 1898" type="text" value="?"/> | 3.4 lbs. |
| Width | <input data-bbox="769 1919 797 1955" type="text" value="?"/> | 6.5 in. |

Included Components

| | | |
|-----------------------|--------------------------|----|
| Bulb Included | <input type="checkbox"/> | No |
| Wall Control Included | <input type="checkbox"/> | No |

Characteristics and Features

| | | |
|---------------------|--------------------------|------------------|
| Bulb Base | <input type="checkbox"/> | Medium (E26) |
| Bulb Shape | <input type="checkbox"/> | A19 |
| Dimmable | <input type="checkbox"/> | No |
| Full Backplate | <input type="checkbox"/> | No |
| Genre | <input type="checkbox"/> | Craftsman |
| Glass Features | <input type="checkbox"/> | Water Glass |
| Light Direction | <input type="checkbox"/> | Ambient Lighting |
| Marine Grade | <input type="checkbox"/> | Yes |
| Material | <input type="checkbox"/> | Synthetic |
| Number of Bulbs | <input type="checkbox"/> | 1 |
| Reversible Mounting | <input type="checkbox"/> | No |
| Sconce Type | <input type="checkbox"/> | Lantern |
| Shade Color | <input type="checkbox"/> | Clear |
| Shade Material | <input type="checkbox"/> | Glass |
| Shade Shape | <input type="checkbox"/> | Lantern |

Electrical and Operational Information

| | | |
|----------------|--------------------------|--------------|
| Power Source | <input type="checkbox"/> | Hardwired |
| Voltage | <input type="checkbox"/> | 120 |
| Voltage Type | <input type="checkbox"/> | Line Voltage |
| Wattage | <input type="checkbox"/> | 75 |
| Watts Per Bulb | <input type="checkbox"/> | 75 |

Warranty and Product Information

| | | |
|-------------------|--------------------------|---------------|
| ADA | <input type="checkbox"/> | No |
| Collection | <input type="checkbox"/> | Beacon Square |
| Country Of Origin | <input type="checkbox"/> | China |
| Energy Star | <input type="checkbox"/> | No |
| ETL Listed | <input type="checkbox"/> | Yes |
| Location Rating | <input type="checkbox"/> | Wet Location |



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
13 January 2021

1 SUMMARY OF REQUEST

1409 King Street, Alterations / Additions / New Construction

Applicant: Andrew Rogerson, Garvin Design Group

The applicant is requesting final approval of alterations to a contributing structure in the Northwest Quadrant, eight attached dwelling units in the Northwest Quadrant along Prince Street and Site Plan parking lot layout.

This project involves alterations to a contributing structure in the Northwest Quadrant.

Background:

1409 King Street, the Old Jail, is listed as Contributing in the 1997 Beaufort County Historic Sites Survey, c. 1938-40. The original 1935 portion included is depicted in the 1958 Sanborn Map. The western addition was built in 1962.

On December 13, 2017, the Historic review board granted final approval to demolish the structure at 1409 King Street with the condition that the front panel that says "Beaufort County Jail be preserved for use on-site somewhere in the future.

On June 17, 2020, the Historic Review Board held a special meeting to discuss renovation of the jail and construction of new residential buildings, no decisions were made.

On July 8, 2020, the Historic Review Board reviewed an application for renovation of the jail and construction of new residential buildings. The renovations to the jail received preliminary approval with parking issues to be resolved, and the construction of new residential buildings was deferred.

On November 18, 2020, the Historic Review Board granted preliminary approval for eight attached dwelling units along Prince Street.

2 FACTS

Property Address: 1409 King Street
Parcel ID: R120 004 000 1009 0000
Case Number: 20-28 HRB.1
Applicant: Andrew Rogerson
Zoning: T4-N
Use: Residential



District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
 - *Front-0' min.*
 - *Rear setback – 10' min.*
 - *Side Corner/Alley – 0'min.*
 - *Side Interior – 5' min, or 0' if attached.*
- **Maximum Building Height: 4 stories max;** 3.5 stories max in & fronting Historic District & interior lots along Allison Rd.
- **Frontage Build-Out:** 60% min; 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed.
- **Permitted Uses:** Single Family Dwelling, or Two- or Three-Unit dwelling is permitted by right in the T4-N zoning classification.

