



REVISED AGENDA
The City of Beaufort
HISTORIC DISTRICT REVIEW BOARD

Wednesday, April 14, 2021, 2:00 P.M.

~~City Hall, Planning Conference Room – 1911 Boundary Street, Beaufort, SC~~

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/85981614158?pwd=ZFBMUVlmcGx5ZXAxSWVVPYTdvSkNVQT09>

Password: 887420

Meeting ID: 859 8161 4158

Call in Phone# 1+929 205 6099

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Executive Session

- A. To obtain legal briefing on pending litigation

III. Approval of Minutes:

- A. March 10, 2021 Meeting Minutes

IV. Presentation:

- A. Update and consolidation of the Beaufort Preservation Manuals and Above Ground Historic Resources Survey - Brad Roeder, AIA, John Milner Architects, Inc.

V. Old Business:

- A. Demolition Letter to City Council

VI. New Business:

- A. 1214 Duke Street, PIN R120 004 000 1012 0000, Alteration
Applicant: Johan Niemand, JHN-Residential Building Design (21-07 HRB.1)

The applicant is requesting Final approval for a porch enclosure to create a new dining room.

- B. 808 Charles Street, PIN R120 004 000 0392 0000, New Construction
Applicant: Allison Ramsey Architects

The applicant is requesting Final approval for construction of a single-family residence on a vacant parcel.

VII. Adjournment



Historic District Review Board Meeting Minutes – March 10, 2021

1 CALL TO ORDER

0:16

A meeting of the Historic District Review Board was held via Zoom on March 10, 2021 at 2:02 pm.

2 ATTENDEES

Members in attendance: John Dickerson (Chairman), Bill Allison (Vice-Chair), Stacy Applegate, Katherine Pringle, and Chuck Symes.

Staff in attendance: Jeremy Tate (Meadors Architecture), Dan Frazier (City of Beaufort Senior Planner of Community and Economic Development) and David Prichard (City of Beaufort Director of Community and Economic Development)

3 REVIEW OF MINUTES

0:26

All Historic District Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at iburgess@cityofbeaufort.org.

Motion: Ms. Pringle made a motion to substitute the new February 10, 2021 meeting minutes for the published February 10, 2021 meeting minutes; seconded by Mr. Symes. The motion passed unanimously.

Motion: Mr. Allison made a motion to approve the February 10, 2021 meeting minutes; seconded by Ms. Pringle. The motion passed with a vote of 4:1; Mr. Symes abstained for not being present.

4 OLD BUSINESS

2:06

A. 211 Charles Street, PIN R120 004 000 0909 0000, Major Demolition

Applicant: Arnie McClure, Coast Architects, Inc. (21-02 HRB.1)

The applicant is requesting approval for demolition of the existing structure.

Discussion on how to proceed with the public comments took place.

Motion: Mr. Symes made a motion to have public comment heard on the 211 Charles Street demolition project; seconded by Ms. Pringle. The motion passed with a vote of 3:2 (Mr.

Allison nay; Ms. Applegate yea; Ms. Pringle yea; Mr. Symes yea; and Mr. Dickerson nay).

The Board took a 10-minute break.

21:24

The Board reconvened at 2:45 pm.

38:05

The chairman, John Dickerson, invited public comment.

Motion: Mr. Allison made a motion to approve the demolition request on the condition that the demolition permit will not be issued until after a building permit is issued for the replacement building; seconded by Mr. Symes. The motion passed unanimously.

B. 1107 Bay Street, PIN R120 004 000 845A 0000, New Construction

Applicant: Cooter Ramsey, Allison Ramsey Architects (21-09 HRB.1)

The applicant is requesting Final approval to construct a 3-unit dwelling.

Mr. Allison recused himself from this project.

The Board took a five-minute break.

The chairman, John Dickerson, invited the public comment.

Motion: Mr. Symes made a motion to grant final approval to the project at 1107 Bay Street with taking into consideration staff's comment except for item 12 regarding how the columns are placed and the motion also includes approval of the powdered coating railing on the building as referenced in item 14.

Ms. Pringle asked that the motion be amended to also omit item #11 based on the applicant's explanation.

Mr. Symes amended his motion to include omitting item 11.

The motion was seconded by Ms. Applegate. The motion passed unanimously with 1 recusal.

Mr. Allison returned at this time.

5 NEW BUSINESS

2:00:27

A. Review of Draft Demolition Letter to City Council

2:46:19

Ms. Applegate spoke about the letter and what initiated it.

The Chairman asked that the other Board members send him their final comments so he can re-draft the letter prior to the letter being forwarded to Council. Adjournment 3:22:14

Motion: Mr. Symes made a motion to adjourn the meeting; seconded by Ms. Pringle. The motion passed unanimously. The meeting ended at 5:25 pm.

Chair

Date of approval

DRAFT

DEMOLITON LETTER TO COUNCIL

April 1, 2021

Beaufort Mayor and City Council
City of Beaufort
1911 Boundary Street
Beaufort, SC 29902

RE: Amending the Demolition Process and Expiration Period

Dear Mayor and Council Members,

Currently any demolition approvals and permits issued by the City of Beaufort have no expiration (p 182 of the Beaufort Code). There are also other issues that need to be addressed.

In the past, demolition permits have been approved and property owners have not taken action in a timely manner. When an owner receives approval to demolish a structure, action should be taken to demolish and therefore prevent further hazardous or unsafe conditions to the property.

The Historic District Review Board (HRB) is recommending the following concepts be used to amend the demolition process:

1. Start the Demolition information with a definition. The Charleston BAR uses;

“Demolition is defined as the removal of an entire structure or a substantial portion of a structure visible from the public right-of-way or a substantial portion of features of a structure that are visible from the public rights-of-way that define its historic architectural character, such as roofs, columns, balustrades, chimneys, siding, windows, doors, shutters, site walls, fences and other unique architectural features, which if lost, would compromise the historic architectural character of the structure.”
2. The entire ordinance should be in one place inside the Beaufort Code. Currently, parts are scattered around in different areas.
3. Impose a 24-month limit on demolition after HRB approval and issuance of The Certificate of Appropriateness (COA). The owner is required to receive a demolition permit and complete the process of demolition and cleanup after demolition, prior to the expiration of the approval period. This limitation is complimentary to the limitation of the Certificate of Appropriateness and other City of Beaufort permit periods (p. 182 of the Beaufort Code).
4. Demolition Approvals will not be automatically extended. Extending the period would require review by the HRB and be limited to one 12-month period.

In a broader context with regard to all COA's, if a demolition needs to come back before the board for an extension after the 24 months then the same rule should be applied to a renovation/addition. The same logic applies if a structure is or has become historically contributing in the two year time frame. Therefore, extending a COA of any modification to a structure, that is contributing, is the responsibility of the HRB.

5. The HRB may impose a restriction on the Demolition Approval to require that the Demolition Permit only be issued by the City when the replacement building is approved by the board and the Building Permit is issued.

Note: The term “may” in this context is purposeful. If a structure is approved for demolition because it is not recoverable, then there doesn't have to be a building that replaces it.

6. Demolition approval for contributing Historic structures will be based on the structural integrity of the historic building and other compelling information.
7. Demolition for non-contributing structures may be approved provided clear reasons warrant demolition for the good of projects that enhance the community.

We appreciate your consideration of our recommendations to the change the demolition process and expiration period.

Sincerely,

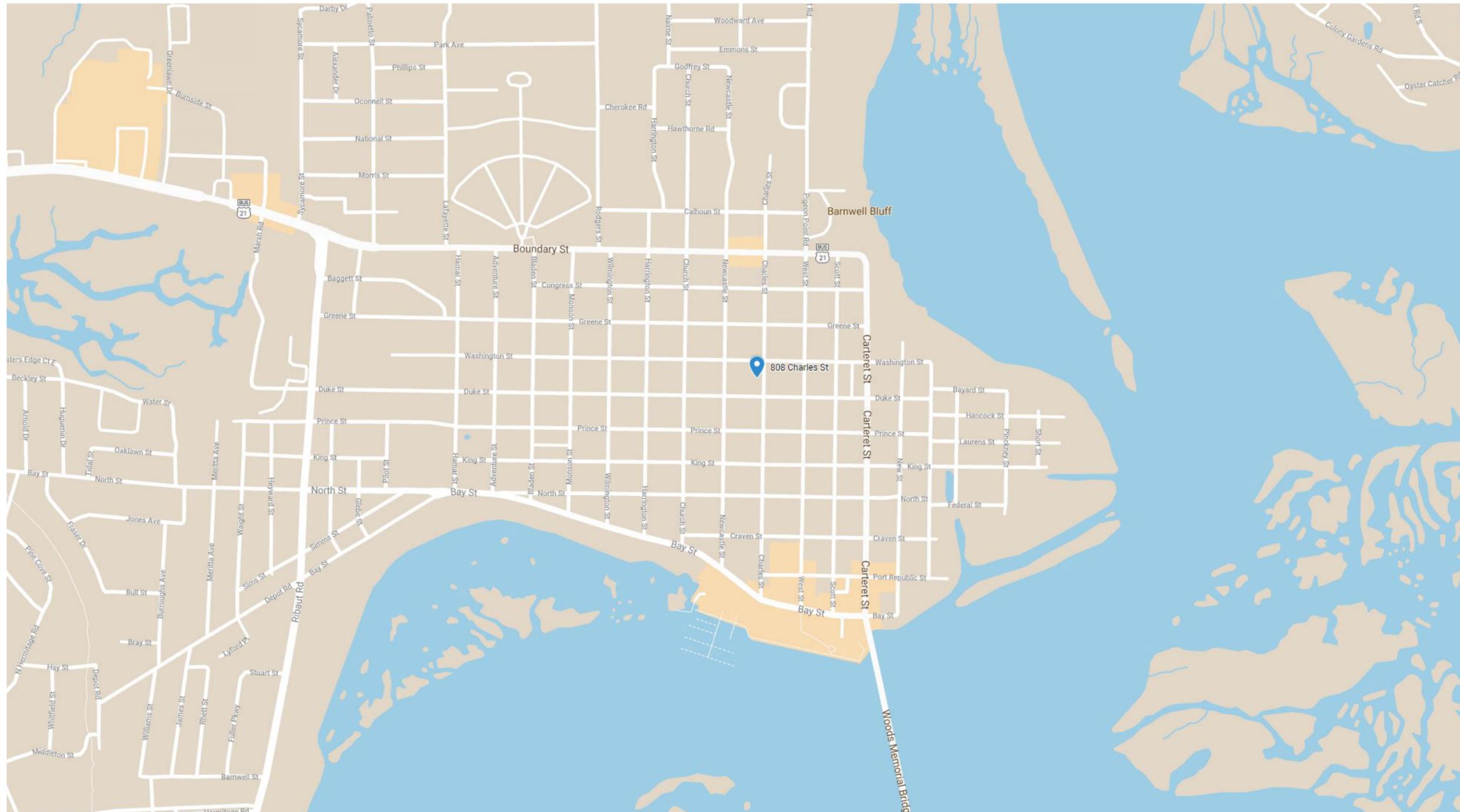
John Dickerson, Chairman
Stacy Applegate
Historic District Review Board

Bill Allison, Architect
Katherine Pringle

Chuck Symes

CITY STAFF INTRODUCTION

1214 DUKE STREET



PROJECT LOCATION - 1214 DUKE STREET





DUKE ST
STOP

Mike McFar





705



APPLICANT PRESENTATION

1214 DUKE STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

\$ PAID
1/27/21 CK

- Staff Review
- Board Review

Application Fee:
see attached schedule

21-07 HRB-1

OFFICE USE ONLY: Date Filed: 1/27 Application #: 21530 Zoning District: T4-HN
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Johan Niemand - (JHN-Residential Building Design)

Applicant Address: 73 Sams Point Road, Beaufort, SC 29907

Applicant E-mail: info@jhn-residential.com Applicant Phone Number: (843) 605-6168

Applicant Title: Homeowner Tenant Architect Engineer Developer
BUILDING DESIGNER

Owner (if other than the Applicant): Bryan Murphy

Owner Address: 1214 Duke Street, Beaufort, SC 29902

Project Name: Murphy Addition/ Remodel

Property Address: 1214 Duke Street, Beaufort, SC 29902

Property Identification Number (Tax Map & Parcel Number): R120 004 000 1012 0000

Date Submitted: January 26, 2021

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Date: January 26, 2021

Owner's Signature: Date: JAN 26, 2021

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: Murphy Addition/ Remodel

Property Size in Acres: 0.09 Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition*
- Relocation*
- *Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
1,788 SQ. Feet Existing + 134 SQ. Feet New

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

The proposed new Dining room to be created by enclosing the existing Screen Porch,
by infill framing walls and adding windows and doors as indicted.

The deign intent is to eave the existing columns in place on both the exterior
as well as the interior by centering the infill walls on the existing collumns,
to retain the closed in porch look.

All materials, colors, & window styles to match existing. Note the existing double
French door accessing the Screen Porch on the Western side of the existing
Residence to be removed and re-used on the Southern side of the new
Dining Room.

CONTACT INFORMATION –

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

Meredith Jacobs

From: Johan Niemand <info@jhn-residential.com>
Sent: Monday, March 1, 2021 3:37 PM
To: Meredith Jacobs
Cc: Jeremy Tate; Heather Spade; Dan Frazier; Julie Bachety
Subject: RE: 1214 Duke Street - HRB Application Completeness Review
Attachments: SD100 - Murphy_Bryan_Sketch Design_03-01-2021.pdf; SD101 - Murphy_Bryan_Sketch Design_03-01-2021.pdf; SD102 - Murphy_Bryan_Sketch Design_03-01-2021.pdf; SD103 - Murphy_Bryan_Sketch Design_03-01-2021.pdf

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good afternoon Meredith,

I have attached the additional information to enable you to complete your review. Please note: The owner has decided to forgo a direct vent fireplace, instead he intends to either, use a vent-less gas fireplace, or an electric fireplace, in the future.

Please let me know if you need any further information.

