



**MEETING AGENDA**  
The City of Beaufort  
**HISTORIC DISTRICT REVIEW BOARD**  
Wednesday, February 9, 2022, 2:00 P.M.  
City Hall, Council Chambers, 2<sup>nd</sup> Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/86974429590?pwd=VGNHMURkWIZEZVQrSzkrtOI2THg3UT09>

Password: 891301      Meeting ID: 869 7442 9590      Call in Phone #: 1+929 205 6099

**STATEMENT OF MEDIA NOTIFICATION:** “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

*Note: A project will not be reviewed if the applicant or representative is not present at the meeting.*

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**I. Call to Order:**

**II. Review of Minutes:**

**A. January 12, 2022 Meeting Minutes**

**III. Applications:**

**A. 1107 Greene Street, PIN R120 004 000 0176 0000, Alterations/Additions**  
Applicant: Lynne Fensterer (21-63 HRB.2)

The applicant is requesting Final Approval of alterations and additions to an existing single-family residence at 1107 Greene Street.

**B. 211 Charles Street, PIN R120 004 000 0909 0000, New Construction**  
Applicant: Arnie McClure, Coast Architects, Inc. (21-02 HRB.4)

The applicant is requesting Final Approval of a 3-story apartment/commercial building.

**IV. Discussion**

**V. Adjournment**



# Historic District Review Board Meeting Minutes – January 12, 2022

## CALL TO ORDER

0:21

A meeting of the Historic District Review Board was held in-person on January 12, 2022 at 2:00 pm.

## ATTENDEES

Members in attendance: Jeremiah Smith (Chairman), Mike Sutton (Vice-Chair), Stacy Applegate (Secretary), Maxine Lutz, and Michelle Prentice.

Staff in attendance: Meredith Jacobs (Meadors Architecture), Jeremy Tate (Meadors Architecture), Emmilyn Potts (City of Beaufort Planner of Community and Economic Development), and David Prichard (City of Beaufort Director of Community and Economic Development).

## REVIEW OF MINUTES

2:01

Motion: Mr. Sutton made a motion to approve the December 12, 2021 Meeting Minutes; seconded by Ms. Prentice. The motion passed unanimously.

*All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Traci Guldner at 843-525-7024 or by email at [tgundler@cityofbeaufort.org](mailto:tgundler@cityofbeaufort.org).*

## APPLICATIONS

- A. **705 Prince Street, PIN R120 004 000 0542 0000**, Alterations/Additions  
Applicant: Charlie Heyman for Erich and Trish Fuldner (21-50 HRB.3)

2:43

The applicant is requesting final approval of alterations and additions to a single-family residence at 705 Prince Street

**Motion:** Mr. Sutton made a motion to allow only a picket fence or vegetative planting for [HVAC equipment] screening; Ms. Prentice seconded, the motion passed unanimously.

**Motion:** Mr. Sutton made a motion that the owner be allowed to keep the columns as profiled in the application on the east elevation; Ms. Applegate seconded; the motion passed 4-1, with Ms. Lutz opposed.

**Motion:** Mr. Sutton made a motion that [the board] does not allow chimney to be removed; Ms. Prentice seconded the motion, the motion passed unanimously.

**Motion:** Mr. Sutton made a motion for final approval with staff recommendations as noted, with the exception of motions previously voted on, Ms. Prentice seconded; the motion passed 4-1, with Ms. Lutz opposed

- B. **708 Hamilton Street, PIN R120 004 000 0566 0000**, Alterations/Additions  
Applicant: Frank and Sarah Scudder (21-76 HRB.1)

**1:13:38**

The applicant is requesting conceptual approval for an addition to a contributing structure.

Mr. Smith recused himself, Mr. Sutton acted as chairman.

**Motion:** Ms. Applegate made a motion for conceptual approval of the porch as drawn; Mr. Sutton seconded; the motion passed unanimously.

**Motion:** Mr. Sutton made a motion to approve conceptual, asking the applicant to bump out the south elevation out to align the east wall with the existing corner; Ms. Prentice seconded, the motion passed unanimously.

**Motion:** Mr. Sutton made a motion to approve conceptual as submitted. Motion seconded by Ms. Prentice; The motion passed unanimously.

Mr. Smith rejoined the board, acting as chairman.

## DISCUSSION

**2:02:03**

General discussion about council's decision on using Robert's Rules of order for all boards. Mr. Pritchard assured the board that a decision has not been made and that boards are able to adopt their own rules of order.

Ms. Lutz discussed the conduct of the board at the December meeting. She encouraged the board members to present a positive image of the board as a whole.

The board reminded the public of the upcoming work session.

The board discussed upcoming zoom meetings with the National Parks Service that are open to the public.

All discussion was general, and no decisions were made.

## ADJOURNMENT

**2:07:51**

**Motion:** Ms. Lutz made a motion to adjourn the meeting; seconded by Mr. Smith. The motion passed unanimously. The meeting ended at 4:07 pm.

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Chair

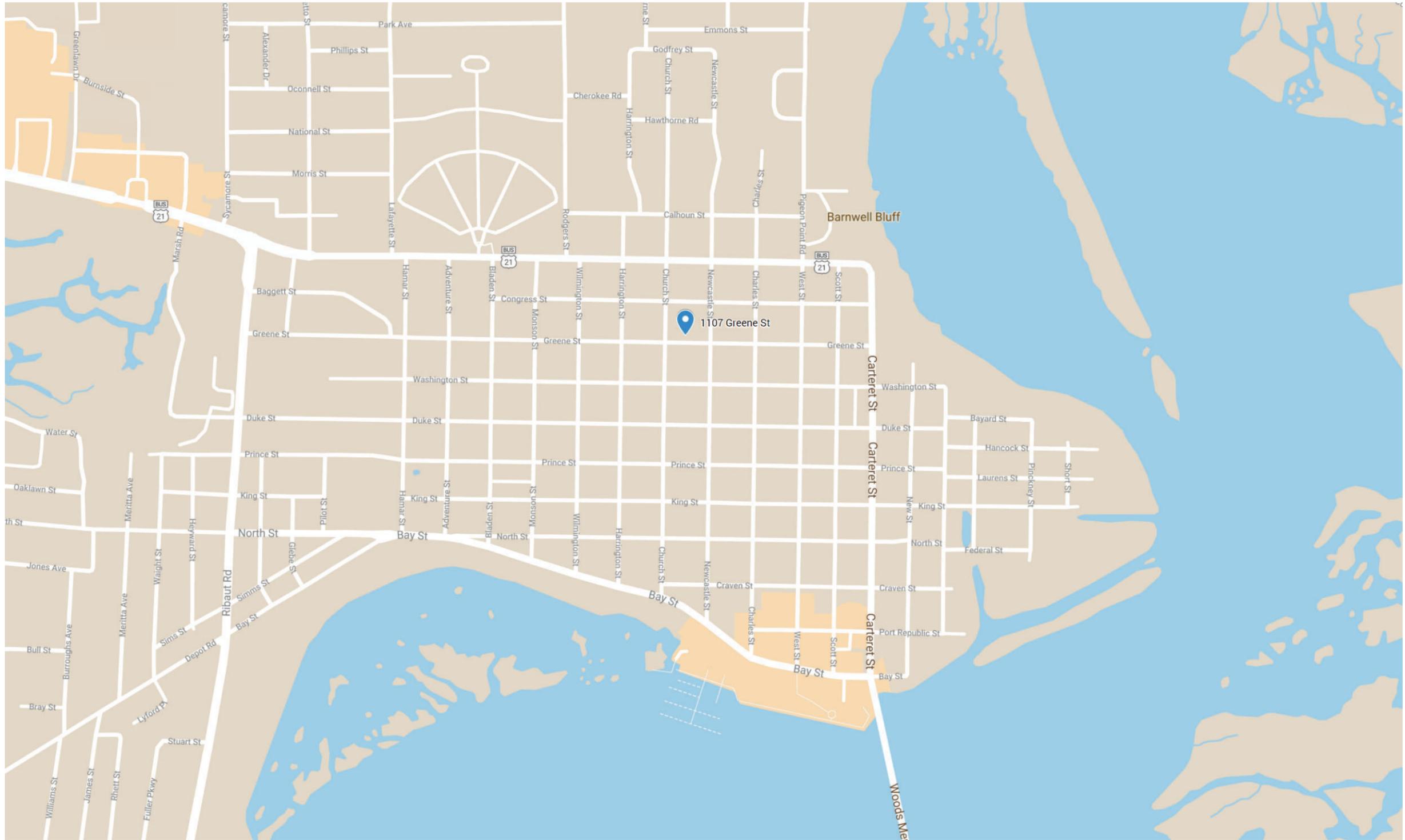
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Date of approval

DRAFT

## **CITY STAFF INTRODUCTION**

1107 GREENE STREET



PROJECT LOCATION- 1107 GREENE STREET

United States Department of the Interior  
National Park Service

**National Register of Historic Places  
Continuation Sheet**

**Beaufort Historic District  
Beaufort County, SC**

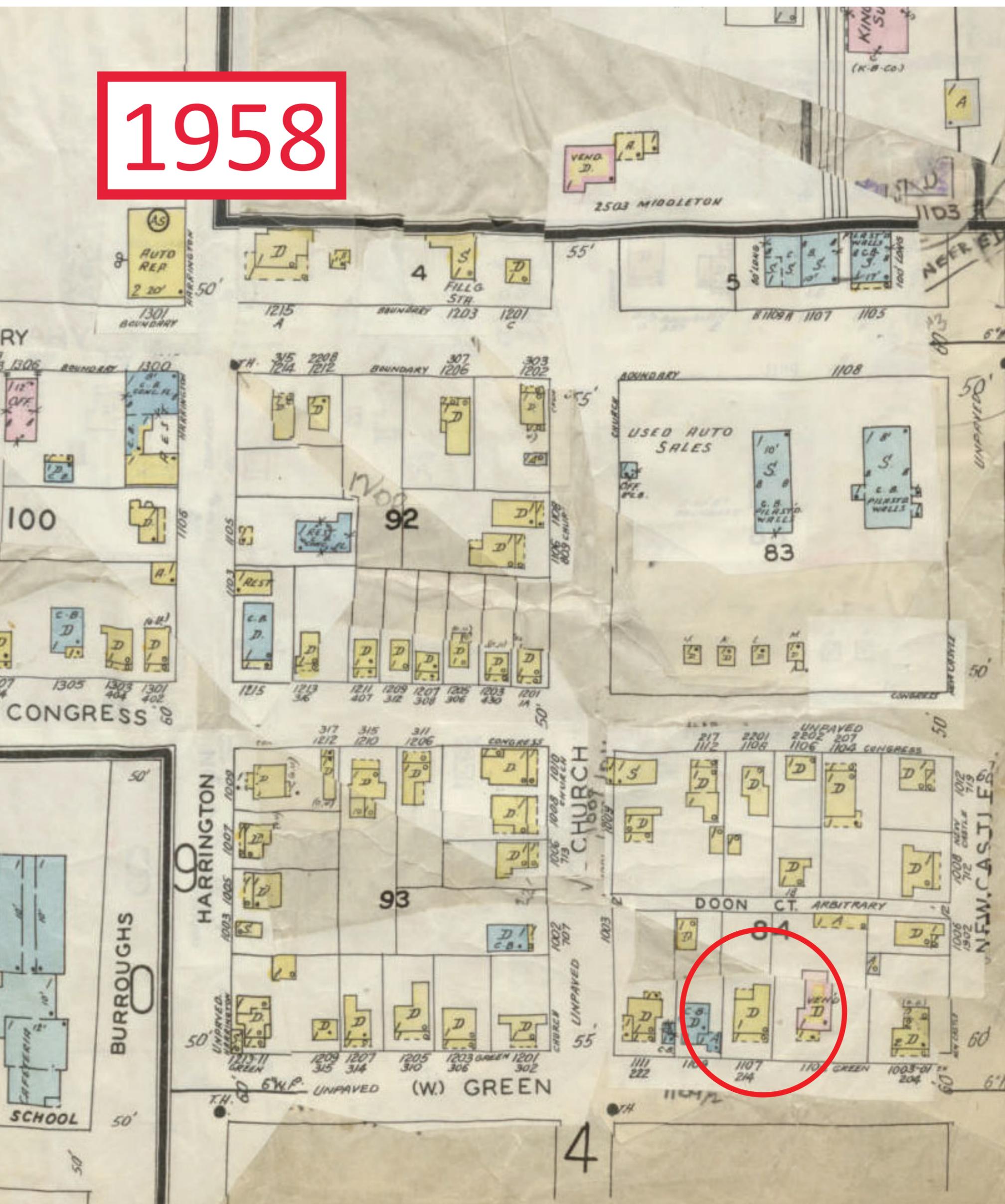
Section number 7 Page 38

**List of Noncontributing Resources, Continued**

Address	Historic Use / Name	Date	Description	Block	Site Number
Greene St., 1102	single dwelling	1955 ca.	1-story frame dwelling	85	NS
Greene St., 1105	single dwelling	1965ca.	1-story brick dwelling	84	NS
Greene St., 1107	single dwelling	1955 ca.	1-1/2 story frame dwelling; possibly old but altered	84	NS
Greene St., 1111	single dwelling	1955 ca.	2-story frame dwelling	84	NS
Greene St., 1203	single dwelling	1970 ca.	1-story brick veneer dwelling	93	NS
Greene St., 1210	multiple dwelling	1985 ca.	1-story stucco multi-family dwelling	94	NS
Greene St., 1214	single dwelling	1990 ca.	1-story frame dwelling	94	NS
Greene St., 1304	single dwelling	1955 ca.	1-story frame dwelling; possibly older but altered	102	NS
Greene St., 1306	single dwelling	1960 ca.	1-story brick veneer dwelling	102	NS
Greene St., 1401	single dwelling	1960 ca.	1-story frame dwelling	109	NS
Greene St., 1403	single dwelling	1960 ca.	1-story frame dwelling	109	NS
Greene St., 1406	single dwelling	1965 ca.	1-story cmu dwelling	110	NS
Greene St., 1414	single dwelling	1970 ca.	1-story brick veneer dwelling	110	NS
Greene St., 1505	single dwelling	1955 ca.	1-story brick veneer dwelling	117	NS
Greene St., 1507	single dwelling	1960 ca.	1-story frame dwelling	117	NS
Greene St., 1508	single dwelling	1955 ca.	1-story cmu dwelling	118	NS
Hamer St., 87	single dwelling	1980 ca.	1-story frame dwelling	134	NS
Hamer St., 609	single dwelling	1965 ca.	1-story frame dwelling	136	NS
Hamilton St., 808	single dwelling	1965 ca.	1.5 story brick veneer dwelling	15	NS
Hamilton St., 809	single dwelling	1965 ca.	2-story brick dwelling	9	NS
Hancock St., 307	single dwelling	1975 ca.	1-1/2-story brick dwelling	9	NS
Hancock St., 404	single dwelling	1955 ca.	1-story frame ancillary dwelling	16	NS
Hancock St., SE, cor. East	single dwelling	1998 ca.	2-story frame dwelling	10	NS
Harrington St., 807	single dwelling	1960 ca.	1-story frame dwelling	95	NS
Harrington St., 1003	single dwelling	1960 ca.	1-story frame dwelling	93	NS
Harrington St., 1105	commercial	1970 ca.	1-story cmu commercial building now used as a church	92	NS
King St., 304	single dwelling	1960 ca.	1-1/2 story brick dwelling; possibly older but altered	12	NS
King St., 306	single dwelling	1960 ca.	1-story frame dwelling; possibly older but altered	12	NS

x See continuation sheet 7-39

1958

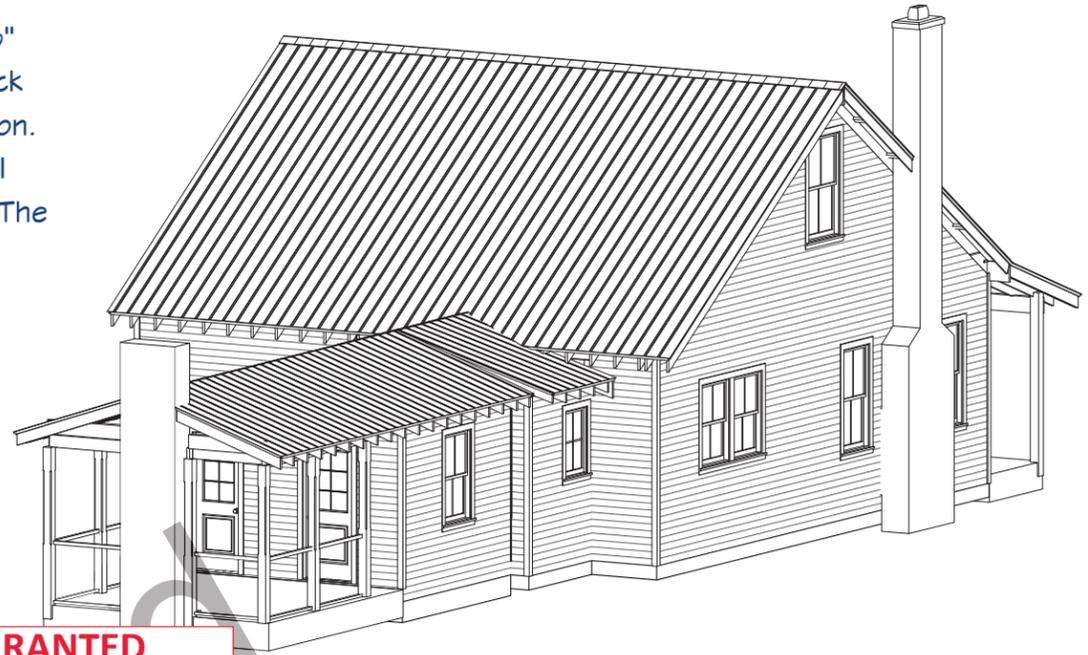


Current siding is 12" Masonite in terrible condition over black Homosote insulated sheathing. All of that is over the original 8" Pine bevel siding. From the inside under the demoed sheetrock in several places the original siding looks to be in good condition. It is hoped that this is the case throughout and if so the original siding will remain and be repaired/replaced where necessary. The inside wall cavity will be closed cell spray foamed to provide insulation and sealing.

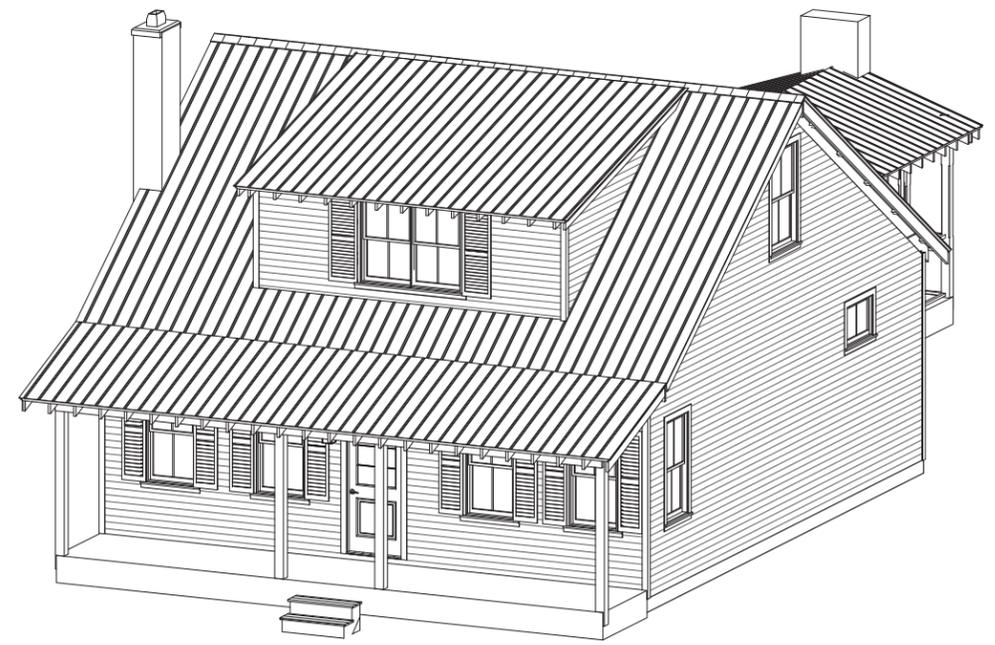
All existing windows are flimsy aluminum framed and will be replaced with Marvin Elevate cut 2 over 2.

Asphalt shingle roofing will be removed and replaced with galvalume 5V.

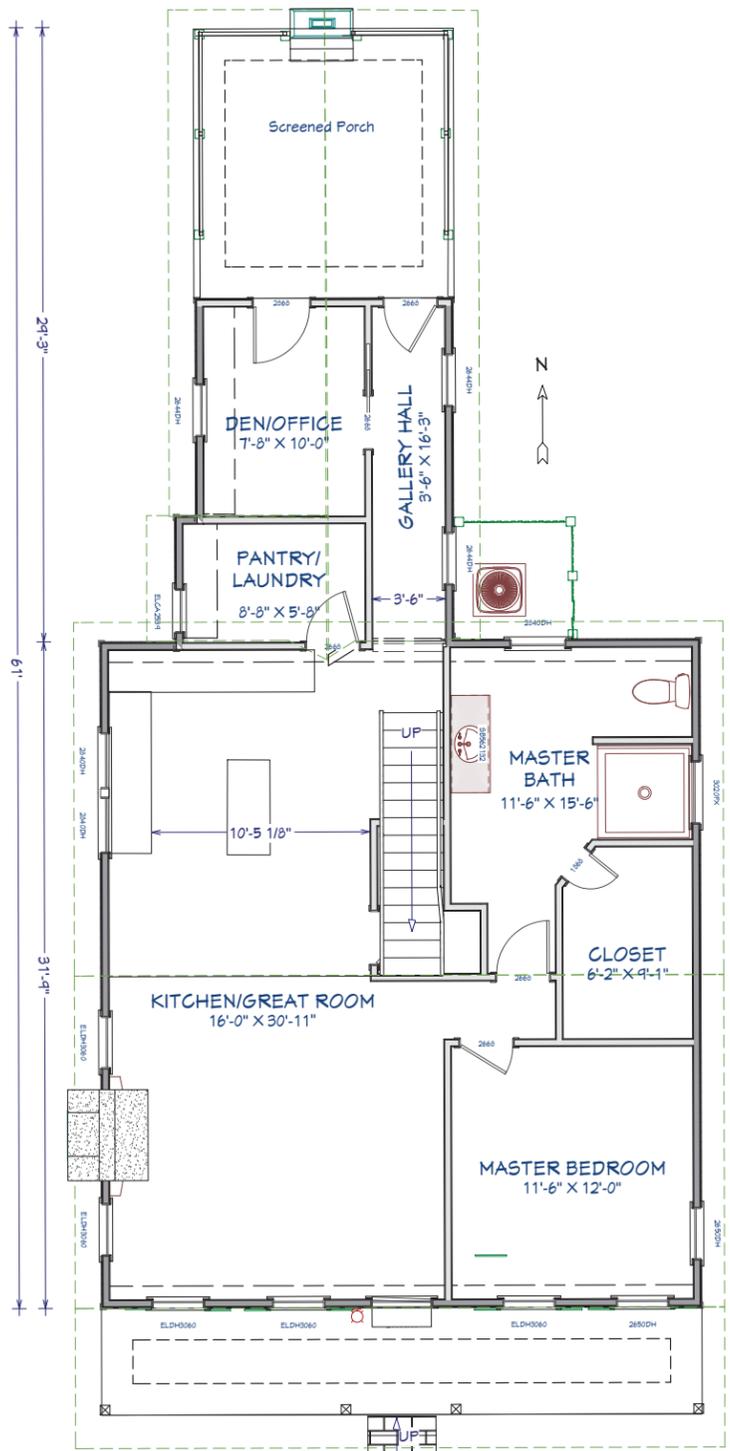
**PAGES FROM PREVIOUS SUBMISSION, GRANTED  
CONDITIONAL PRELIMINARY APPROVAL NOVEMBER 2021**



Rear Left View

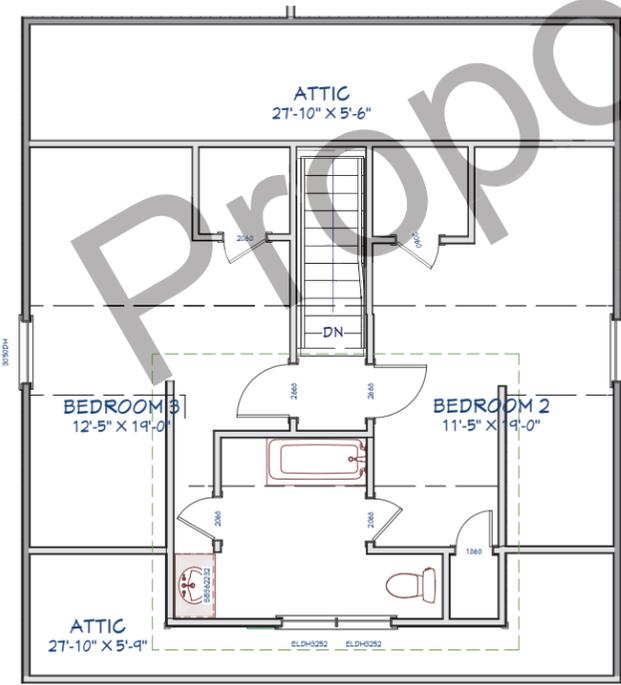


Front Right View  
Proposed



First Floor Plan  
Proposed

LIVING AREA  
1104 SQ FT



2nd Floor Plan  
Proposed

LIVING AREA  
585 SQ FT



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

**Proposed Elevations**  
  
 Lynne Fensterer  
 1107 Green Street  
 Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
 Charles Heyman  
 843 592-0760  
 cheyman825@gmail.com

DATE:  
 10/20/2021  
  
 SCALE:  
 1/4"=1'  
  
 SHEET:  
**HRB5**

**PAGES FROM PREVIOUS SUBMISSION, GRANTED  
 CONDITIONAL PRELIMINARY APPROVAL NOVEMBER 2021**

All windows to be removed and replace with Marvin Elevate 5DL cut 2 over 2.  
 Painted Fibreglas exterior, wood interior.  
 Front windows will be in existing location and size,  
 most side, dormer and back windows will be in new locations.



Exterior Elevation Back Proposed



Exterior Elevation Left Proposed

Back porch to be enlarged and screened.

Stucco Chimney

Existing asphalt roofing to be removed and replaced with 5V metal roofing, Galvalume finish.

Original bevel siding to be exposed and retained where possible. Any new siding will be wood bevel to match original.



Exterior Elevation Front Proposed



Exterior Elevation Right Proposed

Stucco Chimney

**NOVEMBER 2021 PRELIMINARY  
APPROVAL DECISION LETTER**



**CITY OF BEAUFORT  
HISTORIC REVIEW BOARD  
1911 BOUNDARY STREET  
BEAUFORT, SOUTH CAROLINA 29902  
(843) 525-7011 FAX: (843) 986-5606**

**DECISION LETTER – Preliminary**

November 24, 2021

Lynne Fensterer

Via: [lynnefensterer@gmail.com](mailto:lynnefensterer@gmail.com)

**RE: 21-63 HRB.1 1107 Greene Street – Alterations/Addition**

Dear Ms. Fensterer:

On November 10, 2021, the City of Beaufort Historic Review Board (HRB) met to review your application for alterations and additions to an existing single-family residence located at 1107 Greene Street. The HRB voted to grant preliminary approval with the following conditions noted, except that the laundry room and kitchen remain as designed and the rear screen porch door is adjusted symmetrically with the other door:

**Staff Conditions (Ordinance Requirements)**

1. When repairing and replacing existing wood siding in kind, Applicant to note that replacement of wood siding and trim should be limited to areas of severe deterioration that are not repairable. Replacement material should be of the same species, size, and shape as the original, and every effort should be made to repair and retain historic siding, where possible. Applicant to reference Chapter 9 in the Preservation Manual for proper repair and replacement techniques.
2. Section 4.6.3.C.2.c.i of the Beaufort Code notes that “facades should have several window sizes with smaller ones above.” The size of the proposed gable windows on the Right and Left Elevations are larger than the windows on the first story. Applicant to revise the window sizes so that the windows in the gables are smaller than those below. Staff understands that the windows are likely sized for egress. If this is the case, Staff asks the applicant to convert these gable windows to casement windows that include meeting rails so that they look like double hung windows.
3. Page 39 of the Preservation Manual Supplement states that “Shutters must be proportioned and properly hung to completely cover the window or door when in the closed position.” Applicant to confirm that the shutters drawn around the proposed dormer windows are operable, bifold shutters that are capable of completely covering the windows they surround.
4. In future submissions, Applicant to submit cutsheets for proposed galvalume roof that include termination details such as ridge, rake edge, slope transition, and drip edge.
5. In future submissions, applicant to clarify scope of work regarding site. The homeowner’s rendering on sheet HRB7 shows a garden wall. Applicant to clarify proposed height and material of garden wall.

6. In future submissions, applicant to provide a wall section through the proposed stucco chimneys and clarify the proposed color of the chimneys.
7. Staff is in support of the proposed exposed rafter tails at the roof, but applicant to provide an eave detail for this condition in future submissions.

**Staff Conditions (Design Recommendations)**

8. On the proposed left and right elevations, there are currently several window sizes shown:
  - a. Staff preference is that all windows in the front rectangular footprint (left and right elevations) on the first story are sized to match and align with the head and sill heights of the front porch windows. On the right façade, Staff recommends eliminating the window within the shower and placing a window above the toilet that has the same relationship to the rear corner board on the exterior as the front window on the east elevation has to the front corner board. Staff also recommends placing a second window in the first-floor bedroom on the east elevation. On the west façade, Staff preference is that the ganged windows in the kitchen are extended so that the sill height aligns with adjacent sill heights. Staff understands that this may mean that the rear of the kitchen cabinetry must be finished out on the interior behind this window.
  - b. Staff preference is that all windows in the rear “ell” have matching head and sill heights, and recognizes that these windows may need to be smaller in height than the windows of on the front portion of the house because of the lower eave height in this portion of the structure. Staff recommends sizing all windows in this area to match the sill and head height of the den/office window on the left façade.
9. Staff preference is that the proposed laundry room window on the left elevation is centered between adjacent corner boards.
10. Staff is generally in support of the proposed rear screened porch, but the detailing has not been fully resolved. In future submissions, applicant to provide wall sections and pay specific attention to column to foundation, column to beam, and beam to rafter alignment.
11. On the Rear elevation, Staff preference is that the door to the den is converted to a window and is shifted over to have a symmetrical relationship to the adjacent door and the porch columns beyond.
12. Applicant to clarify blank spaces on left and right elevations within rear screened porch column bays. Will these bays be screened doors? If so, Applicant to show drawings that depict the screen doors in future iterations.
13. Applicant to clarify detail of casing and sill for new windows. Staff preference is that the windows have heavy projecting sills and period appropriate casings.

If you have any questions, feel free to call the Development of Community & Economic Development at (843) 525-7011.

Sincerely,



Jeremiah Smith, Chair  
Historic Review Board

Via: [cheyman825@gmail.com](mailto:cheyman825@gmail.com)

cc: file copy

**NOVEMBER 2021 PRELIMINARY  
APPROVAL DECISION LETTER**

# **APPLICANT PRESENTATION**

1107 GREENE STREET



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
Email: development@cityofbeaufort.org / www.cityofbeaufort.org

21-63 HRB. 2

Staff Review  
 Board Review pd. ✓

Application Fee:  
see attached schedule

OFFICE USE ONLY: Date Filed: 1/10/22 Application #: 23076 Zoning District: T4-H1N  
BCAGHS Survey:  Yes  No

**Schedule:** The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
*\*Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

Applicant Name: Lynne Fensterer

Applicant Address: 1107 Greene st

Applicant E-mail: lynnefensterer@gmail.com Applicant Phone Number: 772-219-0750

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant):

Owner Address:

Project Name: 1107 Greene st

Property Address: 1107 Greene st

Property Identification Number (Tax Map & Parcel Number): R12000400001760000 block 84

Date Submitted: 1/10/2022

**Certification of Correctness:** I/we certify that the information in this application is correct.

Applicant's Signature: Lynne A Fensterer Date: 1/10/2022

Owner's Signature: Date:

(The owner's signature is required if the applicant is not the owner.)

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org) | updated Dec. 10, 2021



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
Email: development@cityofbeaufort.org / www.cityofbeaufort.org

Project Name: 1107 Greene st

Property Size in Acres: 4,799 sq ft Proposed Building Use: Residence

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition\*
- Relocation\*
- \*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):  
1850 house 150 screened porch

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

As per HRB Board comments, all original clapboard will be restored or replaced with similar wo

All new windows will be placed and sized as per preliminary approval 11/10,shutters

Will be operational and bifold on dormered windows, roof cut sheets are provided for 5v

galvanized with appropriate installation schedule,garden wall is existing and will be

restored and finished in smooth stucco,driveway front to back alley permeable pavers ,

Wall section of stucco & finish are provided, eave detail is provided for rake ends and

Open porch ceiling with bead board, all windows will be sized and placed as per 11/10

Preliminary approval,laundry will be centered on west back bump out, rear screen

porch details are provided,door to the den will be symmetrical with rear entry, scree porch has

a west screen entry door and an east screen door, casing and sill details are provided

Pictures are provided on a separate sheet for the above mentioned details

**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II  
Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina 29902  
E-Mail: development@cityofbeaufort.org Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org) | updated Dec. 10, 2021

Revised June 10, 2021

## HISTORIC DISTRICT REVIEW CERTIFICATE OF APPROPRIATENESS

### Application Requirements

*The Beaufort Code* applies to all projects; the Historic District Infill Design Guidelines in Section 4.7 apply to new construction in the Historic District.

The Historic Review Board also utilizes the following documents when evaluating projects:

- *The Beaufort Preservation Manual & Supplement*: these standards apply to New Construction, Alterations and Additions to Contributing Structures, and Demolition located everywhere in the Historic District except the Northwest Quadrant.
- *The Northwest Quadrant Design Guidelines*: these standards apply to New Construction, Alterations and Additions to Contributing Structures, and Demolition located in the Northwest Quadrant of the Historic District
- The Secretary of the Interior's *Standards for Rehabilitation*: these standards apply to all modifications to Contributing Structures throughout the Historic District

All documents can be found online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

- The Beaufort Code can be found here: <http://www.cityofbeaufort.org/434/Zoning>
- Documents specific to the Historic District, a map of the Historic District and neighborhoods, and the list of Contributing and Non-Contributing Structures can be found here: <http://www.cityofbeaufort.org/350/1997-Beaufort-County-Historic-Sites-Surv>

**NOTE 1:** If a New Construction project also requires major demolition a separate application is required. (Refer to the Checklist for Demolition on page 3).

**NOTE 2:** Applications will not be considered complete until all the required items have been submitted. Incomplete applications will not be placed on the agenda.

**NOTE 3:** Applications are to be compiled in the order in which the applicant plans to present the application to the Board during the meeting.

## City of Beaufort Certificate of Appropriateness Checklists

### Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org)

\*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

**\*This Application Requirements Checklist MUST be included in applications, with submitted items checked.**

#### **Conceptual Review**

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

#### **Preliminary Review:** All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- A Certified Arborist report may be required if grand trees are affected by the project.

#### **Final Review:** All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.

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## City of Beaufort Certificate of Appropriateness Checklists

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### Submission Requirements for Change After Certification

Please submit DIGITAL FILES ONLY via email to: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org)

#### Change After Certification:

- Copy of Certificate of Appropriateness** received with previous approval.
- Previously Approved Drawings:** Applicant to submit **complete** set of previously approved documents. Current proposed documents to be interlaced between previously approved documents and must be formatted to match previously approved. For example, previously approved elevations should be followed by current proposed. Drawings to be clearly noted as “Previously Approved” or “Current Proposed”, and all proposed revisions in the current proposed drawings must be clouded and noted.

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## City of Beaufort Certificate of Appropriateness Checklists

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### Submission Requirements for Demolition or Relocation

Please submit DIGITAL FILES ONLY via email to: [development@cityofbeaufort.org](mailto:development@cityofbeaufort.org)

**Note: A public hearing must be held for Demolition or Relocation. All notification requirements must be met by the City.**

- A written statement describing the history of the architectural significance of the structure to be demolished, the structural or physical condition of the structure, and the proposed use of the site after demolition or relocation. The statement should also include any recent attempt(s) to sell the property, or move the structure. A recent appraisal with comparisons is strongly encouraged. You may refer to *The Beaufort County Above Ground Resources Survey of 1997*, or consult city staff or the Historic Beaufort Foundation for verification of the date of construction and historic information.
- Tax map or plat showing the location of the property
- Color photographs of all sides of the structure.
- Color photographs of adjoining properties.
- A written report by an engineer, regarding the structural condition of the building, is required if the reason for demolition is related to the structural integrity of the building.



# HISTORIC DISTRICT REVIEW BOARD FEE SCHEDULE

(As of July 1, 2020)

## **BOARD REVIEW FEES:**

Single-family residential projects (board review)	\$100.00
Multifamily and commercial projects (board review)	\$250.00
Change After Certification	\$100.00
Demolition (whole structure)	\$250.00
Special Board Meeting	\$500.00

**Post facto applications shall be triple the normal fee.**

## **STAFF REVIEW FEES:**

**Single Family and 2/3-unit buildings not in a historic district are exempt.**

### **Type 1**

Renovations/Improvements (not including additions),  $\leq 50\%$  of the value of the structures

<u>Value</u>	<u>Fee</u>
Improvements $\leq$ \$5,000	\$50
Improvements $>$ \$5,000 but $\leq$ \$25,000	$\$50 + 0.25\% \times$ value above \$5,000
Improvements $>$ \$25,000	$\$100 + 0.20\% \times$ value above \$25,000

### **Type 2**

- Any single-family and 2/3-unit residential addition in a historic district: \$50
- All other additions: \$500 base fee + \$0.05/square foot of addition.

### **Type 3**

Review for new construction and for renovations/improvements totaling over 50% of the value of the structure:

- Single-family and 2-3 unit residential in the historic district
- $\leq 10,000$  square feet: \$500 base fee + 0.05/square foot of building
- $> 10,000$  square feet: \$1,000 base fee + \$0.05/square foot of building for the first 100,000 square feet of building. For additional square footage over 100,000, \$0.02/square foot.