References:

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement
- Northwest Quadrant Design Guidelines

3 STAFF COMMENTS/ RECOMMENDATIONS

1. The applicant has worked closely with Staff to create a design and details that are consistent with the referenced standards. Staff believes this project is a positive addition to the Historic District and Northwest Quadrant and appreciates the applicant's willingness to work with staff to create a compliant design.
2. Old Jail and Site Plan:
 - a. The portion of this application that includes renovation to the old jail was previously granted preliminary approval at the July 2020 meeting, with a condition that parking be revised to be compliant with the Beaufort Code. Additional items were submitted for the jail in November, including an additional canopy detail, a scupper detail, a TPO counterflashing detail, and specifications for the exterior paint. In November, the Board approved these additional details and maintained Preliminary Approval of the jail with a condition that the parking be revised to be compliant with the code and to also reflect noted conditions about the parking layout.
 - b. Applicant to submit cutsheet of new door proposed for North Elevation of Jail building.
 - c. The revised site plan is a welcome improvement to the previously submitted plan. The Monson Street curb cut, drive and parking immediately south of the Old Jail have been removed. The result is a layout that better respects the site and historic jail building, and further enhances the protection of the 37' live oak tree located south of the Old Jail. The 19 onsite parking spaces and 10 parallel parking spaces provided meet the parking requirements of Beaufort Code Section 5.7.4.
 - d. Per Section 5.7.3.B. and C., a minimum of two bicycle parking spaces are required. In future submissions, the location of the bicycle parking shall be shown on the site plan.

Staff Recommendation:

Final Approval of the Old Jail renovations and Site Plan with conditions noted.

3. Detached Houses:

- a. In this new submission, the applicant has updated the proposed design of the detached houses to respond to previous staff comments about the roofs, fenestration proportion and alignment, materials, trim elements, and porches: The applicant has revised the roof and color selections so that each individual building follows a single color scheme. Windows have been added and realigned. Previously proposed upper inset porches have been eliminated from the rear elevations, and trim and porch details have been restudied to be compliant with previous staff comments. Overall, Staff is in support of these updates to the detached houses.
- b. Coordination of drawings is not yet complete. There are many inconsistencies between plans, graphical presentation elevations/renderings, architectural elevations, and sections, including but not limited to the following:
 - i. Beam of 1st level porch of B2 unit does not extend to sidewall of B1 in some rendered elevations, but it does extend to side wall of unit B1 in architectural drawings. Staff assumes that architectural drawings are correct, but applicant to note that all drawings must be consistent in future submissions.
 - ii. Rear window on rear elevation of A1 units appears to be too high in rendered elevations. The Architectural elevations show a much lower sill height for this window. Applicant to clarify which window location is correct and ensure future submissions show consistent drawings. Heads of all windows should align. Similarly, Staff asks applicant to consider replacing second story rear windows of B1 units with casement or picture windows that will appear more like a single sash rather than a double hung window. If architectural elevation of B1 unit rear window is not correct, and this lower sill height cannot be achieved, applicant to consider revising this window as well to be casement or picture and to mimic a single sash window.
 - iii. Ground floor plan of unit B2 does not show a window in the garage, but a window is shown in this location in drawing 4 on Sheet A4.2. Applicant to clarify which drawing is correct. Staff recommends replacing single window in this location with a double ganged window to symmetrically match that on the front of the elevation.
 - iv. The wall sections are still showing an apron in the “Foundation and Window Detail” drawing. This does not show up in elevations. If it is intended that an apron is part of the window design, staff recommends eliminating the apron from the design.
- c. Staff recognizes that the applicant has worked to add and realign windows, but some window areas still need to be resolved:

- i. Staff is still concerned with the blank elevation at the rear of the Prince Street elevation of the corner A1 unit. Staff would like to see a window in this location, which we realize is the kitchen on the interior and may involve reconfiguring of kitchen layout. If a window is not possible to add to this location, Staff recommends that the architect come up with a creative solution to visibly break up wall on this corner unit.
 - ii. In drawing 4 on Sheet A4.2, Applicant to consider adding a window at the rear of the second story within the kitchen. Staff understands that this may involve flipping the kitchen cabinetry layout on the interior. This new window should align vertically with those above and below it, and the head and sill should align with heads and sills of other windows on that level.
 - iii. In drawing 2 of Sheet A4.2, the window above the geson on the second story should be centered in the gable. If it is not possible to center this window, the central window should be eliminated, and two windows should be added (one in each bedroom) that flank the center of the gable.
 - iv. On the rear elevation of attached dwelling unit Type B on Sheet A4.1, the double window on the top floor should be ganged. Siding between the windows should be eliminated.
 - v. Staff is in support of the proposed windows with the proposed use of simulated divided lights with shadow bars.
- d. Staff finds the proposed 2" mechanical standing seam roof to be unacceptable. Staff preference would be the use of a lower profile seam, mechanical, and double lock. Staff preference is that bulky hip caps and trim details are eliminated, per page 33 of the Northwest Quadrant Design Principles: "When using metal roofing, a low profile is preferred. A rolled seam is preferred. Traditional ridge and eave details are also preferred... Roofs with a taller standing seam than used traditionally or those of a corrugated design are not appropriate, but may be considered on a case by case basis." Staff prefers a flat panel roof with no striations or ribs.
- e. Staff requests the following details and cutsheets in future submissions:
- i. Detail of exterior door head, jamb, and threshold.
 - ii. Detail of porch railing.
 - iii. Cut Sheet of proposed Garage Door.
- f. Staff prefers that proposed sconces are Black and not white. Staff prefers that glass not be heavily textured within the sconce. The sconce glass should be clear and smooth.

Staff Recommendation:

Final Approval of the detached houses along Prince Street with conditions noted.