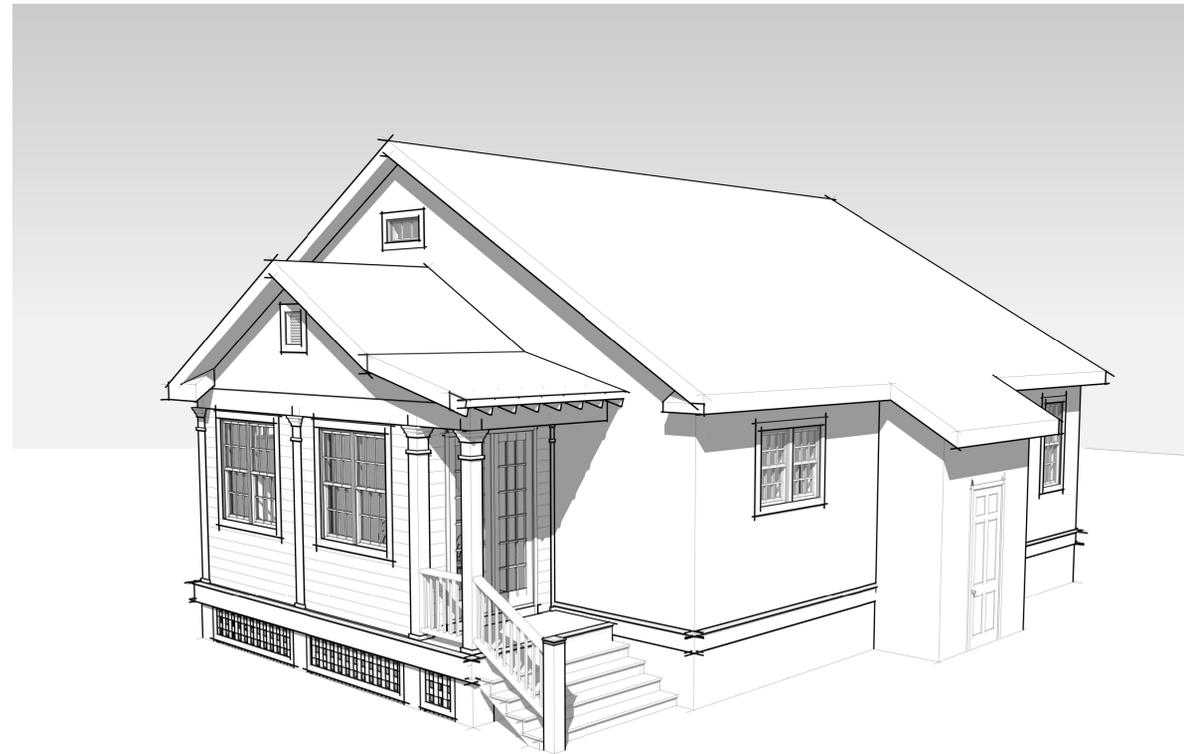
Regards

Johan Niemand

JHN - Residential Building Design
JHN - Residential LLC
73 Sams Point Road
Beaufort, SC 29907
843.605.6168
www.jhn-residential.com

Proposed Addition to *The Existing Murphy Residence*

1214 Duke St, Beaufort, SC 29902



Sketch Design Package	
SD100	Cover Sheet
SD101	Plans, Perspectives, & Elevations
SD102	Elevations/Site Plan & Photos
SD103	Building & Wall Sections

Preliminary Not For Permit - Review Board Set

3/1/2021 3:04:07 PM

SD100

Cover Sheet

Proposed Addition to
The Existing Murphy Residence
1214 Duke St, Beaufort, SC 29902

Scale Date March 01, 2021

Revision No.	Description	Date



JHN-Residential Building Design
 JHN-Residential LLC
 info@jhn-residential.com
 73 Sams Point Road,
 Beaufort, SC 29907
 Tel: 843.605.6168

MEMBER
A | B | D
 AMERICAN INSTITUTE OF
 BUILDING DESIGN



B Proposed North Elevation
SD101 SCALE: 3/16" = 1'-0"



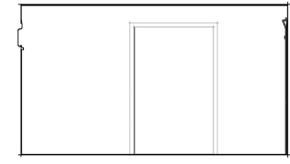
C Proposed West Elevation
SD101 SCALE: 3/16" = 1'-0"



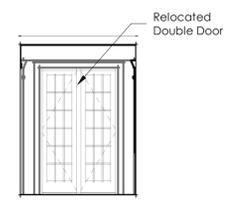
E Proposed South Elevation
SD101 SCALE: 3/16" = 1'-0"

Elevation Legend

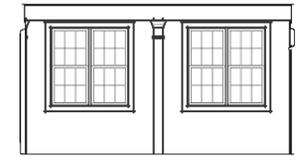
A2 10	New Siding to match existing Siding
A2 49	P.T. Window Trim to match existing



H East Interior
SD101 SCALE: 3/16" = 1'-0"



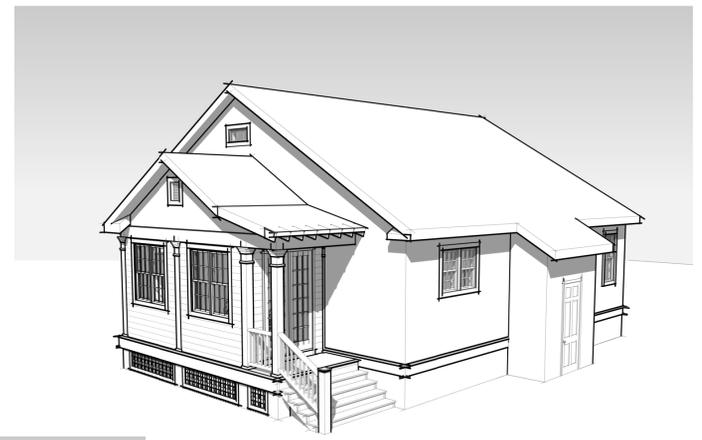
I South Interior
SD101 SCALE: 3/16" = 1'-0"



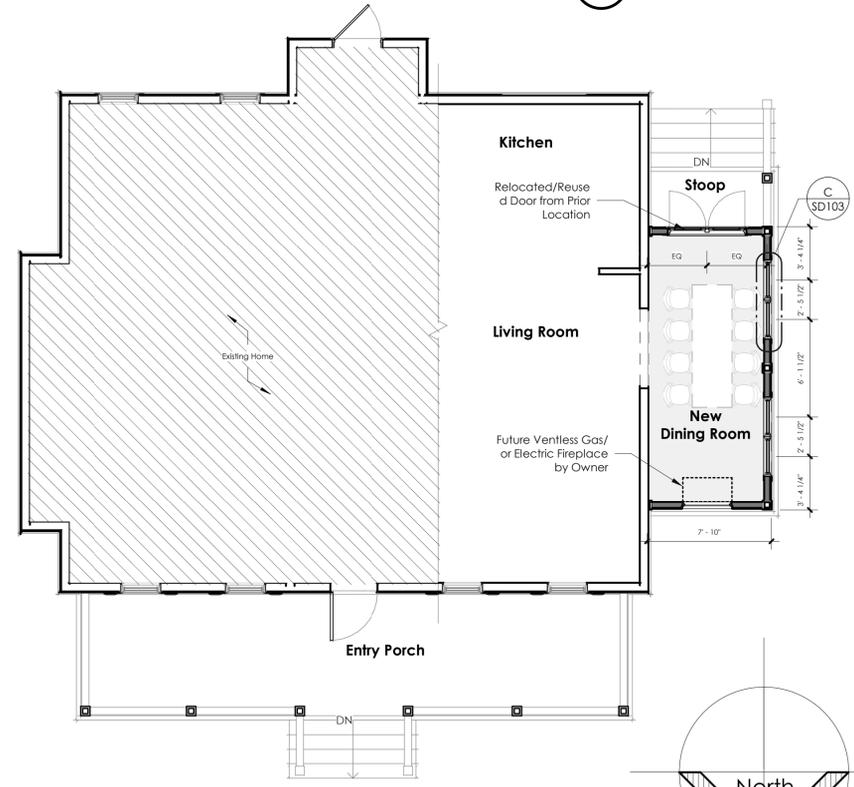
J West Interior
SD101 SCALE: 3/16" = 1'-0"



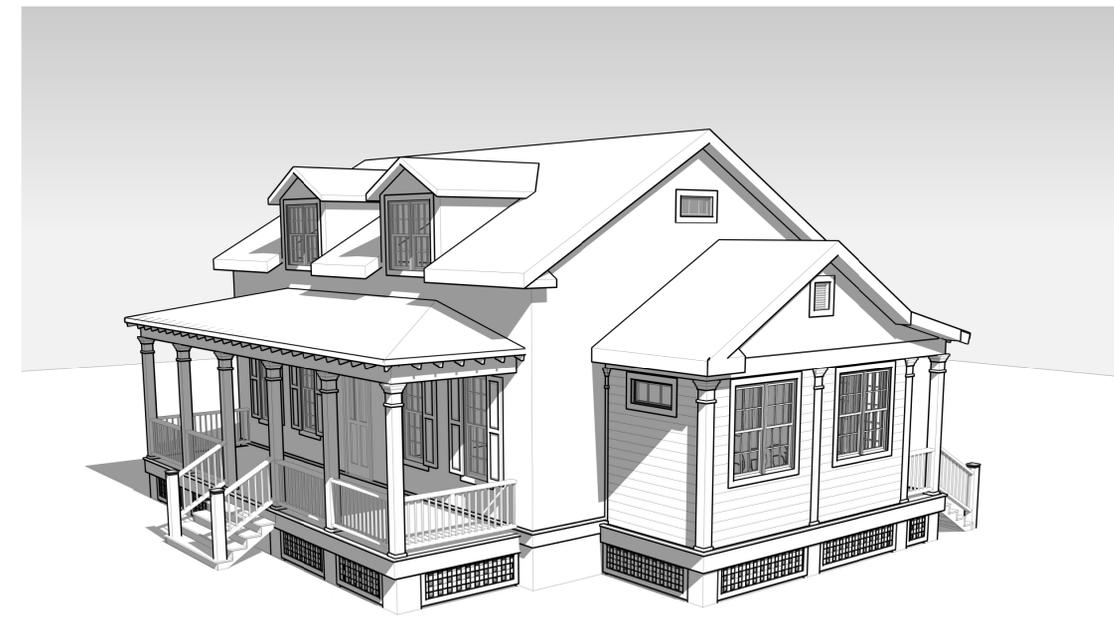
K North Interior
SD101 SCALE: 3/16" = 1'-0"



F South - West Perspective
SD101 SCALE:



A First Floor Plan
SD101 SCALE: 3/16" = 1'-0"



G North - West Perspective
SD101 SCALE:

Area Schedule

Heated	134 SF
New Heated	134 SF
	134 SF

Revision No.	Description	Date

Proposed Addition to
The Existing Murphy Residence
1214 Duke St, Beaufort, SC 29902
Scale 3/16" = 1'-0" Date March 01, 2021

**Plans,
Perspectives,
& Elevations
SD101**

Preliminary Not For Permit - Review Board Set
3/1/2021 3:20:53 PM



C Existing North Elevation
SD102 SCALE: 1/8" = 1'-0"



D Existing West Elevation
SD102 SCALE: 1/8" = 1'-0"



E Existing South Elevation
SD102 SCALE: 1/8" = 1'-0"



View from West, South -West



View from West, North-West

View from South



Adjacent Home - East Side

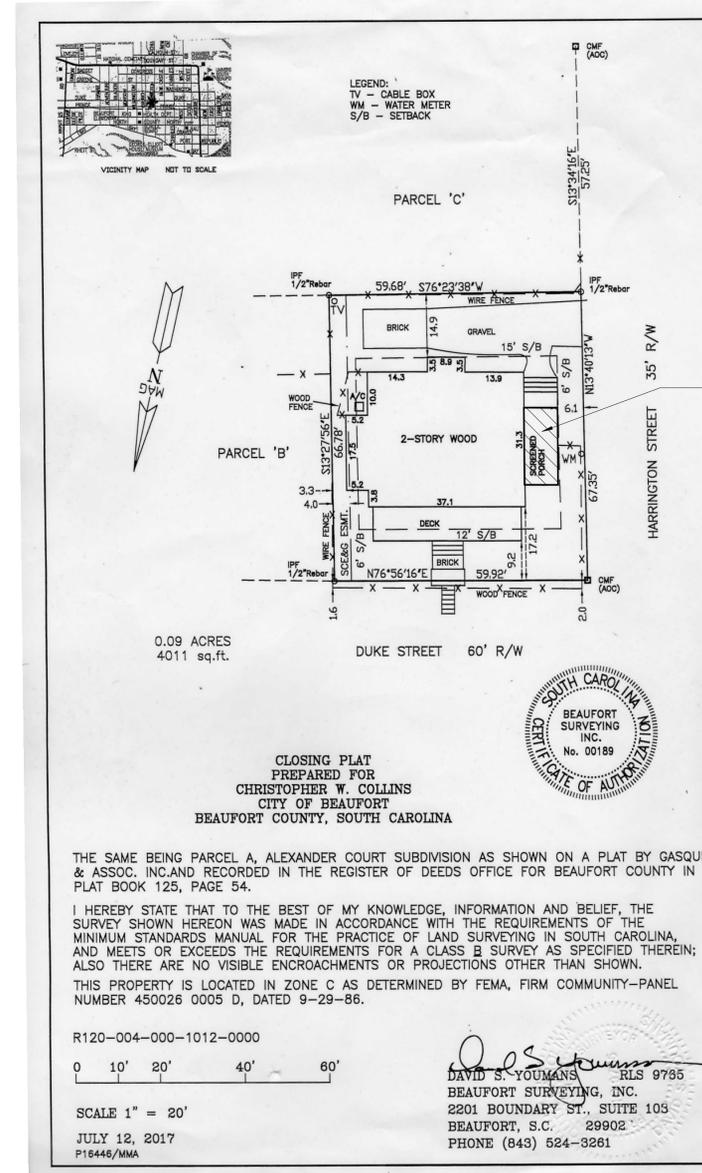


Adjacent Home - South Side



View from North-West

B Site & Adjacent Home Photos
SD102 SCALE: 1" = 40'-0"



A As-built Survey/ Site Plan
SD102 SCALE: 1" = 20'-0"

MEMBER
A | I
B | D
AMERICAN INSTITUTE OF
BUILDING DESIGN

**JHN-Residential
Building Design**

JHN-Residential LLC
73 Sams Point Road,
Beaufort, SC 29907
Tel: 843.605.6168
info@jhn-residential.com

Revision No.	Description	Date

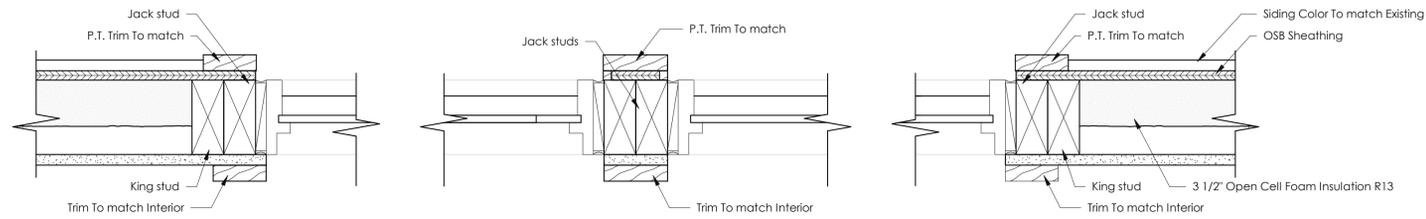
Proposed Addition to
The Existing Murphy Residence
1214 Duke St, Beaufort, SC 29902