Front View



Front/Right View



Back View

Subject Property - 1107 Green Street



1105 Green Street



Neighboring Properties

1109 Green Street



1106 Green Street



QUALITY CONSTRUCTION & REMODELING

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

Green Street Subject and Neighboring Properties

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

10/19/2021

SCALE:

1/4"=1'

SHEET:

HRB-1

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

Existing Floor Plans  
and  
Views

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

10/22/2021

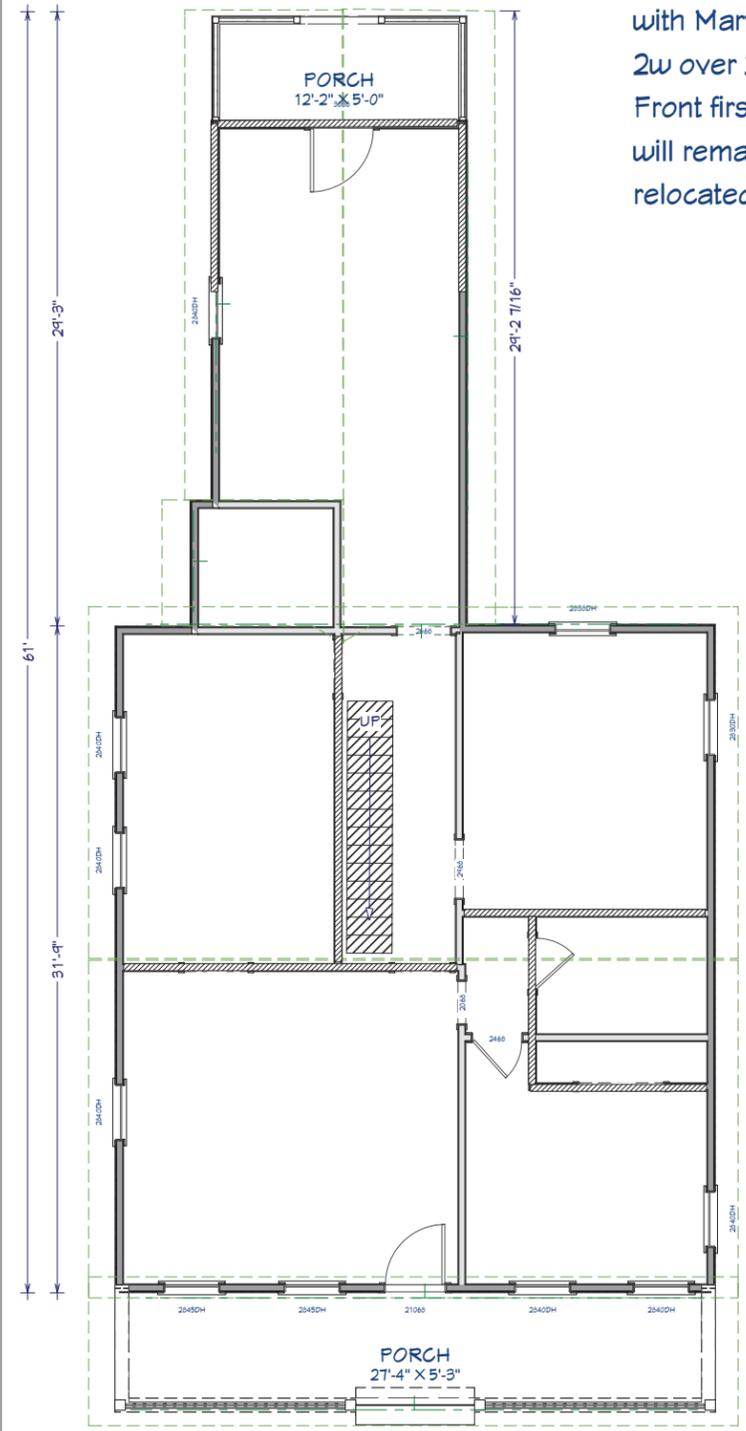
SCALE:

1/4"=1'

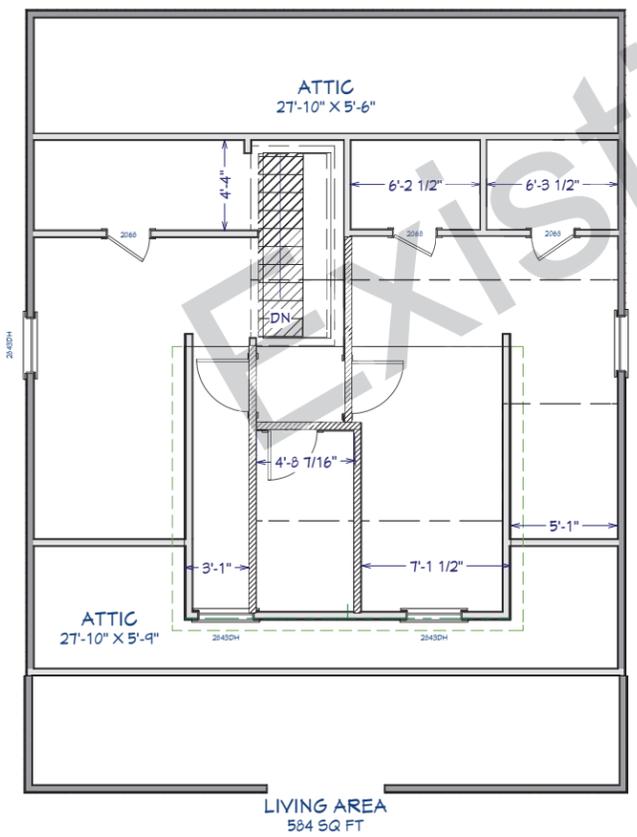
SHEET:

HRB2

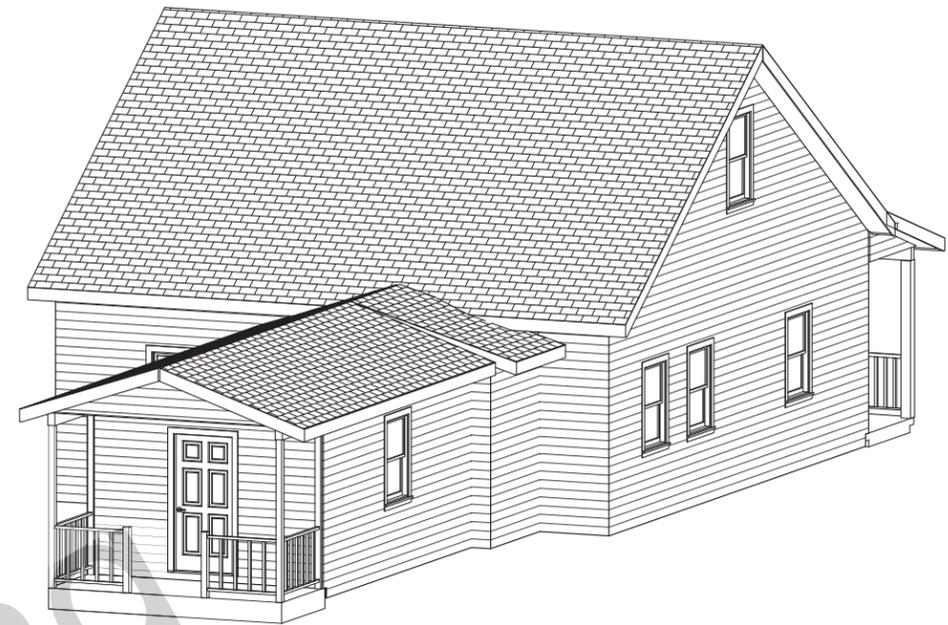
All Existing windows are to be removed and replaced with Marvin Elevate SDL Double Hung units lite cut 2w over 2w.  
Front first floor and second floor gable end windows will remain in the same location, all others will be relocated as shown on the proposed plan.



First Floor Plan Existing



Second Floor Plan Existing



Back View Existing



Front View Existing

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



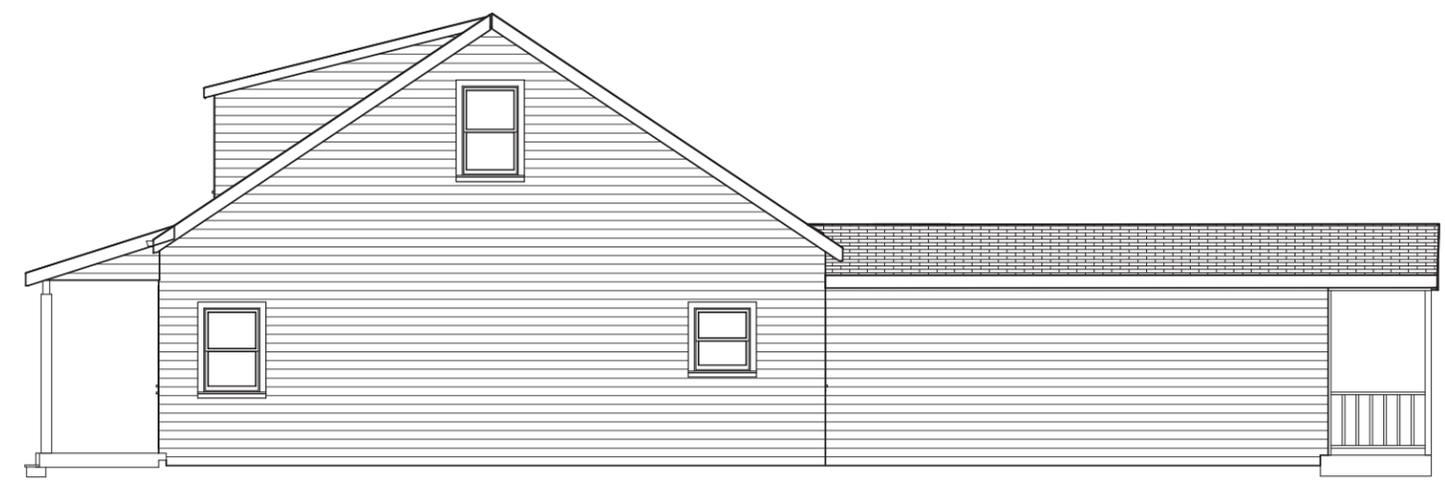
Exterior Elevation Back Existing



Exterior Elevation Left Existing



Exterior Elevation Front Existing



Exterior Elevation Right Existing

Existing

Existing Elevations

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

10/20/2021

SCALE:

1/4"=1'

SHEET:

HRB3

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Proposed Floor Plans  
and  
Views

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:  
10/22/2021

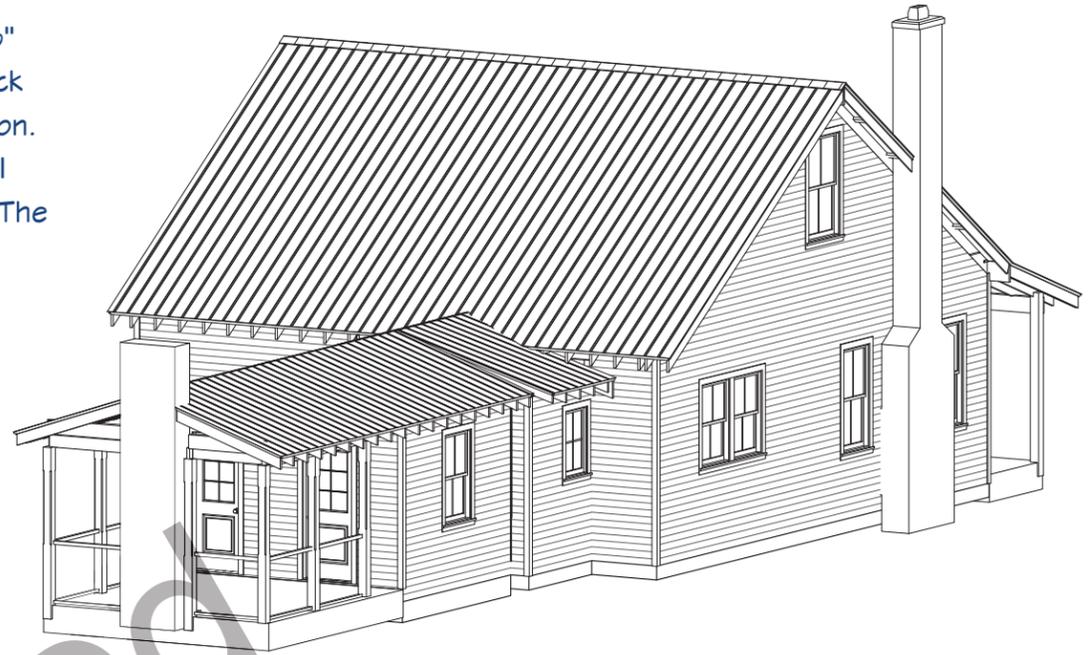
SCALE:  
1/4" = 1'

SHEET:  
HRB4

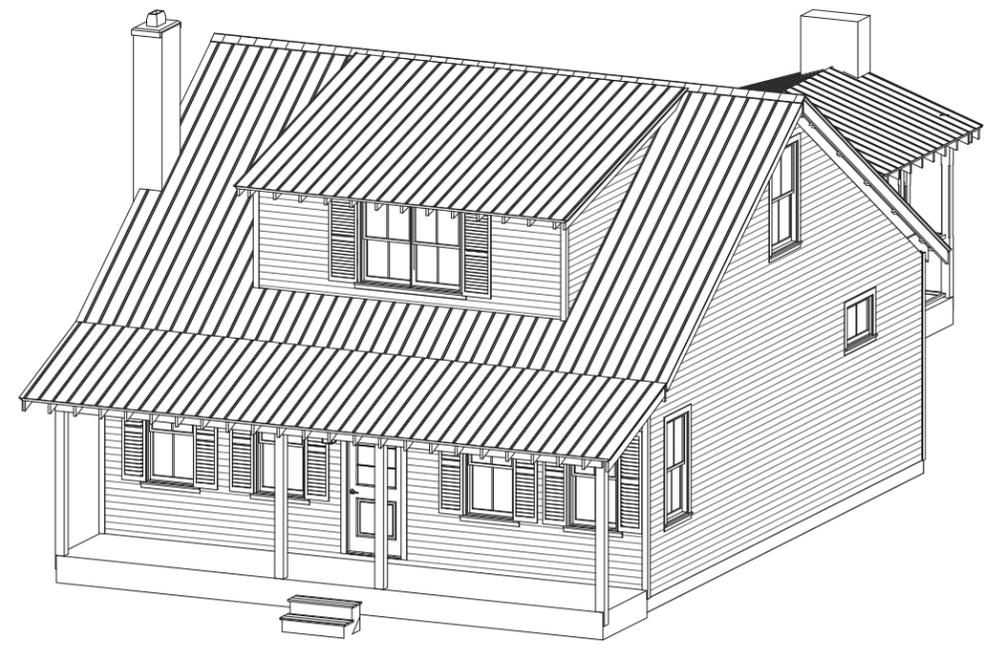
Current siding is 12" Masonite in terrible condition over black Homosote insulated sheathing. All of that is over the original 8" Pine bevel siding. From the inside under the demoed sheetrock in several places the original siding looks to be in good condition. It is hoped that this is the case throughout and if so the original siding will remain and be repaired/replaced where necessary. The inside wall cavity will be closed cell spray foamed to provide insulation and sealing.

All existing windows are flimsy aluminum framed and will be replaced with Marvin Elevate cut 2 over 2.

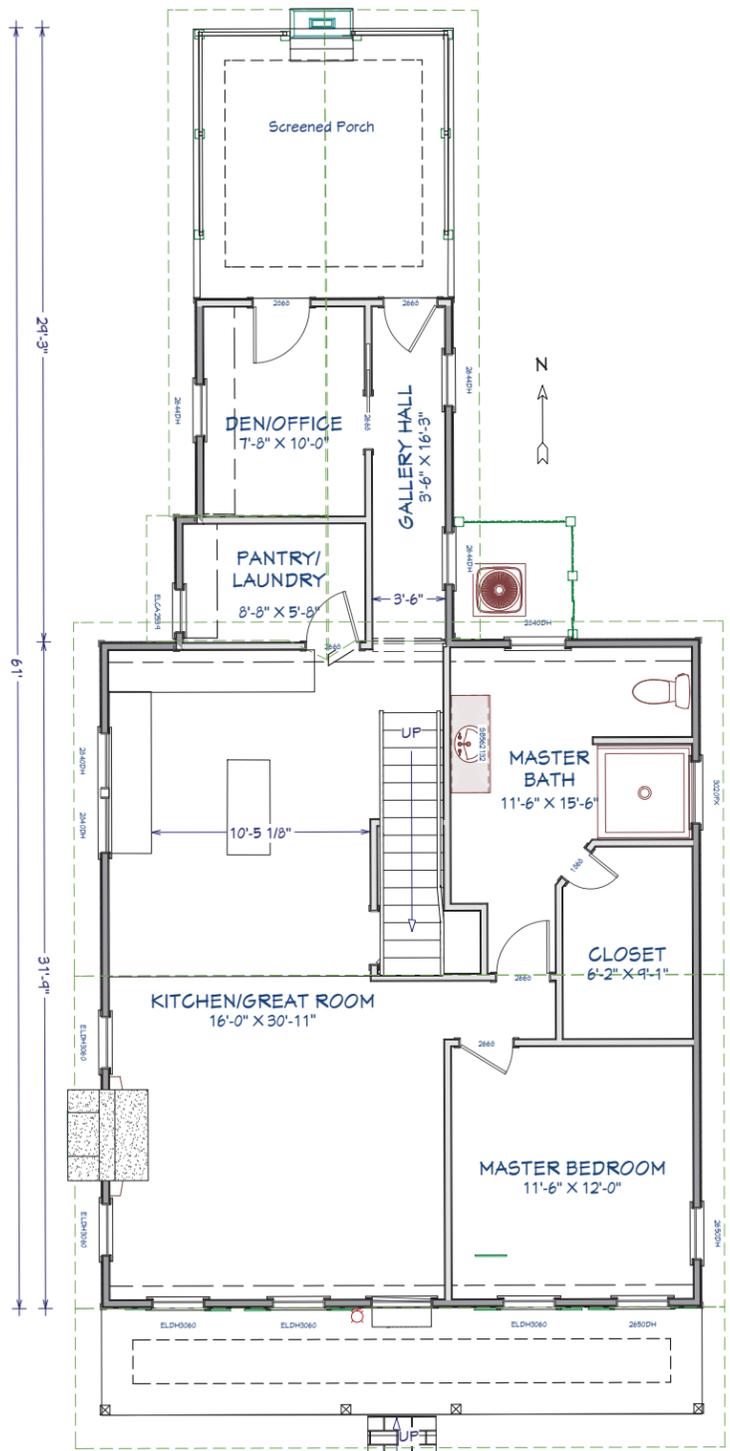
Asphalt shingle roofing will be removed and replaced with galvalume 5V.



Rear Left View

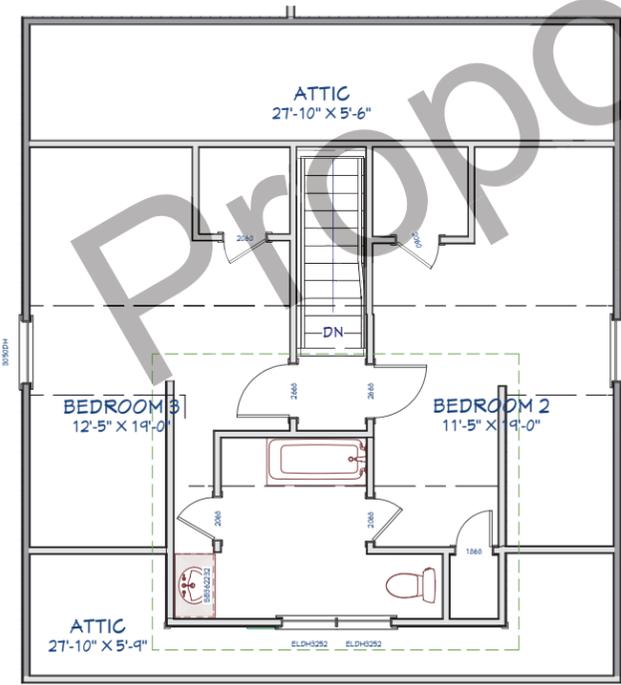


Front Right View  
Proposed



First Floor Plan  
Proposed

LIVING AREA  
1104 SQ FT



2nd Floor Plan  
Proposed

LIVING AREA  
585 SQ FT

PREVIOUS SUBMITTAL, NOVEMBER 2021

Current siding is 12" Masonite in terrible condition over black Homosote insulated sheathing. All of that is over the original 8" Pine bevel siding. From the inside under the demoed sheetrock in several places the original siding looks to be in good condition. It is hoped that this is the case throughout and if so the original siding will remain and be repaired/replaced where necessary. The inside wall cavity will be closed cell spray foamed to provide insulation and sealing.

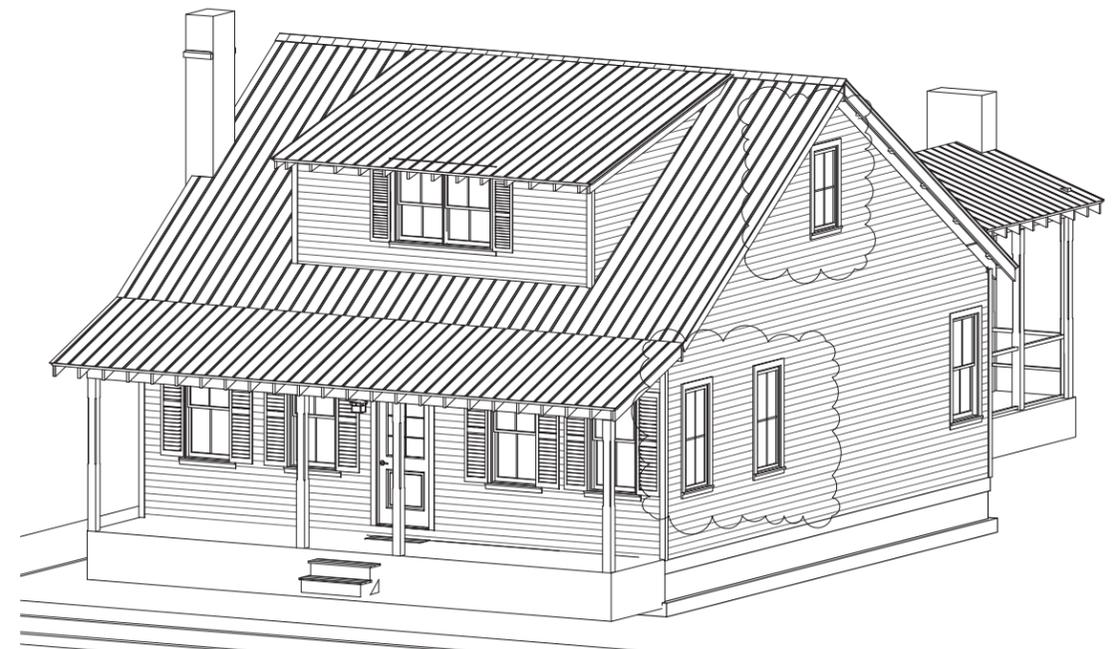
All existing windows are flimsy aluminum framed and will be replaced with Marvin Elevate cut 2 over 2.

Asphalt shingle roofing will be removed and replaced with galvalume 5V.

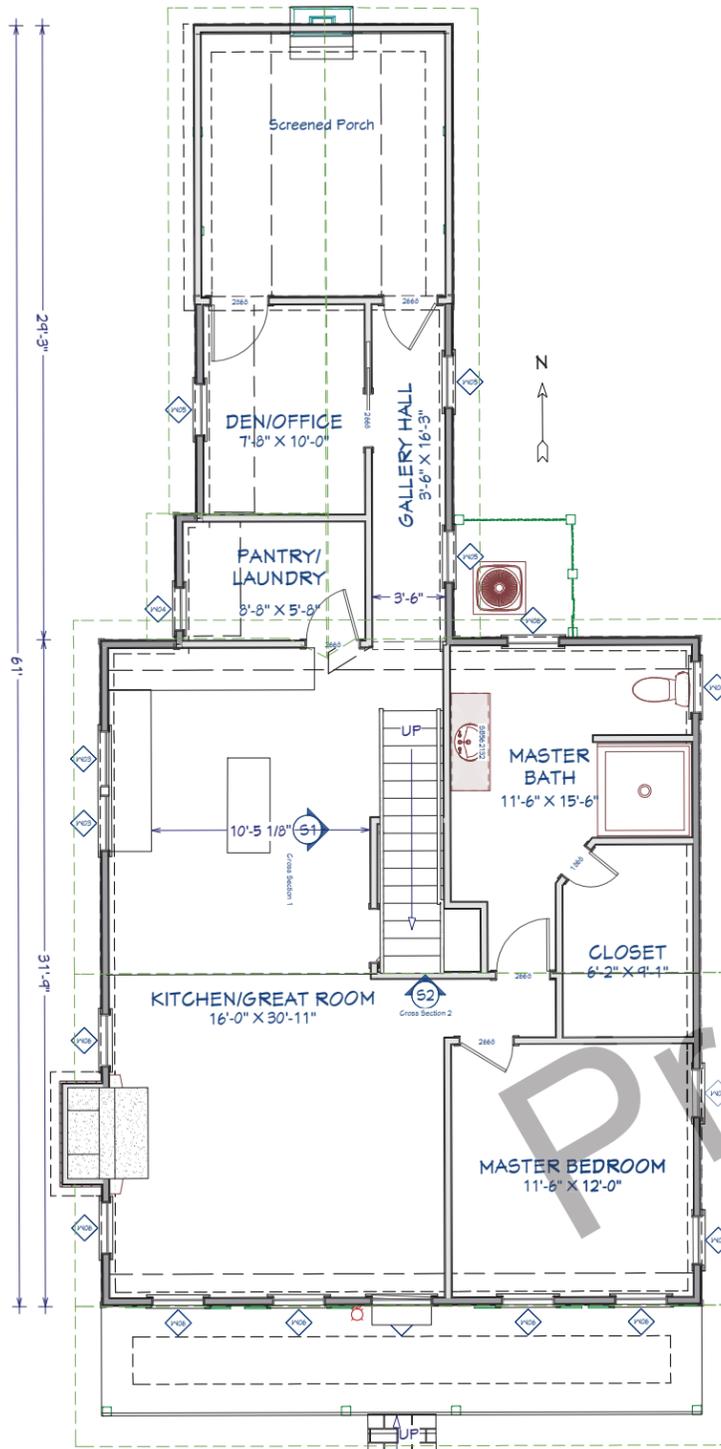


Rear Left View

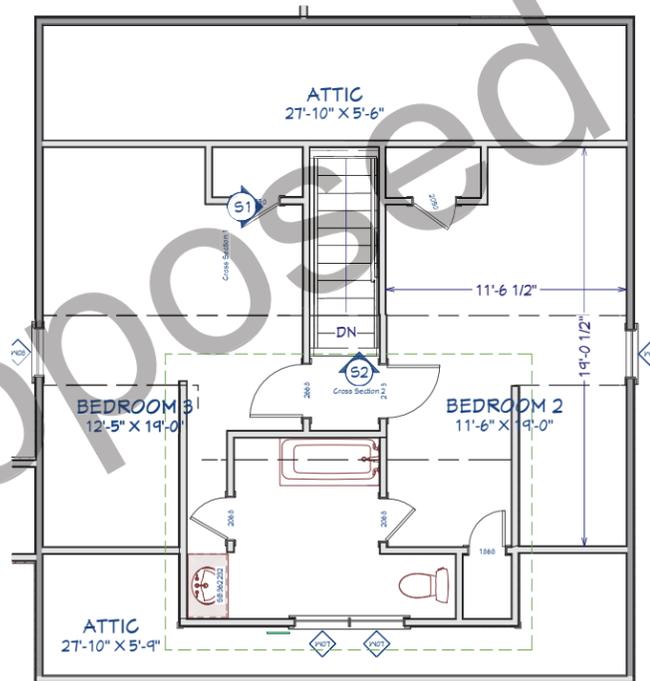
Clouds Indicate areas of revision from previous submittal.



Front Right View Proposed



First Floor Plan Proposed



LIVING AREA  
594 SQ FT

2nd Floor Plan Proposed

**CURRENT SUBMITTAL**

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

Proposed Floor Plans and Views

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

1/10/2022

SCALE:

1/4"=1'

SHEET:

HRB4r



REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

Proposed Elevations

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

10/20/2021

SCALE:

1/4"=1'

SHEET:

HRB5

All windows to be removed and replace with Marvin Elevate 5DL cut 2 over 2.  
Painted Fibreglas exterior, wood interior.  
Front windows will be in existing location and size,  
most side, dormer and back windows will be in new locations.

Stucco Chimney

Back porch to be enlarged and screened.



Exterior Elevation Back Proposed



Exterior Elevation Left Proposed

Existing asphalt roofing to be removed and replaced with 5V metal roofing, Galvalume finish.

Original bevel siding to be exposed and retained where possible.  
Any new siding will be wood bevel to match original.



Exterior Elevation Front Proposed

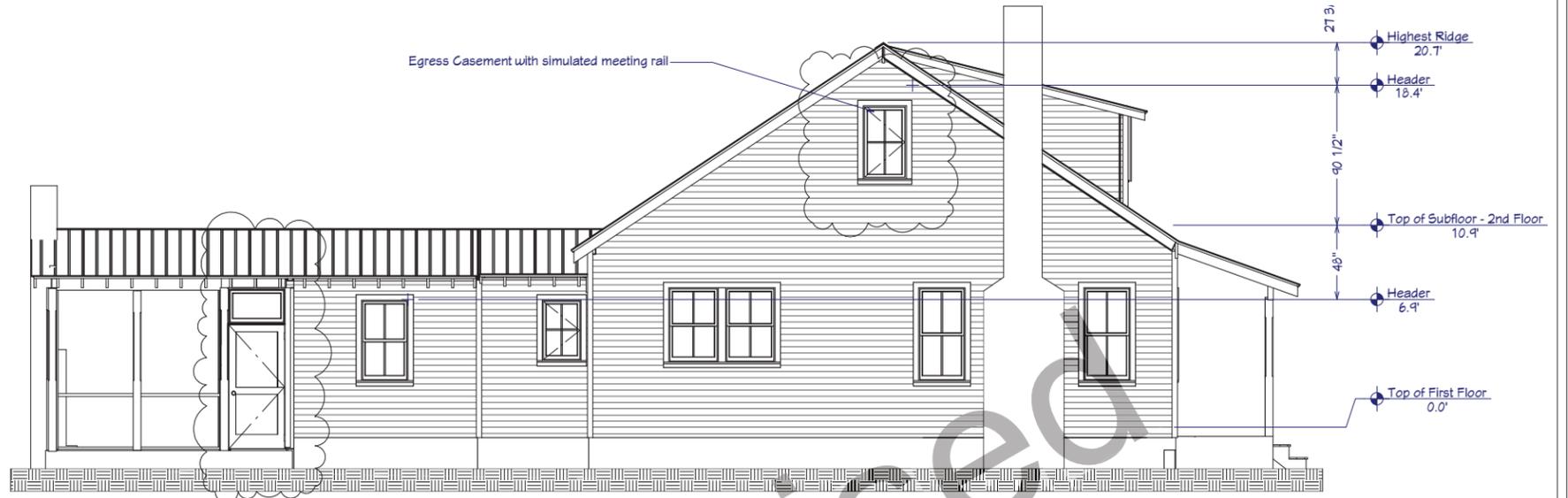


Exterior Elevation Right Proposed

PREVIOUS SUBMITTAL, NOVEMBER 2021



Exterior Elevation Back



Exterior Elevation Left



Exterior Elevation Front



Exterior Elevation Right

CURRENT SUBMITTAL

Clouds Indicate areas of revision from previous submittal.

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

Revised Proposed Elevations

Lsrmt Fl metl al a  
1107 Gal l mStal l t  
Bl hufot, SC 95509

DRAWINGS PROVIDED BY:  
C2harl e HI sy hm  
n48 359-0760  
c2l sy hnm93@gy hir.coy

DATE:

1/10/9099

SCALE:

1/4"=1'

SHEET:

HRB9

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Survey & Plot Plan

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

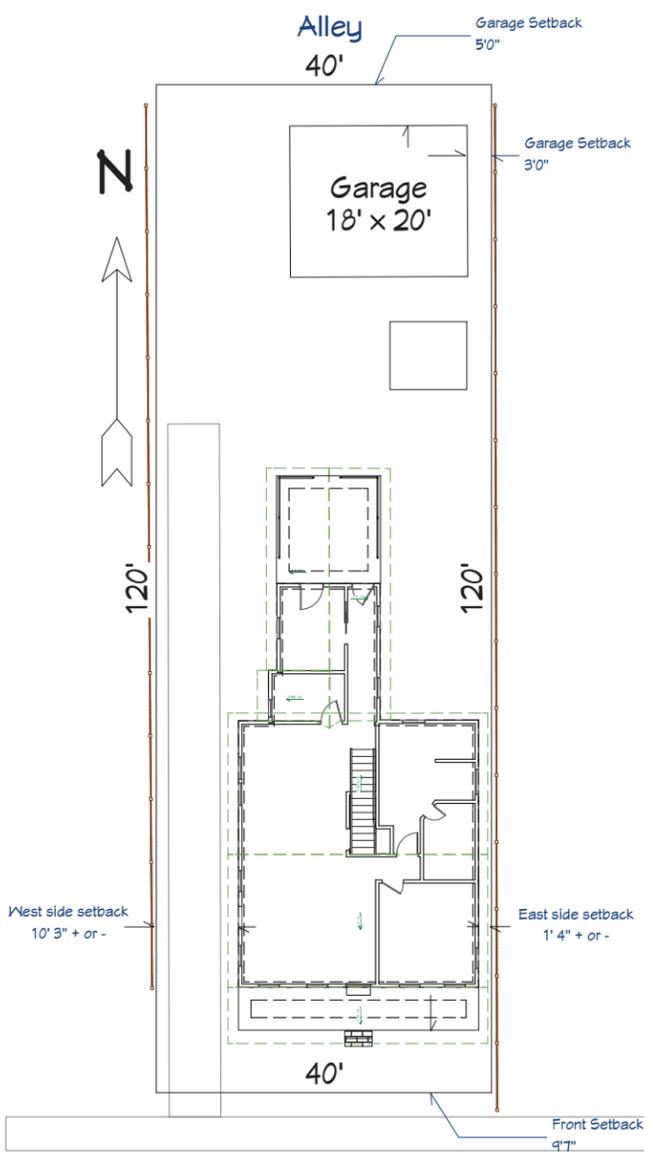
10/22/2021

SCALE:

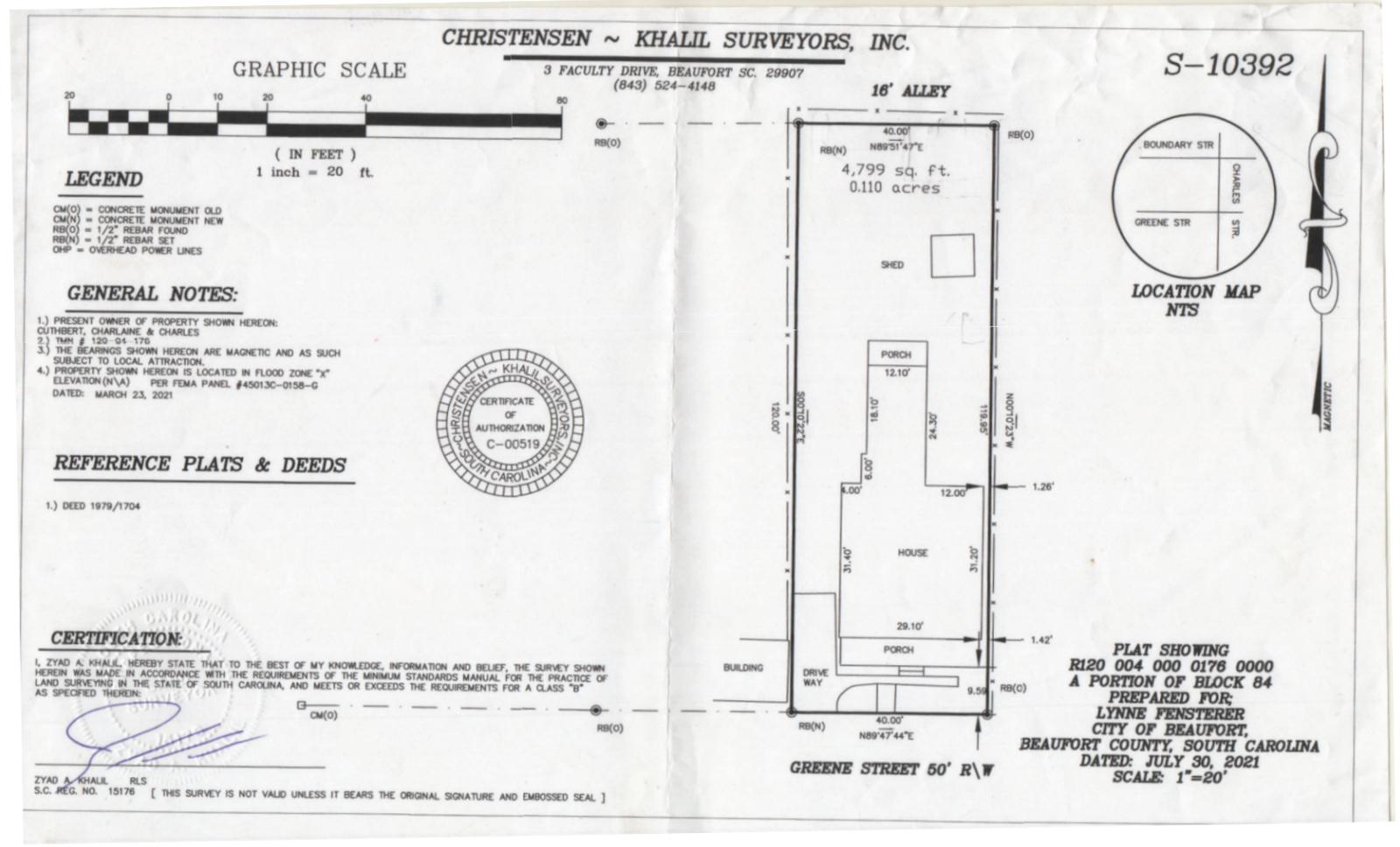
1/4"=1'