Date: March 01, 2021
Scale: As Indicated

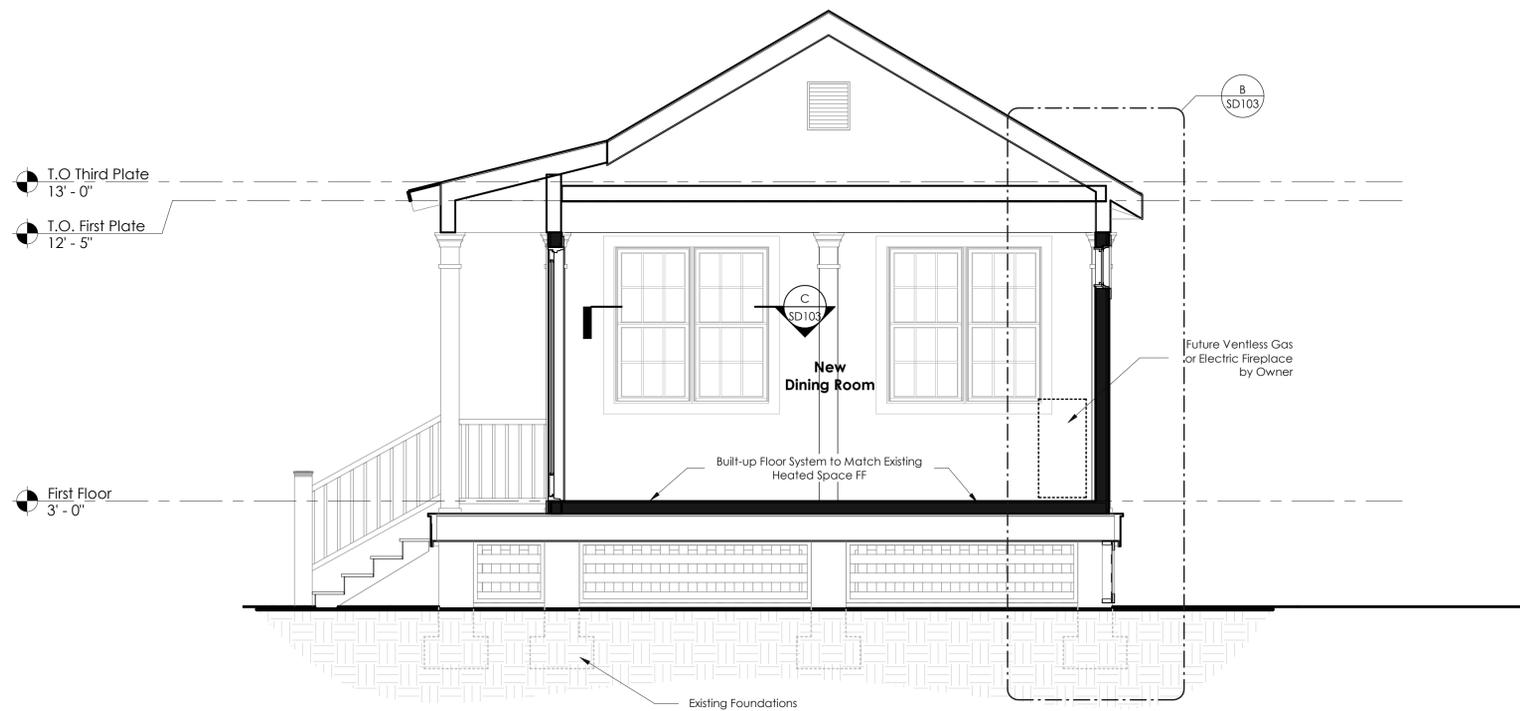
Elevations/Site
Plan & Photos
SD102

Preliminary Not For Permit - Review Board Set
3/1/2021 3:23:27 PM

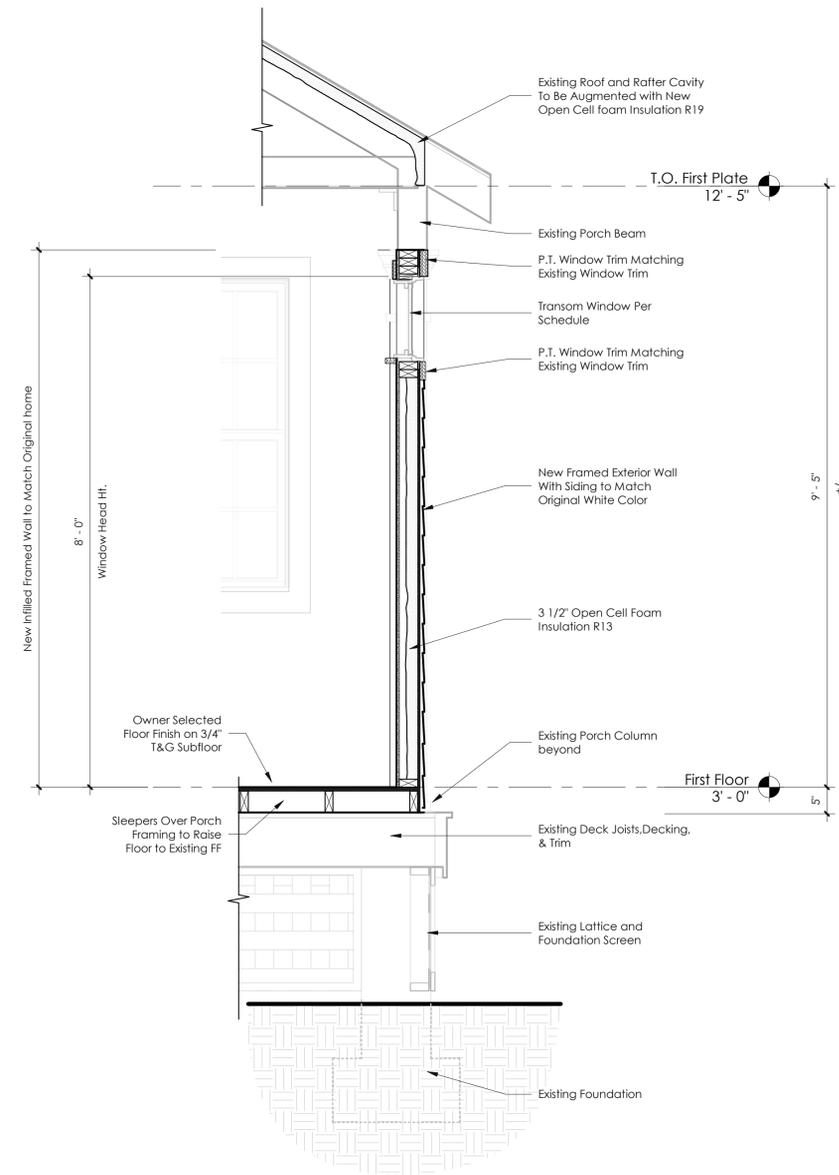
Disclaimer: All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural engineer. All plan & elevation dimensions to be site verified before construction commences. Copyright 2020: JHN-Residential LLC. All rights Reserved.



C Detail @ New Jambs & Muller Windows
SD103 SCALE: 3/8" = 1'-0"



A Building Section
SD103 SCALE: 3/8" = 1'-0"



B Wall Section
SD103 SCALE: 3/4" = 1'-0"

Preliminary Not For Permit - Review Board Set

Revision No.	Description	Date

Proposed Addition to
The Existing Murphy Residence
1214 Duke St, Beaufort, SC 29902
Scale As Indicated Date March 01, 2021

Building & Wall Sections
SD103

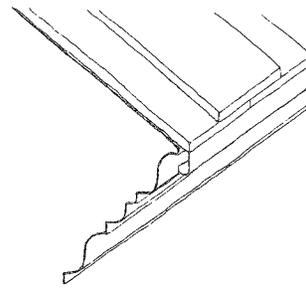


JHN-Residential Building Design
JHN-Residential LLC
73 Sams Point Road, Beaufort, SC 29907
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jhn-residential.com

Disclaimer: All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural engineer. All plan & elevation dimensions to be site verified before construction commences. Copyright 2020: JHN-Residential LLC. All rights Reserved.

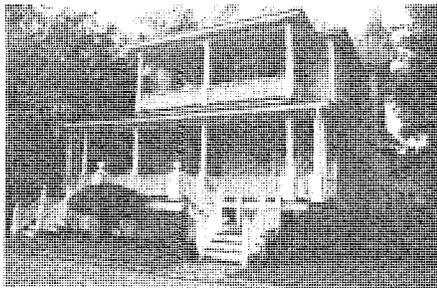
Porch Roofs

The porch roof may be separate from or a continuation of the house roof. Hip, shed, or gable roofs are appropriate, depending upon the type of house. Hipped roofs are often found on the porches of grander houses such as 1113 Craven Street. Shed roofs appear most commonly on more modest houses such as the bungalow at 712 East Street. Gable roofs appear on narrower porches at the entrance facades of grander houses such as the Verdier house, Tabby Manse, and 1203 Bay Street, pulled out from the main block of a hipped-roof house. This hierarchy of roof-type should be followed in the design of porches for new construction.



Excessive Length of
 Metal Drip Edge
 Partially Obscures Cornice

Inappropriate

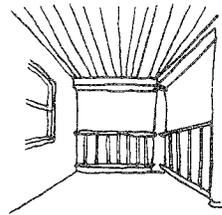


Porch Cornice

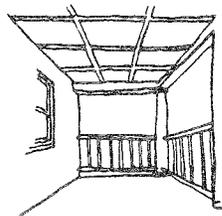
The detail of the porch cornice should not be obscured by the addition of gutters or inappropriate roof-edge flashing. (See the description of pole gutters in Chapter 8.) Repair and replacement should be in-kind, which may entail custom millwork. Stock molding profiles may be available to build-up the proper cornice profile. The design of the porch cornice for new construction should be based on the design of porch cornices on similar adjacent houses in the Historic Beaufort District.

Porch Ceilings

Although there are examples in the Historic Beaufort District of panelled porch ceilings (such as 705 Washington Street), wood tongue-and-groove board-and-bead is generally the most historically appropriate material and is recommended. For early twentieth century porches, especially those on Bungalow houses, plywood-and-batten porch ceilings may be appropriate. In any case, as with all porch repairs, it is best to repair existing fabric in-kind unless strong evidence warrants otherwise.



Tongue And Groove Ceiling



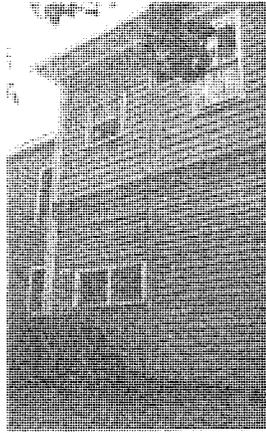
Plywood And Batten Ceiling

Porch Enclosures

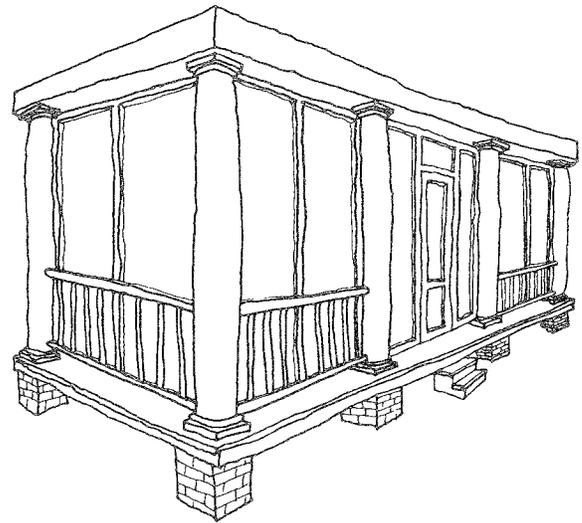
Enclosing front porches or prominently visible porches in the Historic Beaufort District in wood and glass or wood frame and screens is inappropriate. Enclosing rear and side porches is not recommended. If rear or side porches must be enclosed, the enclosure should reflect the massing, the proportion of solid to void, of the existing porch. That is, porch enclosures should be transparent, and not opaque.



Yes

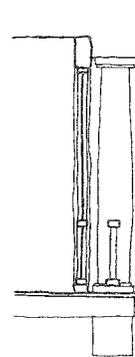


No

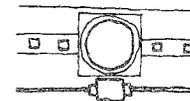


Perspective View

The wood frame and glass or screen assembly must be behind the existing column and balustrade so as not to obscure important architectural elements. Horizontal framing members should be placed at balustrade height, so as not to introduce visible horizontal elements where none existed before. Vertical framing members should be located directly behind existing porch columns. Vertical mullions should divide porch bays evenly into halves, thirds, or quarters. The porch enclosure at 611 New Street, while successfully respecting the architectural elements of the existing porch, fails to reflect the massing, the relationship of solid to void, of the existing porch.

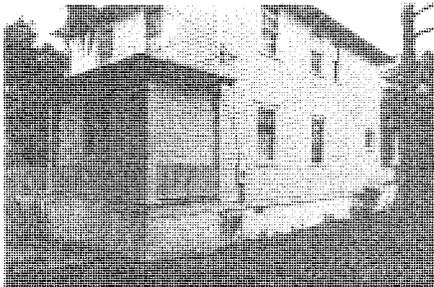


Section



Plan

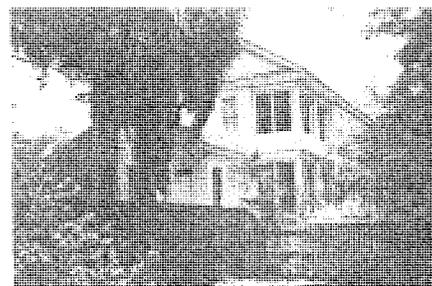
Details For Appropriate
 Porch Enclosure



611 New Street

In the case of screened enclosures, screens should be fastened with easily removed screws or wing nuts, to permit ease of maintenance. Screens themselves should be framed in wood. If aluminum is used, it should be painted out, as above. Screen doors should be wood frame and as simple as possible. The color of the door itself may match the columns and balustrade. Any horizontal rails in the door of a porch enclosure should align with the horizontal rail of the balustrade.

If required, visible framing for enclosures should be painted in a matte finish and in a color to match the screening, or to match the glass. The new framing of the enclosure should be painted in a dark color compatible with that of the screen or glass, rather than the color of the existing columns and balustrade. The latter elements are major architectural features which express the rhythm of the building's structure, and should not be confused with the later infill. Do not use tinted or reflective glass.



Appropriately Enclosed Porch



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
14 April 2021

1 SUMMARY OF REQUEST

1214 Duke Street, Alteration

Applicant: Johan Niemand / JHN-Residential Building Design

The applicant is requesting Final approval for a porch enclosure to create a new dining room.

This is a non-contributing structure in the Historic Conservation Neighborhood and the Northwest Quadrant.

Background: This is the first submission for the currently proposed porch enclosure. This home was built in 2011.

2 FACTS

Property Address:	1214 Duke Street
Parcel ID:	R120 004 000 1012 0000
Case Number:	21-07 HRB.1
Applicant:	Johan Niemand / JHN-Residential Building Design
Type of Request:	Porch Enclosure to create dining room
Zoning:	T4-HN
Use:	Single-Family Residential

District Development Standards for T4-HN:

- **Minimum Lot Size:** 4,000 SF
- **Setback requirements – Primary Structure:**
 - *Front – average prevailing setback on block*
 - *Rear setback – 15' minimum*
 - *Side Interior – 6'*
 - *Side Corner/Alley – 5' min., no max.*
- **Frontage Build out:** 75% Max.

References:

- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement
- The Northwest Quadrant Design Principles



3 STAFF COMMENTS

Staff Acknowledgements:

- This house is of more recent construction. From online research, Staff believes it was built in 2011 and is therefore not historic.
- This project proposes no changes to the existing site or landscaping, as the extents of the project are all within the existing footprint of the house.
- Porch enclosure acknowledgements:
 - Page 32 of the Preservation Manual Supplement makes the following statements, which apply to all historic and non-historic structures in the Historic District:
 - “If rear and side porches must be enclosed, the enclosure should reflect the massing, the proportion of solid to void, of the existing porch. That is, porch enclosures should be transparent, and not opaque.”
 - “The wood frame and glass or screen assembly must be behind the existing column and balustrade so as not to obscure important architectural elements. Horizontal framing members should be placed at balustrade height, so as not to introduce visible horizontal elements where none existed before. Vertical framing members should be located directly behind existing porch columns. Vertical mullions should divide porch bays evenly into halves, thirds, or quarters.”
 - “If required, visible framing for enclosures should be painted in a matte finish and in a color to match the screening, or to match the glass. The new framing of the enclosure should be painted in a dark color compatible with that of the screen or glass rather than the color of the existing columns and balustrade. The latter elements are major architectural features which express the rhythm of the building’s structure and should not be confused with the later infill. Do not use tinted or reflective glass.”
 - “The color of the door itself may match the columns and balustrade. Any horizontal rails in the door of a porch enclosure should align with the horizontal rail of the balustrade.”
 - Page 39 of the Northwest Quadrant Design Principles make the following statements, which apply to all historic and non-historic structures in the Northwest Quadrant:
 - “Enclosing [a porch] with glass may...be acceptable. Using a solid material is not appropriate.”
 - “Maintain the character defining features of a porch if enclosing it with glass. It is preferred that porch piers and balustrades still be seen after a porch has been enclosed. The transparent nature of glass will still allow the porch to read as an open element.”

Staff Conditions:

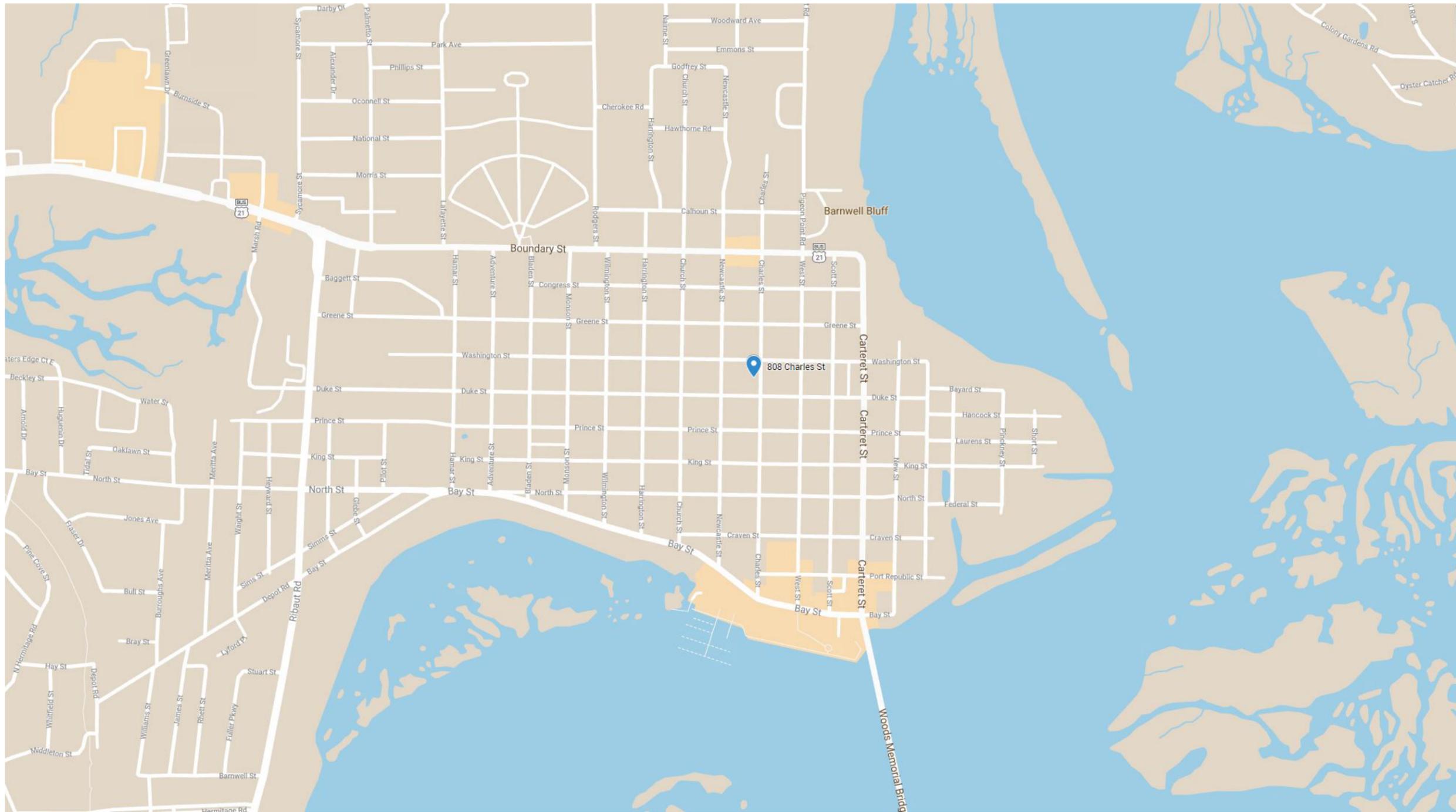
1. The proposed porch enclosure is not compliant with the intent of the Beaufort Preservation Manual Supplement and the Northwest Quadrant Design Guidelines. The walls of the enclosure must be installed behind the existing porch columns and balustrade per the referenced standards above, and the relationship of solid and void should better match that which exists on the current screened in porch. All infill related to a porch enclosure should be positioned such that it recedes back from faces of columns and beams so that the original porch is always visibly apparent.
2. Staff recommends altering the design to maintain the existing balustrade and build the infill walls behind it and the columns as illustrated on page 33 of the Preservation Manual Supplement.
3. Staff recommends making the infill wall as transparent as possible, with vertical mullions introduced minimally, only to set proper window proportions. Staff recommends placing one horizontal framing member at balustrade height, as recommended by the Beaufort Preservation Manual Supplement, to separate the upper transparent portion from the lower transparent portion.
4. Detail C on Sheet SD103 (Detail at New Jambs and Mullled Windows) shows that the edge of the plywood sheathing will be visible between the exterior window trim and the window jamb. Applicant to ensure that the windows are detailed to obscure the sheathing from view and protect it from water intrusion that will cause deterioration over time.

STAFF RECOMMENDATION:

Conceptual Approval with noted conditions.

CITY STAFF INTRODUCTION

808 CHARLES STREET



PROJECT LOCATION - 808 CHARLES STREET



Google Earth Imagery
808 Charles Street



Staff Site Visit Photos



Staff Site Visit Photos



Staff Site Visit Photos

APPLICANT PRESENTATION

808 CHARLES STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

PAID 3/2/21 CX

- Staff Review
- Board Review

Application Fee:
see attached schedule

2108 HRB.1

OFFICE USE ONLY: Date Filed: 2/10 Application #: 21594 Zoning District: T4-N
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Allison Ramsey Architects
Applicant Address: 1003 Charles Street, Beaufort SC 29902
Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Emily Durso
Owner Address: 3900 Cathedral Avenue N.W., Apt 207, Washington DC 20016

Project Name: Durso Residence
Property Address: 808 Charles Street
Property Identification Number (Tax Map & Parcel Number): R120 004 000 0392 0000
Date Submitted: 2/10/21

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 2/10/21
Owner's Signature: [Signature] Date: [Blank]

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

P.A.L.D. 3/2/21

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Staff Review
 Board Review
Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: 3/2/21 Application #: 21594 Zoning District: 74-N
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

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Applicant Name: Allison Ramsey Architects
Applicant Address: 1003 Charles Street, Beaufort SC 29902
Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Emily Durso
Owner Address: 3900 Cathedral Avenue N.W., Apt 207, Washington DC 20016

Project Name: Durso Residence
Property Address: 808 Charles Street
Property Identification Number (Tax Map & Parcel Number): R120 004 000 0392 0000
Date Submitted: 2/10/21

Certification of Correctness: I certify that the information in this application is correct.

Applicant's Signature: [Redacted] Date: 2/10/21
Owner's Signature: Emily Durso Date: 2/12/21

(The owner's signature is [Redacted] applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: Durso Residence

Property Size in Acres: 0.14 Proposed Building Use: residence

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition*
- Relocation*
- *Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
1,649 square feet heated/cooled

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

single family residence between 2 existing 2 story structures
we are requesting HRB approval of a Design Exception to the 60% min. frontage
build-out required in the T4-N District.

CONTACT INFORMATION –

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

The logo for Allison Ramsey Architects, featuring the letters 'ARA' in a stylized, outlined font.

ALLISON RAMSEY

Architects Inc. creating sustainable timeless design

February 10, 2021

Durso Residence – 808 Charles Street, Beaufort SC

Re: Color and Material List

Siding – Hardi-plank, 6” reveal, smooth – SW077 – White

Trim, pickets, fascia, etc – Hardi-trim, smooth – SW077 – White

Columns – P.T. Hollow Wood Columns – SW077 – White

Stucco Base and Chimney – Smooth, Sand Finish – Bone (light beige in color)

Windows – Marvin Integrity – White

Roof – 5V Metal Roof – Evergreen

Top Handrail – Evergreen color match to roof

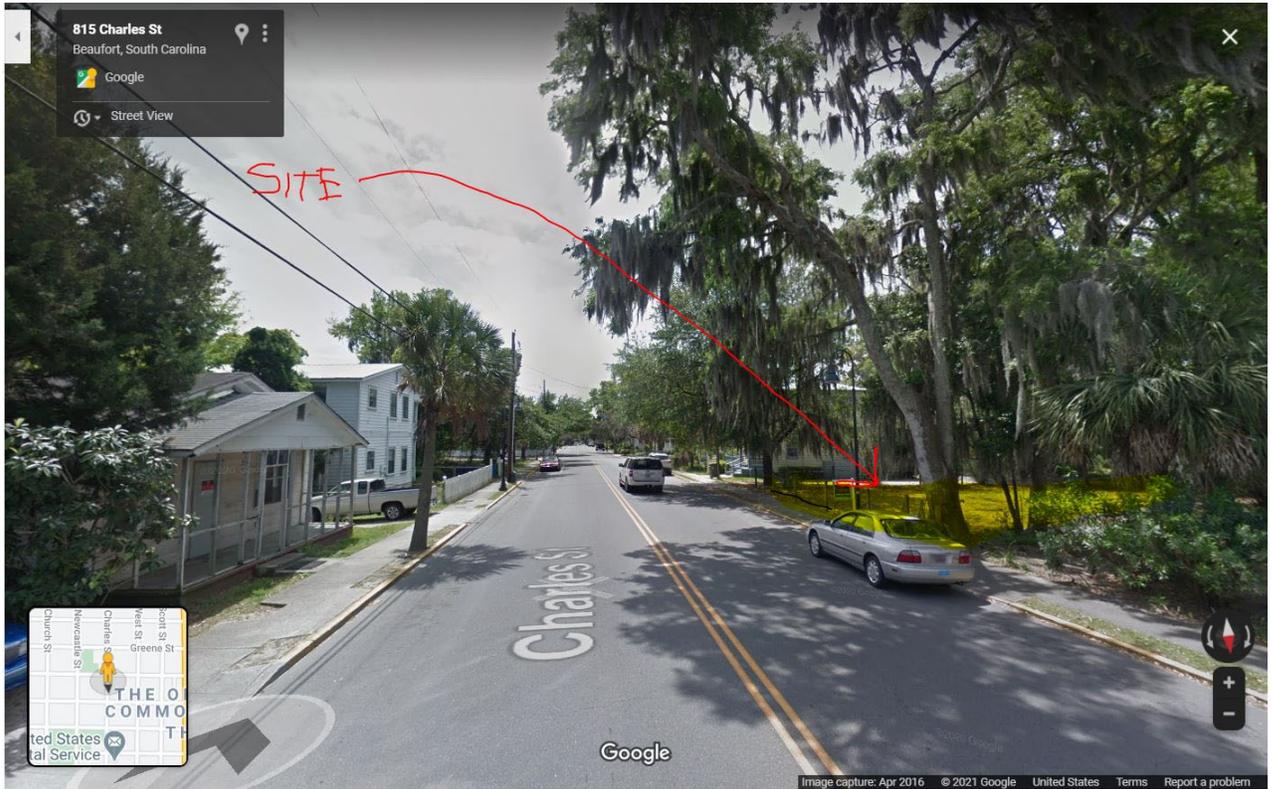
Porch floor – P.T. T&G Decking – SW6250 – Granite Peak

Porch Ceiling – Smooth plywood with 1x4 patterned trim – SW6792 – Minor Blue

Entry Door and upper level porch door – Mahogany







DURSO RESIDENCE - PROPOSED STREETSCAPE



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DATE:	01/25/2021
JOB NO.	203162
DRAWN BY:	JRC
DATE:	203162.dwg

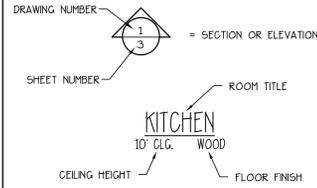
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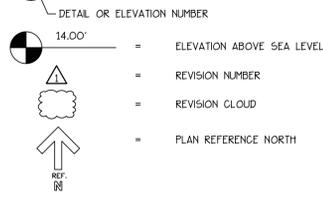
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203162

SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY
2860 = 2'-8" WIDE x 6'-0" HIGH



1 DRAWING TITLE



	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	SPEED CONTROL
	DUPLEX OUTLET
	1/2 HOT OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	QUADPLEX OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	THERMOSTAT
	TELEVISION JACK
	VENT
	VENT W/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	FLOURESCENT FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR

CONCEPTUAL RENDERING



DRAWING INDEX

- 0 COVER SHEET
- 5 SITE PLAN
- 1 FOUNDATION PLAN
- 2 FIRST FLOOR PLAN
- 3 ELEVATIONS
- 4 WALL SECTIONS/ DETAILS/ ROOF PLAN
- 5 ELECTRICAL LAYOUTS
- SP1 SPECIFICATIONS
- SP2 SPECIFICATIONS
- SP3 SPECIFICATIONS

GENERAL INFO.