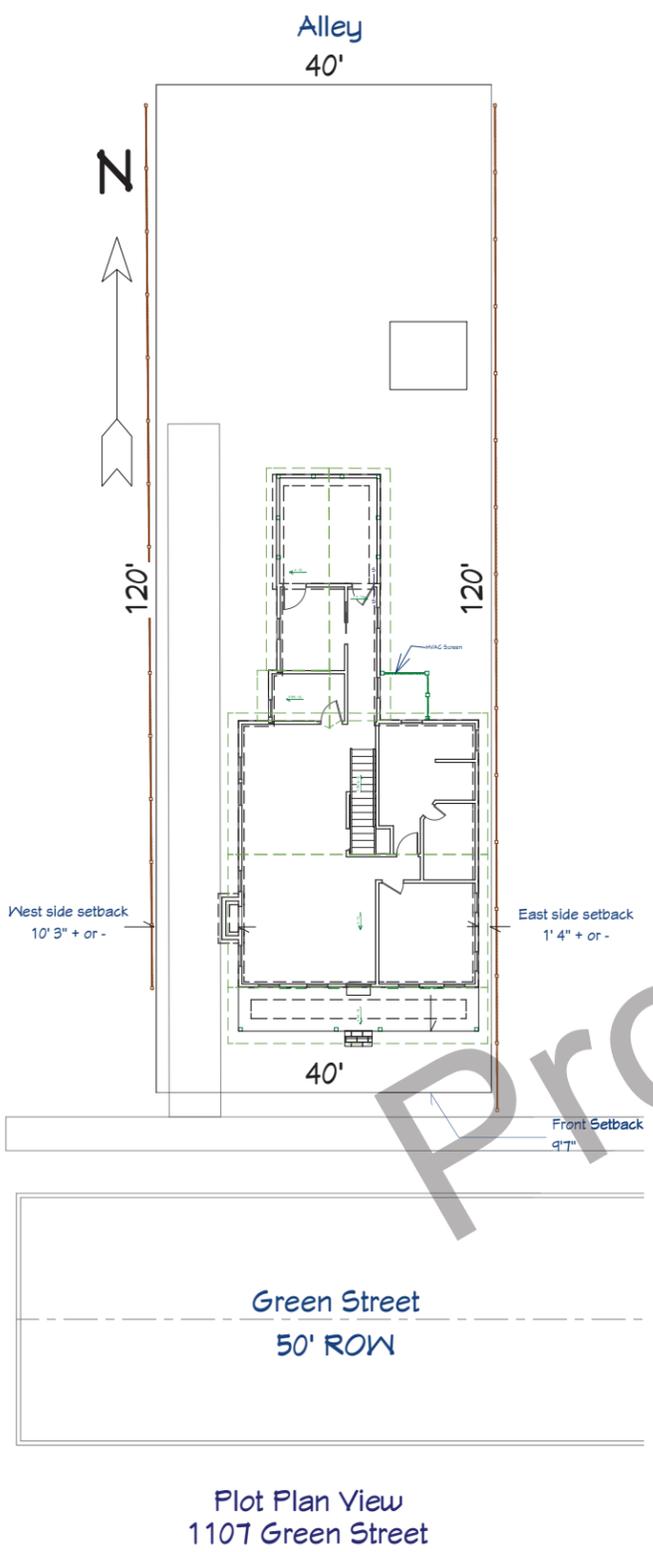
SHEET:

HRB6a

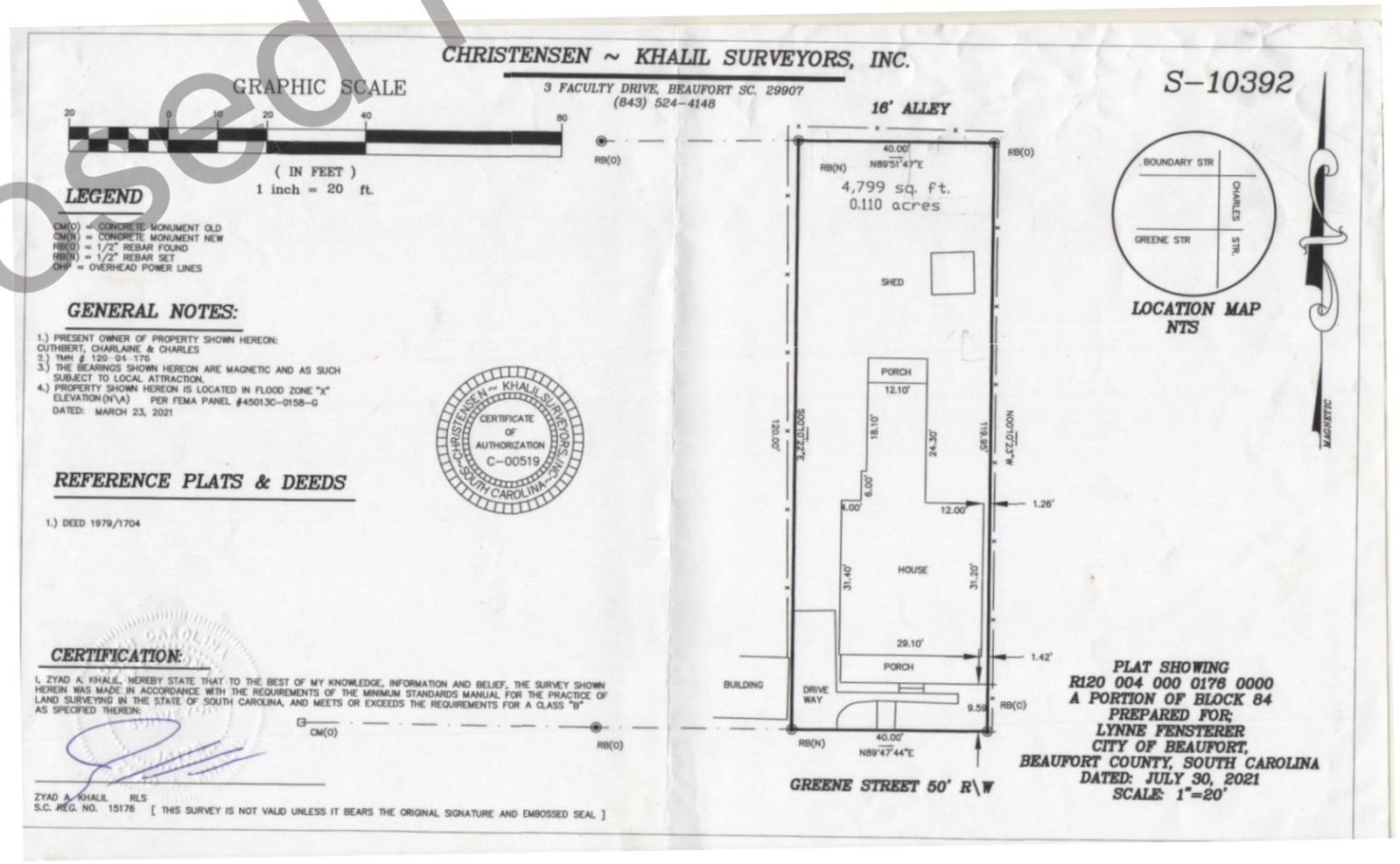


PREVIOUS SUBMITTAL, NOVEMBER 2021





CURRENT SUBMITTAL





Wood Entry doors. Divided Lite Glazing, 5/4 x 4 casing. Pine by Rogue Valley

# ROGUE VALLEY Door

HOME (https://www.roguevalleydoor.com/home) (https://www.roguevalleydoor.com/favorites?utm\_source=headermenu) (https://www.roguevalleydoor.com) (https://www.roguevalleydoor.com/favorites?utm\_source=headermenu)

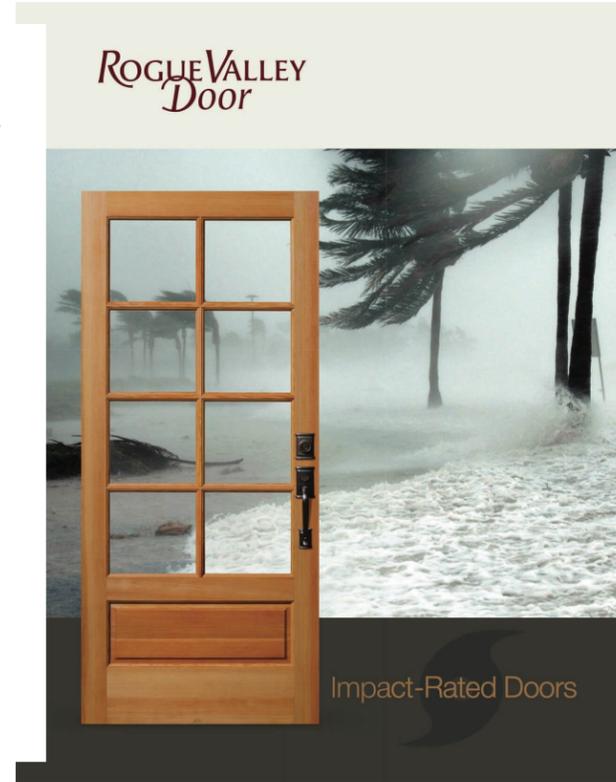
## STICKING PROFILES

Our doors are available in a variety of sticking patterns and panels raises. From elegant raised mouldings to a simple shaker-style flat-panel door, Rogue Valley Door has a door to fit your home's decor. Below is a list of some of the available profiles.

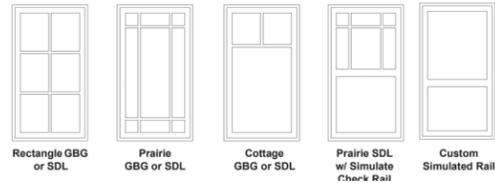
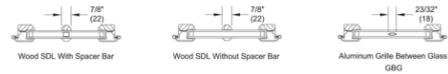
### STICKING PROFILES WITH 1/4" TONGUE

MOD OVOLO  
1-3/4"

CURRENT SUBMITTAL



Windows will be replaced with Marvin Elevate. Glad exterior wood interior. SDL with spacer bar Insulated LowE glazing. Lite cut will be 2 over 2 vertical. Trimmed with 5/4 x 4 casing.



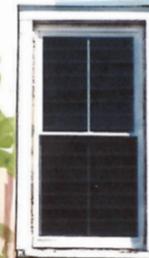
Existing Windows Interior and Exterior Views



1107 GREENE ST  
Homeowner's rendering and driveway detail.



Siding/Trim and shutter colors.  
Siding & Trim - Sherwin Williams White Cotton (HGSW402T)



Shutters - Sherwin Williams Ariel View (HGSW137T)



Front Porch Lantern



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

Product and Detail Selections

Lynne Fensterer  
1107 Green Street  
Beaufort, SC 29902

DRAWINGS PROVIDED BY:  
Charles Heyman  
843 592-0760  
cheyman825@gmail.com

DATE:

10/20/2021

SCALE:

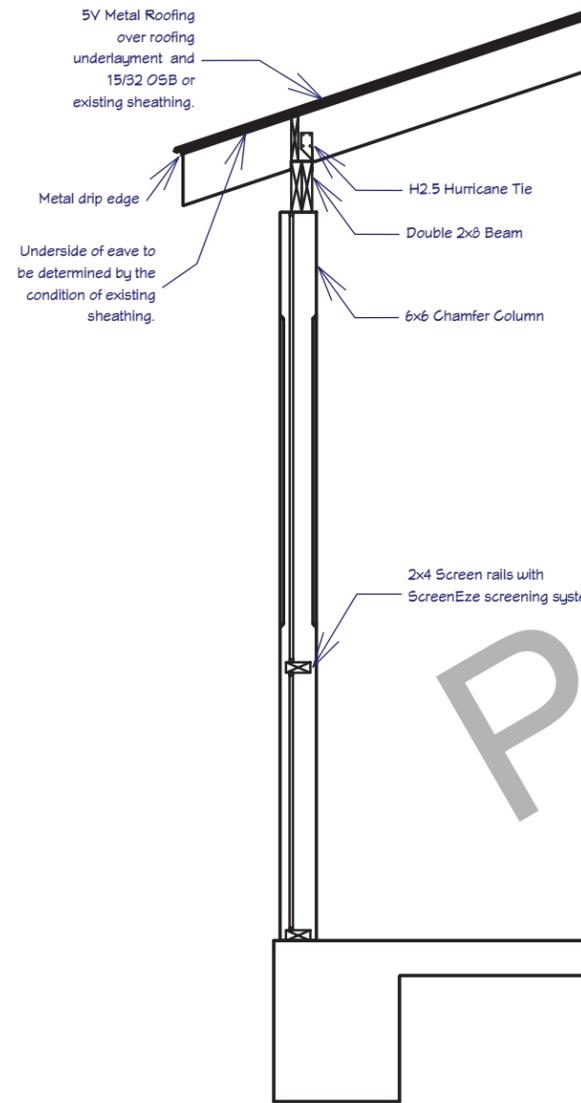
1/4"=1'

SHEET:

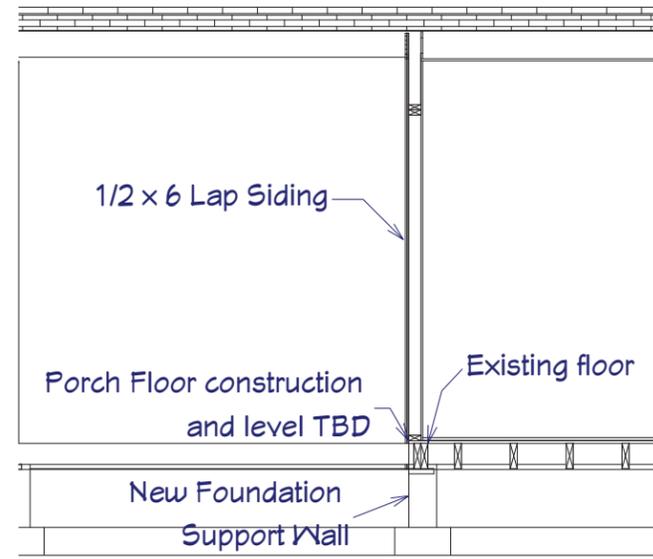
HRB7



Stucco finish color and potential eave/porch ceiling treatment.

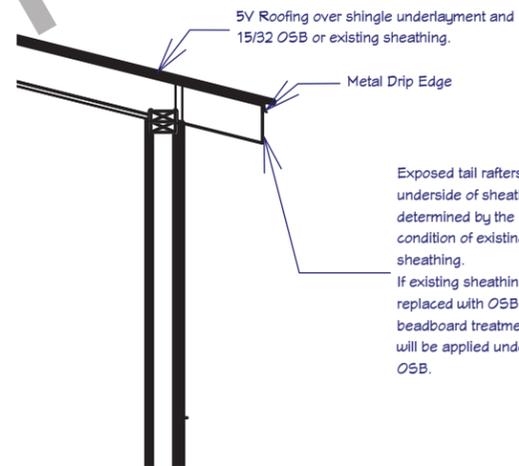


Section through screened-in-porch  
1" = 1'



Cross Section @ New Exterior Wall separating Screened In Porch

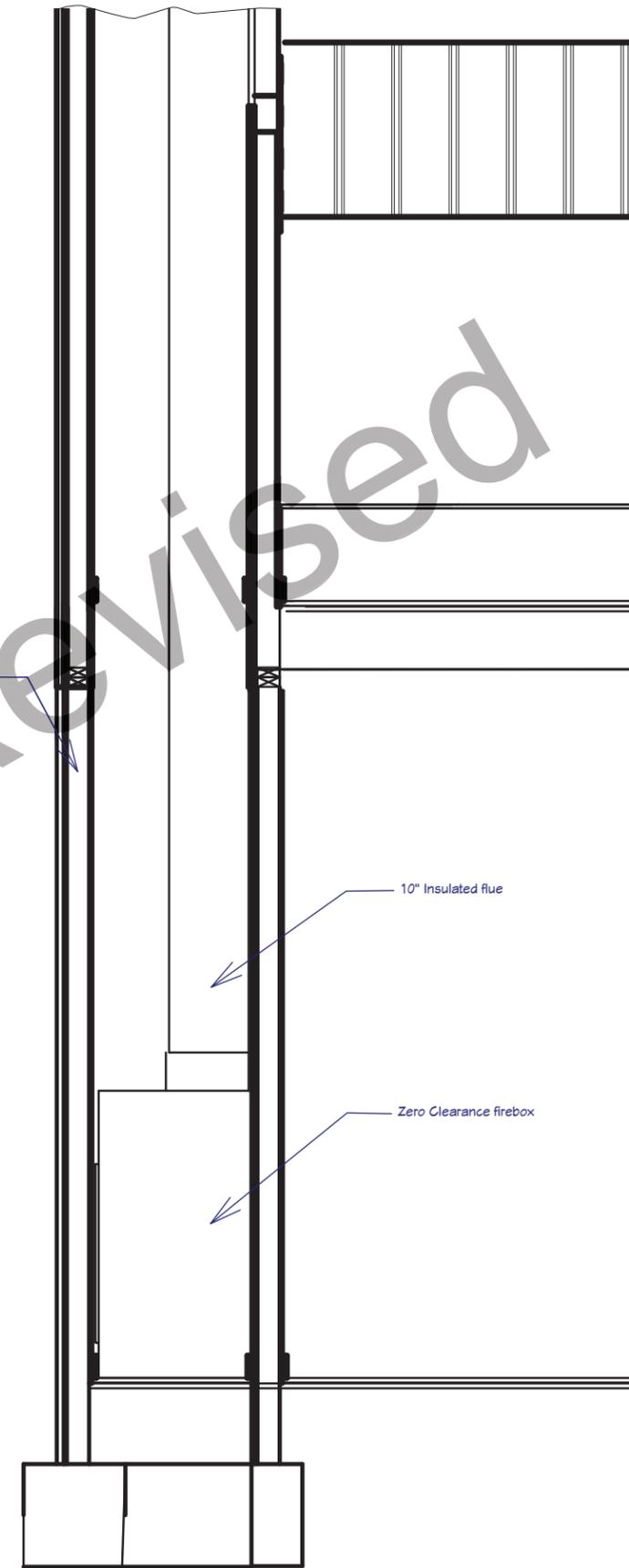
CURRENT SUBMITTAL



Typical Eave detail  
1" = 1'

Exposed tail rafters, underside of sheathing determined by the condition of existing sheathing. If existing sheathing is replaced with OSB beadboard treatment will be applied under OSB.

frame chase, 15/32 OSB ing, expanded wire mesh and stucco outside finish.



Section through fireplace  
1" = 1'



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

Sections and Details

Ln88s Fs8ytslsl  
11h7 Glss8 Stlss8  
Bsrufolt, SC 099h0

DRAWINGS PROVIDED BY:  
Carley Hsm r8  
345 290-h76h  
casmm r8302@gn r1econ

DATE:

1/02/0h00

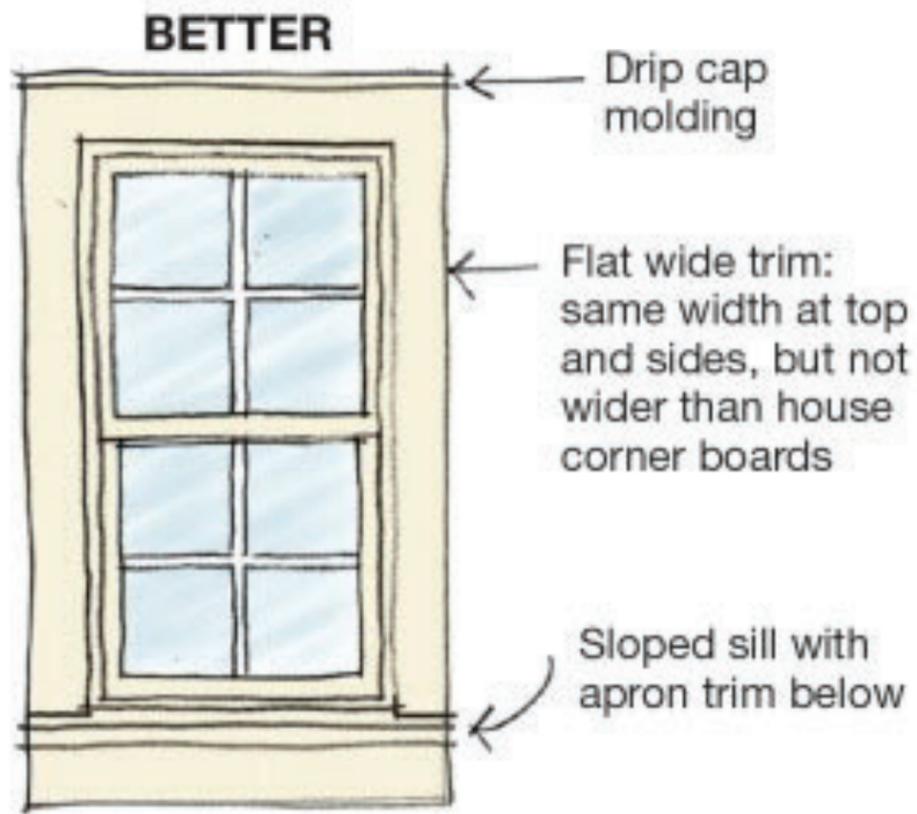
SCALE:

1/4" = 1'

SHEET:

HRB10

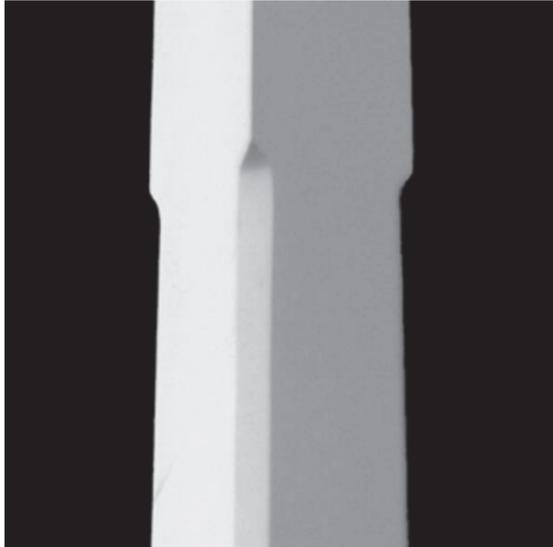
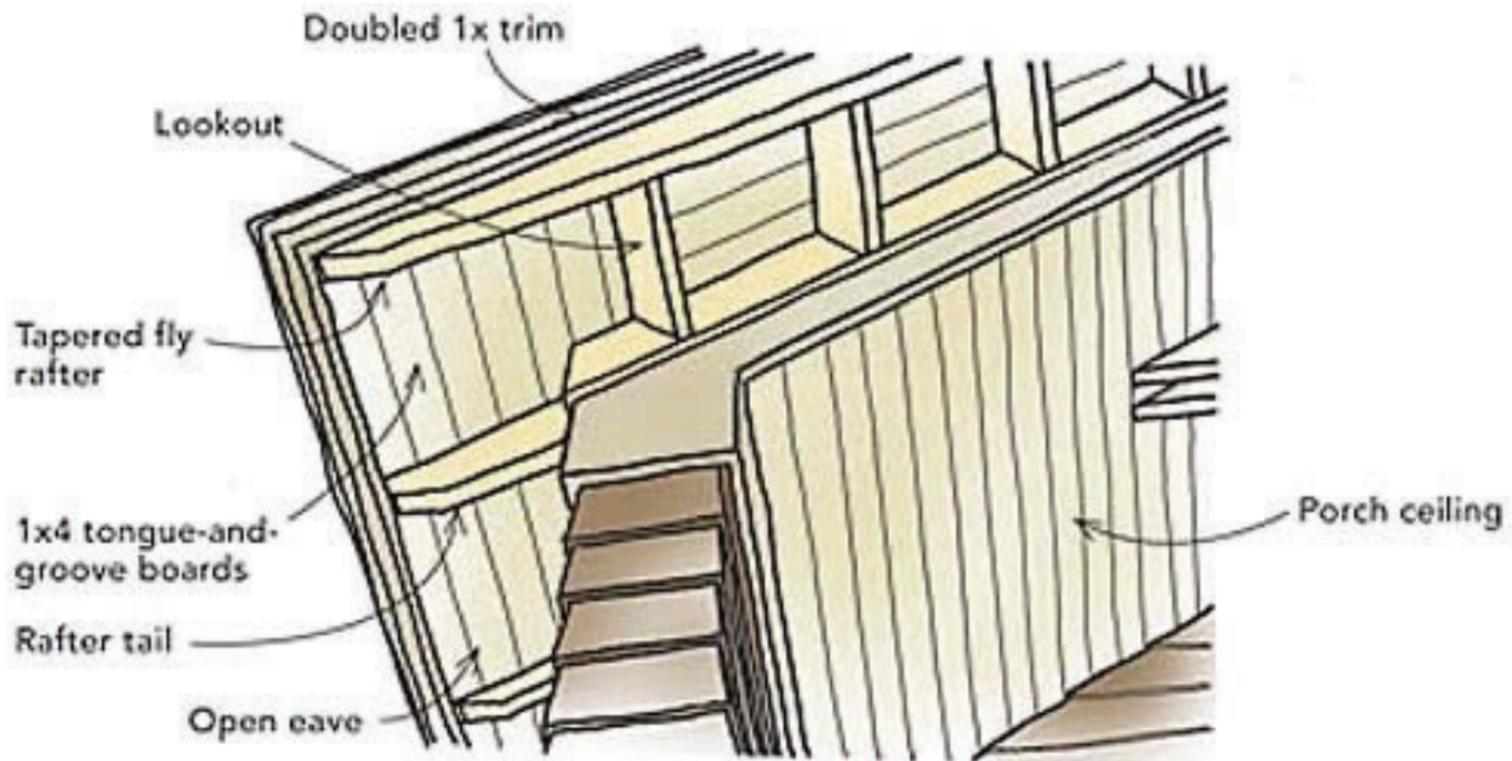
**CURRENT SUBMITTAL**



Milky Quarts-Omega stucco color  
Smooth stucco finish

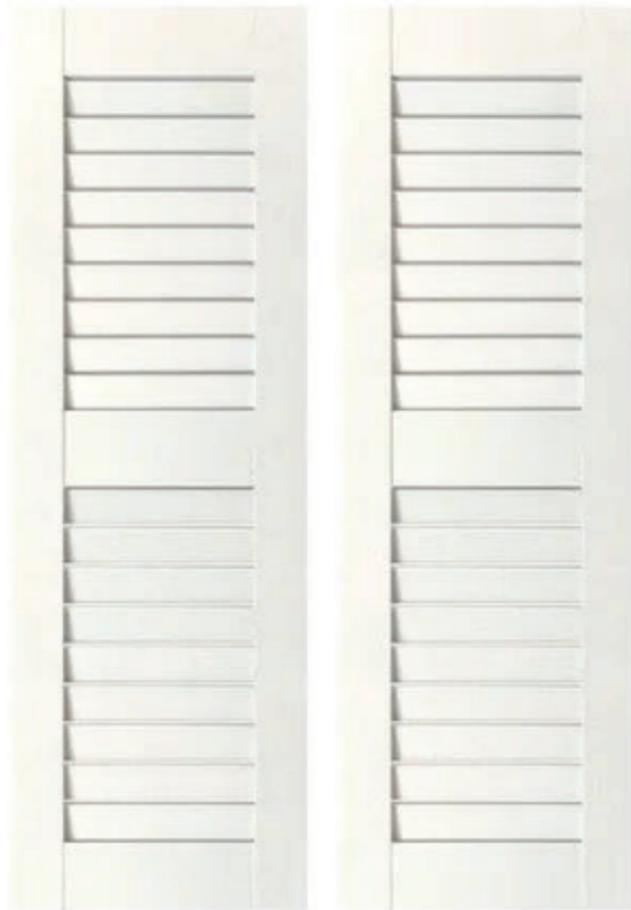


CURRENT SUBMITTAL





CURRENT SUBMITTAL









# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
09 February 2022

## 1 SUMMARY OF REQUEST

---

1107 Greene Street, Alterations/Additions

Applicant: Lynne Fensterer

The applicant is requesting Final approval of alterations and additions to an existing single-family residence at 1107 Greene Street.

This is a noncontributing structure in the Historic Conservation Neighborhood and the Northwest Quadrant.

Background: A previous submission for this project received Preliminary Approval with Conditions at the November 2021 Historic Review Board Meeting.

## 2 FACTS

---

<b>Property Address:</b>	1107 Greene Street
<b>Parcel ID:</b>	R120 004 000 0176 0000
<b>Case Number:</b>	21-63 HRB.2
<b>Applicant:</b>	<b>Lynn Fensterer,</b> <b>Homeowner</b>
<b>Type of Request:</b>	Alterations/Addition
<b>Zoning:</b>	T4-HN
<b>Use:</b>	Residential



### District Development Standards for T4-HN:

- **Minimum Lot Size:** 4,000 SF
- **Setback requirements – Primary Structure:**
  - *Front – average prevailing setback on block*
  - *Rear setback – 15' min.*
  - *Side Interior – 6' min., 10' min. in the Point*
  - *Side Corner/Alley – 5' min., no max.*
- **Frontage Build out:** 75% Max.
- **Impervious Surface Coverage:** 55% maximum for rooftops, additional 10% allowed
- **Permitted Uses:** Single Family Dwelling, or Two- or Three-Unit Dwelling is permitted by right in the T4-HN zoning classification.

**References:**

- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement
- The Northwest Quadrant Design Principles

### 3 STAFF COMMENTS

---

**Staff Acknowledgements:**

- A. None.

**Staff Conditions:**

1. Staff recommends the following to fully satisfy all Conditions of November 2021 Preliminary Approval:
  - a. Preliminary Approval Condition 4: In future submissions, Applicant to submit cutsheets for proposed galvalume roof that include termination details such as ridge, rake edge, slope transition, and drip edge.
  - b. To fully satisfy Preliminary Approval Condition 10, Applicant to provide more detailed wall sections of the rear screened porch that note column to foundation, column to beam, and beam to rafter alignment in greater detail. Applicant to note specific materials that will be used in each area.
2. Applicant to clarify proposed material of shutters and confirm if pictures of shutters represent proposed shutter hardware.
3. Applicant to clarify if any work is proposed to be done to the existing front porch floor and foundation. In the absence of any notes on the drawings, Staff assumes that the existing porch floor and foundation will remain as is, but Applicant to clarify intent. At minimum, Staff recommends that a slurry coat be added to the existing exposed CMU.
4. Applicant to clarify location of proposed brick submitted in this application. From talks with the applicant, Staff understands that this may represent a brick that the applicant would like to apply to the existing front porch. If this is the case, Applicant to submit a detail that shows the proposed assembly.
5. In future submissions, Applicant to note ridge height, eave height, and finished floor height of rear porch components.
6. In future submissions, Applicant to provide a single final materials list in table form that notes all proposed materials and colors for the project.
7. Applicant to confirm materials of proposed porch screen doors. Staff assumes wood and supports this, but Applicant to clarify.

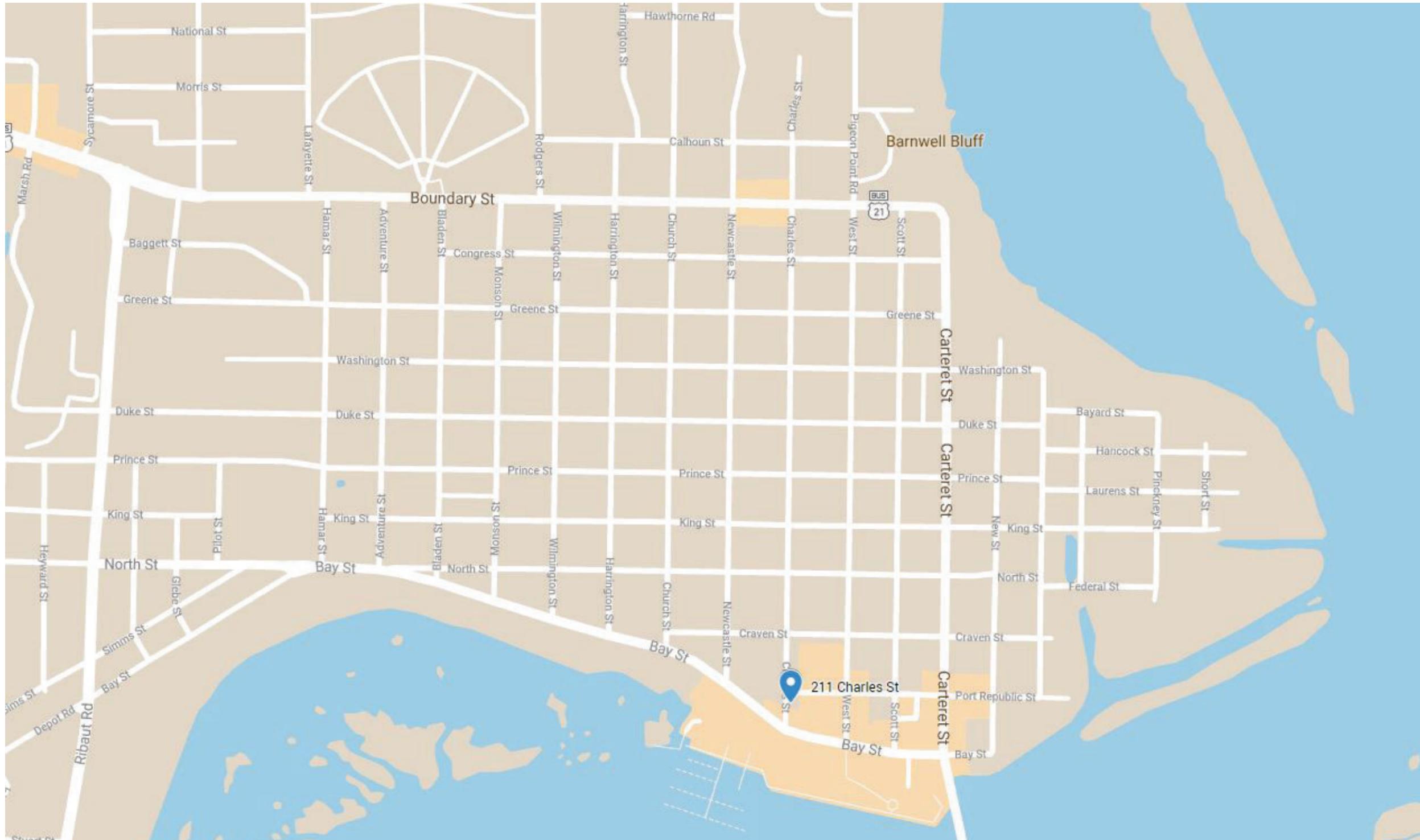
8. Staff recommends placing the screen on the interior side of the porch framing members to better meet the requirements of page 33 of the Preservation Manual Supplement for rear porch enclosures in the historic district.
9. Applicant to clarify if the proposed exterior doors shown on Sheet HRB7 will have true divided lites or simulated divided lites. If simulated, Staff recommends utilizing spacer bars.
10. On sheets HRB4R and HRB9, the doors to the rear screened porch appear to be placed too high. Applicant to confirm whether or not a stair will be needed to access these doors and update drawings accordingly.
11. In the "Section through screened-in-porch" shown on Sheet HRB10, Staff recommends adding additional trim so that the exterior face of the beam aligns with the exterior face of the chamfered column below.
12. Regarding the Section through fireplace noted on Sheet HRB10, Staff recommends that applicant consider a minimal drainage plane between the weather resistive barrier and stucco to prolong the life of the stucco, reduce moisture issues within the assembly, and reduce exterior visible cracks.
13. Also regarding the section through fireplace on Sheet HRB10, control joints will be necessary given that the stucco is to be installed on frame construction. In future submissions, Applicant to draw control joints in on elevations.
14. From conversations with the applicant, Staff understands that the stucco is proposed to be synthetic. Staff recommends that the synthetic stucco is smooth.
15. Staff supports the restoration of the existing garden wall to be finished with smooth stucco. Applicant to clarify if the stucco will be the same color as that which is proposed to be used on the chimneys.

**STAFF RECOMMENDATION:**

**Final Approval** with conditions noted above.

## **CITY STAFF INTRODUCTION**

211 CHARLES STREET



PROJECT LOCATION - 211 CHARLES STREET

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 3:28:49 PM



VIEW FROM CORNER OF CHARLES AND PORT REPUBLIC STREET LOOKING EAST



VIEW FROM CHARLES STREET LOOKING NORTHEAST



VIEW FROM CHARLES STREET LOOKING EAST



VIEW FROM CORNER OF CHARLES AND BAY STREET LOOKING NORTHEAST



OLD BAY MARKETPLACE (EAST OF SITE) ON PORT REPUBLIC STREET



TABBY PLACE EVENT VENUE ACCROSS PORT REPUBLIC STREET FROM SITE

**coast**  
 architects  
 671 St. Andrews Blvd., Charleston, SC 29407  
 Phone: 843.763.7064 Fax: 843.763.7061  
 www.coastarchitects.net

01.12.2022

**THE CANNON BUILDING**  
 211 CHARLES STREET  
 BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM  
 CHECKED BY: FAM  
 DATE: 01.12.2022

COAST PROJECT NO.: 2015.00

CONTEXT  
 PHOTOGRAPHS

**G002**

HRB FINAL APPROVAL - 02.09.2022 MEETING



**DECEMBER 2021 PRELIMINARY APPROVAL  
LETTER WITH CONDITIONS**

**CITY OF BEAUFORT  
HISTORIC REVIEW BOARD  
1911 BOUNDARY STREET  
BEAUFORT, SOUTH CAROLINA 29902  
(843) 525-7011 FAX: (843) 986-5606**

December 15, 2021

Arnie McClure  
Coast Architects, Inc.  
671 Saint Andrews Boulevard  
Charleston, SC 29401  
[Arnie@coastarchitects.net](mailto:Arnie@coastarchitects.net)

**RE: 21-02 HRB.1**

**211 Charles Street—New Construction**

Dear Mr. McClure,

On December 8, 2021, the City of Beaufort Historic Review Board (HRB) met to review your application for new construction at 211 Charles Street. The HRB voted to grant preliminary approval with staff conditions and the following board conditions:

Board Conditions:

1. The Board approved deviation from the 12' ceiling height requirement and allowed applicant to use proposed 11' ceiling height.
2. Proposed 33.8% fenestration approved.
3. Perma-cast porch columns approved.
4. Preliminary approval granted with the following studied areas to be taken into consideration prior to resubmittal:
  - The Staff Comments that are on this Submittal (Staff Conditions included below)
  - Entry at the NW corner to be restudied.
  - Apartment entrance to be restudied.
  - Board and Batten material used on the north façade and the south façade between the apartments [to be restudied].
  - Restudy the ground floor porches and consider possibly no outdoor space.
  - Provide a sample board “mock-up” for the brick.