AREA CALCULATIONS:
FIRST FLOOR HEATED = 1066 S.F. COVERED PORCH = 692 S.F.
SECOND FLOOR HEATED = 583 S.F.
TOTAL HEATED = 1649 S.F.

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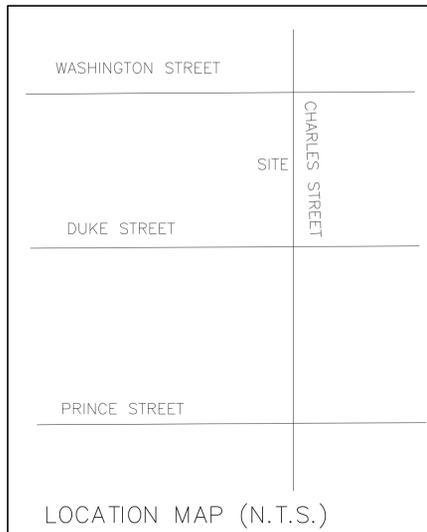
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DATE:	01/25/2021
JOB NO.:	203162
DRAWN BY:	JJC
DWG. NAME:	203162.dwg

DURSO RESIDENCE - 203162



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TREE LEGEND		
CODE	COMMON NAME	BOTANICAL NAME
PNS	PINE SHORTLEAF	Pinus echinata
PNL	PINE LONGLEAF	Pinus palustris
LO	LIVE OAK	Quercus virginiana
O	OAK	Quercus spp.
MAG	SOUTHERN MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SUB	SUGARBERRY	Celtis laevigata
EL	ELM	Ulmus spp.
HI	MOCKERNUT HICKORY	Carya spp.
BAY	BAY MAGNOLIA	Gordonia spp.
WK	WAX MYRTLE	Myrica cerifera
CH	BLACK CHERRY	Prunus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	CHINESE TALLOW-TREE	Sapium sebiferum
PO	YELLOW POPLAR	Liriodendron tulipifera
BI	BIRCH	Betula spp.
CY	BALDCYPRESS	Taxodium distichum
SY	AMERICAN SYCAMORE	Platanus occidentalis
PE	PECAN	Carya illinoensis
CR	CRAPEMYRTLE	Lagerstroemia indica
FR	FRUIT TREE	
MP	MAPLE	Morus spp.
DW	DOGWOOD	Cornus florida
GUM	SWEETGUM	Nyssa Sylvatica
WO	WATER OAK	Quercus nigra
LA	LAUREL OAK	Quercus laurifolia
TUL	TULIP TREE	Liriodendron
BJO	BLACKJACK OAK	Quercus marilandica
UNK	UNKNOWN	
CRA	CRAB APPLE	Malus sylvestris
MUL	MULBERRY	Morus
MIM	MIMOSA TREE	Albizia julibrissin
WHO	WHITE OAK	Quercus alba
TO	TURKEY OAK	Quercus cerris
RO	RED OAK	Quercus rubra
HOL	HOLLY	Aquifoliales
WIL	WILLOW TREE	Salix alba
TU	TUPELO	Nyssa yunnanensis
CHB	CHINABERRY	Melia azedarach
CW	COTTONWOOD	Populus
CL	CHERRY LAUREL	Prunus lauracerus

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK, THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 0.5 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE.
 NOTE ANY TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE AGREED UPON.

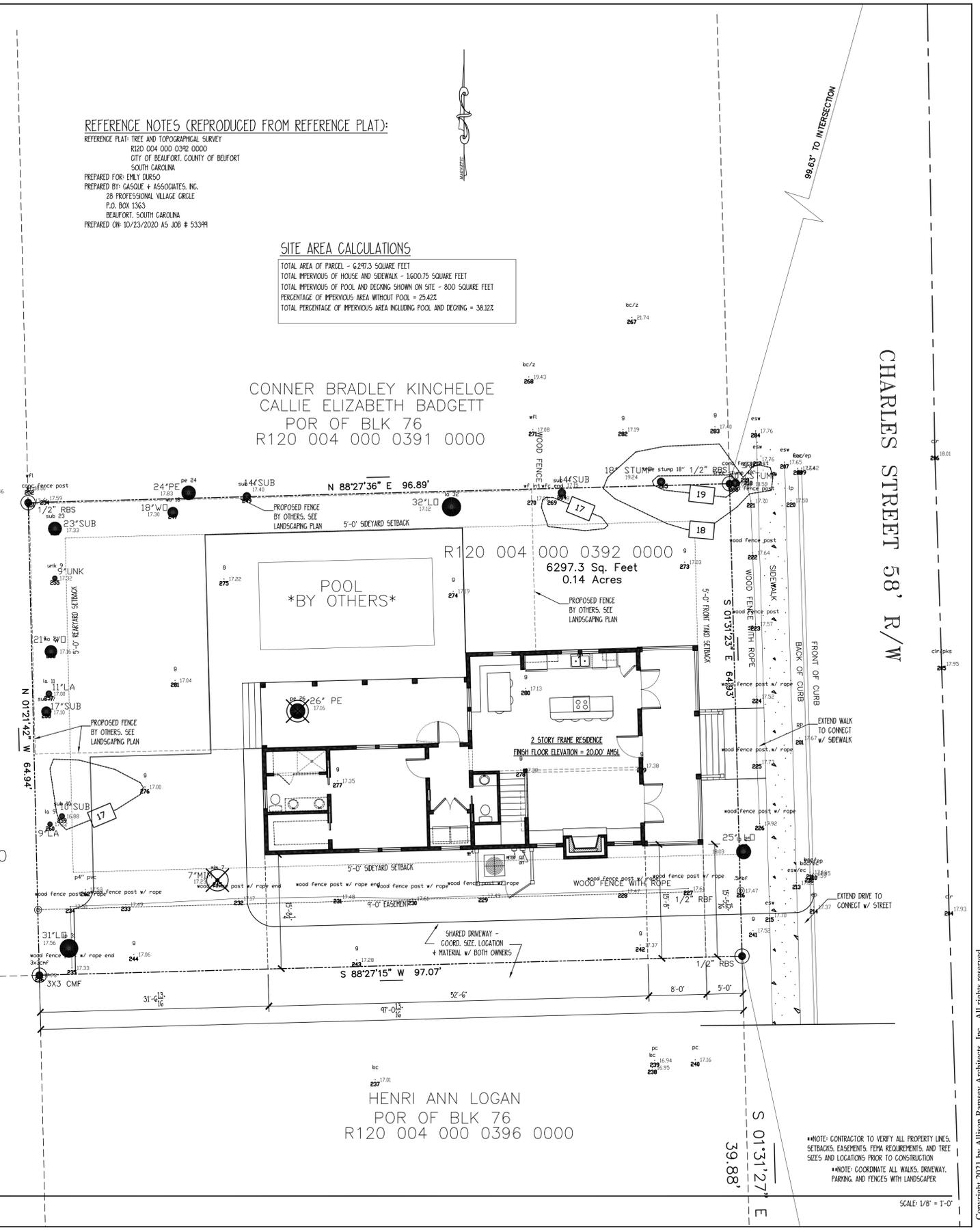
- NOTES:**
- THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 - THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
 - METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
 - LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
 - THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS; AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 - BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
 - SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
 - THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "C" AS DETERMINED BY F.E.M.A FIRM COMM-PANEL NUMBER 450026 005 D DATED SEPTEMBER 29, 1986
 - CONTOUR INTERVAL IS 1'.
 - VERTICAL DATUM IS 1929 NGVD.

- REFERENCES:**
- T.M.S. R120 004 000 0392 0000
 - PLAT BY CHRISTENSEN KHALIL DATED 05/05/2006 PLAT BOOK 113 PAGE 87 BEAUFORT COUNTY OFFICE OF THE R.M.C.

LEGEND OF SYMBOLS & ABBREVIATIONS

	FIRE HYDRANT		MVM MAIN VALVE MONUMENT
	CLEAN OUT		MH MANHOLE
	POWER POLE		GW GUY WIRE
	TELEPHONE PEDESTAL		CB CABLE BOX
	FIBER OPTIC STUB		OE OVERHEAD POWERLINE
	WATER VALVE		EDGE OF PAVEMENT
	GAS VALVE		BACK OF CURB
	WATER METER		LIGHTPOLE
	1/2" ROD SET		GAS LINE
	TREE SIZE & TYPE		CENTER LINE
	ELEVATION		CONTOUR LINE

SITE PLAN



REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):
 REFERENCE PLAT-TREE AND TOPOGRAPHICAL SURVEY
 R120 004 000 0392 0000
 CITY OF BEAUFORT, COUNTY OF BEAUFORT
 SOUTH CAROLINA
 PREPARED FOR: EMILY DURSO
 PREPARED BY: GASQUE + ASSOCIATES, INC.
 28 PROFESSIONAL VILLAGE CIRCLE
 P.O. BOX 1363
 BEAUFORT, SOUTH CAROLINA
 PREPARED ON: 10/23/2020 AS JOB # 53399

SITE AREA CALCULATIONS
 TOTAL AREA OF PARCEL - 6297.3 SQUARE FEET
 TOTAL IMPERVIOUS OF HOUSE AND SIDEWALK - 1600.75 SQUARE FEET
 TOTAL IMPERVIOUS OF POOL AND DECKING SHOWN ON SITE - 800 SQUARE FEET
 PERCENTAGE OF IMPERVIOUS AREA WITHOUT POOL = 25.422
 TOTAL PERCENTAGE OF IMPERVIOUS AREA INCLUDING POOL AND DECKING = 36.122

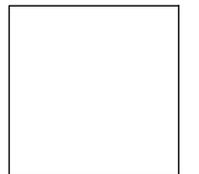
KEVIN & NANCY HADLEY
 POR OF BLK 76
 R120 004 000 0390 0000

MURIEL W SMALLEY
 POR OF BLK 76
 R120 004 000 0397 0000

HENRI ANN LOGAN
 POR OF BLK 76
 R120 004 000 0396 0000

*NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION
 *NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER

SCALE: 1/8" = 1'-0"

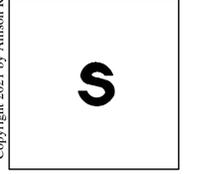


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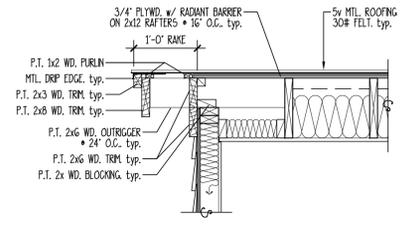
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 1003 Charles St.
 Beaufort, SC 29902
 (843) 986-0359
 www.allisonramseyarchitect.com

THIS PLAN HAS BEEN REVIEWED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURE BOARD OF SOUTH CAROLINA. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED TO HIM OR HER BY THE CLIENT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.
 *NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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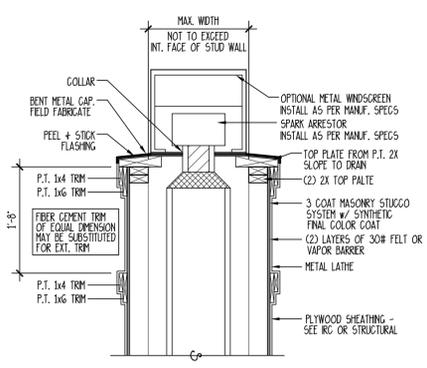
DATE:	07/25/2021	JIC
JOB NO.:	203162	JIC
DRAWN BY:	JIC	JIC
DATE:	203162.dwg	JIC



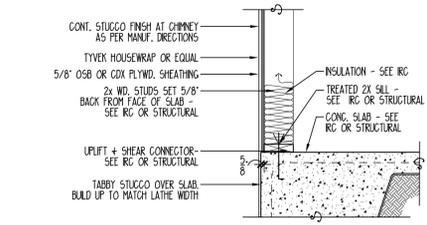
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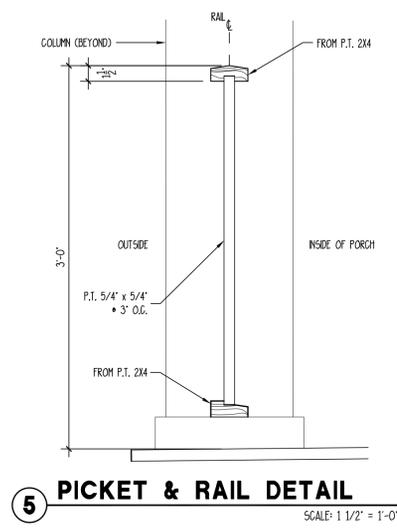
4 RAKE DETAIL
SCALE: 3/4" = 1'-0"



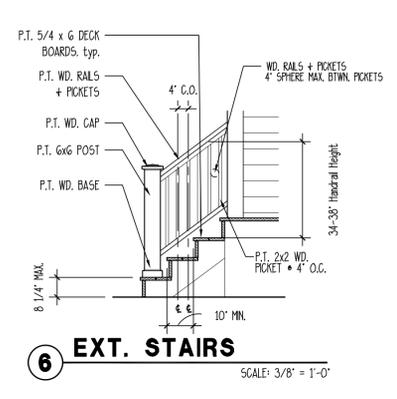
3 CHIMNEY CAP SECTION
SCALE: 3/4" = 1'-0"