Staff Conditions:

1. On the Charles Street Elevation, Staff recommendation is that the Cannon Building entry is further differentiated from the strong adjacent Livework/Mixed use brick mass along Charles

## DECEMBER 2021 PRELIMINARY APPROVAL LETTER WITH CONDITIONS

Street as well as the south courtyard wall to the rear of the entry on the south elevation. Staff recommends using a different color brick or stucco in this area.

2. Regarding the proposed columns:
  - a. On the South Elevation, the central bay of balconies on the upper levels currently has uneven column spacing. Staff recommendation is that the column spacing is equal in size in this area.
  - b. This project proposes Perma-cast columns. From the cut sheet provided, Staff assumes that the proposed columns will be the square plain column. Staff is in support of this Perma-Case Column because when it is painted out, it will provide a more low-maintenance option as opposed to a wood column. Applicant and Board to note that the use of this column must be approved by the Board per Section 4.6.3.A.8.
  - c. In drawings A1 on Sheet A302, Staff recommendation is that the outside face of the proposed column base aligns with the outside face of the foundation wall below. Staff recommends the Applicant revise design of porches to achieve this relationship.
3. Staff is not in favor of the utilization of cannons within the ironwork at the entry gate on Charles Street as drawn on Sheet A002, Drawing A1 because they begin to create a false sense of history on the project site.
4. On Sheet A301, Drawing A1, Staff recommendation is that a skirt board is added at the termination of the lap siding where it meets the brick below.
5. Regarding Drawing A1 on Sheet A305, Wall Section Through Lobby, Applicant to clarify if any drainage elements associated with this second-floor terrace will be visible. If so, Applicant to provide a detail.
6. Applicant to clarify material of awning framing, roofs, etc., along Charles Street and provide a detail of a typical awning.
7. Applicant to provide a detail of the mounting and framing of the proposed signage on the corner of Charles Street and Port Republic Street.
8. Applicant to provide cut sheets of the following:
  - a. The proposed cementitious service gate panels proposed on Port Republic Street
  - b. Proposed gutters and downspouts

If you have any questions, feel free to call the office of Community & Economic Development at (843) 525-7011.

Sincerely,



Jeremiah Smith, Chair  
Historic Review Board

cc: file copy

# **APPLICANT PRESENTATION**

211 CHARLES STREET

21-02 HRB. 4



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / E. (843) 986-5606  
www.cityofbeaufort.org

- Staff Review
- Board Review

Application Fee:  
see attached schedule

OFFICE USE ONLY: Date Filed: 1/12/22 Application #: 23043 Zoning District: TS-DC  
BCAGHS Survey:  Yes  No

**Schedule:** The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
*\*Requires a Bailey Bill - Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

Applicant Name: ARNIE MCCLURE, COAST ARCHITECTS, INC.  
Applicant Address: 671 SAINT ANDREWS BLVD. CHARLESTON, SC 29407  
Applicant E-mail: arnie@coastarchitects.net Applicant Phone Number: 843.763.7064

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant): 303 ASSOCIATES  
Owner Address: 2015 BOUNDARY STREET, SUITE 300 BEAUFORT, SC 29902

Project Name: THE CANNON BUILDING  
Property Address: 211 CHARLES STREET

Property Identification Number (Tax Map & Parcel Number): R120-004-000-909-000  
Date Submitted: 01.12.2022

**Certification of Correctness:** I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 1/12/2022  
Owner's Signature: [Signature] Date: 1/12/2022

(The owner's signature is required if the applicant is not the owner.)

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org) | updated April 16, 2021



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: THE CANNON BUILDING - 211 CHARLES STREET

Property Size in Acres: 0.303 ACRES Proposed Building Use: APTS./COMMERCIAL

Nature of Work (check all that apply):

- New Construction, Primary Structure
  - New Construction, Primary Structure
  - Alterations / Additions
  - Demolition\*
  - Relocation\*
- \*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):  
27,500 SF TOTAL (1ST=9,311 SF, 2ND=9,109 SF, 3RD=9130 SF)

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

CONSTRUCTION OF A NEW 3-STORY BUILDING TO HOUSE APARTMENTS WITH  
SOME COMMERCIAL SPACE ON THE FIRST FLOOR FACING CHARLES STREET.

**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org) | updated April 16, 2021

## City of Beaufort Certificate of Appropriateness Checklists

### Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org)

\*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

\*This Application Requirements Checklist **MUST** be included in applications, with submitted items checked.

#### Conceptual Review

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

#### Preliminary Review: All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- Certified Arborist report may be required if grand trees are affected by the project.

#### Final Review: All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.



Arnie McClure, NCARB, LEED AP • Connie Dyer Zafiriz

**211 CHARLES STREET  
SUMMARY OF REVISIONS  
FINAL HRB SUBMITTAL 01.12.2022**

Preliminary Approval Received: 12.08.2021

RESPONSE TO PRELIMINARY APPROVAL MOTION CONDITIONS:

1. Eliminate Diagonal Corner Entry:

Revised corner by adding storefront entrances on both Port Republic and Charles Street facades at the first floor. To protect those entrances a 30" deep bracketed canopy element was added above these openings. The tenant sign will hang below the canopy element (instead of a wrought iron bracket. Large exterior wall lights were eliminated due to conflicts with the new canopy design. The smaller wall lights remain on apartment porches, and 2 lights were added on either side of door 101C (door to tenant patio).

At city staff request, the first-floor tenant space was lowered to street level. Per city ordinance, approx. 1'-9" of the walls will require floodproofing. The corner entrance openings, as well as the 2 stair doors will have removable flood panels with concealed fasteners.

2. Restudy Apartment Building Entrance:

Eliminated "Cannon" gate and changed to double door entrance with panel surround and bracketed canopy above entrance. Changed railings and trim on 2<sup>nd</sup> floor balcony to match apartment building porches more closely. Added a 2<sup>nd</sup> (lighter) brick to building design which is used on the apartment building areas and this entrance to visually link them. Due to proximity of property line, windows could not be added on the south side of the entry. Instead, recessed brick panels, with the darker (mixed-use building) brick were used to break up the wall. Also, similar canopies were added to the apartment building stair doors on Port Republic Street, to further link the Charles Street entrance to the apartments.

3. Eliminate Board and Batten Siding:

All board and batten siding has been replaced with lap siding, painted PT-3 (medium gray). The brick below this siding is the darker brick, to help the facades recede between the lighter siding/brick facades on the north and south elevations.

4. Restudy Ground Floor Porches/Consider Eliminating Porches:

A great deal of time and energy was given to the study of eliminating part or all of the porches. Porches are such an integral part of Beaufort, and encouraged by "The Beaufort Code," and the Owner believes that the apartments are better with access to porches. For these reasons, the porches remain an essential part of the building design. Since the decision was made to keep the porches, additional revisions were made to strengthen the porch design. The first floor porch columns were replaced with brick piers. The upper floor railings were changed to powder-coated (white) steel rails with larger baluster and railing profiles to simulate wood railings. These rails will be custom fabricated steel, with powder coating. The railings between the brick piers will remain black wrought iron, as originally detailed. To further segregate and

671 St. Andrews Blvd.

Charleston, SC 29407

843.763.7064

Fax: 843.763.7061

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emphasize the porches along Port Republic Street, the raised planting area was lowered to sidewalk level, and the fencing/railing between the porches was eliminated.

5. Construct a Brick Sample Panel: The Owner is arranging to have a 4'x6' brick panel constructed on-site prior to the HRB meeting. The panel will include both proposed bricks and soldier/rowlock details.

#### RESPONSE TO STAFF CONDITIONS

1. Differentiate/Restudy Charles Street Entrance:  
See revisions described in item 1 of response to preliminary approval motion above.
2. Columns:
  - a. Columns on South Façade should be evenly spaced:  
Column spacing changed to equal distance between columns.
  - b. Perma-Cast columns may be used:  
No changes made to column material.
  - c. Outside face of column should align with face of brick below: Changed first floor columns to brick piers, and aligned upper column faces with face of brick pier/wall below.
3. Eliminate Cannon Gate: Cannon gate was eliminated at Charles Street entrance. Service gate was changed from cementitious to custom cut steel plate and features a cannon motif.
4. Add a skirt board at transition between siding and brick on section A1/A301:  
Skirt board with water table trim was added to detail.
5. Clarify roof drainage on balcony/roof above Charles Street entry (section A1/A305):  
Section updated to show that balcony will have elevated 24" sq. concrete pavers on pedestals over a modified bitumen roofing system below. Internal roof drains will be utilized.
6. Provide Awning Detail:  
Awning detail added to sheet A002.
7. Provide Corner Sign Mounting Detail:  
Instead of decorative bracket, corner sign will be mounted to underside of entry canopy using two 1" dia. steel pipes internally fastened to canopy steel.
8. Provide cut sheets for:
  - a. Cementitious service gates:  
Design changed to powder-coated steel.
  - b. Gutters & Downspouts:  
Gutters will be brake metal (prefinished aluminum) to match roof panels. Profiles are shown on wall sections. No product additional product data submitted.



Arnie McClure, NCARB, LEED AP • Connie Dyer Zafiris

**COMPLIANCE REVIEW – BEAUFORT CODE  
211 CHARLES STREET**

TMS: R120 004 000 0909 0000

Zoning: T5-DC

Date Prepared: 01.24.2022

CODE	REQUIREMENT	AS DESIGNED	COMPLIES (Y/N)
<b>2.4.1 District Development Standards</b>			
A.1	Lot Width: n/a	97 ft	Y
A.2	Lot Size: n/a	0.303 Acres	Y
A.3	Max Lot Coverage: n/a	83.46%	Y
A.4	Frontage Buildout: 100%	100%	Y
B.1	Front Setback: 0 ft Min./Max. Prevailing Setback Max.	6'-6" on Charles Street	Y
B.2	Side Setback Corner: 0' Min./15' Max.	12'-8" max. on Port Republic Street	Y
B.3	Side Setback Interior: 0' Min.	0'	Y
B.4	Rear Setback: 0' Min.	0'	Y
D.1	Building Height: 3 Stories Max. at Property Line/4 Stories Max 15' back from Property Line	3 Stories at Property line and 15' back from property line	Y
D.2	Building Width at Frontage: 100 ft. max	132' (*BOZA Variance granted 08.09.2021)	Y*
<b>2.5. General Lot Standards</b>			
B	Facades shall be parallel to principal frontage, public streets, and right-of-ways	Facades are parallel to Charles and Port Republic Street	Y
D	Principal pedestrian entrance on front façade, corner entrance shall face street from which address is derived	The retail space utilizes the corner entrance, and the apartments have a separate entrance, both address Charles Street	Y
<b>2.6 Height</b>			
1.A	Max. Story Height: 15'	Max. Story Height: 14' (1 <sup>st</sup> floor)/10' (upper floors)	Y
1.G	Max 3 Stories at Property Line/Max 4 Stories 15' back from Property Line	3 Stories at Property line and 15' back from property line	Y
2.A	Min. 1' freeboard above floor/exception for floodproofed building	Per staff request, the first-floor tenant space has be lowered to near sidewalk level. The walls and door openings will be floodproofed to meet the town's current flood ordinance (min. elev. of 14.0).	Y
2.D.1	Apartment buildings shall be min. 18" above Grade.	Apartments are located approx. 24" above Port Republic Street	Y
2.D.2	Ground floor of residential structures shall be a min. of 10' ceiling height	Ground floor apartments ceiling height: 11'	Y
2.D.4 & 2.D.5	Ground floor ceiling height shall be min. 12' ceiling height	Ground floor commercial ceiling height: 13'-8'	Y

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2.D.6	Stories above Ground Floor: 8' min. ceiling height	Upper Floor Ceiling Height: 9'	Y
2.6.3	2-story buildings required within 250 of any significant intersection	Building is 3 Stories	Y
<b>4.4 Private Frontage Types</b>			
4.4	In T5 Zoning the following types are allowed: C. Forecourt D. Stoop E. Balcony F. Shopfront/Awning G. Gallery/Colonnade H. Arcade	Building utilizes the following types: E. Balcony (Apt. Bldg. Entrance) F. Shopfront/Awning & H. Arcade (Retail)	Y
<b>4.5.7 Building Types- Multi-Use and Apartment House</b>			
A	Apartment House: Larger Scale Building containing 4 or more units on corner lots and/or full blocks	Building use is primarily Apartment House. It includes 19 apartments and is located on a corner lot.	Y
B.1 & B.2	Frontages Types/Building Entries: Stoop, Forecourt, Balcony, Porches are not preferred but may be used. Buildings with formal entry courts or lobbies are exempt from direct unit access from street	The apartment house entry utilizes a balcony frontage and has a lobby	Y
B.3	Parking: On-site parking must be access off a rear ally	Parking is provided off-site in parking lot (see diagram on sheet G001).	Y
B.4	Size: No building dimension shall exceed 160' in any direction	Max. Building Dimension: 132'-10"	Y
<b>4.6 Building Design Standards</b>			
.1.A	Size, Mass, and Scale of buildings shall be appropriate with neighboring context	The Port Republic St. façade recognizes the residential scale of the adjacent homes, while the Charles St. façade addresses the more commercial context of Bay and Charles Street.	Y
1.B	Building bays, porches, openings, ect, proportions should be square or vertical	Building design features vertical masonry bays, window openings, and porches.	Y
1.C	Building wall material changes should be horizontal. A change in plane is required for vertical material changes.	Building material changes comply with this requirement	Y
1.D	Primary Sloped Roofs shall have a min. slope of 4:12	Primary roofs have a slope of 4:12	Y
1.F	Trash & Mechanical Equipment shall be screened.	Trash is screened by brick walls and gate. Mechanical Equipment is screened by building parapets.	Y
1.G	Building colors shall not express corporate identity	Building colors relate to the existing context and do not represent a corporate identity	Y
3.A.	Building wall materials, foundations,	Building is designed with brick walls,	Y

	columns, railings, doors, roofs, shall be constructed of approved types listed in this section, and shall not be constructed of materials prohibited by this section.	cementitious lap siding, and cementitious panel ( <i>board and batten</i> ) siding. Columns are "Permacast." Railings are wrought iron. Doors and double-hung windows are wood with metal cladding. Shutters are made of composite wood. Larger fixed window are aluminum storefront. Visible roofs are standing seam metal.	
3.B	Roof forms shall be of specific approved types, flat roofs shall be concealed from street, and gutters/downspouts shall be approved type of metal	The building utilizes hipped roofs that extend to a parapet, along with a brick parapet on the west end of the building. Gutters and Downspouts are prefinished aluminum.	Y
3.C.1	Window and Door openings shall be a min. of 40% on ground floor and 20% on upper floors. HRB may grant reduction to 30% for ground floor apartments. <i>*see design statement at end of table</i>	For the purpose of computing transparency, the Port Republic façade is divided into 2 segments: Apartment Building and Multi-Use Building. Openings in facades on Port Republic Street and Charles Street comply with the code requirements (see Transparency Diagrams above building elevations in drawings).	Y
3.C.2	Windows shall not be flush with the wall, have detailed surrounds, multi-story buildings shall have different sized windows, and mullions shall not be more than 2' apart.	The window design and placement meet the intent of these requirements	Y
3.2.D	Architectural details including operable shutters, maximum column spacing, and delineation of base, floor levels, and cornices are required	The building design incorporates both masonry and siding details that meet the intent of these requirements.	Y
<b>5.3 Tree Planting and Protection</b>			
.1	T5-UC has no min. tree requirements	Palmetto Trees are incorporated into the raised garden area on Port Republic Street	Y
<b>5.5 Perimeter Landscaping and Screening</b>			
.1	None required since side and rear abut same zoning district	No buffers provided on side and rear property lines	Y
<b>5.7 Parking</b>			
.3	Bicycle racks for 5% of required off-street vehicular parking, or a min. 2 bikes (whichever is greater).	A bike rack for <b>2 bikes</b> is provided near the Port Republic Street entrance to the apartment building.	Y
.4	Parking Space Requirements:  <u>Retail Uses:</u> 1/300 gsf: Note: 5.7.4.B.4 exempts parking for the retail space.	Designated parking spaces to be provided in off-site parking lot: <u>Retail Use:</u> 0 Required <u>Residential:</u> 19 units x 1.75/unit = 33 .25 <b>Total parking required/provided = 34</b> A written parking agreement will be	Y

	<p><u>Multi-Family (2 bedrooms): 1.75/unit</u></p> <p>Offsite parking must be within 400' and connected via walkway. A written parking agreement shall be provided to the City.</p>	<p>provided for approval at the time of permitting.</p> <p>Off-site parking will be provided in the Owner's current parking lot located at the corner of Charles and Craven Street. 34 spaces will be designated with signs for use by building residential occupants (See parking diagram on sheet G001)</p>	
<b>5.8 Lighting</b>			
.4	<p>Post mounted lights shall not exceed 15' in height and shall be full-cutoff if they exceed 1800 lumens, and not exceed 2.5 foot-candles in adjacent T4 districts.</p>	<p>There are no post-mounted lights. All wall mounted lighting will be full-cutoff with a maximum average foot-candle along sidewalks not exceeding 2.5.</p>	Y

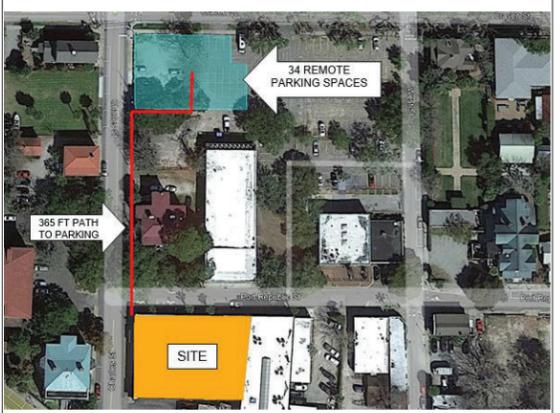
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**ABBREVIATIONS**

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
ARCH.	ARCHITECTURAL/ARCHITECT
@	AT
BRG.	BEARING
BTM.	BOTTOM
BLDG.	BUILDING
(C)	CAULK
CAB.	CABINET
C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.F.O.I.	CONTRACTOR FURNISHED, OWNER INSTALLED
CLG.	CEILING
CPT.	CARPET
CTR.	CENTER
CLOS.	CLOSET
COL.	COLUMN
CONC.	CONCRETE
C.J.	CONTROL JOINT
DTL.	DETAIL
DIAM.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRIC/ELECTRICAL
E.W.C.	ELECTRIC WATER COOLER
ELEV.	ELEVATION-GRADE OR BLG.
E.J.	EXPANSION JOINT
EPS.	EXTRUDED POLYSTYRENE
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.F.	EXHAUST FAN
EXIST. (E)	EXISTING
EXT.	EXTERIOR
FT.	FEET
FIN.	FINISH
F.E.	FIRE EXTINGUISHER (WALL BRACKET)
F.E.C.	FIRE EXTINGUISHER CABINET (SEMI-RECESSED WALL CAB.)
FLR.	FLOOR
FRT.	FIRE RETARDANT TREATED
F.D.	FLOOR DRAIN
GALV.	GALVANIZED
GA.	GAUGE
GYP.BD.	GYP. BOARD
HC	HANDICAP ACCESSIBLE
HDWR.	HARDWARE
HT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
J.T.	JOINT
K.S.	KNEE SPACE
LAM.	LAMINATE
LAV.	LAVATORY
MFR.	MANUFACTURER
M.O.	MASONRY OPENING
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.H.	OPPOSITE HAND
O.R.D.	OVERFLOW ROOF DRAIN
(P)	PAINT
PLYWD.	PLYWOOD
PR	PAIR
PREF.	PREFINISHED
PREFAB.	PREFABRICATED
P.T.	PRESSURE TREATED
RAD., R.	RADIUS
RE.	REFERENCE
REINF.	REINFORCE/REINFORCING
REQ'D.	REQUIRED
R.D. (L)	ROOF DRAIN (LEADER)
R.O.	ROUGH OPENING
SHT.	SHEET
SIM.	SIMILAR
SPECS.	SPECIFICATIONS
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
TEL.	TELEPHONE
TR.	TREATED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
(V)	VERIFY
V.A.T.	VINYL ASBESTOS TILE
V.C.T.	VINYL COMPOSITE TILE
VERT.	VERTICAL
V.T.R.	VENT THROUGH ROOF
W.C.	WATER CLOSET
WD.	WOOD



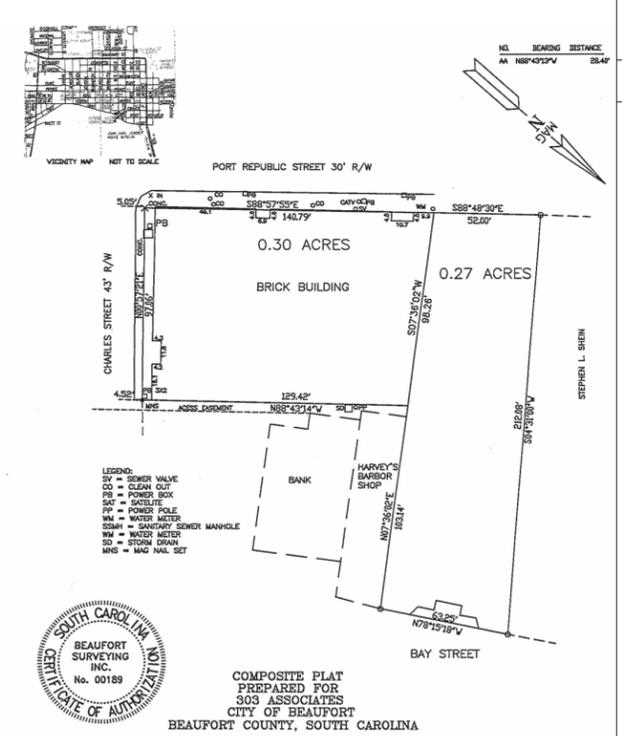
**PARKING INFORMATION**



**REMOTE PARKING DIAGRAM**  
Showing 34 designated spaces within 400' of site along path of public ROW/walk on Charles Street

	REQUIRED SPACES	PROVIDED SPACES
Retail	0	0
Apartments	33.25	34

**PLAT**



THE SAME BEING A PORTION OF BLOCK 71, CITY OF BEAUFORT AS SHOWN ON A PLAT BY R. D. TROGDON IV, DATED 12/31/1985 AND RECORDED IN THE REGISTER OF DEEDS OFFICE FOR BEAUFORT COUNTY IN PLAT BOOK 33, PG 152.  
THE SAME BEING A PORTION OF BLOCK 71, CITY OF BEAUFORT AS SHOWN ON A PLAT BY R. D. TROGDON IV, DATED 12/27/1994 AND RECORDED IN THE REGISTER OF DEEDS OFFICE FOR BEAUFORT COUNTY IN DEED BOOK 753, PG 2070.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN. THIS PROPERTY IS LOCATED IN ZONE A-11 (13.0) AS DETERMINED BY FEMA, FIRM COMMUNITY-PANEL NUMBER 450026 0005 D, DATED 9/29/86.

R120 -004-000-0911-0000  
R120 -004-000-0909-0000  
0 20' 40' 80' 160'  
SCALE 1" = 40'  
JANUARY 26, 2016  
PT1585C7/LMP  
DAVID S. YOUMANS RLS 9765  
BEAUFORT SURVEYING, INC.  
2201 BOUNDARY ST., SUITE 103  
BEAUFORT, S.C. 29902  
PHONE (843) 524-3261

# THE CANNON BUILDING

## 211 CHARLES STREET BEAUFORT, SOUTH CAROLINA

**OWNER**  
303 ASSOCIATES  
2015 BOUNDARY STREET  
SUITE 300  
BEAUFORT, SC 29902  
843.521.9000

**ARCHITECT**  
COAST ARCHITECTS, INC.  
671 SAINT ANDREWS BLVD.  
CHARLESTON, SC 29407  
843.763.7064

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- C101 DEMOLITION AND PROPOSED SITE PLANS (PREV. SUBMITTAL)
- C101 DEMOLITION AND PROPOSED SITE PLANS
- L1.1 LANDSCAPE PLAN
- A002 SERVICE YARD GATE AND RAILING AND DETAILS
- A101 FIRST FLOOR PLAN (PREV. SUBMITTAL)
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- A102 SECOND & THIRD FLOOR PLANS (PREV. SUBMITTAL)
- A102 SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)
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- A200 STREET ELEVATIONS (PREVIOUS SUBMITTAL)
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01.12.2022

THE CANNON BUILDING  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO.: 2015.00

TITLE SHEET & DRAWING INDEX

# G001

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VIEW FROM CORNER OF CHARLES AND PORT REPUBLIC STREET LOOKING EAST



VIEW FROM CHARLES STREET LOOKING NORTHEAST



VIEW FROM CHARLES STREET LOOKING EAST



VIEW FROM CORNER OF CHARLES AND BAY STREET LOOKING NORTHEAST



OLD BAY MARKETPLACE (EAST OF SITE) ON PORT REPUBLIC STREET



TABBY PLACE EVENT VENUE ACCROSS PORT REPUBLIC STREET FROM SITE

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671 St. Andrews Blvd., Charleston, SC 29407  
Phone: 843.763.7064 Fax: 843.763.7061  
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01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

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DATE: 01.12.2022

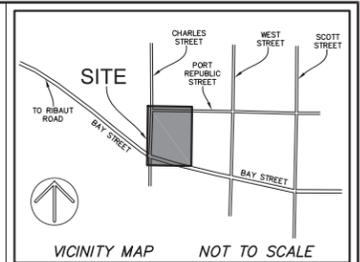
COAST PROJECT NO.: 2015.00

CONTEXT  
PHOTOGRAPHS

**G002**

HRB FINAL APPROVAL - 02.09.2022 MEETING

NORTH  
SC GRID (NAD 83)



VICINITY MAP NOT TO SCALE

- LEGEND
- ▲ CALC POINT - CORNER NOT SET
  - XF ● SCRIBED X FOUND
  - NF ● NAIL FOUND
  - RBF ● IRON REBAR FOUND
  - BOLLARD
  - oc. # CABLE JUNCTION BOX
  - ⊕ ELECTRIC METER
  - ⊖ ELECTRIC MANHOLE
  - ⊕ FIRE HYDRANT
  - ⊖ GRATE INLET
  - ⊕ GAS METER
  - ⊖ HANDICAP PARKING
  - ⊕ IRRIGATION CONTROL VALVE
  - ⊖ JUNCTION BOX
  - ⊕ LIGHT POLE
  - ⊖ PARKING METER
  - ⊕ POWER POLE
  - ⊖ STORM DRAIN MANHOLE
  - ⊕ SPOT ELEVATION
  - ⊖ SIGN
  - ⊕ SANITARY SEWER CLEAN OUT
  - ⊖ SANITARY SEWER MANHOLE
  - ⊕ SANITARY SEWER VALVE
  - ⊖ TRAFFIC SIGNAL BOX
  - ⊕ TRAFFIC SIGNAL POLE
  - ⊖ TELEPHONE JUNCTION BOX
  - ⊕ TELEPHONE MANHOLE
  - ⊖ TRANSFORMER-ELECTRIC
  - ⊕ WATER METER
  - ⊖ WATER VALVE
  - CEDAR
  - LIVE OAK
  - MAGNOLIA
  - PALMETTO
  - DOUBLE YELLOW LINE
  - FINISHED FLOOR ELEVATION
  - INVERT ELEVATION
  - PIPE DIRECTION
  - PARKING SPOT
  - POLYVINYL CHLORIDE PIPE
  - REINFORCED CONCRETE PIPE
  - STOP BAR
  - SINGLE WHITE LINE
  - CONTOUR LINE
  - UNDERGROUND DRAINAGE LINE
  - UNDERGROUND SEWER LINE
  - BRICK
  - CONCRETE
  - EDGE OF PAVEMENT
  - GRAVEL

- REFERENCES
- 1. DB: 769 PG: 2341
  - 2. DB: 3458 PG: 1598
  - 3. DB: 3706 PG: 2787
  - 4. PB: 63 PG: 163
  - 5. DB: 1102 PG: 958

PREPARED FOR:  
303 ASSOCIATES, LLC.  
AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF  
#209 CHARLES STREET  
AND  
#921 BAY STREET

TAX PARCEL No. R120 004 000 0909 0000  
&  
TAX PARCEL No. R120 004 000 0910 0000

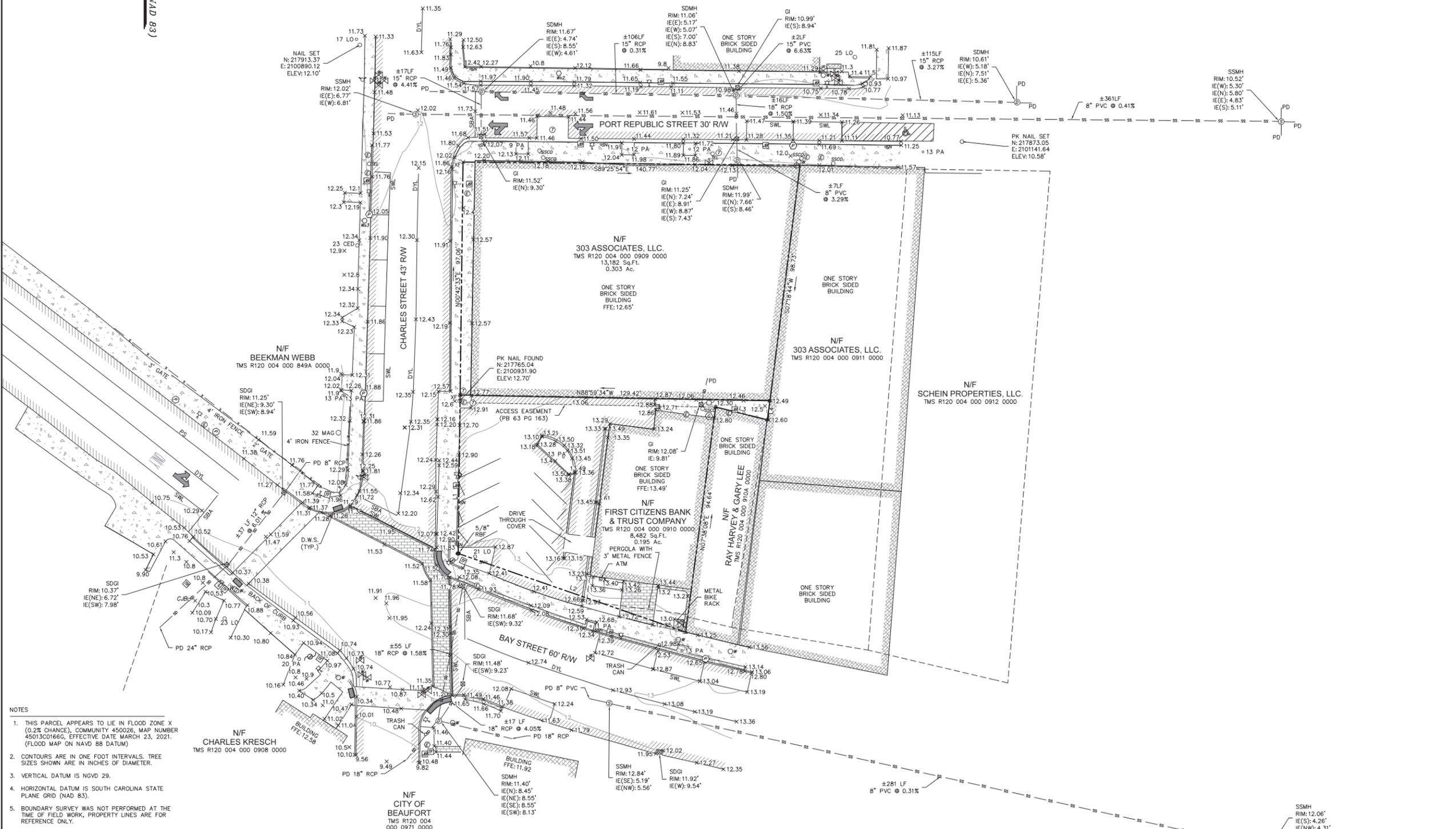
THE CITY OF BEAUFORT  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: CMW  
FIELD CHECK: JWR  
DRAWN BY: JHL  
DATE: 04-28-2021  
SCALE: 1"=20'  
PROJECT No.: BFT-20203  
FILE: BFT-20203 AT3.DWG



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
NOT VALID UNLESS DRAINED WITH SEAL



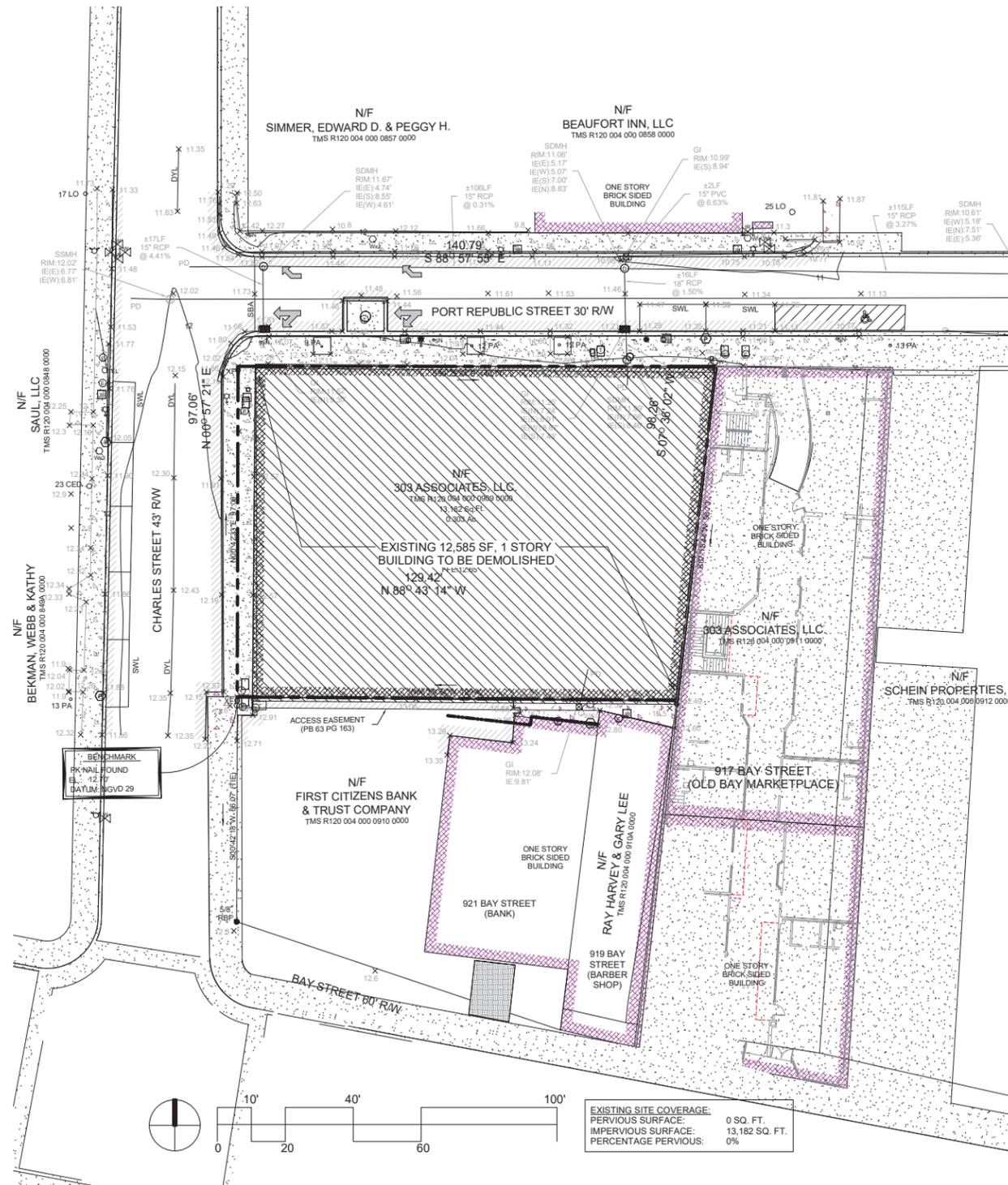
- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X (0.2% CHANCE), COMMUNITY 450026, MAP NUMBER 45013001660, EFFECTIVE DATE MARCH 23, 2021. (FLOOD MAP ON NAVD 88 DATUM)
  2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  3. VERTICAL DATUM IS NGVD 29.
  4. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
  5. BOUNDARY SURVEY WAS NOT PERFORMED AT THE TIME OF FIELD WORK, PROPERTY LINES ARE FOR REFERENCE ONLY.
  6. PER EMAIL TO CITY OF BEAUFORT ZONING DEPARTMENT ON MARCH 18TH, 2021, THIS PARCEL IS ZONED T5-DC, NO SETBACKS REQUIRED, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.