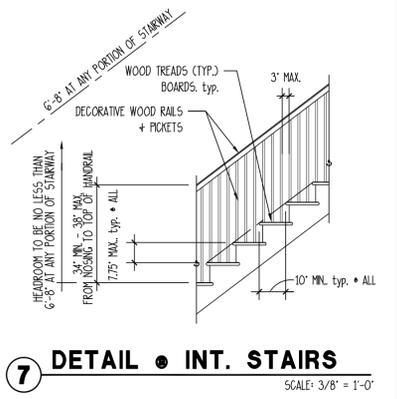
2 CHIMNEY BASE DETAIL
SCALE: 3/4" = 1'-0"



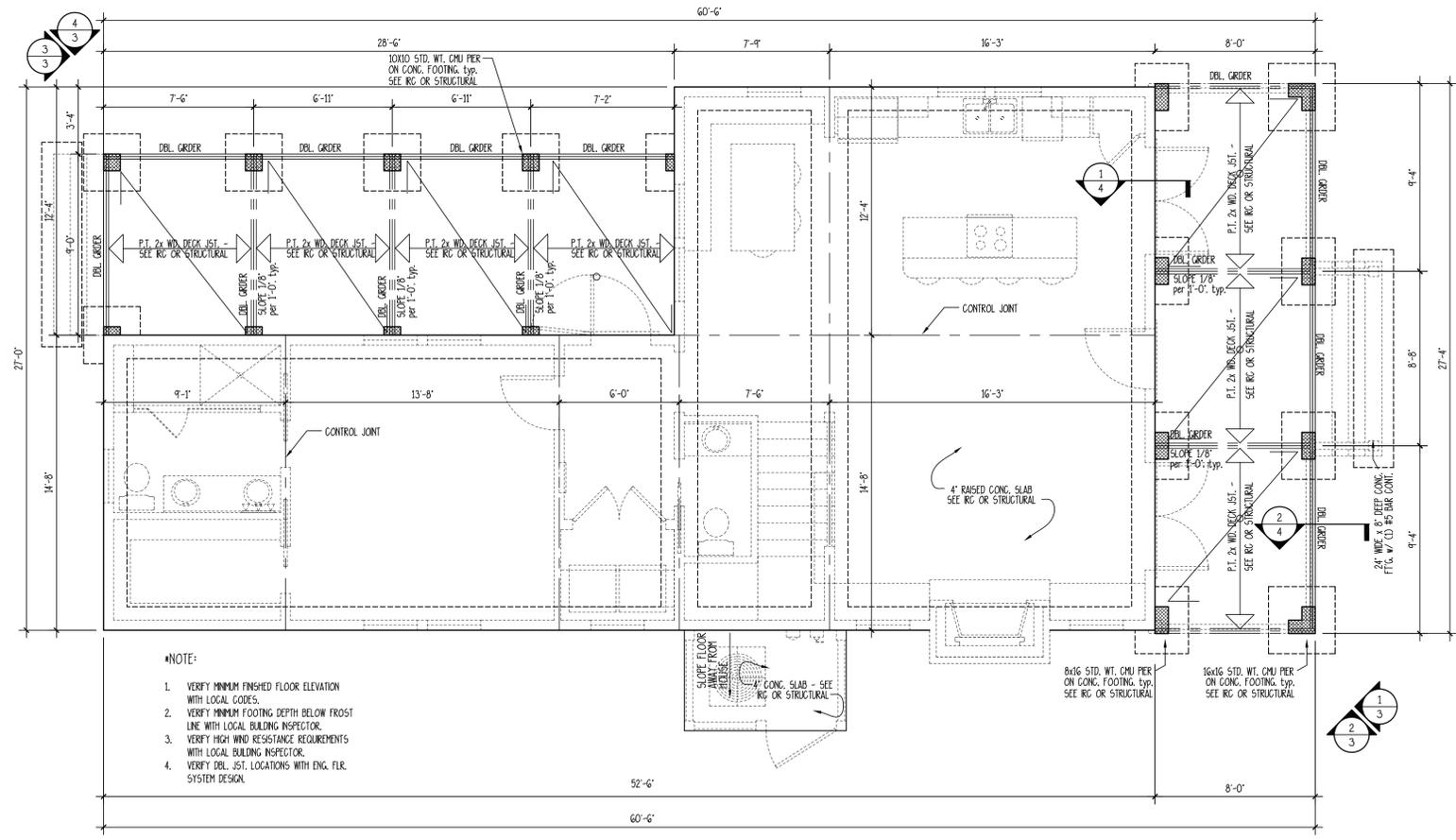
5 PICKET & RAIL DETAIL
SCALE: 1 1/2" = 1'-0"



6 EXT. STAIRS
SCALE: 3/8" = 1'-0"



7 DETAIL INT. STAIRS
SCALE: 3/8" = 1'-0"



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- NOTE:**
1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
 2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
 3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
 4. VERIFY DEL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN.

DURSO RESIDENCE
203162

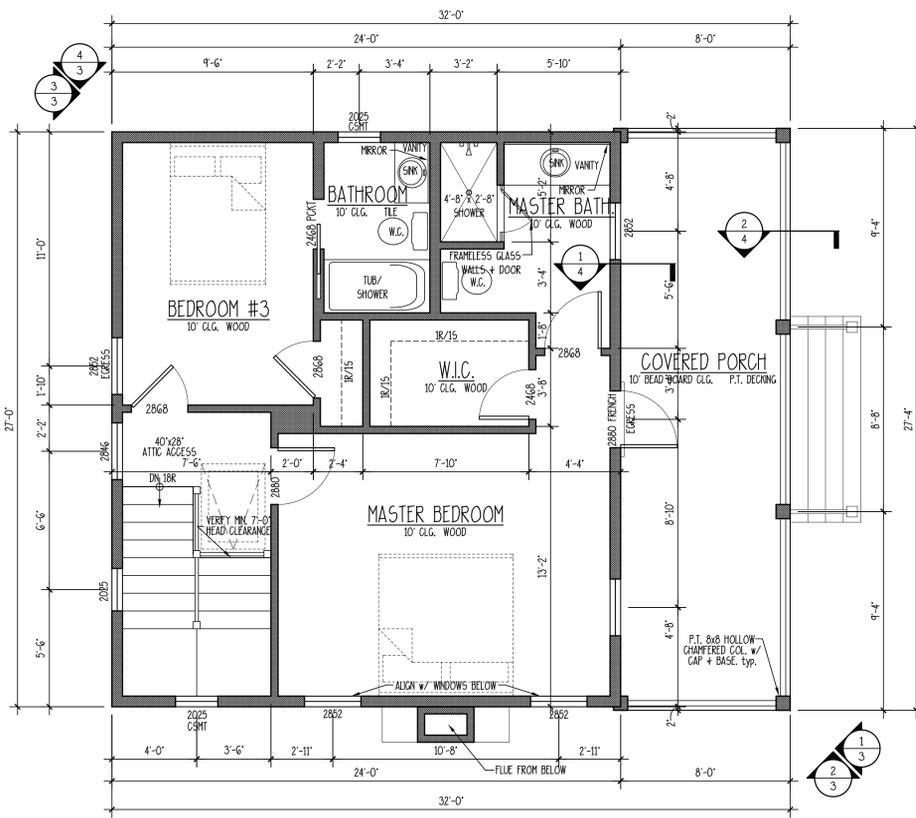
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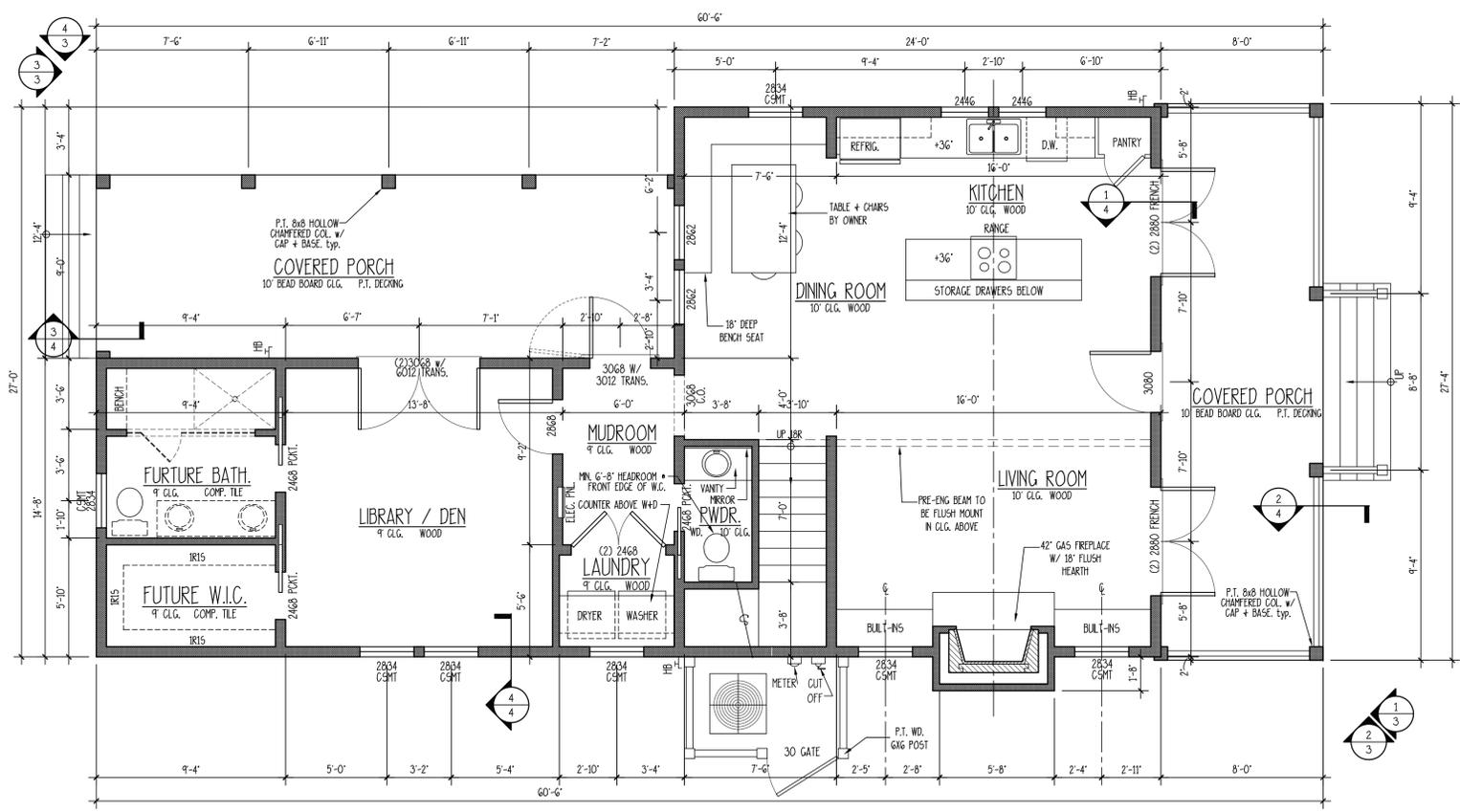
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2 SECOND FLOOR PLAN

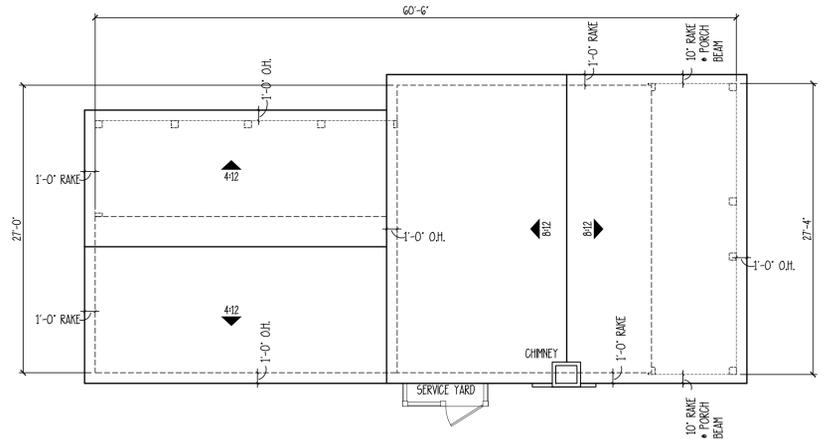
SCALE: 1/4" = 1'-0"

- *NOTE:
1. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
 2. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



3 ROOF PLAN

SCALE: 1/8" = 1'-0"

- *NOTE:
1. ALL PENETRATIONS TO BE LOCATED • REAR OR SIDES OF HOUSE AS POSSIBLE.
 2. ALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
 3. METAL ROOF SEAMS NOT TO EXCEED 16" O.C.
 4. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" N HEIGHT