LABEL	BEARING	DISTANCE
L1	S00°42'18"W	66.07'
L2	S70°58'07"E	100.47'
L3	S76°08'20"E	22.23'
L4	N07°35'55"E	8.15'



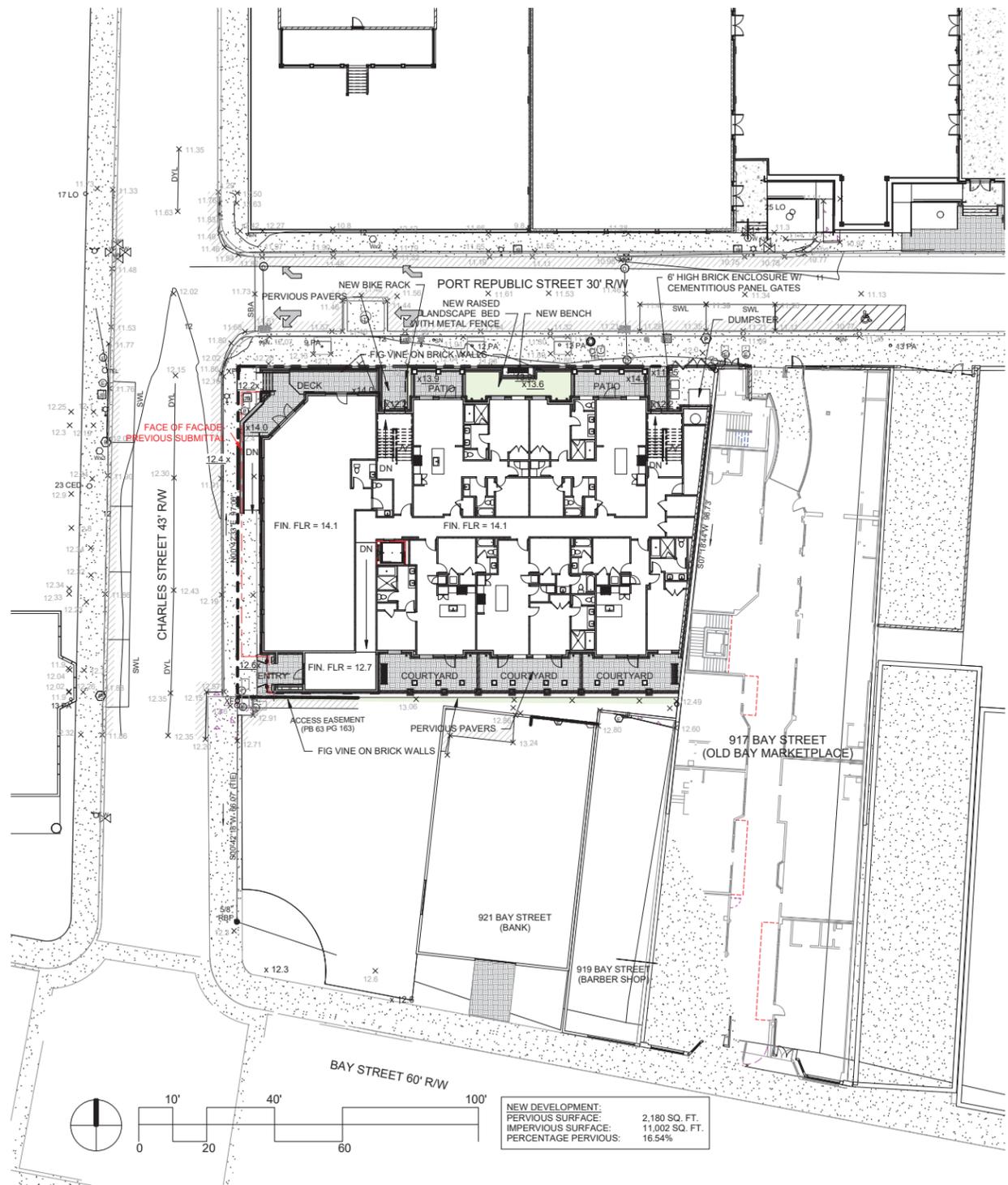
**ATLAS**  
SURVEYING, INC.  
49 BROWN'S COVE ROAD, SUITE #5  
RIDGELAND, SC 29936  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM

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**A1**  
**C101** DEMOLITION SITE PLAN  
SCALE: 1" = 20'-0"

EXISTING SITE COVERAGE:  
PERVIOUS SURFACE: 0 SQ. FT.  
IMPERVIOUS SURFACE: 13,182 SQ. FT.  
PERCENTAGE PERVIOUS: 0%



**A6**  
**C101** PROPOSED SITE PLAN  
SCALE: 1" = 20'-0"

NEW DEVELOPMENT:  
PERVIOUS SURFACE: 2,180 SQ. FT.  
IMPERVIOUS SURFACE: 11,002 SQ. FT.  
PERCENTAGE PERVIOUS: 16.54%

**PREVIOUS SUBMITTAL**  
211 CHARLES 19 of 50

11.18.2021

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM  
CHECKED BY: FAM  
DATE: 11.18.2021

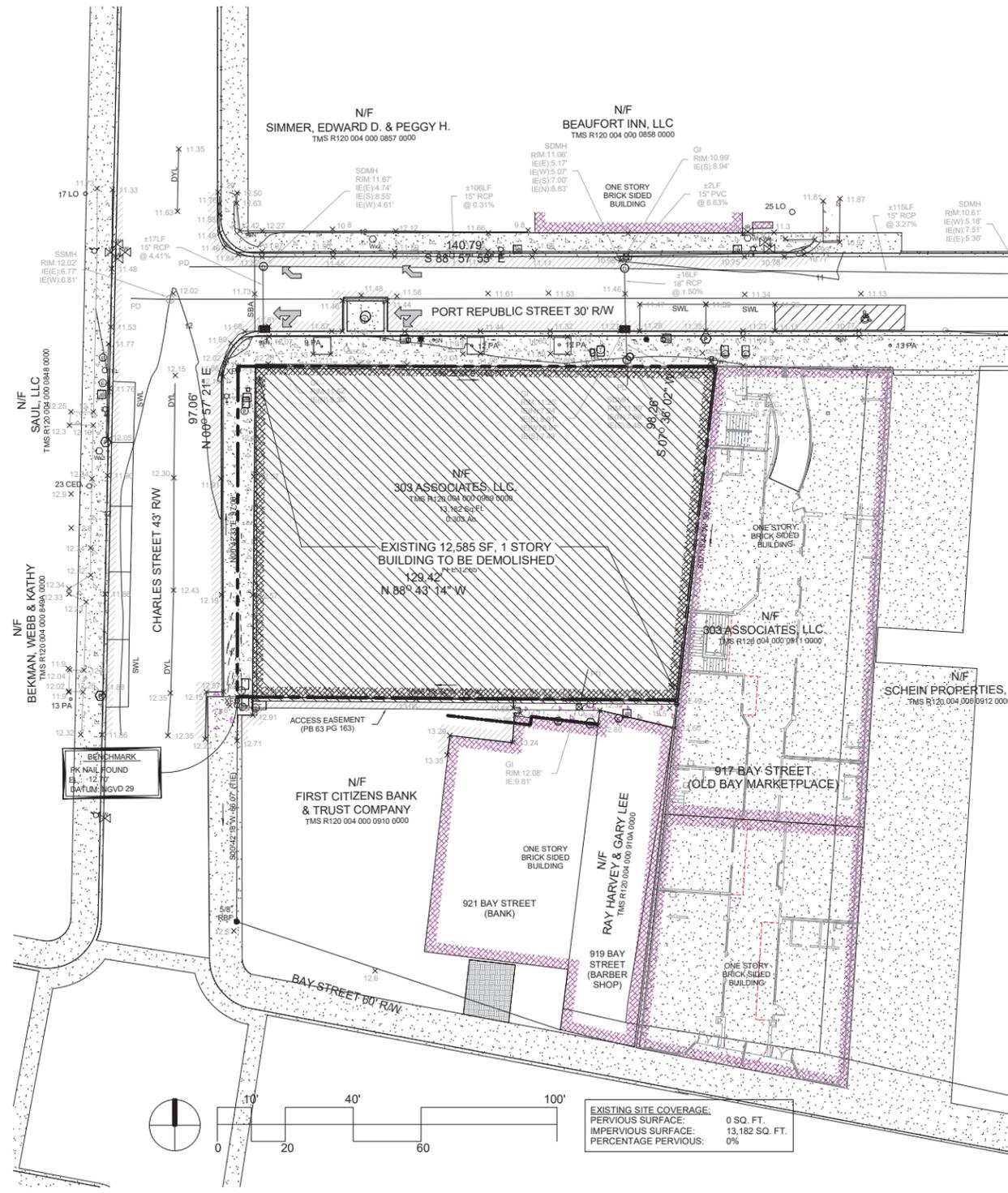
COAST PROJECT NO.: 2015.00

**SITE DEMOLITION & PROPOSED SITE PLAN**

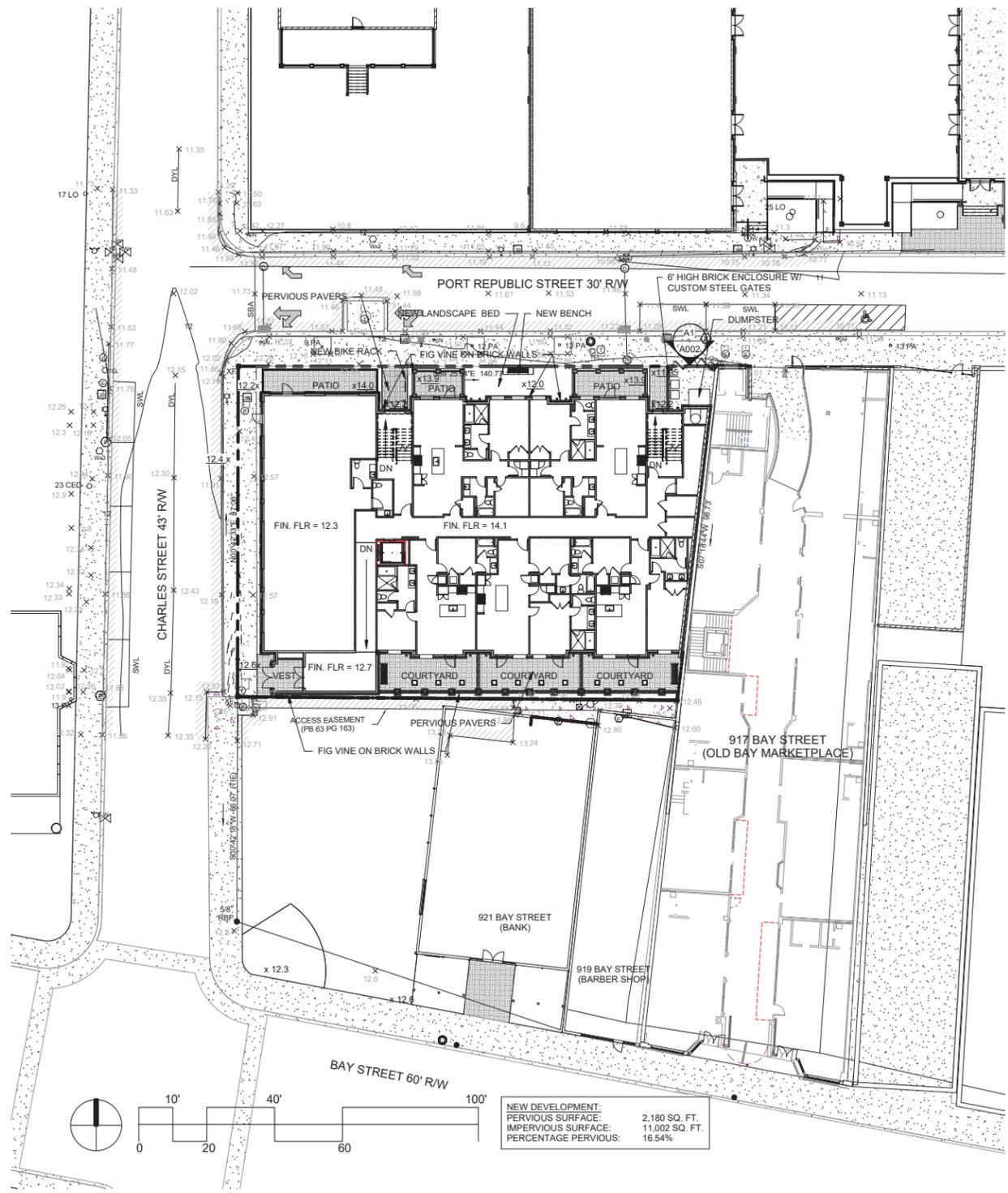
**C101**

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**A1**  
**C101** DEMOLITION SITE PLAN  
 SCALE: 1" = 20'-0"



**A6**  
**C101** PROPOSED SITE PLAN  
 SCALE: 1" = 20'-0"

HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

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 DATE: 01.12.2022

COAST PROJECT NO.: 2015.00

**SITE DEMOLITION & PROPOSED SITE PLAN**

**C101**

**THE CANNON BUILDING**  
 211 CHARLES STREET  
 BEAUFORT, SOUTH CAROLINA

01.12.2022

**coast architects**  
 671 St. Andrews Blvd., Charleston, SC 29407  
 Phone: 843.763.7064 Fax: 843.763.7061  
 www.coastarchitects.net



JACKSON & SMALL  
ASSOCIATES  
LANDSCAPE ARCHITECTURE

PO Box 1788  
Tybee Island, GA 31328  
912-704-1118  
MICHAELSMALLASLA@GMAIL.COM

THE CANNON BUILDING  
21 CHARLES STREET  
BEAUFORT, SC

Correct plan scale is based on a 24x36 sheet.  
Do not scale dimensions from prints.  
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property of Michael S. Small LLC and may not  
be used without the prior written consent of  
M i c h a e l S . S m a l l L L C .

Date: July 21, 2021

Project #:

REVISIONS:

No. Date

Drawn By: MSS

Checked By: MSS

Project #: 0

Drawing Title

Planting Plan



Drawing Number

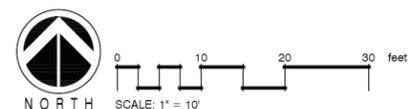
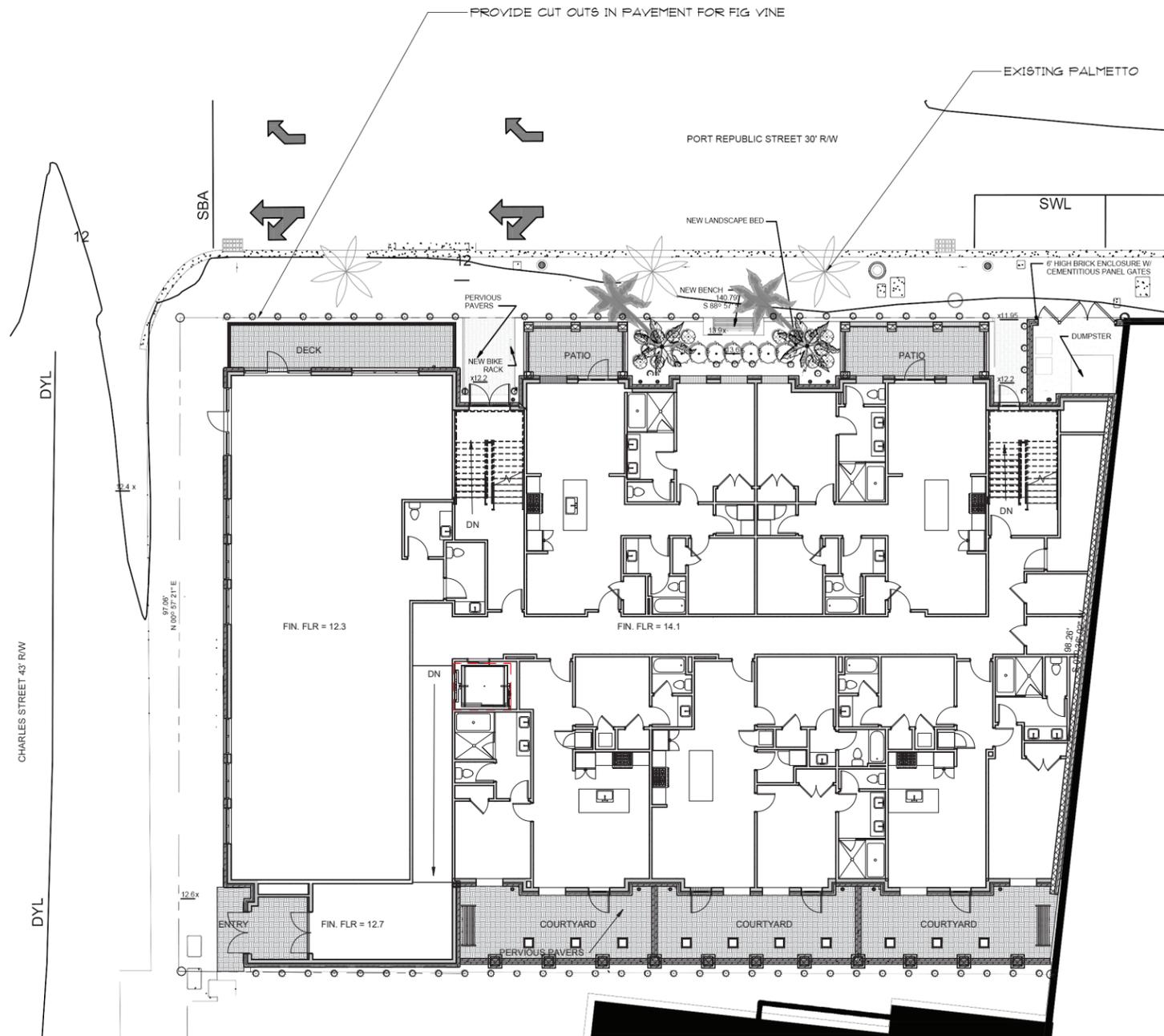
L1.1

**PLANT SCHEDULE**

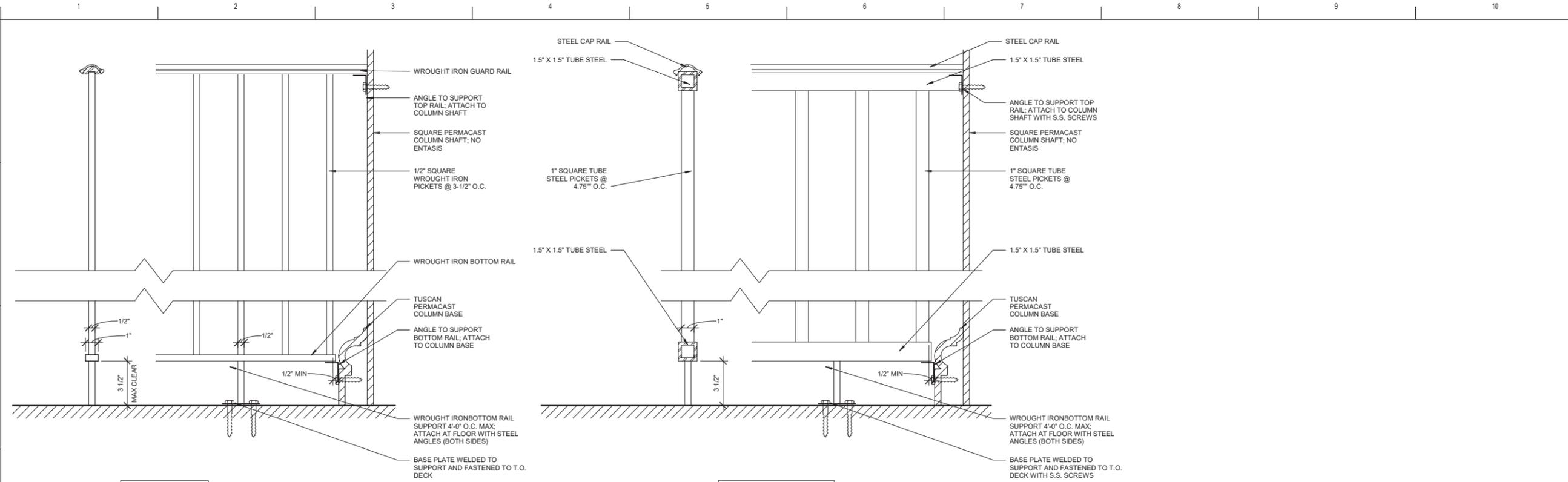
UNDERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CAL	CONT.	HEIGHT/SPREAD	REMARKS
	2	Cabbage Palmetto	Sabal palmetto	N/A	Bare Root	12-15' H	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT/SPREAD	LQP	REMARKS
	14	Blue African Lily	Agapanthus africanus 'Blue'	3 gal	12-15"		
	71	Creeping Fig	Ficus pumila	1 gal	4-6"		
	7	Rose	Rosa x 'Pink Knockout'	3 gal	15-18"		

**PLANTING NOTES:**

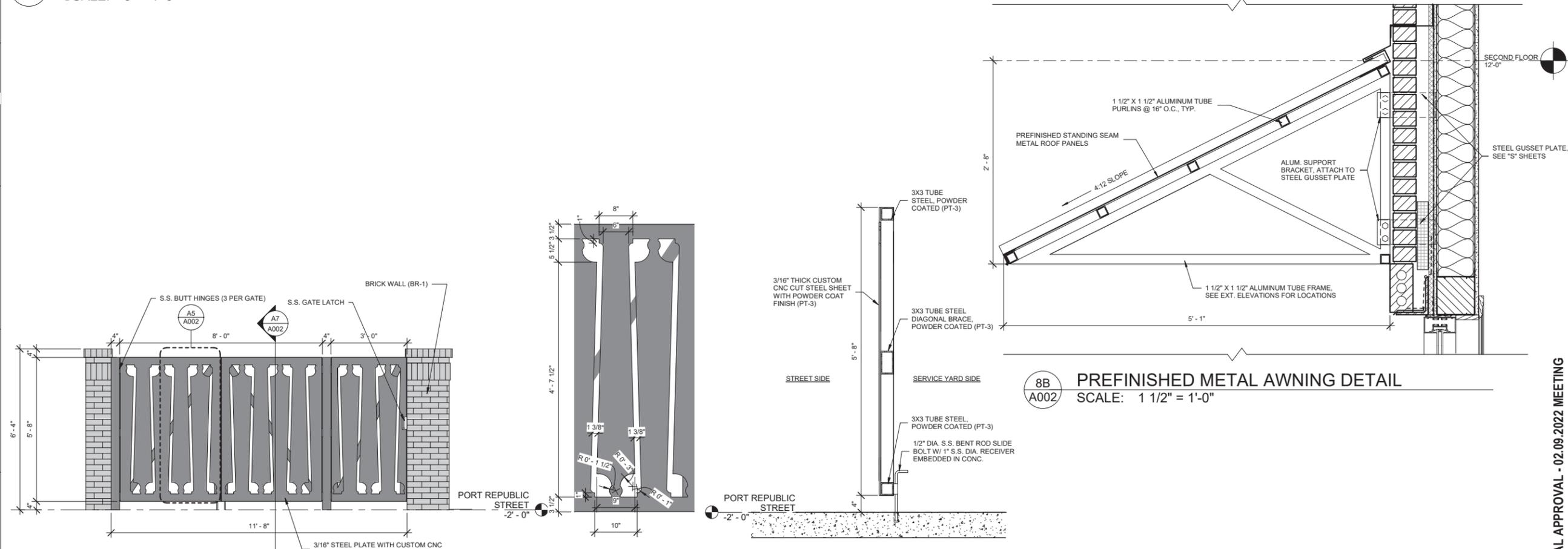
- CONTRACTOR SHALL PROVIDE A SOIL ANALYSIS BY A QUALIFIED SOIL-TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT, AND CLAY CONTENT, CATION EXCHANGE CAPACITY, DELETERIOUS MATERIAL, pH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL. REPORT TO BE PROVIDED TO OWNER'S REPRESENTATIVE. CONTRACTOR TO FURNISH SUITABILITY REPORT OF TOPSOIL FOR LAWN AND PLANT GROWTH. STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHOROUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL. IF ADDITIONAL TOPSOIL IS REQUIRED, CONTRACTOR TO PROVIDE STOCKPILED TOPSOIL OR IMPORTED OR MANUFACTURED TOPSOIL FREE OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH AND HAVING THE APPROPRIATE PERCENTAGES AS RECOMMENDED BY SUITABILITY REPORT.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS. ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING AND PROPOSED UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING AND PROPOSED UTILITIES.
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, SPRIG AND PLANTING BEDS. SEE IRRIGATION PLANS FOR INFORMATION.
- MULCH ALL PLANTING BEDS WITH PINE STRAW TO A 4" DEPTH.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED-IN-BURLAP OR CONTAINER. OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- AREAS SHOWN WITH SOD ARE APPROXIMATE. ADDITIONAL SOD MAY BE REQUIRED DURING INSTALLATION.
- ALL TREE SHRUBS, & GROUNDCOVERS ARE TO BE GUARANTEED FOR A PERIOD OF 1 YEAR BEGINNING UPON ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR STAKING ANY PLANT MATERIALS IN HIGH WIND SITUATIONS OR ANY OTHER THAT WOULD REQUIRE STAKING. CONSULT L.A. FOR PROPER STAKING TECHNIQUES.



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**E1 A002 GUARDRAIL DETAILS**  
SCALE: 3" = 1'-0"



**A1 A002 SERVICE YARD GATE ELEVATION**  
SCALE: 1/2" = 1'-0"

**A5 A002 GATE PANEL PATTERN**  
SCALE: 1" = 1'-0"

**A7 A002 SERVICE GATE SECTION**  
SCALE: 1" = 1'-0"

01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

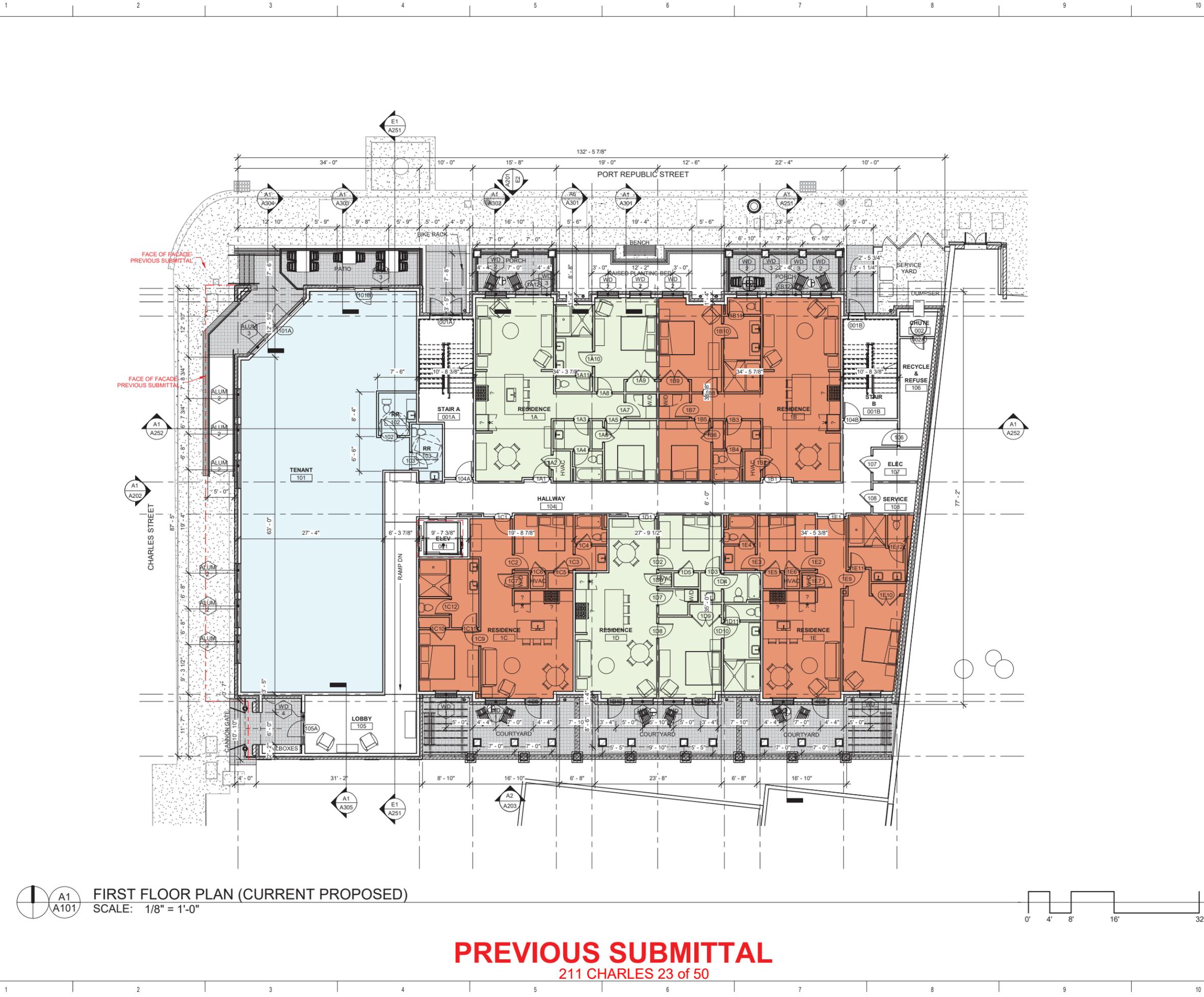
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COAST PROJECT NO: 2015.00

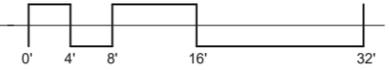
**SERVICE YARD GATE AND RAILING DETAILS**

**A002**

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**FIRST FLOOR PLAN (CURRENT PROPOSED)**  
SCALE: 1/8" = 1'-0"



**PREVIOUS SUBMITTAL**  
211 CHARLES 23 of 50

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architects  
671 St. Andrews Blvd., Charleston, SC 29407  
Phone: 843.763.7064 Fax: 843.763.7061  
www.coastarchitects.net

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**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

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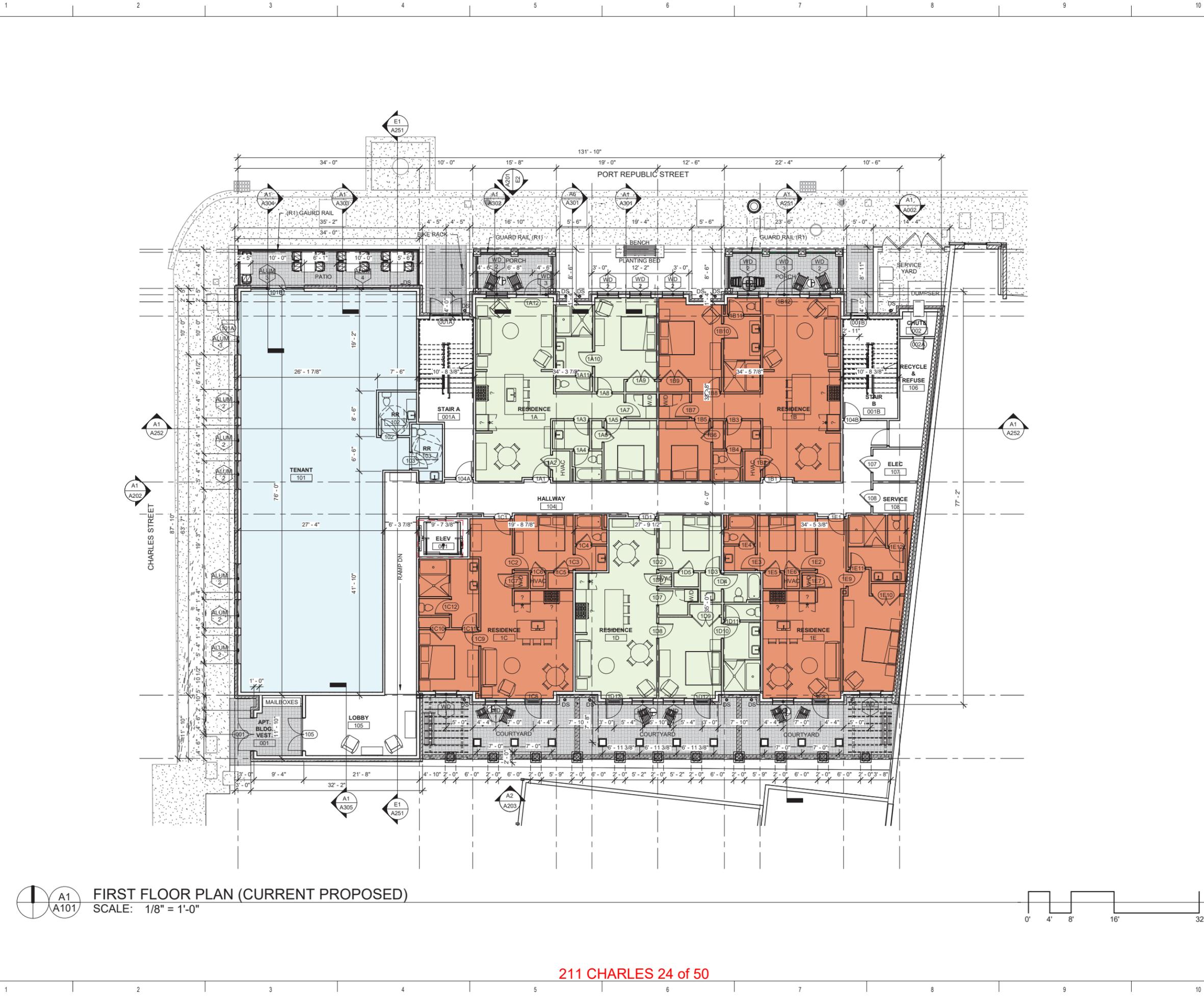
COAST PROJECT NO.: 2015.00

**FIRST FLOOR  
PLAN (CURRENT  
PROPOSED)**

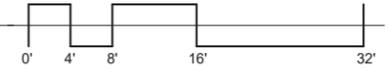
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**FIRST FLOOR PLAN (CURRENT PROPOSED)**  
SCALE: 1/8" = 1'-0"



01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

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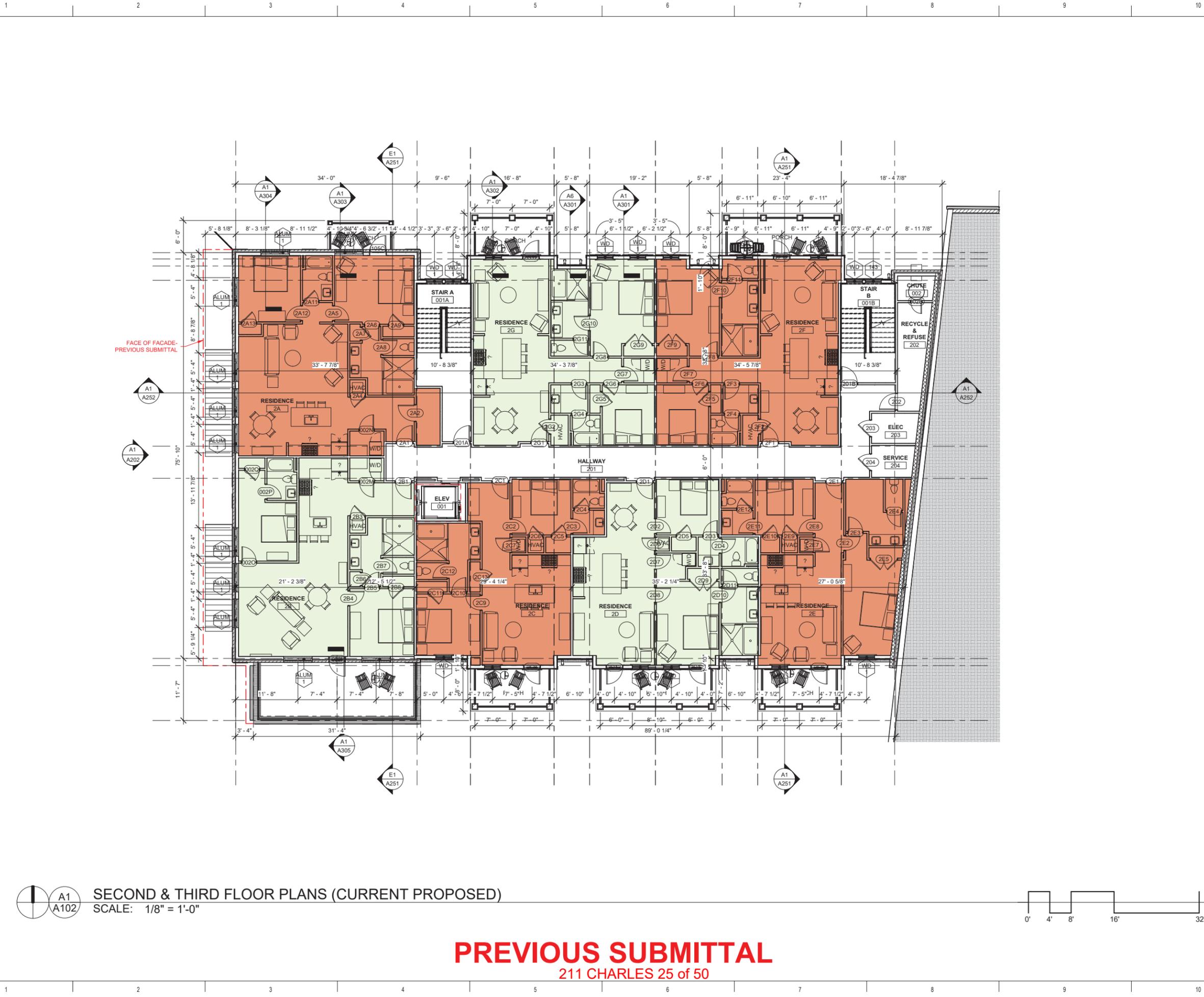
COAST PROJECT NO.: 2015.00

**FIRST FLOOR  
PLAN (CURRENT  
PROPOSED)**

**A101**

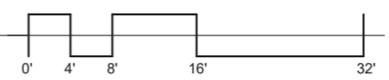
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**SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)**  
 SCALE: 1/8" = 1'-0"

**PREVIOUS SUBMITTAL**  
 211 CHARLES 25 of 50



**coast architects**  
 671 St. Andrews Blvd., Charleston, SC 29407  
 Phone: 843.763.7064 Fax: 843.763.7061  
 www.coastarchitects.net

11.18.2021

**THE CANNON BUILDING**  
 211 CHARLES STREET  
 BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 12.08.2021 MEETING

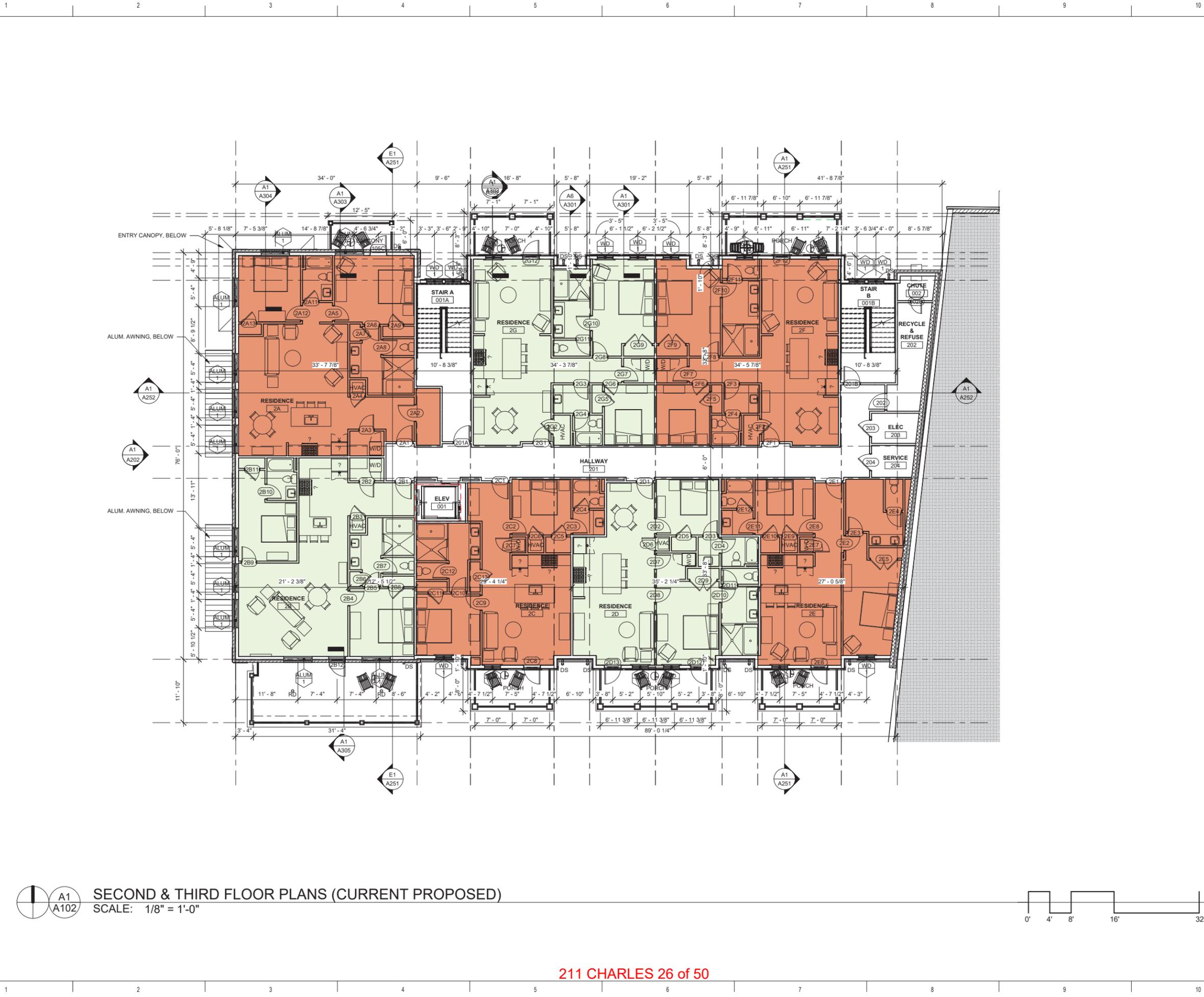
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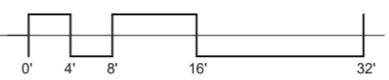
COAST PROJECT NO.: 2015.00

**SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)**  
**A102**

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3:24:19 PM



**SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)**  
SCALE: 1/8" = 1'-0"



01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 02.09.2022 MEETING

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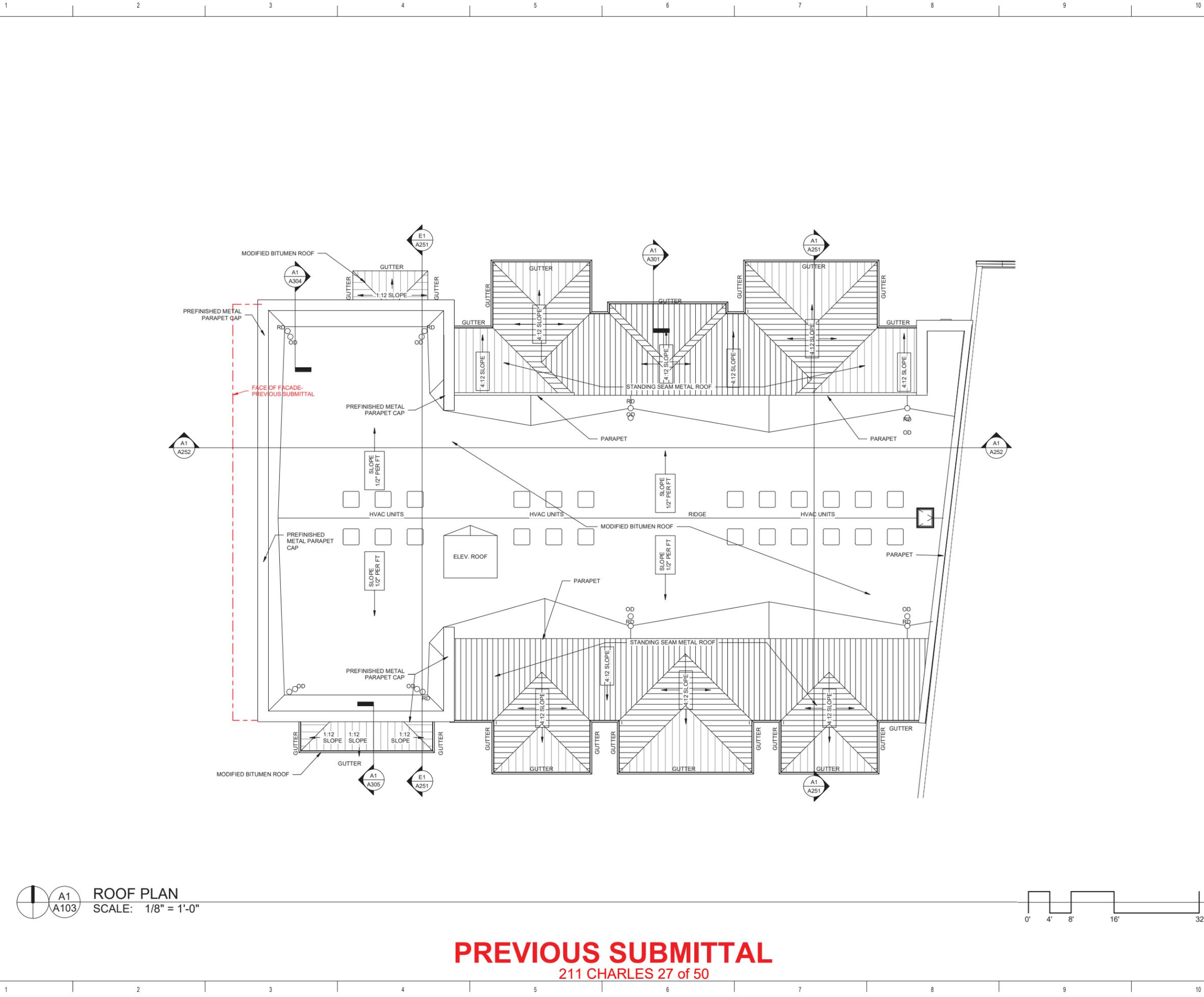
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**SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)**

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11:15:22 PM



**A1**  
**A103** ROOF PLAN  
SCALE: 1/8" = 1'-0"

**PREVIOUS SUBMITTAL**  
211 CHARLES 27 of 50

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11.18.2021

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 12.08.2021 MEETING

Revisions	
Rev. No.	Rev. Date

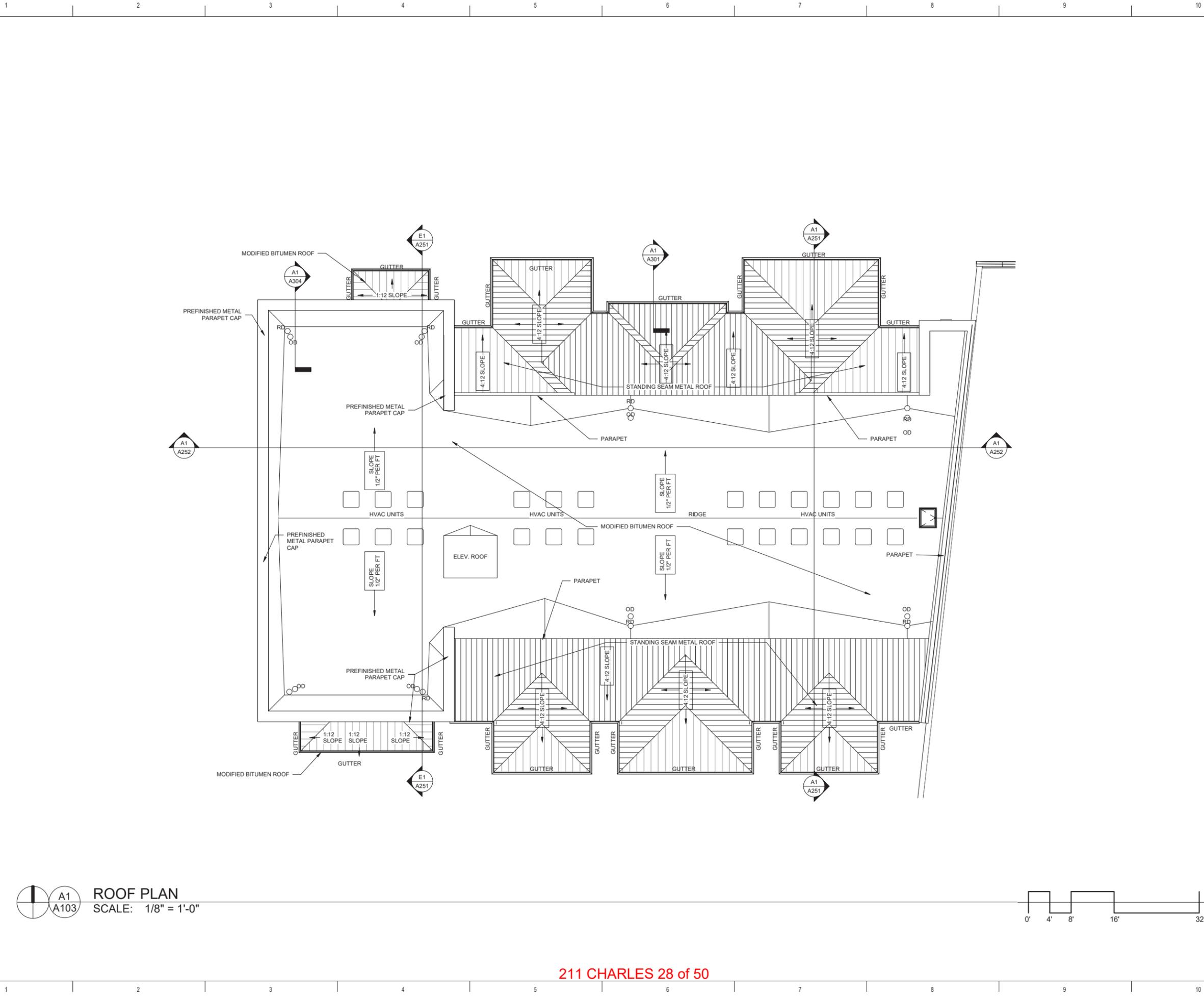
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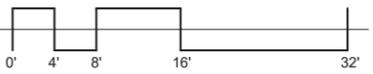
ROOF PLAN

**A103**

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**A1**  
**A103** **ROOF PLAN**  
SCALE: 1/8" = 1'-0"



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BEAUFORT, SOUTH CAROLINA

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ROOF PLAN

**A103**

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F1  
A200 STREET ELEVATION-PORT REPUBLIC  
SCALE: 1/16" = 1'-0"



D1  
A200 STREET ELEVATION-CHARLES  
SCALE: 1/16" = 1'-0"



A1  
A200 STREET ELEVATION-BAY STREET  
SCALE: 1/16" = 1'-0"

**PREVIOUS SUBMITTAL**  
211 CHARLES 29 of 50

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**STREET ELEVATIONS**

**A200**

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**F1**  
A200  
**STREET ELEVATION-PORT REPUBLIC**  
SCALE: 1/16" = 1'-0"



**D1**  
A200  
**STREET ELEVATION-CHARLES**  
SCALE: 1/16" = 1'-0"



**A1**  
A200  
**STREET ELEVATION-BAY STREET**  
SCALE: 1/16" = 1'-0"

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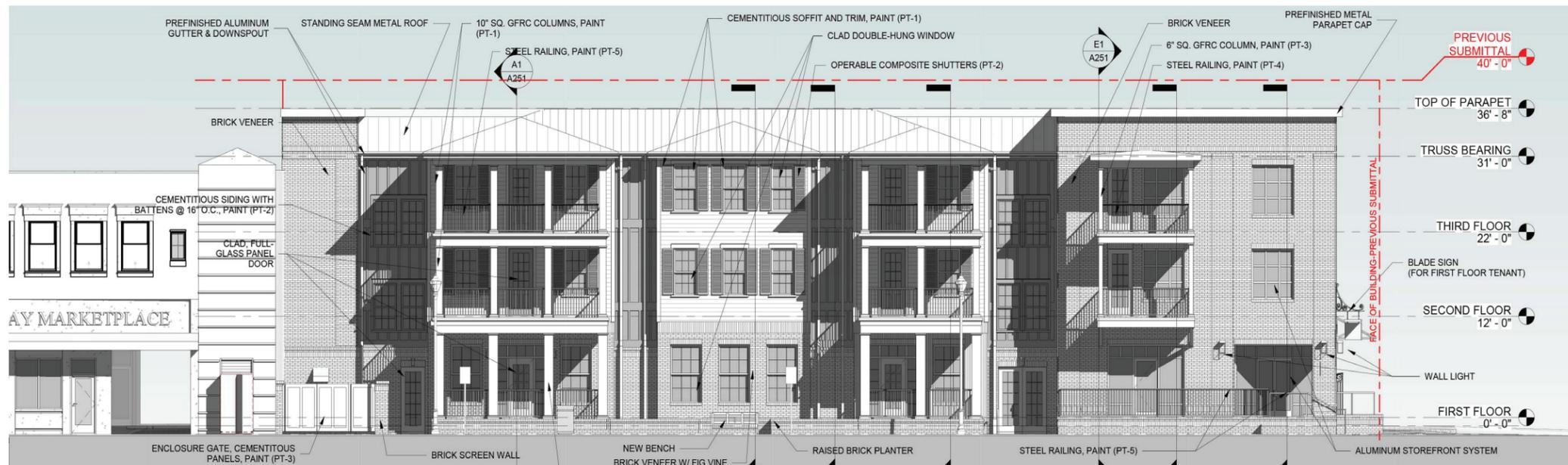
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**STREET ELEVATIONS**

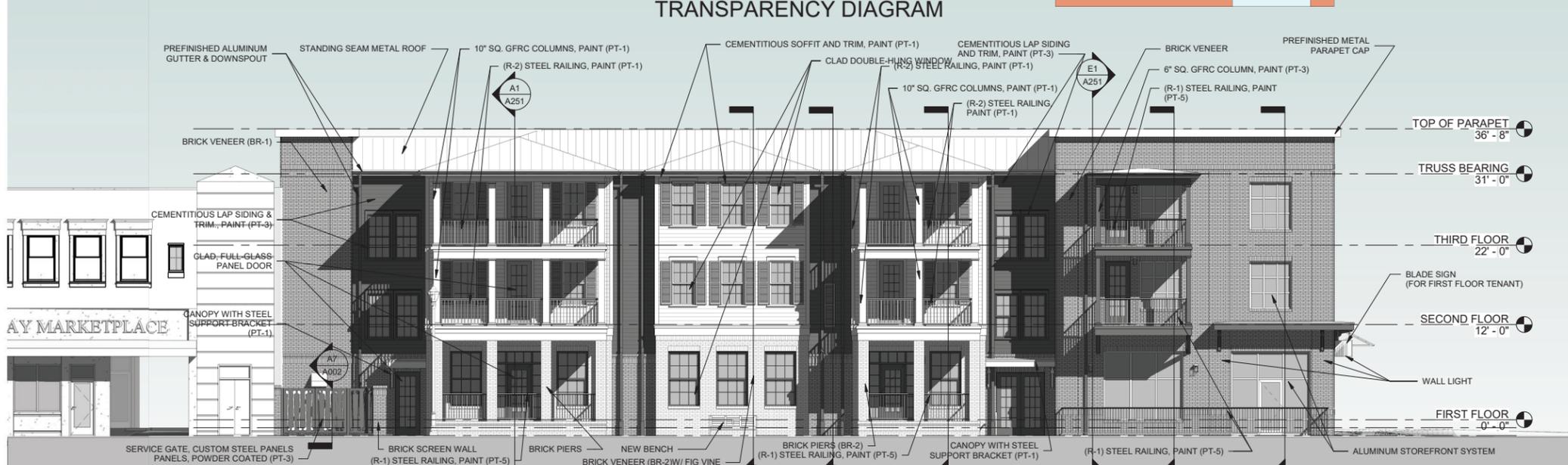
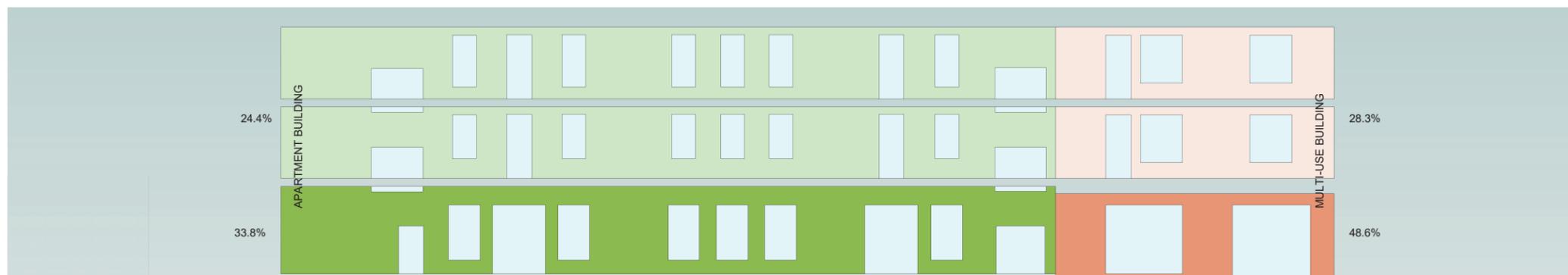
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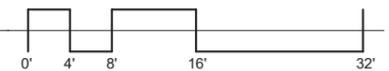


NORTH ELEVATION (PORT REPUBLIC STREET) CURRENT PROPOSED

E2  
A201

SCALE: 1/8" = 1'-0"

211 CHARLES 31 of 50



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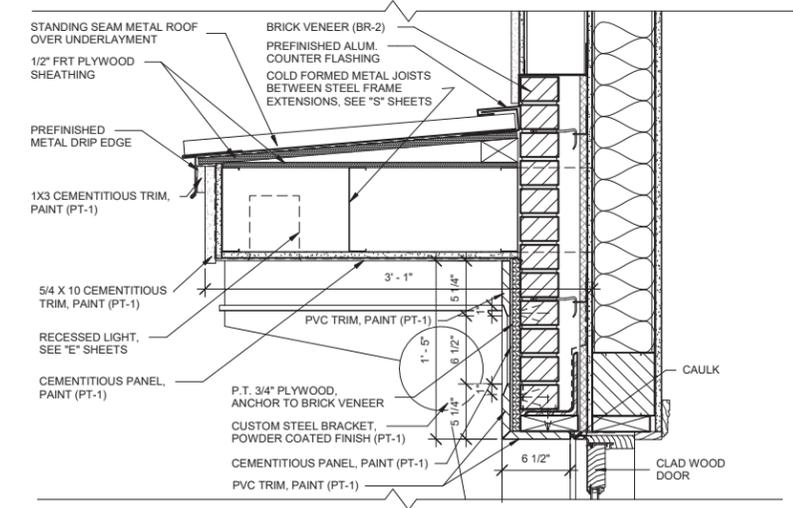
**NORTH EXTERIOR ELEVATION**

**A201**

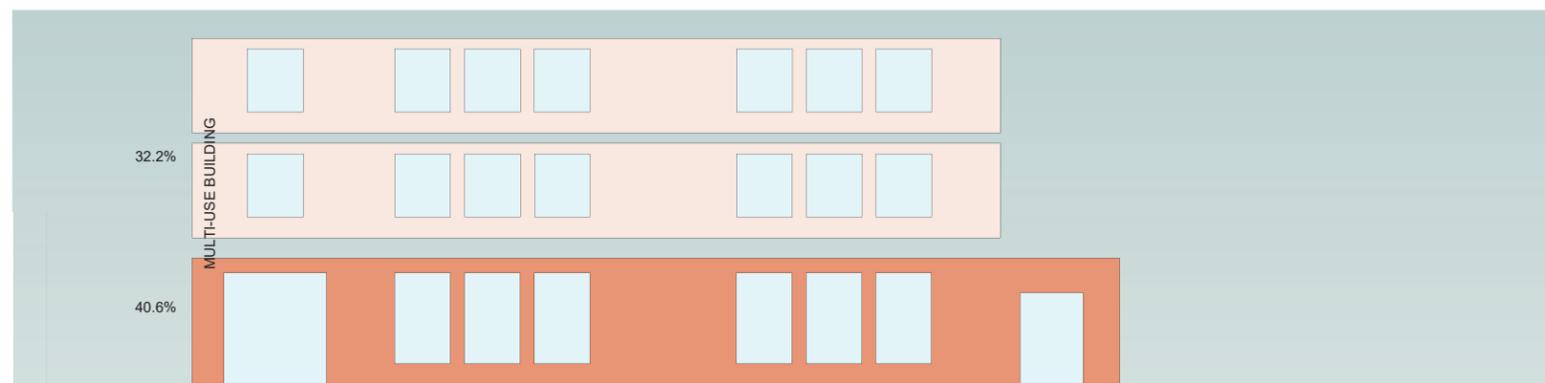
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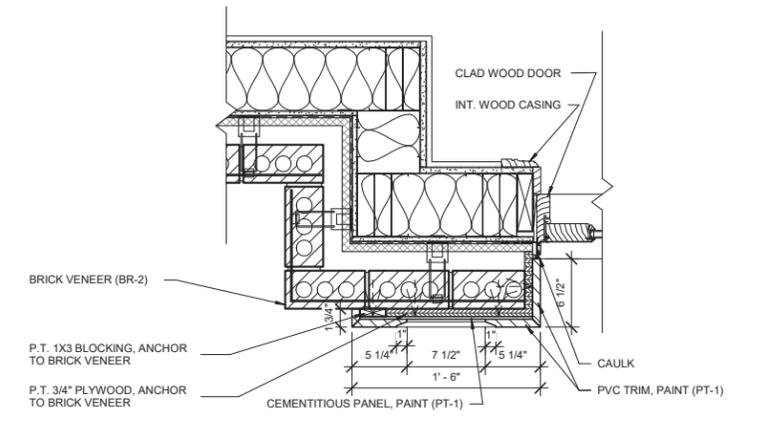
**PREVIOUS HRB SUBMITTAL**



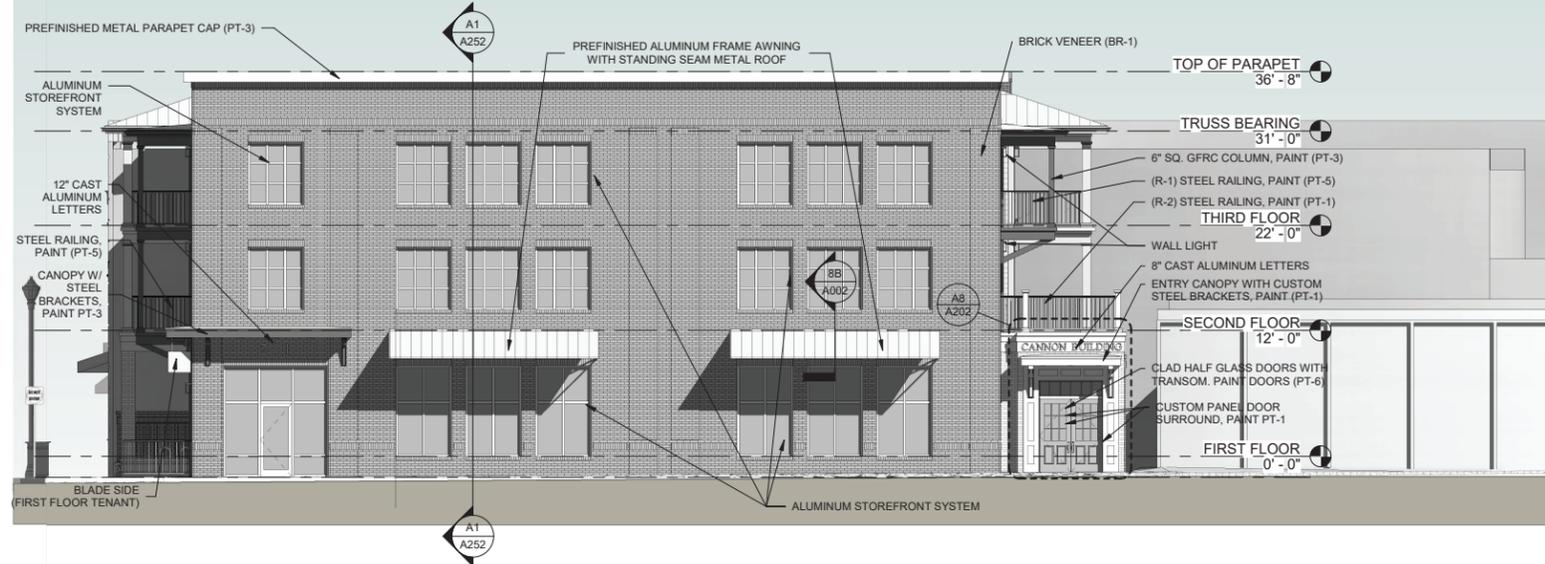
**G8 A202 CHARLES STREET ENTRY HEAD DETAIL**  
SCALE: 1 1/2" = 1'-0"



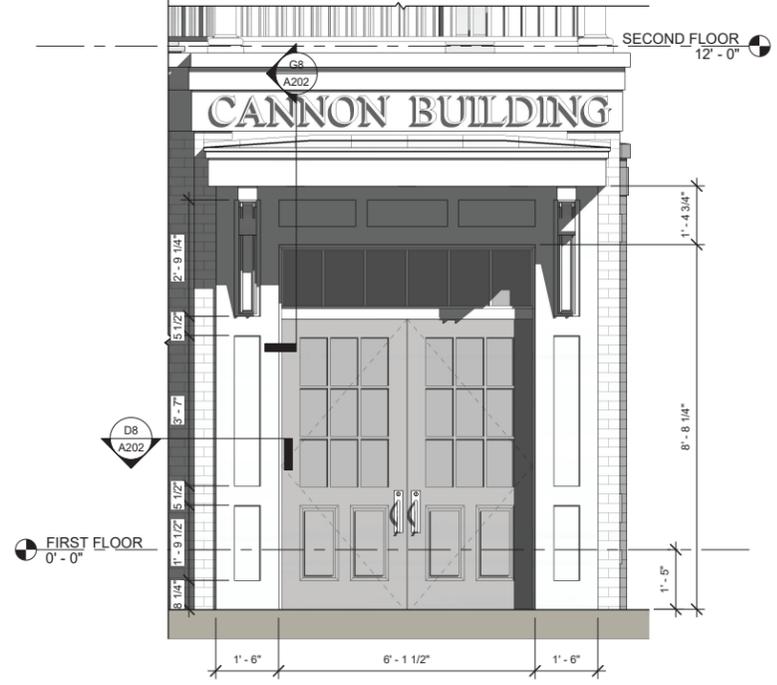
**TRANSPARENCY DIAGRAM**



**D8 A202 CHARLES STREET ENTRY JAMB DETAIL**  
SCALE: 1 1/2" = 1'-0"



**A1 A202 WEST ELEVATION (CURRENT PROPOSED)**  
SCALE: 1/8" = 1'-0"



**A8 A202 ENTRY DOOR ENLARGED ELEVATION**  
SCALE: 1/2" = 1'-0"

Revisions	
Rev. No.	Rev. Date

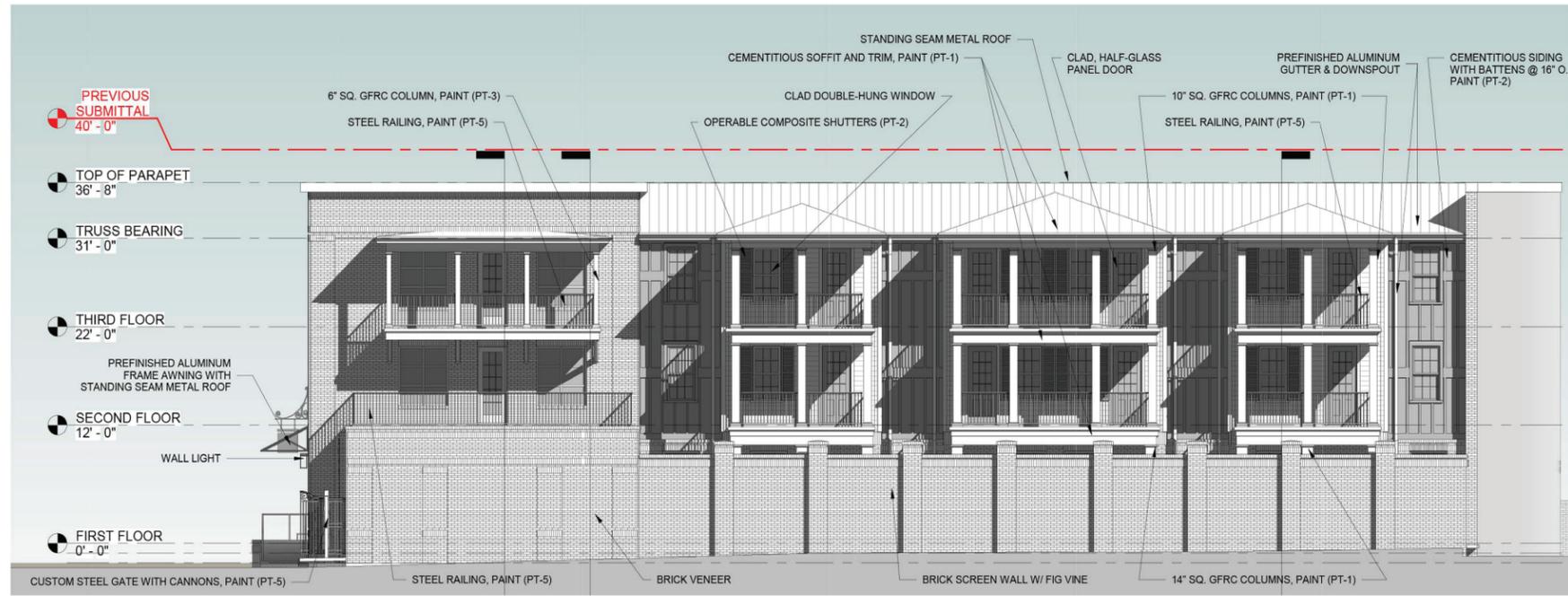
DRAWN BY: LWM  
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COAST PROJECT NO: 2015.00

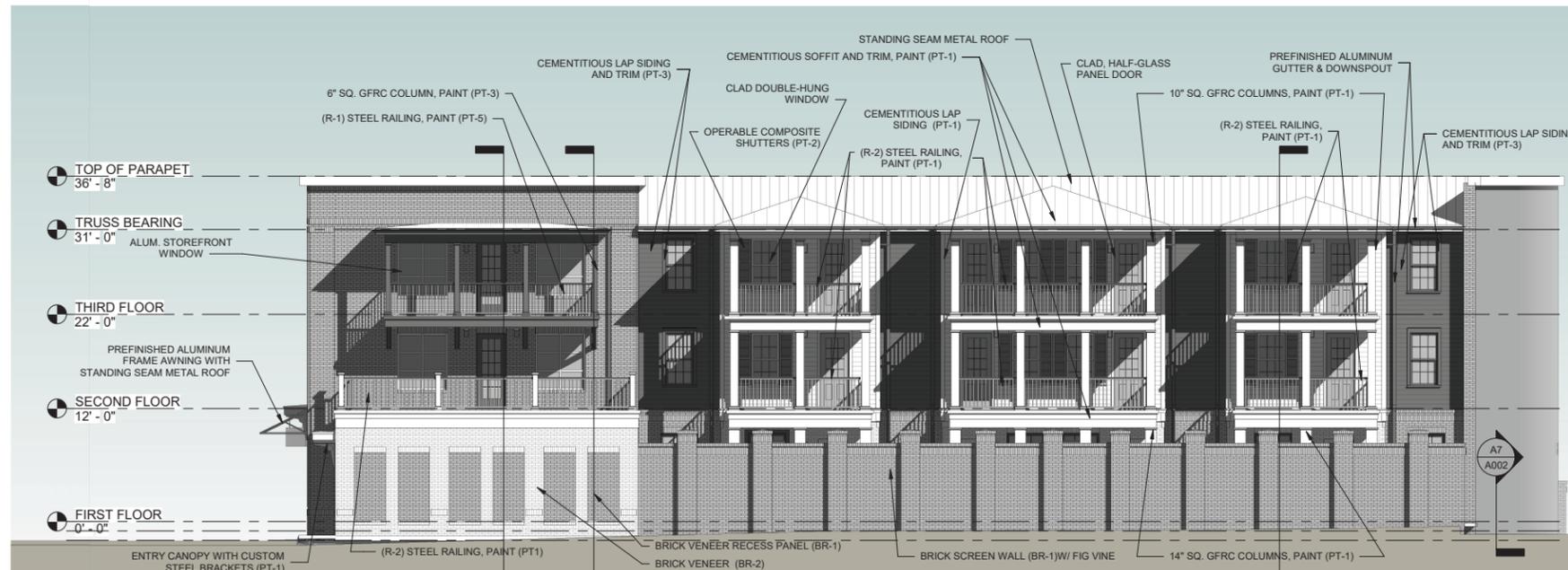
**WEST EXTERIOR ELEVATION**

**A202**

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**A2**  
A203 SOUTH ELEVATION (CURRENT PROPOSED)  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE	
MATERIAL	DISCRIPTION - BASIS OF DESIGN
COLUMNS (ON PORCHES)	10" SQUARE PERMACAST COLUMNS (PAINT PT-1)
COLUMNS (ON BALCONIES)	8" SQUARE PERMACAST COLUMNS (PAINT PT-3)
PT-1 (WHITE)	"PURE WHITE" SW 7005 BY SHERWIN WILLIAMS
PT-2 (LIGHT WARM GRAY)	"AMAZING GRAY" SW 7044 BY SHERWIN WILLIAMS
PT-3 (MEDIUM WARM GRAY)	COLOR MATCH METAL ROOF
PT-4 (PALE BLUE)	"BATHE BLUE" SW-6771 BY SHERWIN WILLIAMS
PT-5 (BLACK)	"BLACK MAGIC" SW6991 BY SHERWIN WILLIAMS
PT-6 (APT BLDG. ENTRY DOORS-MEDIUM BLUE)	"EBBTIDE" SW6493 BY SHERWIN WILLIAMS
STANDING SEAM METAL ROOF	"MAXIMA" 1.5 INCH HIGH BY MCELROY; COLOR: "CHAMPAGNE METALLIC"
GUTTER	MCELROY METALS, COLOR: "REGAL WHITE"
DOWNSPOUTS	MATCH ROOF
ALUMINUM STOREFRONT AND ENTRANCES	IR-500 FRAMING WITH IR-350 ENTRANCES BY KAWNEER; COLOR: "ANTIQUE BRONZE" UC 100027
GLAZING	"SOLARGRAY" BY VITRO
ALUMINUM CLAD DOUBLE-HUNG WINDOWS (IN WITE SIDING)	"RESERVE" WITH SIMULATED DIVIDED LIGHTS, BY PELLA; COLOR: "CLASSIC WHITE"
ALUMINUM CLAD DOUBLE-HUNG WINDOWS (IN BRICK & GRAY SIDING)	"RESERVE" WITH SIMULATED DIVIDED LIGHTS, BY PELLA; COLOR: "SAND DRIVE"
(BR-1) MEDIUM BROWN BRICK	"LAUREL BAY" MODULAR, BY PALMETTO BRICK
(BR-2) LIGHT BRICK	"OLD EDISTO" MODULAR, BY MERIDIAN
MORTAR	"SEASHELL" BY HOLCIM
LAP SIDING	HARDIEPLANK SIDING, SMOOTH FINISH, 6" EXPOSURE (PAINT PT-1 OR PT-3)
BOARD AND BATTEN SIDING	HARDIEPANEL SIDING, SMOOTH FINISH, WITH BATTENS @ 16" O.C. (PAINT PT-2)
BLACK RAILINGS	CUSTOM STEEL FABRICATION (PAINT PT-5)
WHITE RAILINGS	CUSTOM STEEL FABRICATION (POWDER COATED TO MATCH PT-1)
SERVICE YARD GATE	CUSTOM STEEL FABRICATION (POWDER COATED TO MATCH PT-3)
SHUTTERS	LOUVERED SHUTTER BY ATLANTIC SHUTTERS (MATCH PT-2)

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SOUTH EXTERIOR ELEVATION

**A203**

THE CANNON BUILDING  
211 CHARLES STREET  
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01.12.2022

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 architects  
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 Phone: 843.763.7064 Fax: 843.763.7061  
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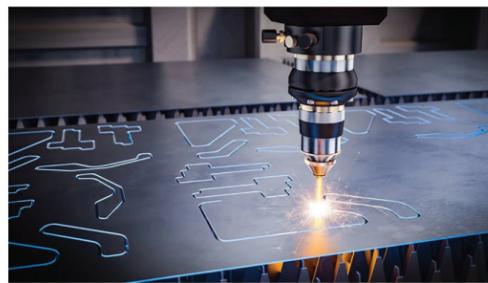


(BR-1) PALMETTO "LAUREL BAY" MODULAR BRICK, WITH HOLCIM "SEASHELL" MORTAR

(BR-2) MERIDIAN "OLD EDISTO" MODULAR BRICK, WITH HOLCIM "SEASHELL" MORTAR



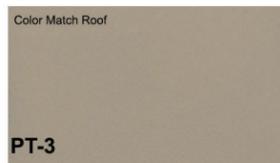
CEMENTITIOUS LAP SIDING AND TRIM 6" EXPOSURE, SMOOTH FACE (PAINTED PT-1 & PT-3)



SERVICE YARD GATE TO BE CUSTOM CNC CUT 6 GA. (0.1943 IN.) STEEL PANELS, POWDER COATED (PT-3)



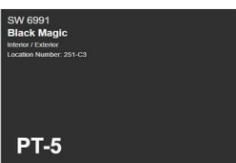
PT-1  
COLUMNS SIDING & TRIM ON PORTIONS OF BUILDING WITH BRICK BR-2



PT-3  
COLUMNS SIDING & TRIM ON PORTIONS OF BUILDING WITH BRICK BR-1



PT-4  
PORCH CEILINGS

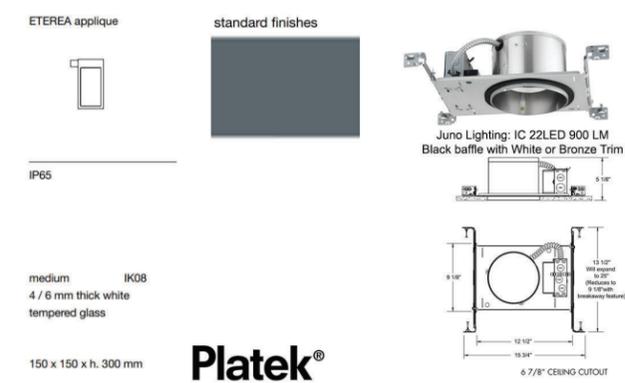


PT-5  
STEEL RAILINGS AND GATE

EXTERIOR MATERIALS



EXTERIOR WALL LIGHT: "ETEREA APPLIQUE" MEDIUM IN "ANTROCITE FINISH, WITH FROSTED GLASS"  
EXTERIOR LIGHTING



RECESSED CEILING LIGHT IN ENTRANCE CANOPIES



PT-6  
PANEL DOORS AT APT. ENTRANCE



PELLA "RESERVE" ALUMINUM CLAD DOUBLE-HUNG WOOD WINDOWS & DOORS. WINDOWS HAVE SIM. DIVIDED LITES  
EXTERIOR CLAD DOORS AND WINDOWS

211 CHARLES 34 of 50



**Square PERMACast® Columns**

1/2" Thick Dimensions are up to 12"

COL. SIZE	INSIDE
6"	5 1/2"
8"	7 1/2"
10"	9 1/2"
12"	11 1/2"
14"	13 1/2"
16"	15 1/2"

Panel Moulding for Square PERMACast®

Length: 10'	Length: 12'	Length: 14'	Length: 16'
No. 5408	No. 5408	No. 5408	No. 5408
10' x 1/2"	12' x 1/2"	14' x 1/2"	16' x 1/2"

Plumb-Fit®  
To make installation even easier our 6-1/2" round and square poly-Texcap Cap and Base Sets with flashing cap row come with the Plumb-Fit® installation system included.