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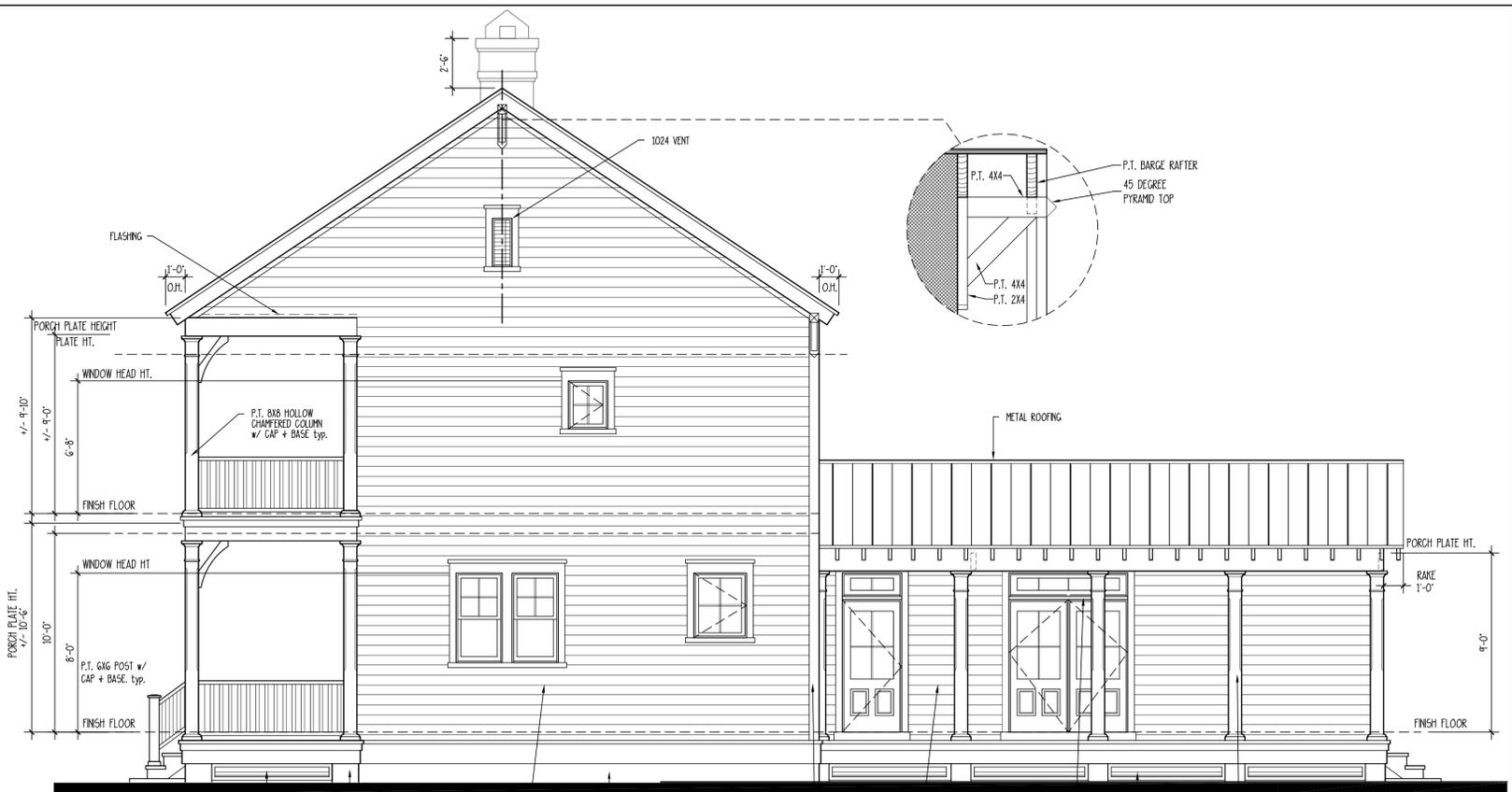
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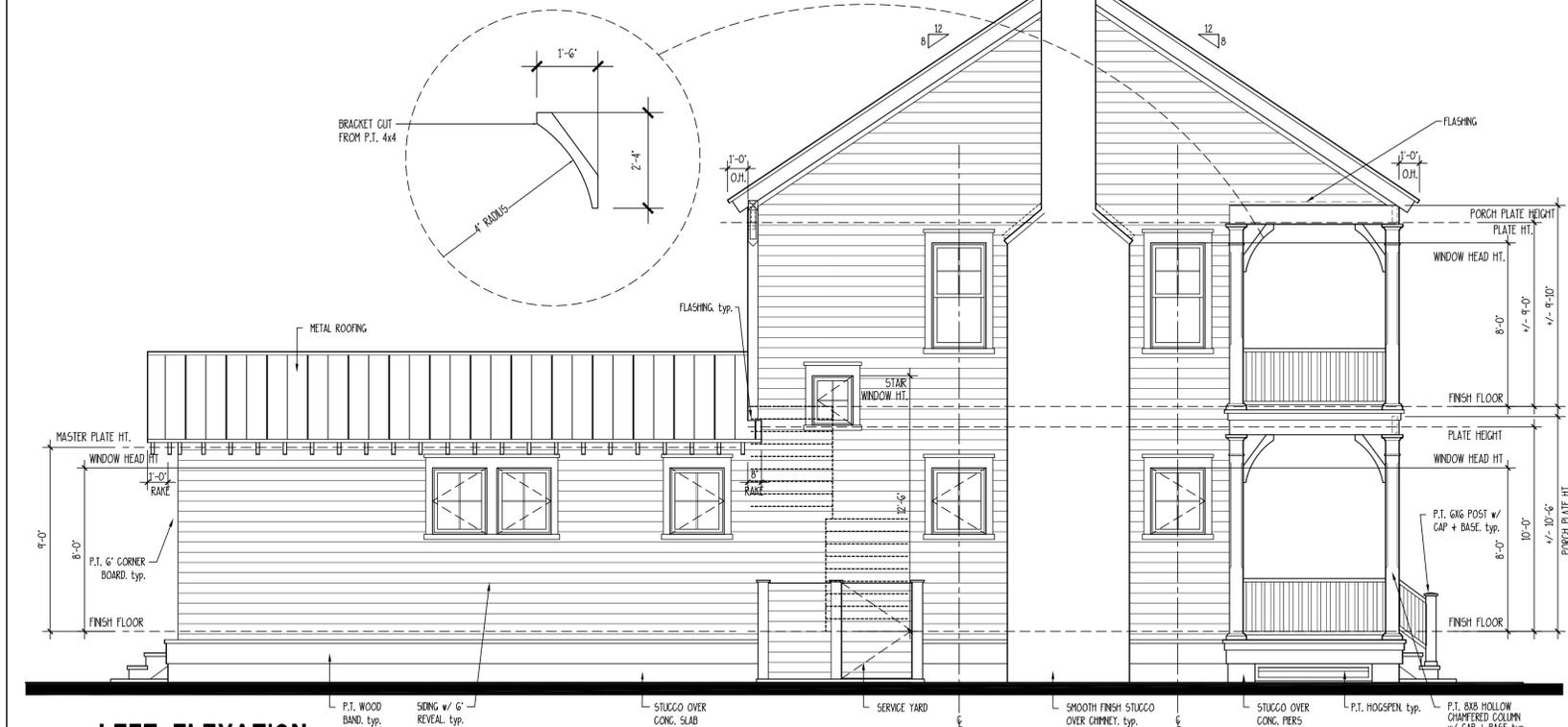
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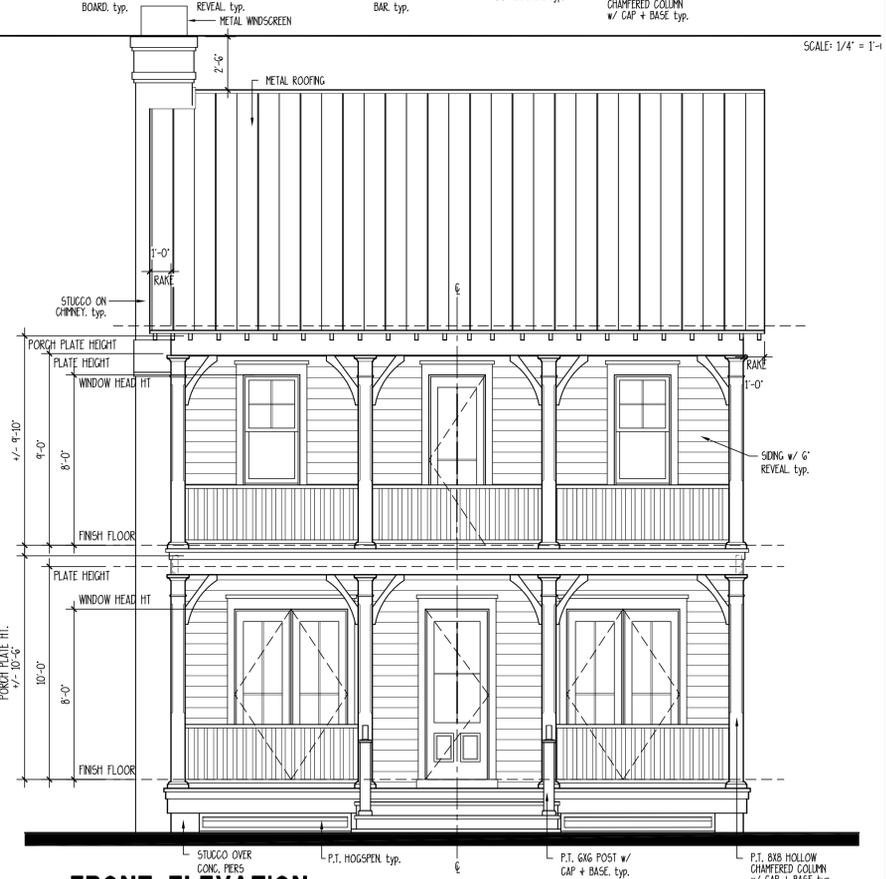
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



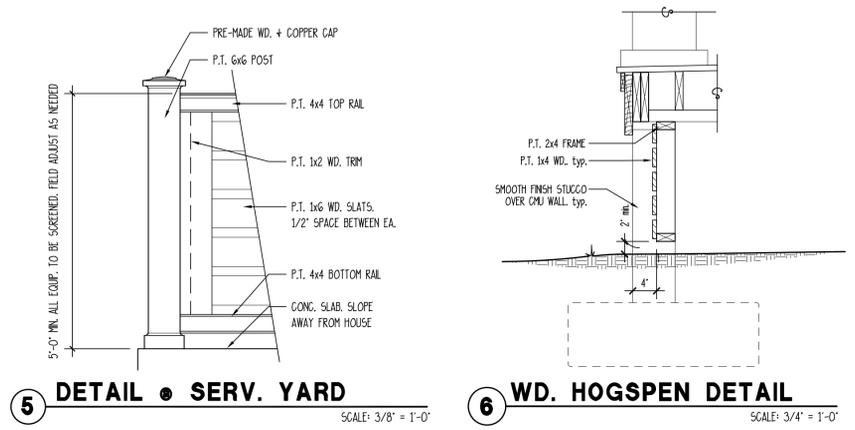
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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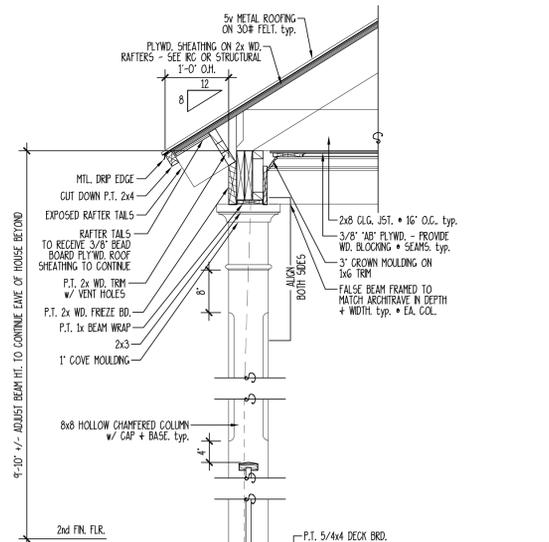
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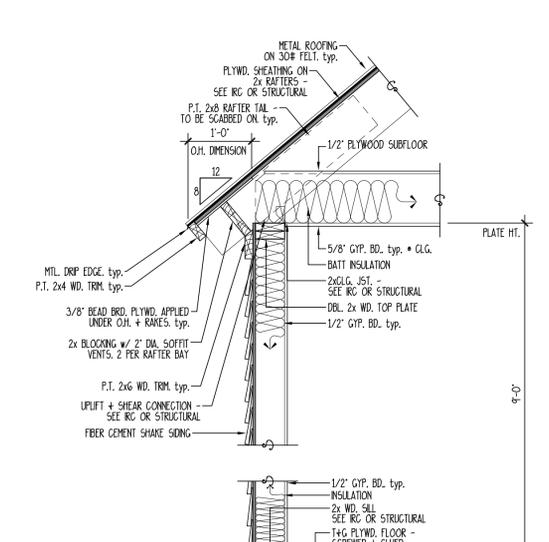


5 **DETAIL • SERV. YARD**
SCALE: 3/8" = 1'-0"

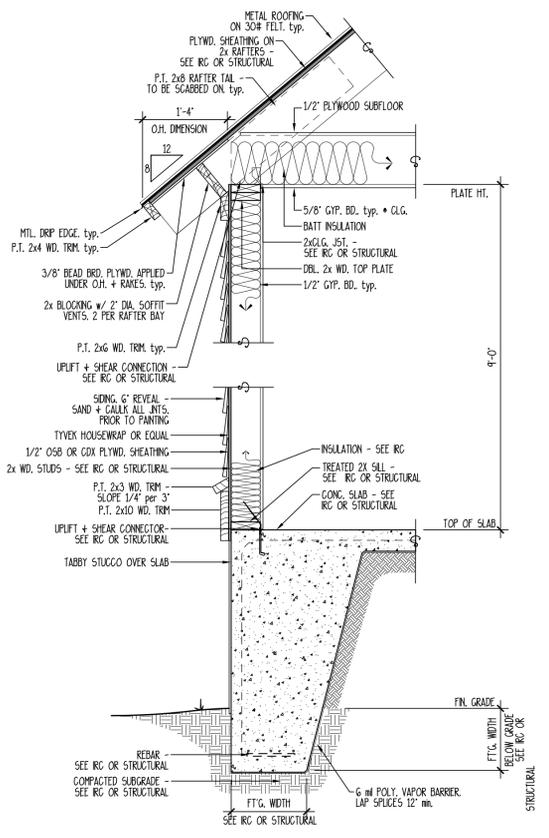
6 **WD. HOGSPEN DETAIL**
SCALE: 3/4" = 1'-0"



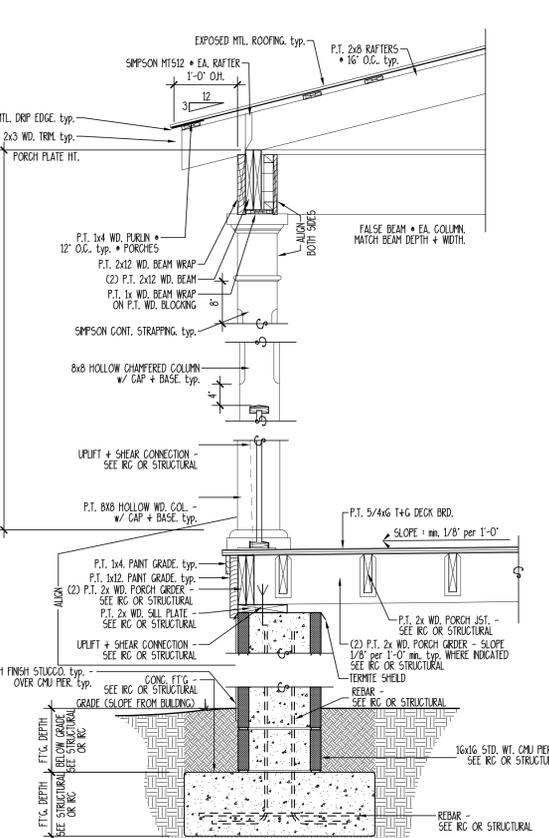
2 **TYPICAL PORCH SECTION**
SCALE: 3/4" = 1'-0"