Column-Loc™  
Column-Loc™ creates a continuous connection from floor to beam/ header without the expense of splitting and reattaching the column. This labor saving product is easy to install and delivers wind uplift resistance especially important in coastal and high wind areas. Currently available for 8 and 10" round (tapered and no-taper) and square PermaCast® columns. Kits are available with and without threaded rod.

Square PERMACast® COLUMN DIMENSIONS (in inches)

Column Size	A	C	D	E	F	G	H	I	J	K	L	N	O	R	Length Available
6"	10"	10"	10"	10"	10"	10"	10"	10"	10"	10"	10"	10"	10"	10"	6'-0"
8"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	8'-0"
10"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	10'-0"
12"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	12'-0"
14"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	18"	14'-0"
16"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	20"	16'-0"

Versatility of Square Columns  
The design and versatility of an 188G square column has enhanced its popularity with today's architects. The 188G Square PermaCast® column lineup includes plain, recessed panel, and fluted styles. An unlimited combination of styles can be achieved by various uses of the panel moulding, neck moulding, and caps and bases. Additionally, the square column is not tapered and can be cut to any height without affecting the fit of the caps and bases.

SQUARE GFRC COLUMNS, PAINTED PT-1 & PT-3

**MAXIMA Standing Seam Roof System**

Seaming Details

MAXIMA 1.5 BEFORE SEAMING

MAXIMA 1.5 180° FOLD

1.5" High / 180 degree seam  
180 Degree Mechanically Seamed  
16" Flat Panel  
Fluoropolymer Finish

Quality... Service... Performance

MCELROY METAL

STANDING SEAM METAL ROOF- MCELROY "CHAMPAGNE METALLIC"



ALUMINUM STOREFRONT-KAWNEER TRIFAB 4511R ANTIQUE BRONZE UC100027

SW 7044 Amazing Gray  
Interior / Exterior  
Location Number: 249-C2

PT-2

**Faux Louver**

Atlantic's Faux Louver shutters use a unique patented process that delivers a beautiful louvered appearance. These shutters add a classic, traditional look with rhythmic, clean lines. Emulating a variety of frame styles, Faux Louver shutters offer the popular option of an additional rail, accommodating both horizontal and vertical appeal. Rails also accommodate optional sliding bolt hardware for a more handsome operable shutter application. Arch and radius top shutters are also available to match this popular window design.

CLASSIC COLLECTION - FAUX LOUVER

Roll: Proprietary Exterior Grade Composite Wood  
Panels: Proprietary Exterior Grade Composite Wood  
Slats: Proprietary Exterior Grade Composite Wood  
Primer: Marine Grade  
Paint Finish: Two-part Urethane  
Width: 9"-24" (in 1/8" increments)  
Height: 13-1/2"-36" (in 1/8" increments)

LOUVER

Thickness: 1-1/4"  
Vertical Slat Width (A): 2-1/2"  
Top Rail Height (B): 2-1/2"  
Middle Rail Height (C): 2-1/2"  
Bottom Rail Height (D): 2-3/4"-4"  
Louver Angle: 22°

5" Holdback  
• Solid in pairs with 4" lag bolt washer and cotter pin  
• Stainless steel with a matte black powder coat finish

Jamb Pinset Offset - 1/2" x 1" x 2"  
• Solid in pairs  
• Stainless steel with a matte black powder coat finish

Flat Midge  
• Solid in pairs  
• Stainless steel with a matte black powder coat finish  
• Offset: 0", 1/2", 1-1/2", 2-1/4"

ATLANTIC SHUTTERS OPERABLE SHUTTERS-PAINTED PT-2

Rolling Rack

Submittal Sheet

CAPACITY  RDH: 5 Bikes  
 RDH: 7 Bikes  
 RDH: 9 Bikes  
 RDH: 11 Bikes

MATERIALS 2" schedule 40 pipe (2.375" OD)

FINISHES  Galvanized  
An after fabrication hot dipped galvanized finish is our standard option.  
 Powder Coat  
Our powder coat finish ensures a high level of adhesion and durability by following these steps:  
1. Sandblast  
2. Epoxy primer electrostatically applied  
3. Final thick TGIC polyester powder coat  
 Stainless  
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

MOUNT OPTIONS  Surface  
Foot Mount has two 5" x 6" x .25" feet with four anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.  
 In-ground  
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.

BICYCLE RACK

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EXTERIOR MATERIALS & LIGHTING

**A211**

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H  
G  
F  
E  
D  
C  
B  
A

PREVIOUS SUBMITTAL



VIEW FROM PORT REPUBLIC STREET LOOKING SOUTHWEST

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EXTERIOR PERSPECTIVE

A221

THE CANNON BUILDING  
 211 CHARLES STREET  
 BEAUFORT, SOUTH CAROLINA

01.12.2022

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 architects  
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VIEW FROM CORNER OF CHARLES AND PORT REPUBLIC STREETS LOOKING SOUTHEAST

PREVIOUS SUBMITTAL



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**EXTERIOR  
PERSPECTIVE**

**A222**

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PREVIOUS SUBMITTAL



VIEW FROM CHARLES STREET LOOKING NORTHEAST

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architects  
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Phone: 843.763.7064 Fax: 843.763.7061  
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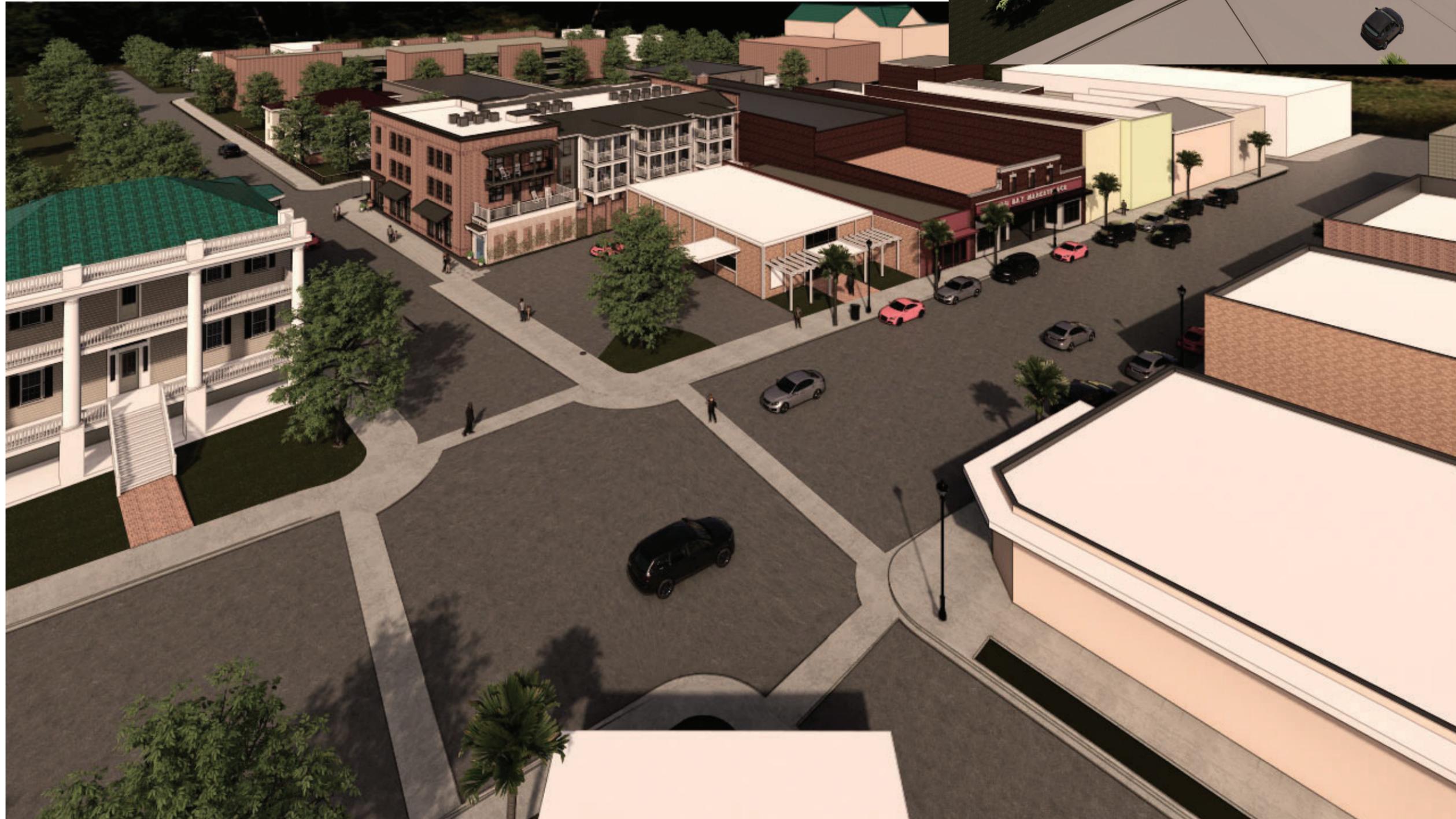
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EXTERIOR  
PERSPECTIVE

**A223**

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PREVIOUS SUBMITTAL

OVERALL VIEW OF PROPOSED DEVELOPMENT FROM THE CORNER OF CHARLES AND BAY STREETS LOOKING NORTHEAST

211 CHARLES 58 of 50

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01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM  
CHECKED BY: FAM  
DATE: 01.12.2022

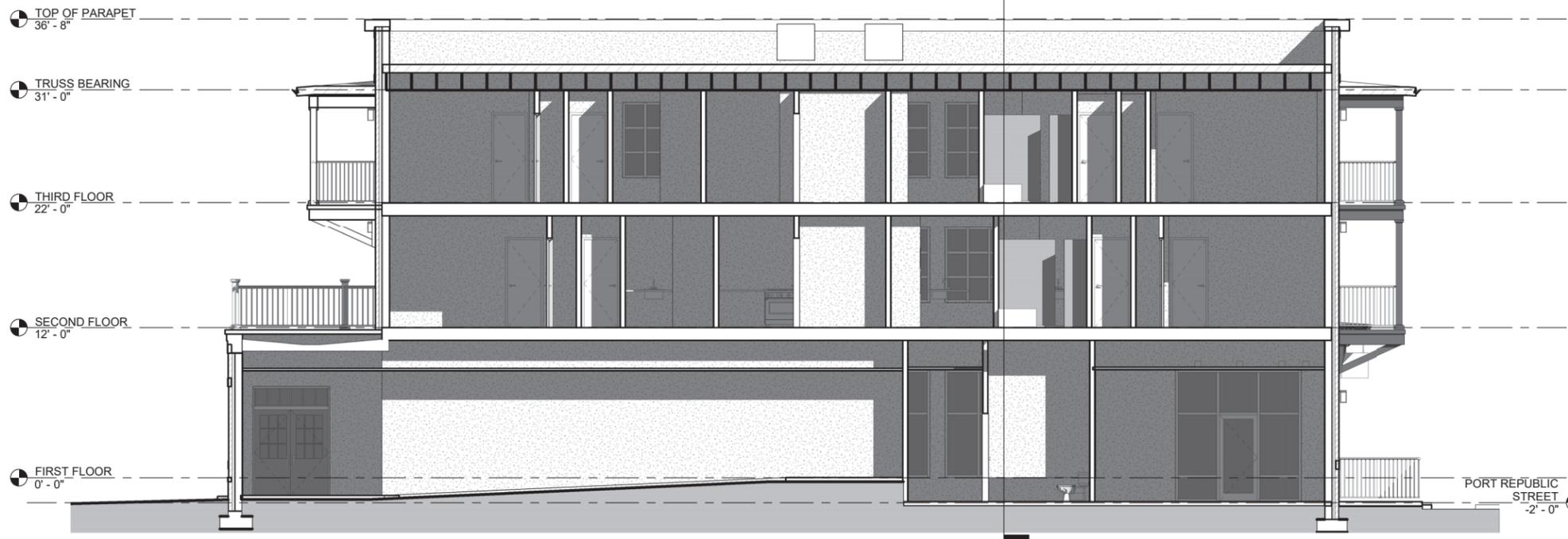
COAST PROJECT NO.: 2015.00

**EXTERIOR  
PERSPECTIVE**

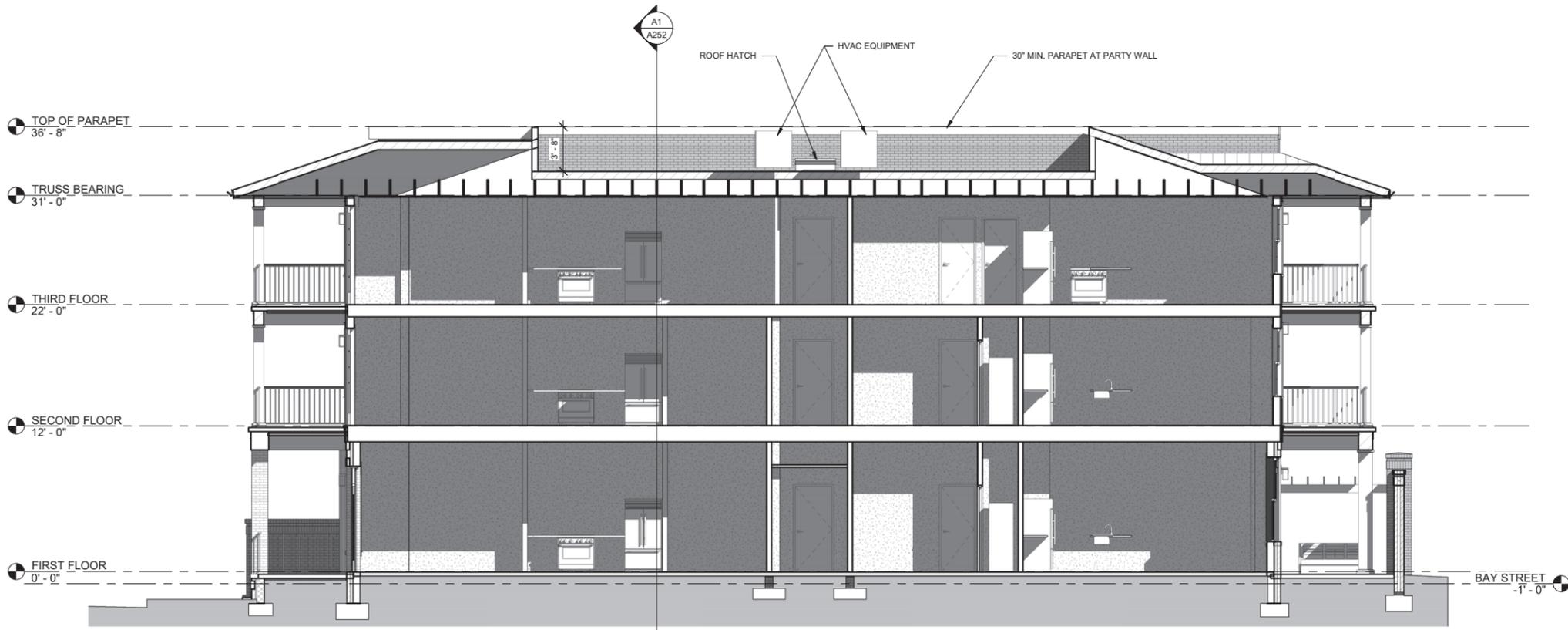
**A224**

HRB FINAL APPROVAL - 02.09.2022 MEETING

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5:08:52 PM



**E1**  
**A251** TRANSVERSE BUILDING SECTION-LOOKING WEST  
SCALE: 3/16" = 1'-0"



**A1**  
**A251** TRANSVERSE BUILDING SECTION LOOKING EAST  
SCALE: 3/16" = 1'-0"

01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

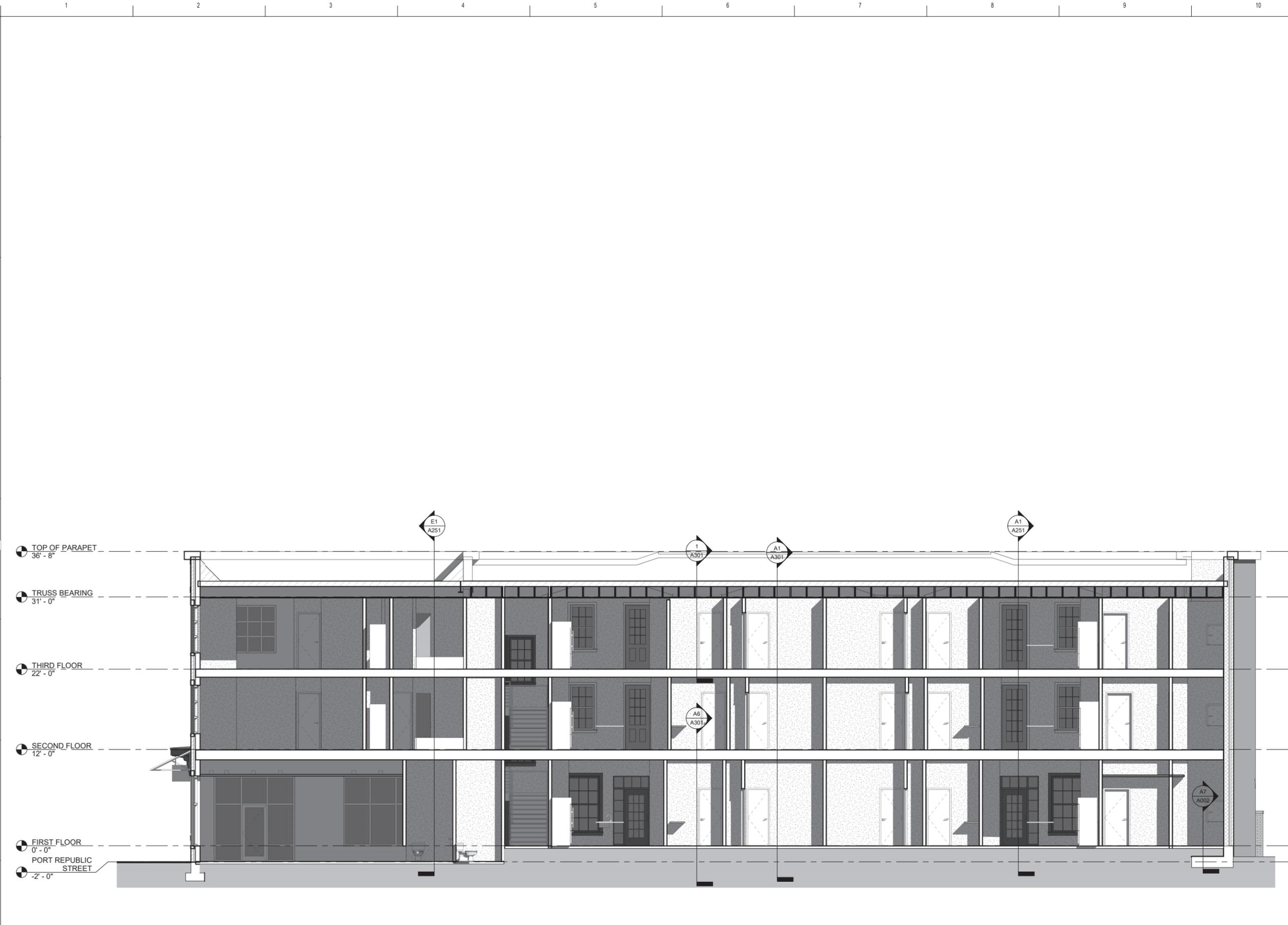
DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO: 2015.00

**BUILDING SECTIONS**

**A251**

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5/09/12 PM



**A1**  
**A252** LONGITUDINAL BUILDING SECTION-LOOKING NORTH  
SCALE: 3/16" = 1'-0"

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Revisions	
Rev. No.	Rev. Date

DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO: 2015.00

LONGITUDINAL BUILDING SECTION

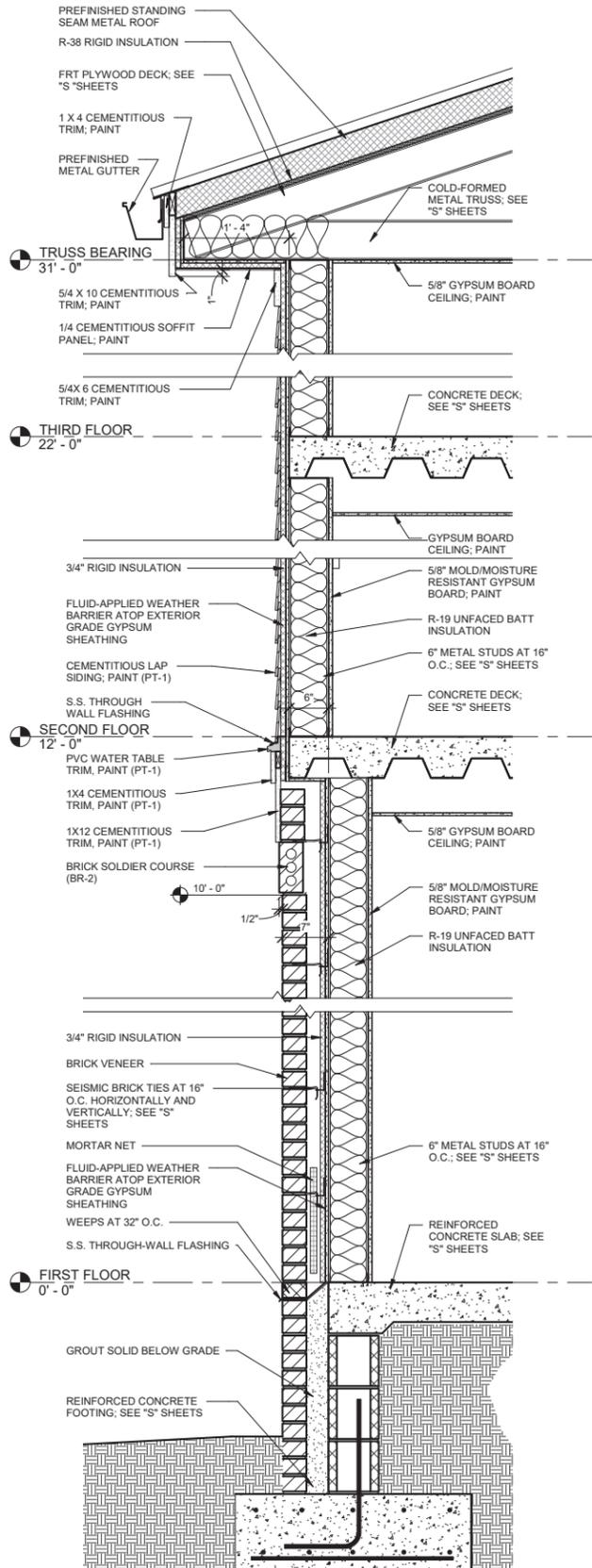
**A252**

THE CANNON BUILDING  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

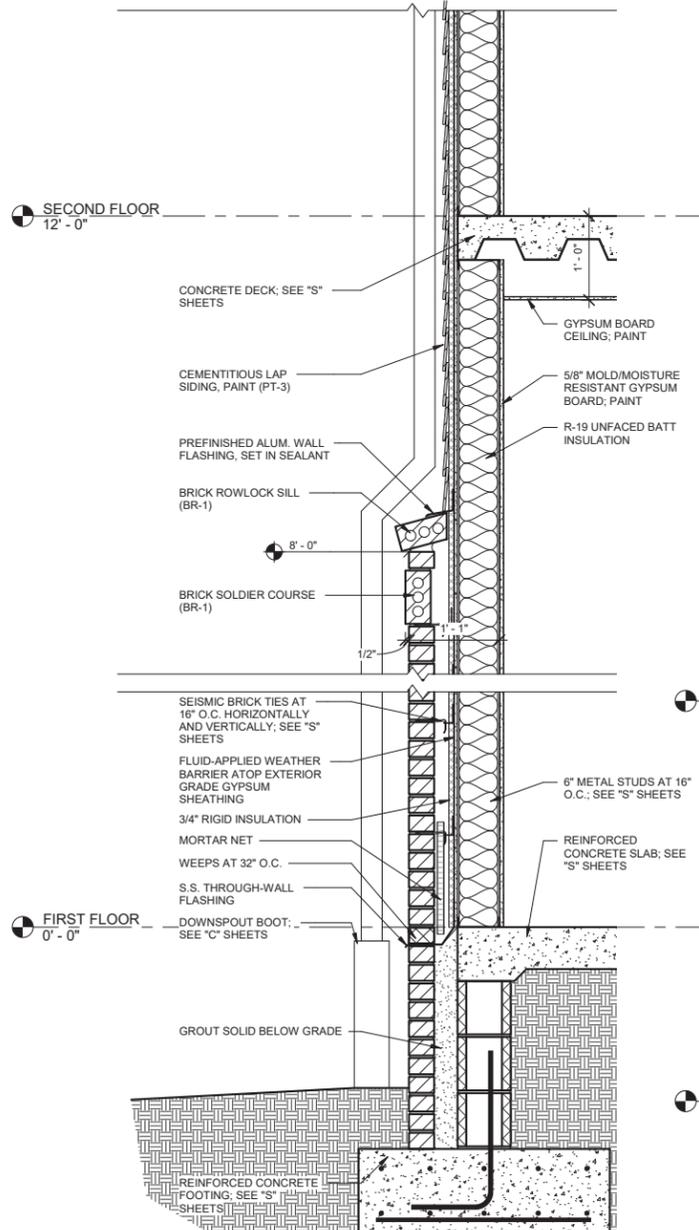
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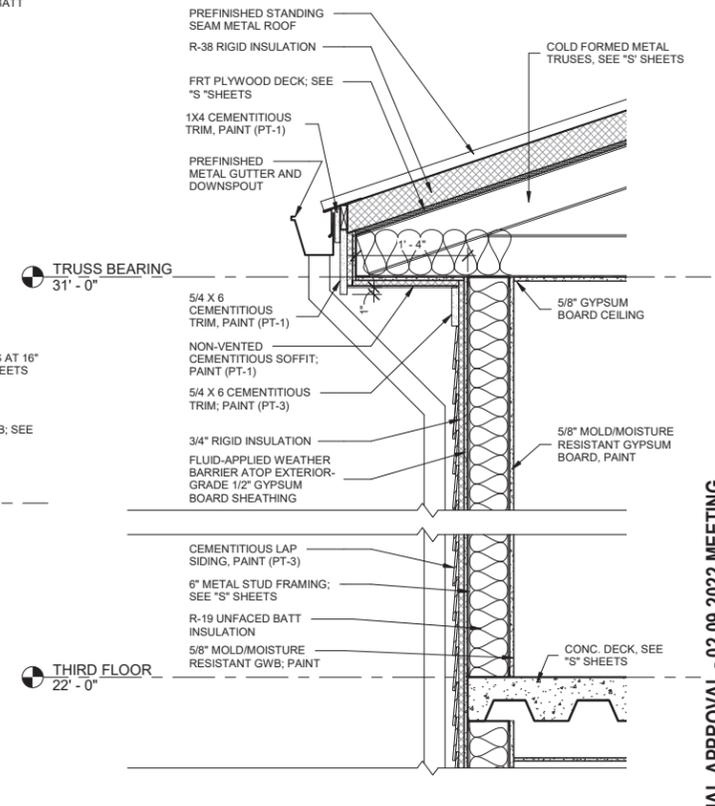
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**A1**  
A301 WALL SECTION AT LAP SIDING OVER BRICK  
SCALE: 1" = 1'-0"



**A6**  
A301 WALL SECTION AT LAP SIDING OVER BRICK-SETBACK  
SCALE: 1" = 1'-0"



**A301**  
WALL SECTIONS

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211 CHARLES STREET  
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HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

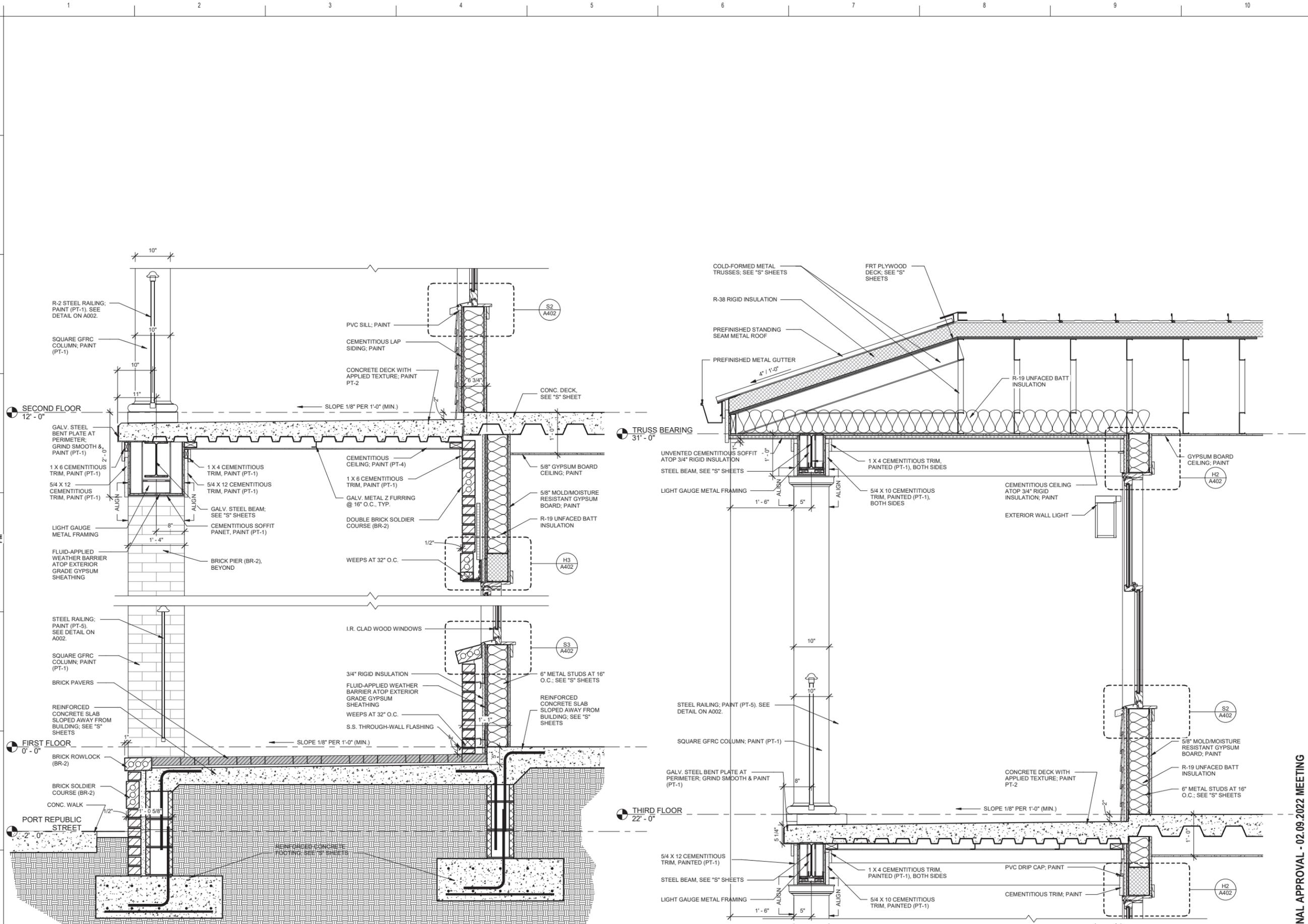
DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO: 2015.00

WALL SECTIONS

**A301**

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**A1**  
**A302** WALL SECTION THROUGH PORCH AT LAP SIDING  
SCALE: 1" = 1'-0"

01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

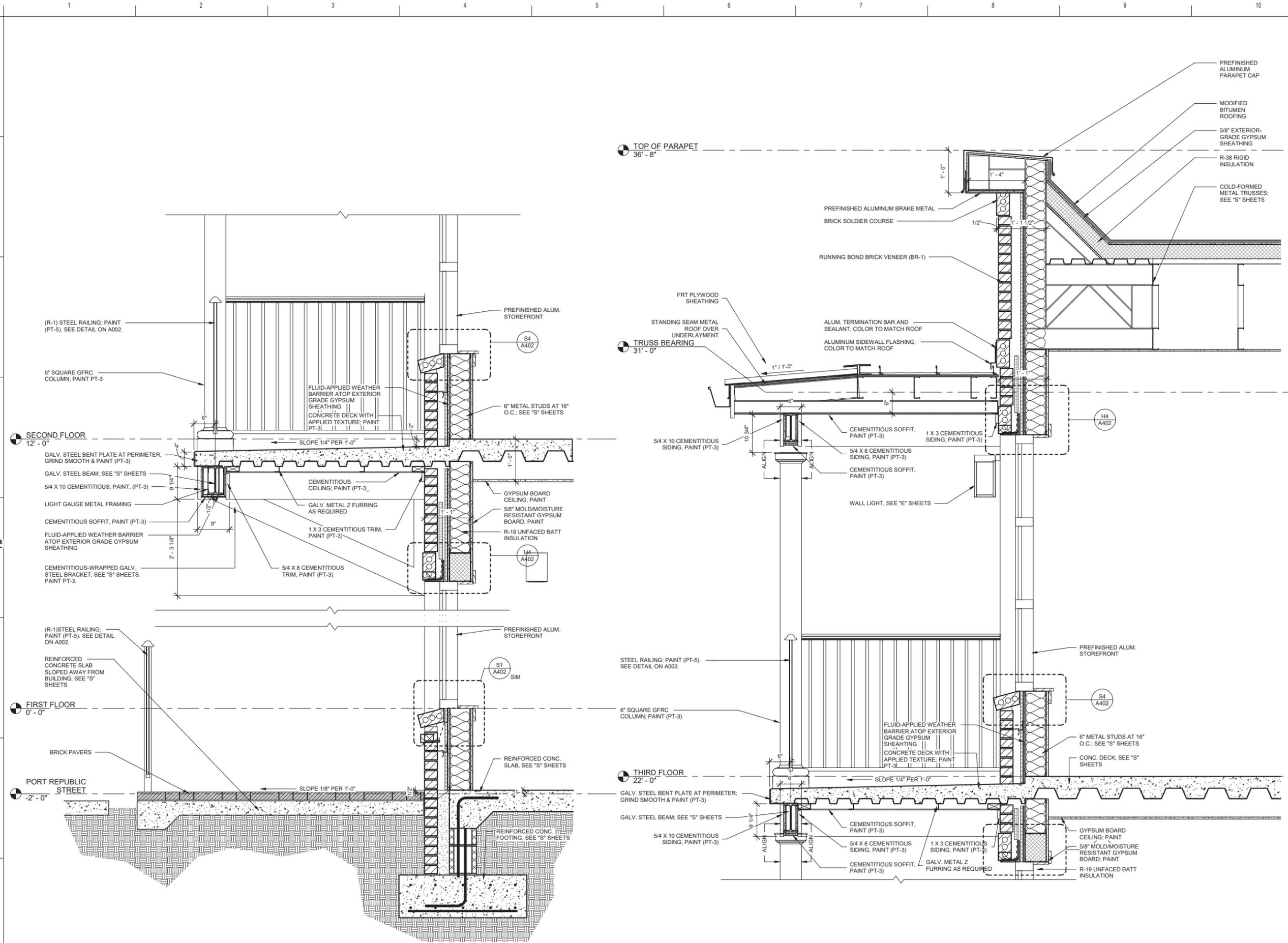
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DATE: 01.12.2022

COAST PROJECT NO: 2015.00

WALL SECTIONS

**A302**

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**A1**  
**A303** WALL SECTION THROUGH BALCONIES AT BRICK FACADE  
SCALE: 1" = 1'-0"

01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

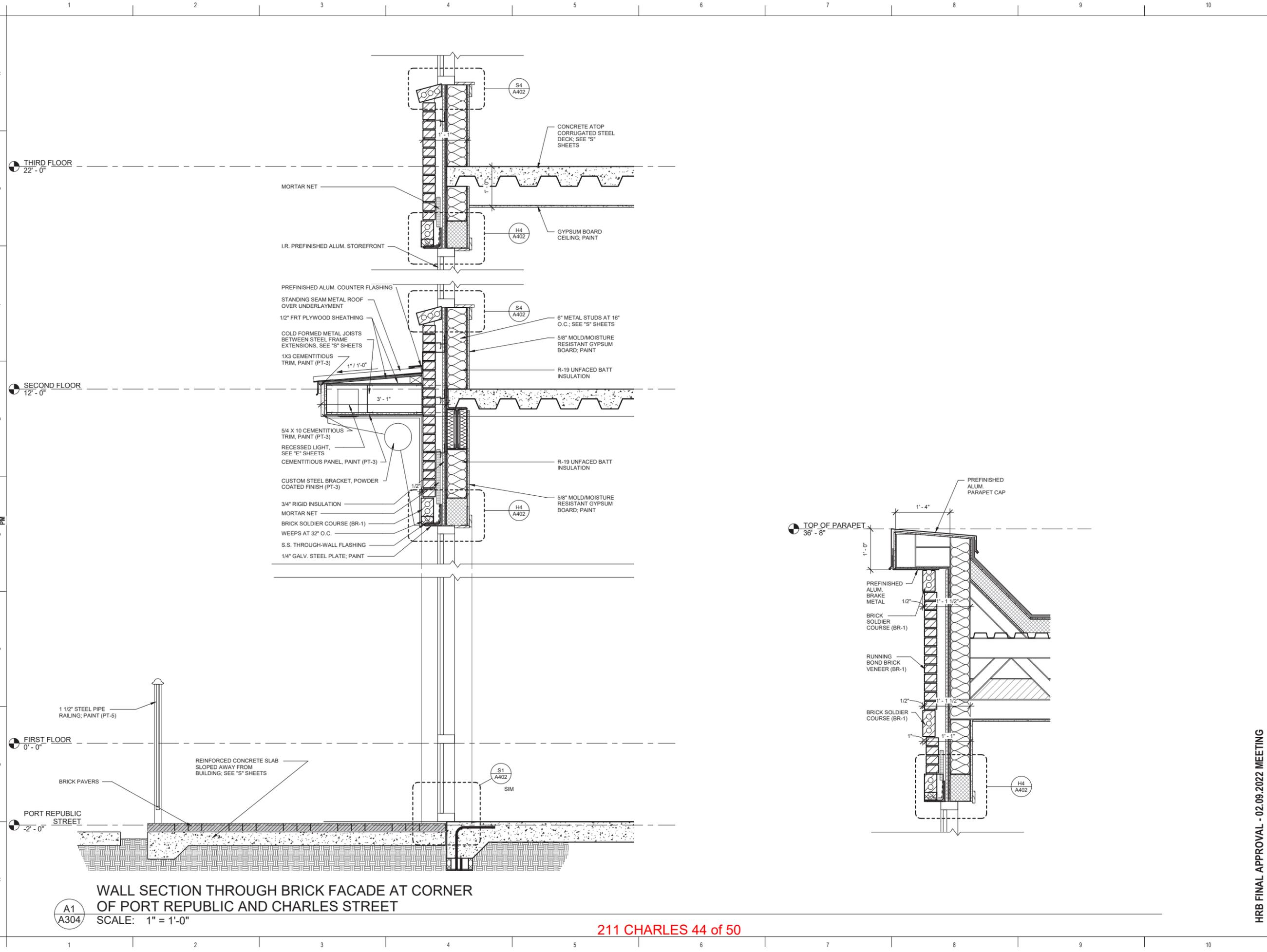
DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO: 2015.00

WALL SECTIONS

**A303**

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5:09:56 PM



**WALL SECTION THROUGH BRICK FACADE AT CORNER OF PORT REPUBLIC AND CHARLES STREET**  
SCALE: 1" = 1'-0"

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**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

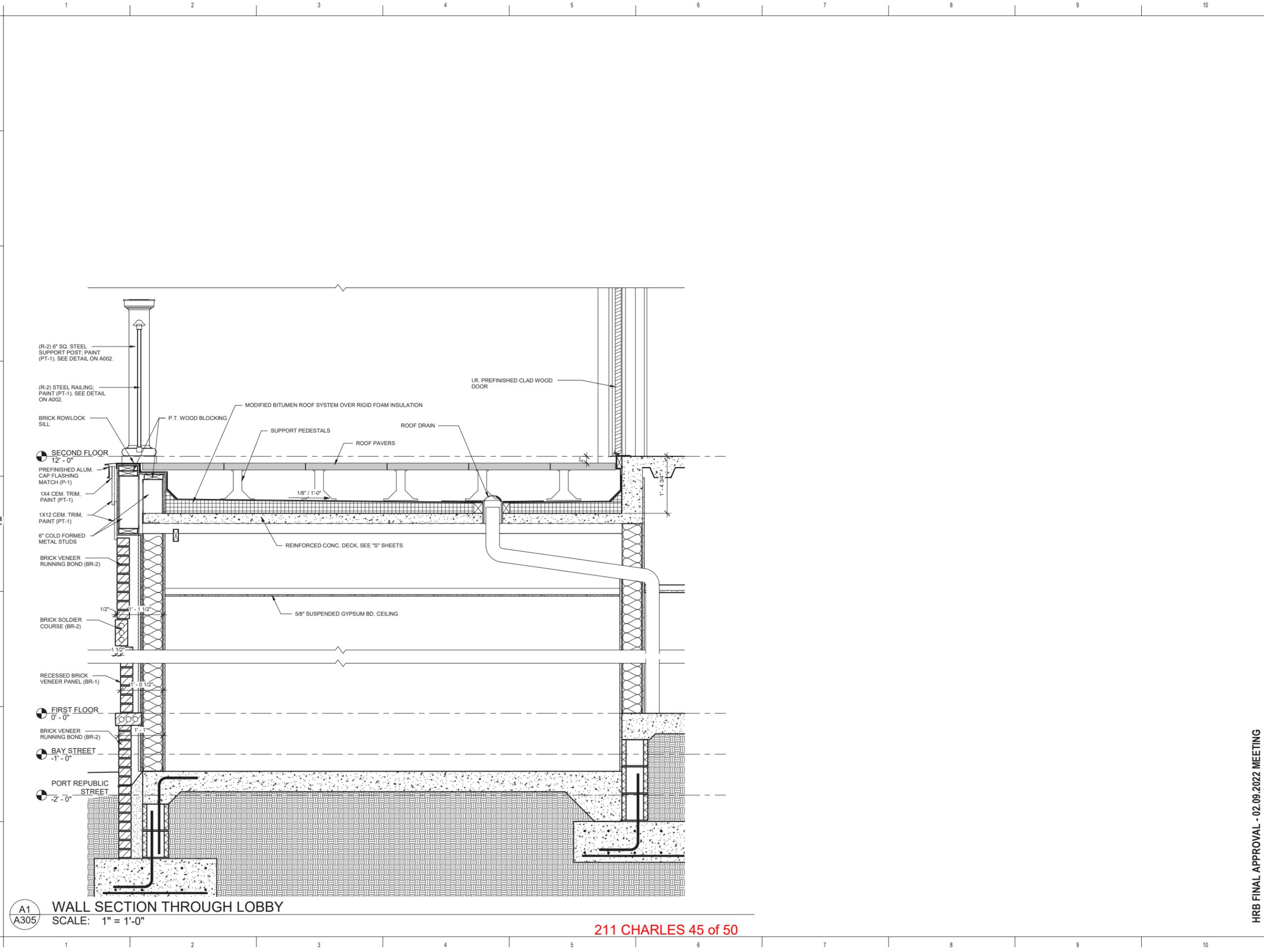
COAST PROJECT NO.: 2015.00

WALL SECTIONS

**A304**

HRB FINAL APPROVAL - 02.09.2022 MEETING

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5:10/04 PM



**A1**  
**A305** WALL SECTION THROUGH LOBBY  
SCALE: 1" = 1'-0"

211 CHARLES 45 of 50

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HRB FINAL APPROVAL - 02.09.2022 MEETING

Revisions	
Rev. No.	Rev. Date

DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO: 2015.00

WALL SECTION

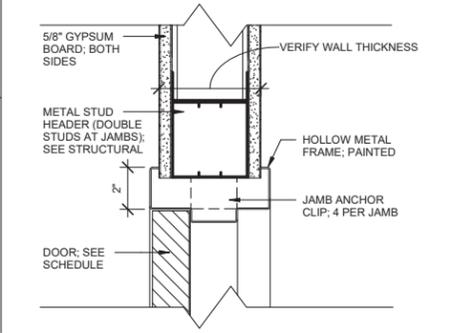
**A305**

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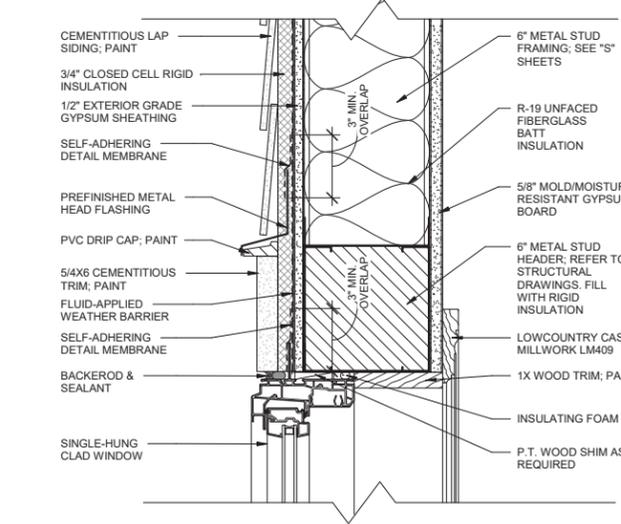
DOOR SCHEDULE									
DOOR NO.	ROOM NAME	DOOR TYPE	DOOR			FRAME TYPE	Fire Rating	COMMENTS	
			WIDTH	HEIGHT	THICKNESS				
001	APT. BLDG. VEST.		6'-0"	7'-0"	0'-1 3/4"				
001A	STAIR A	D	3'-0"	8'-0"	0'-1 3/4"				
1A1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
1A2		F	2'-8"	7'-0"	0'-1 3/4"				
1A3		F	2'-8"	7'-0"	0'-1 3/4"				
1A4		F	2'-8"	7'-0"	0'-1 3/4"				
1A5		F	2'-8"	7'-0"	0'-1 3/4"				
1A6		F	2'-8"	7'-0"	0'-1 3/4"				
1A7		F	2'-8"	7'-0"	0'-1 3/4"				
1A8		F	2'-8"	7'-0"	0'-1 3/4"				
1A9		G	5'-0"	7'-0"	0'-1 3/4"				
1A10		F	2'-8"	7'-0"	0'-1 3/4"				
1A11		F	2'-8"	7'-0"	0'-1 3/4"				
1A12		C.1	3'-0"	7'-0"	0'-1 3/4"				
1A15		F	3'-0"	7'-0"	0'-1 3/4"				
001B	STAIR B	C	3'-0"	7'-11"	0'-1 3/4"				
1B1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
1B2		F	2'-8"	7'-0"	0'-1 3/4"				
1B3		F	2'-8"	7'-0"	0'-1 3/4"				
1B4		F	2'-8"	7'-0"	0'-1 3/4"				
1B5		F	2'-8"	7'-0"	0'-1 3/4"				
1B6		F	2'-8"	7'-0"	0'-1 3/4"				
1B7		F	2'-8"	7'-0"	0'-1 3/4"				
1B8		F	2'-8"	7'-0"	0'-1 3/4"				
1B9		G	5'-0"	7'-0"	0'-1 3/4"				
1B10		F	2'-8"	7'-0"	0'-1 3/4"				
1B11		F	2'-8"	7'-0"	0'-1 3/4"				
1B12		C.1	3'-0"	7'-0"	0'-1 3/4"				
1C1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
1C2		F	2'-8"	7'-0"	0'-1 3/4"				
1C3		F	2'-8"	7'-0"	0'-1 3/4"				
1C4		F	2'-8"	7'-0"	0'-1 3/4"				
1C5		F	2'-8"	7'-0"	0'-1 3/4"				
1C6		F	2'-4"	7'-0"	0'-1 3/4"				
1C7		F	2'-8"	7'-0"	0'-1 3/4"				
1C8		C	3'-0"	7'-11"	0'-1 3/4"				
1C9		F	2'-8"	7'-0"	0'-1 3/4"				
1C10		F	2'-8"	7'-0"	0'-1 3/4"				
1C11		F	2'-8"	7'-0"	0'-1 3/4"				
1C12		F	2'-8"	7'-0"	0'-1 3/4"				
1D1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
1D2		F	2'-8"	7'-0"	0'-1 3/4"				
1D3		F	2'-8"	7'-0"	0'-1 3/4"				
1D4		F	2'-8"	7'-0"	0'-1 3/4"				
1D5		F	2'-8"	7'-0"	0'-1 3/4"				
1D6		F	2'-4"	7'-0"	0'-1 3/4"				
1D7		F	2'-8"	7'-0"	0'-1 3/4"				
1D8		F	2'-8"	7'-0"	0'-1 3/4"				
1D9		G	5'-0"	7'-0"	0'-1 3/4"				
1D10		F	2'-8"	7'-0"	0'-1 3/4"				
1D11		F	2'-8"	7'-0"	0'-1 3/4"				
1D12		C	3'-0"	7'-11"	0'-1 3/4"				
1D13		C	3'-0"	7'-11"	0'-1 3/4"				
1E1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
1E2		F	2'-8"	7'-0"	0'-1 3/4"				
1E3		F	2'-8"	7'-0"	0'-1 3/4"				
1E4		F	2'-8"	7'-0"	0'-1 3/4"				
1E5		F	2'-8"	7'-0"	0'-1 3/4"				
1E6		F	2'-8"	7'-0"	0'-1 3/4"				
1E7		C	2'-8"	7'-0"	0'-1 3/4"				
1E8		F	3'-0"	7'-11"	0'-1 3/4"				
1E9		F	2'-8"	7'-0"	0'-1 3/4"				
1E10		G	5'-0"	7'-0"	0'-1 3/4"				
1E11		F	2'-8"	7'-0"	0'-1 3/4"				
1E12		F	2'-8"	7'-0"	0'-1 3/4"				
002A	RECYCLE & REFUSE	F	2'-0"	2'-6"	0'-1 3/4"				
2A1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2A2		F	3'-0"	7'-0"	0'-1 3/4"				
2A3		F	2'-8"	7'-0"	0'-1 3/4"				
2A4		F	2'-8"	7'-0"	0'-1 3/4"				
2A5		F	2'-8"	7'-0"	0'-1 3/4"				
2A6		F	2'-8"	7'-0"	0'-1 3/4"				
2A7		F	2'-4"	7'-0"	0'-1 3/4"				
2A8		F	2'-8"	7'-0"	0'-1 3/4"				
2A9		F	2'-8"	7'-0"	0'-1 3/4"				
2A11		F	2'-8"	7'-0"	0'-1 3/4"				
2A12		F	2'-8"	7'-0"	0'-1 3/4"				
2A13		F	2'-8"	7'-0"	0'-1 3/4"				
002B	RECYCLE & REFUSE	F	2'-0"	2'-6"	0'-1 3/4"				
2B1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2B2		F	2'-8"	7'-0"	0'-1 3/4"				
2B3		F	2'-8"	7'-0"	0'-1 3/4"				
2B4		F	2'-8"	7'-0"	0'-1 3/4"				
2B5		F	2'-8"	7'-0"	0'-1 3/4"				
2B6		F	2'-4"	7'-0"	0'-1 3/4"				
2B7		F	2'-8"	7'-0"	0'-1 3/4"				
2B8		F	2'-8"	7'-0"	0'-1 3/4"				
2B9		F	2'-8"	7'-0"	0'-1 3/4"				
2B10		F	2'-8"	7'-0"	0'-1 3/4"				
2B11		F	2'-8"	7'-0"	0'-1 3/4"				
2B12		C	3'-0"	7'-11"	0'-1 3/4"				
002C		F	2'-0"	2'-6"	0'-1 3/4"				
2C1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2C2		F	2'-8"	7'-0"	0'-1 3/4"				
2C3		F	2'-8"	7'-0"	0'-1 3/4"				
2C4		F	2'-8"	7'-0"	0'-1 3/4"				
2C5		F	2'-8"	7'-0"	0'-1 3/4"				
2C6		F	2'-4"	7'-0"	0'-1 3/4"				
2C7		F	2'-8"	7'-0"	0'-1 3/4"				
2C8		C	3'-0"	8'-0"	0'-1 3/4"				
2C9		F	2'-8"	7'-0"	0'-1 3/4"				
2C10		F	2'-8"	7'-0"	0'-1 3/4"				
2C11		F	2'-8"	7'-0"	0'-1 3/4"				
2C12		F	2'-8"	7'-0"	0'-1 3/4"				
2C13		F	2'-8"	7'-0"	0'-1 3/4"				
2D1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2D2		F	2'-8"	7'-0"	0'-1 3/4"				
2D3		F	2'-8"	7'-0"	0'-1 3/4"				
2D4		F	2'-8"	7'-0"	0'-1 3/4"				
2D5		F	2'-8"	7'-0"	0'-1 3/4"				
2D6		F	2'-4"	7'-0"	0'-1 3/4"				
2D7		F	2'-8"	7'-0"	0'-1 3/4"				
2D8		F	2'-8"	7'-0"	0'-1 3/4"				
2D9		G	5'-0"	7'-0"	0'-1 3/4"				
2D10		F	2'-8"	7'-0"	0'-1 3/4"				
2D11		F	2'-8"	7'-0"	0'-1 3/4"				
2D12		C	3'-0"	8'-0"	0'-1 3/4"				
2D13		C	3'-0"	8'-0"	0'-1 3/4"				
2E1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2E2		F	2'-8"	7'-0"	0'-1 3/4"				
2E3		F	2'-8"	7'-0"	0'-1 3/4"				

DOOR SCHEDULE									
DOOR NO.	ROOM NAME	DOOR TYPE	DOOR			FRAME TYPE	Fire Rating	COMMENTS	
			WIDTH	HEIGHT	THICKNESS				
2E4		F	2'-8"	7'-0"	0'-1 3/4"				
2E5		G	5'-0"	7'-0"	0'-1 3/4"				
2E6		C	3'-0"	8'-0"	0'-1 3/4"				
2E7		F	2'-8"	7'-0"	0'-1 3/4"				
2E8		F	2'-8"	7'-0"	0'-1 3/4"				
2E9		F	2'-8"	7'-0"	0'-1 3/4"				
2E10		F	2'-8"	7'-0"	0'-1 3/4"				
2E11		F	2'-8"	7'-0"	0'-1 3/4"				
2E12		F	2'-8"	7'-0"	0'-1 3/4"				
2F1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2F2		F	2'-8"	7'-0"	0'-1 3/4"				
2F3		F	2'-8"	7'-0"	0'-1 3/4"				
2F4		F	2'-8"	7'-0"	0'-1 3/4"				
2F5		F	2'-8"	7'-0"	0'-1 3/4"				
2F6		F	2'-8"	7'-0"	0'-1 3/4"				
2F7		F	2'-8"	7'-0"	0'-1 3/4"				
2F8		F	2'-8"	7'-0"	0'-1 3/4"				
2F9		G	5'-0"	7'-0"	0'-1 3/4"				
2F10		F	2'-8"	7'-0"	0'-1 3/4"				
2F11		F	2'-8"	7'-0"	0'-1 3/4"				
2F12		C	3'-0"	8'-0"	0'-1 3/4"				
2G1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"				
2G2		F	2'-8"	7'-0"	0'-1 3/4"				
2G3		F	2'-8"	7'-0"	0'-1 3/4"				
2G4		F	2'-8"	7'-0"	0'-1 3/4"				
2G5		F	2'-8"	7'-0"	0'-1 3/4"				
2G6		F	2'-8"	7'-0"	0'-1 3/4"				
2G7		F	2'-8"	7'-0"	0'-1 3/4"				
2G8		F	2'-8"	7'-0"	0'-1 3/4"				
2G9		G	5'-0"	7'-0"	0'-1 3/4"				
2G10		F	2'-8"	7'-0"	0'-1 3/4"				
2G11		F	2'-8"	7'-0"	0'-1 3/4"				
2G12		C	3'-0"	8'-0"	0'-1 3/4"				
002J		C	3'-0"	7'-11"	0'-1 3/4"				
002R		F	2'-6"	1'-0 19/32"	0'-1 3/4"				
3A1		F	3'-0"	7'-0"	0'-1 3/4"				
3A2		F	3'-0"	7'-0"	0'-1 3/4"				
3A3		F	2'-8"	7'-0"	0'-1 3/4"				
3A4		F	2'-8"	7'-0"	0'-1 3/4"				
3A5		F	2'-8"	7'-0"	0'-1 3/4"				
3A8		F	2'-8"	7'-0"	0'-1 3/4"				
3A11		F	3'-0"	7'-0"	0'-1 3/4"				
3B1		F	3'-0"	7'-0"	0'-1 3/4"				
3B2		F	2'-8"	7'-0"	0'-1 3/4"				
3B4		F	2'-8"	7'-0"	0'-1 3/4"				
3B5		F	2'-8"	7'-0"	0'-1 3/4"				
3B6		F	2'-4"	7'-0"	0'-1 3/4"				
3B7		F	2'-8"	7'-0"	0'-1 3/4"				
3B8		F	2'-8"	7'-0"	0'-1 3/4"				
3C8		C	3'-0"	8'-0"	0'-1 3/4"				
3D12		C	3'-0"	8'-0"	0'-1 3/4"				
3D13		C	3'-0"	8'-0"	0'-1 3/4"				
3E2		F	2'-8"	7'-0"	0'-1 3/4"				
3E6		C	3'-0"	8'-0"	0'-1 3/4"				
3E7		F	2'-8"	7'-0"	0'-1 3/4"				
3E8		F	2'-8"	7'-0"	0'-1 3/4"				
3F2		F							

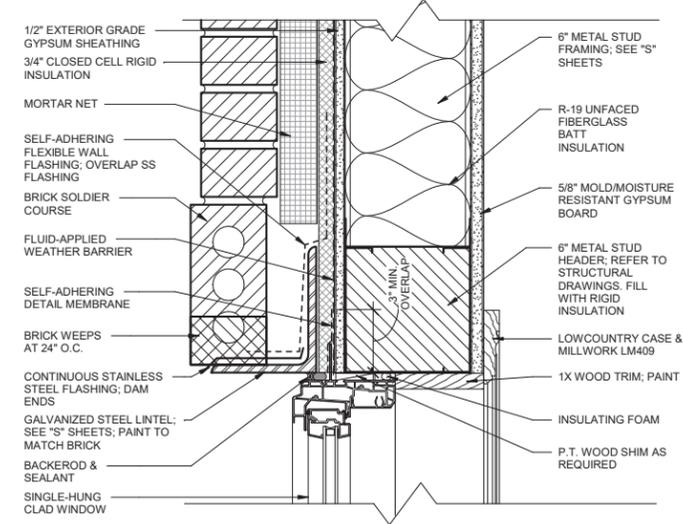
ALL DESIGNS, DRAWINGS AND SPECIFICATIONS DEPICTED ON THIS SHEET ARE PROPERTY OF COAST ARCHITECTS, INC. COPYRIGHT © 11/22/2022 ANY UNAUTHORIZED USE OR REPRODUCTION IS SUBJECT TO LEGAL PROSECUTION. POSSESSION IN ANY FORM CONSTITUTES ACCEPTANCE OF THESE CONDITIONS.



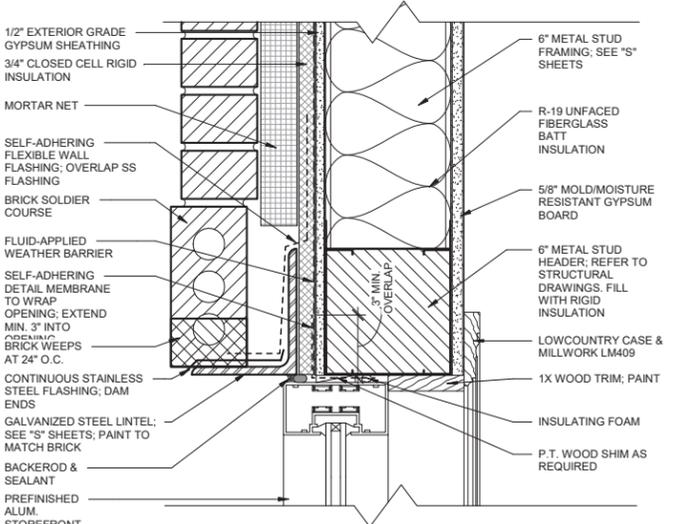
**H1/J1**  
**A402**  
**HEAD/JAMB FOR INTERIOR HM FRAME DOOR**  
SCALE: 3" = 1'-0"



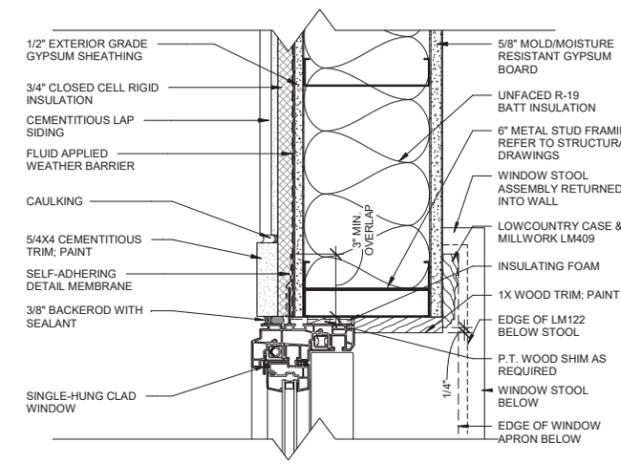
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**A402**  
**HEAD FOR DOUBLE-HUNG WINDOW AT CEMENTITIOUS SIDING**  
SCALE: 3" = 1'-0"



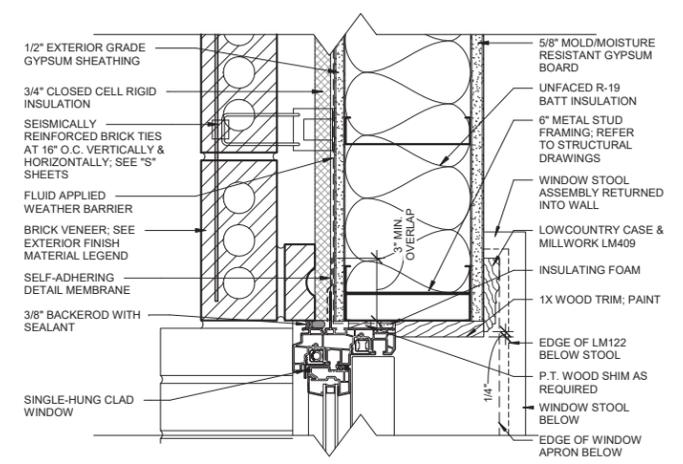
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**A402**  
**HEAD FOR DOUBLE-HUNG WINDOW AT BRICK SIDING**  
SCALE: 3" = 1'-0"



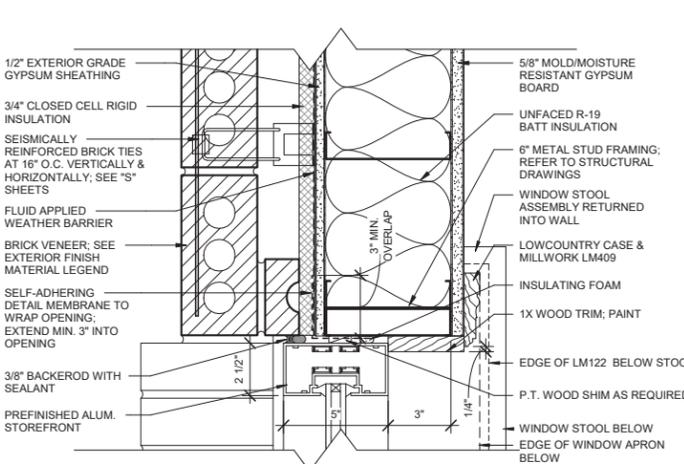
**H4**  
**A402**  
**HEAD FOR ALUM. STOREFRONT AT BRICK SIDING**  
SCALE: 3" = 1'-0"



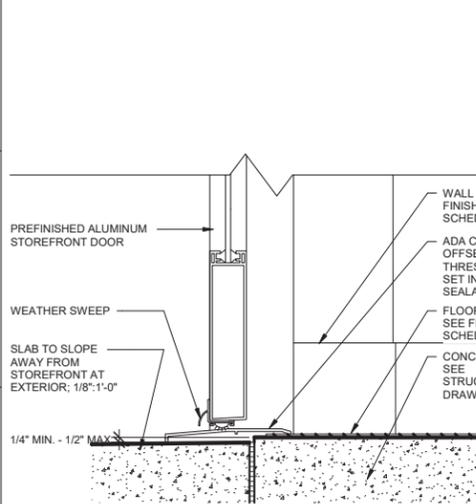
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**A402**  
**JAMB FOR DOUBLE-HUNG WINDOW AT CEMENTITIOUS SIDING**  
SCALE: 3" = 1'-0"



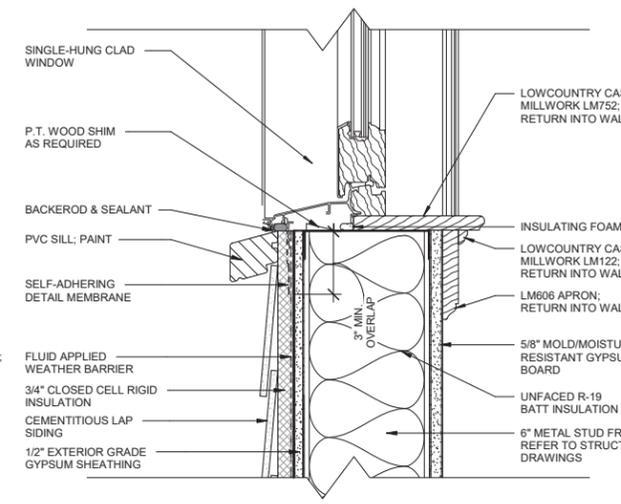
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**A402**  
**JAMB FOR DOUBLE-HUNG WINDOW AT BRICK SIDING**  
SCALE: 3" = 1'-0"



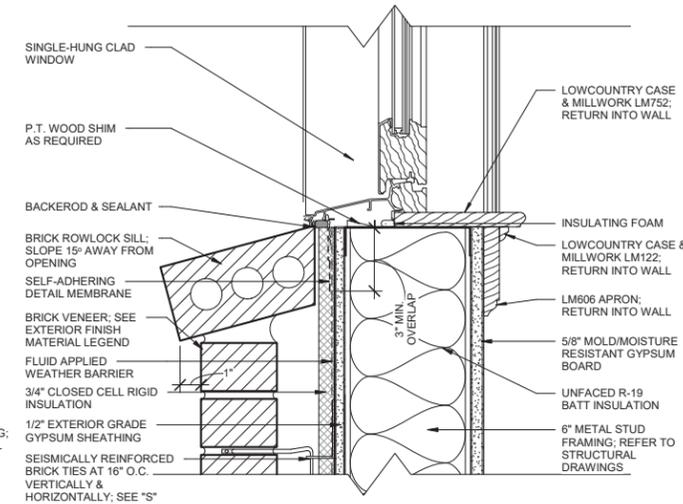
**J4**  
**A402**  
**JAMB FOR ALUM. STOREFRONT AT BRICK SIDING**  
SCALE: 3" = 1'-0"



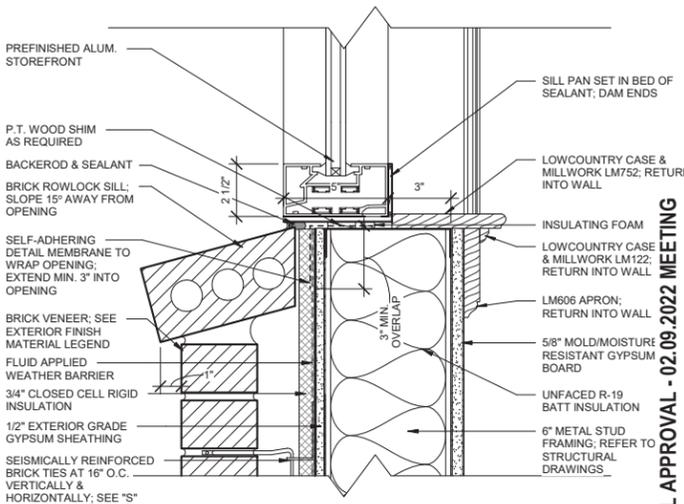
**S1**  
**A402**  
**SILL FOR ALUM. STOREFRONT DOOR AT EXTERIOR WALL**  
SCALE: 3" = 1'-0"



**S2**  
**A402**  
**SILL FOR DOUBLE-HUNG WINDOW AT CEMENTITIOUS SIDING**  
SCALE: 3" = 1'-0"



**S3**  
**A402**  
**SILL FOR DOUBLE-HUNG WINDOW AT BRICK SIDING**  
SCALE: 3" = 1'-0"



**S4**  
**A402**  
**SILL FOR ALUM. STOREFRONT AT BRICK SIDING**  
SCALE: 3" = 1'-0"

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**coast architects**  
671 St. Andrews Blvd., Charleston, SC 29407  
Phone: 843.763.7064 Fax: 843.763.7061  
www.coastarchitects.net

01.12.2022

**THE CANNON BUILDING**  
211 CHARLES STREET  
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: LWM  
CHECKED BY: FAM  
DATE: 01.12.2022

COAST PROJECT NO: 2015.00

**DOOR & WINDOW DETAILS**

**A402**

HRB FINAL APPROVAL - 02.09.2022 MEETING



# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
09 February 2022

## 1 SUMMARY OF REQUEST

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211 Charles Street, New Construction

Applicant: Arnie McClure/Coast Architects Inc.

The applicant is requesting Final Approval of a 3-story apartment/commercial building.

Background:

In February of 2021, a previous submission for this project was granted Conceptual Approval by the Historic Review Board with noted Staff Conditions. At the same meeting, demolition of the existing structure on this property was deferred until the next meeting.

In March of 2021, demolition of the existing structure on this property was approved by the Historic Review Board, with the condition that “the demolition permit will not be issued until after a building permit is issued for the replacement building.”

In August of 2021, the Zoning Board of Appeals granted a Special Exception per Section 4.5.10.B.5 to allow a building with frontage in excess of 100 feet on a T5-DC zoned property.

In December of 2021, a previous submission for this project received Preliminary Approval with Conditions by the Historic Review Board.

The applicant has provided a video walkthrough of this project, which may be accessed through the following link:

<https://www.dropbox.com/s/vw9tt22ulkaq8a1/2015.00%20211%20CHARLES%20STREET%20HRB%20WALK%20AROUND%202022-01-18.mp4?dl=0>

## 2 FACTS

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<b>Property Address:</b>	211 Charles Street
<b>Parcel ID:</b>	R120 004 000 0909 000
<b>Case Number:</b>	21-02 HRB.4
<b>Applicant:</b>	<b>Arnie McClure/Coast Architects Inc.</b>
<b>Type of Request:</b>	New Construction
<b>Zoning:</b>	T5-DC
<b>Current Use:</b>	Commercial
<b>Proposed Use:</b>	Residential/Commercial



#### District Development Standards for T5-DC:

- **Setback requirements – Primary Structure:**
  - *Front- 0' min./Prevailing setback on block max.*
  - *Rear setback – 0' min.*
  - *Side Corner/Alley – 0'min./15' max.*
  - *Side Interior – 0'min.*
- **Maximum Lot Coverage:** 100%
- **Frontage Buildout:** 75% Min
- **Permitted Uses:** Includes Apartment House and Retail/Restaurant Use

#### References:

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement

## 3 STAFF COMMENTS

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#### Staff Acknowledgements:

- A. All conditions of December 2021 Preliminary Approval have been addressed in the current submission. Board Condition 4 required a sample board mock-up for the proposed brick, which the applicant has stated will be provided ahead of the February Board meeting. Staff has not yet seen or reviewed the mockup at the time that this report was written. Of note, Staff Condition 7 required a detail of the mounting and framing of the proposed signage. The applicant changed the signage design and provided a description of it rather than a detail. Due to the change of the design to a more typical design and attachment method, Staff no longer requires the requested detail drawing. Applicant to ensure all signage is properly permitted per Chapter 6 of the Beaufort Code.
- B. A Board Condition of the December 2021 Preliminary Approval noted to “Restudy the ground floor porches and consider possibly no outdoor space.” The applicant has noted that the removal of outdoor porches was studied and that it was decided that they would be proposed to remain in the design. Staff is in support of the retention of the outdoor porches, as they break down the visual scale and relate to the residential portions of the project.
- C. Section 2.5.1.D.4 of the Code notes that “[blank facades are not permitted in the T4 and T5 zones] and that multiple pedestrian entrances for public access shall be provided every 50 feet or more frequently. The Design Review Authority may modify the spacing of the entrances based on the amount of glazing, interior layout, and general design of the structure.” Previously, the ramp of the project provided an entry point that was less than 50 feet away from an adjacent entrance, which satisfied this section, but the ramp has been removed from the current submission. Staff is in support of the project as designed since the utilization of storefronts across the Charles Street ground floor façade eliminates the possibility of a blank façade.

**Staff Conditions:**

1. On the northwest corner, Staff recommends eliminating the railing around the outdoor tenant area so that the building can better engage with the street at this corner. If a boundary must be defined, Staff recommends utilizing planters or similar that have a softer relationship to the surrounding street.
2. Regarding the recessed brick panels on the south side of the Cannon Building Entry on Charles Street, detailed on Sheet A305, Staff recommends that the applicant utilize the same brick on the inset portions as is used on the rest of this portion of the building (BR-2). Staff also recommends recessing the brick 1.5" back from the exterior face of the wall. (Currently, the recess is shown at approximately 1".)
3. Applicant to submit paving patterns and a proposed paver to be used at building entries and within the outdoor tenant space along Port Republic Street. Applicant to confirm if the hatch shown in these areas on the landscaping plan is an accurate depiction of the pavers or if it is just a graphic hatch.
4. Staff recommends that the applicant utilize a simpler pattern for the proposed service gate. The service gate design should not draw attention to the service area. Staff recommends removing the Cannon Motif from the design.
5. Per Section 7.2.1.C.1 of the Beaufort Code, adherence to specific street section requirements in Appendix C is not required for this project because it does not affect one whole block face; however, Staff recommends that the applicant implement the applicable Charles Street and Port Republic Street Sections from Appendix C of the Beaufort Code as much as possible.
6. On sheet A211, a cutsheet from Mcelroy Metal is shown with a flat panel profile, but a detail on sheet A303 shows a ribbed panel. Staff understands that ribs are utilized to reduce the visual effects of oil canning, however, they do give a busier appearance than a flat panel. Staff recommends using the flat panels that are shown on sheet A211.

**STAFF RECOMMENDATION:**

**Final Approval** with Staff Conditions noted.