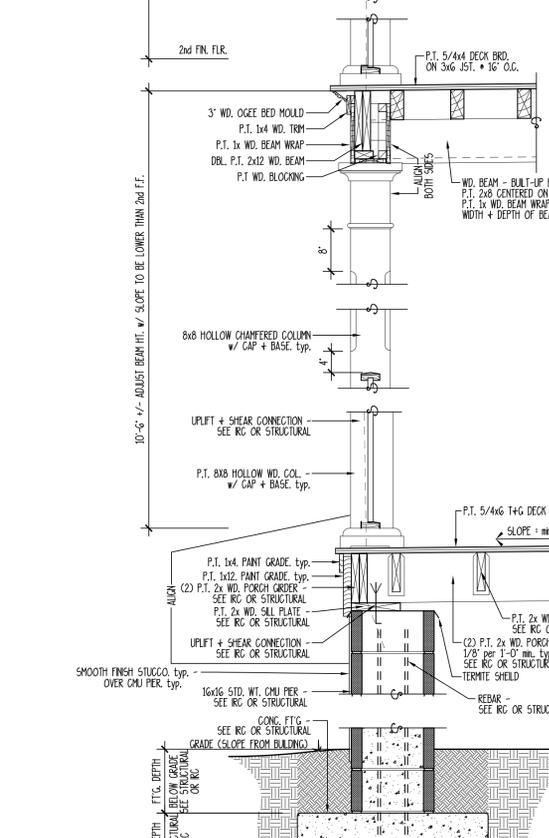
1 **TYPICAL WALL SECTION**
SCALE: 3/4" = 1'-0"



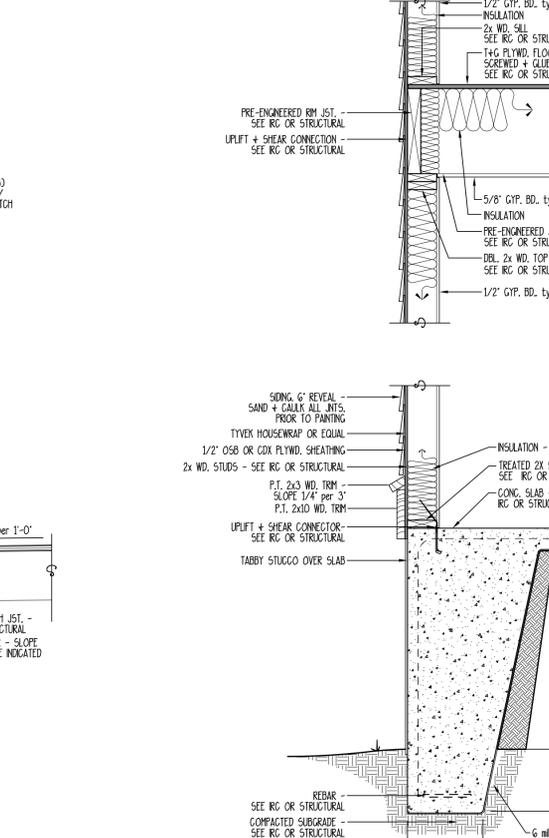
4 **TYPICAL WALL SECTION**
SCALE: 3/4" = 1'-0"



3 **TYPICAL PORCH SECTION**
SCALE: 3/4" = 1'-0"



2 **TYPICAL PORCH SECTION**
SCALE: 3/4" = 1'-0"



1 **TYPICAL WALL SECTION**
SCALE: 3/4" = 1'-0"

NOTES:
1. VERIFY MIN. FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING CODES
2. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.

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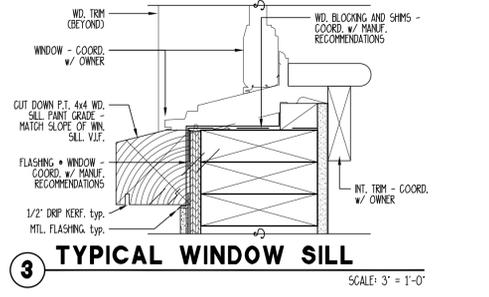
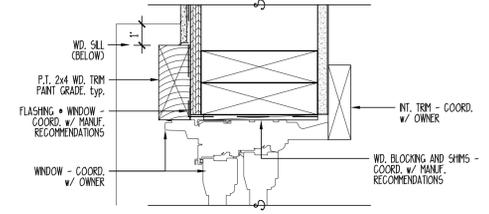
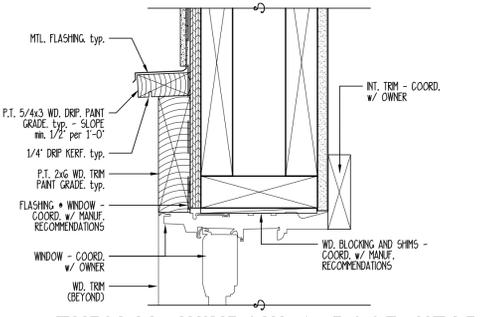
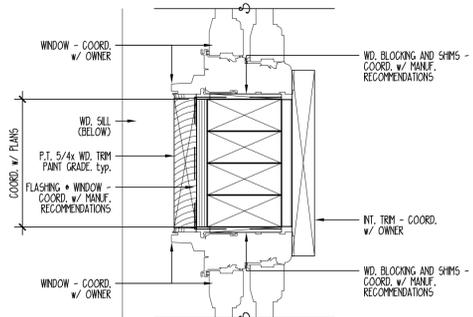
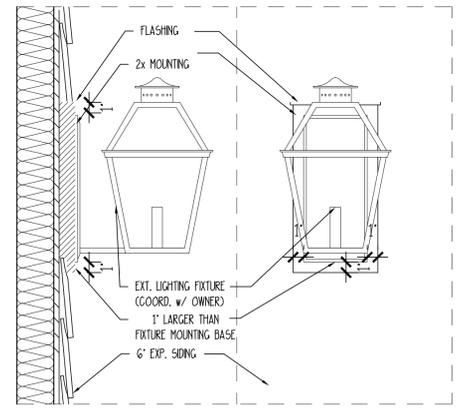
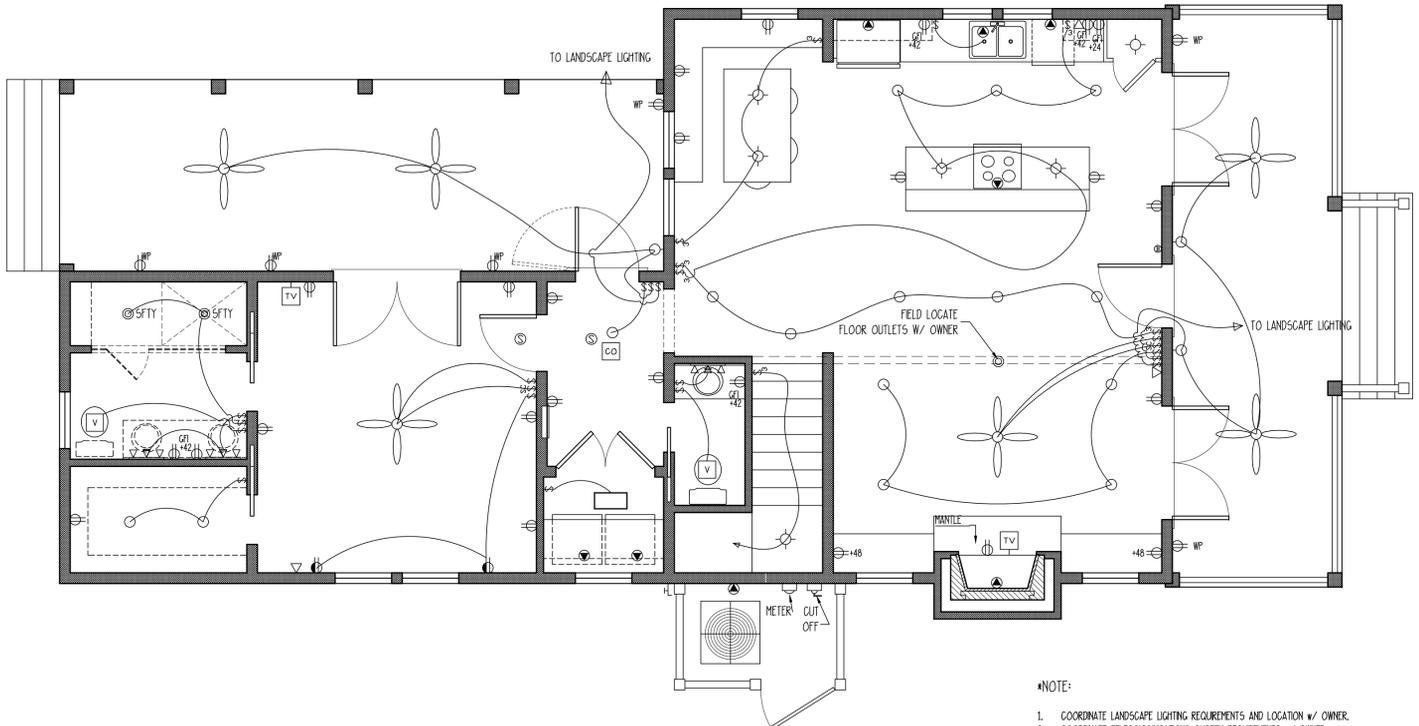
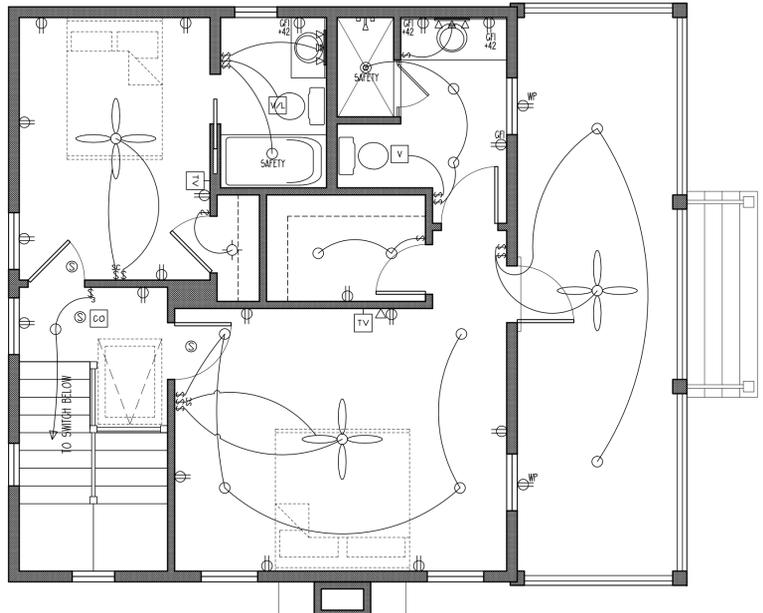
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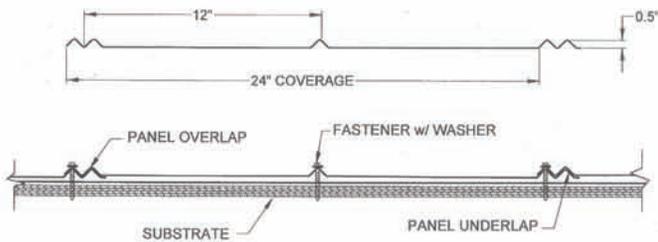
⊖	SINGLE POLE SWITCH
⊖⊖	THREE WAY SWITCH
⊖⊖⊖	FOUR WAY SWITCH
⊖⊖⊖⊖	DIMMER SWITCH
⊖⊖⊖⊖⊖	SPEED CONTROL
⊖⊖⊖⊖⊖⊖	DUPLEX OUTLET
⊖⊖⊖⊖⊖⊖⊖	1/2 HOT OUTLET
⊖⊖⊖⊖⊖⊖⊖⊖	WATER PROOF OUTLET
⊖⊖⊖⊖⊖⊖⊖⊖⊖	GROUND FAULT OUTLET
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	QUADRUPLX OUTLET
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	SPECIALTY OUTLET
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	FLOOR OUTLET
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	TELEPHONE JACK
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⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	SURFACE MOUNTED FIXTURE
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	RECESSED FIXTURE
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	WALL MOUNTED FIXTURE
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	FLOOD LIGHT
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	FLUORESCENT FIXTURE
⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖⊖	CEILING FAN
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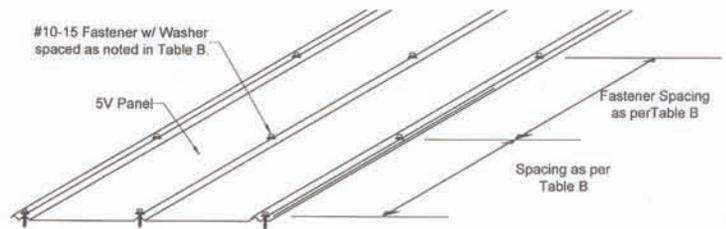
5-V METAL ROOFING

Panel Details

- 24" Total Coverage with 1/2" Rib Height
- 26 & 24 Gauge Available
- 15 Available colors in Stock
- Available in Galvalume
- Exposed Fasteners
- Agricultural, Residential & Commercial Use
- Applies Over Solid Substrates with the use of Underlayment
- Suggested minimum Roof Slope 3:12



FASTENING PATTERN AT FIELD, EAVE & RIDGE OF PANEL



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Telephone: 843.208.2433 • Fax: 843.208.2430

Website: www.4mmetals.com



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26 GA. Low Gloss Colors — Selection Guide



REGAL WHITE



DOVE GRAY



SLATE GRAY



ASH GRAY



DARK GRAY



COLONIAL RED



EVERGREEN



TERRA COTTA



SANDSTONE



SIERRA TAN



MANSARD BROWN



MEDIUM BRONZE



DARK BRONZE



BLACK



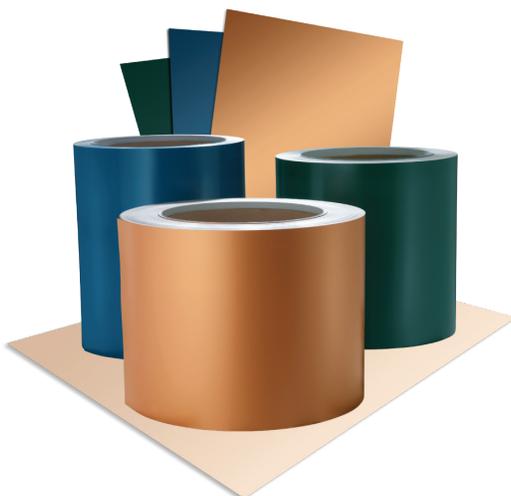
ANTIQUE



Metallic
COPPER **



Non-Painted
ACRYLIC COATED GALVALUME®



COOLR® Makes A Roof Cooler!

COOLR® is a family of sustainable, energy efficient roofing products comprised of 70% Kynar 500® or Hylar 5000® pre-painted metal and acrylic coated Galvalume®. COOLR® is available in a wide variety of colors, gauges, widths and substrates for low and steep slope applications.

COOLR® Is:

- **Highly Reflective—** Available with emissivity as high as 90% and reflectivity exceeding 25%.
- **Exceptionally Durable—** Proven to last over 30 years with minimal maintenance and is offered with a non-prorated warranty for most applications. Paint colors retain 95% of their initial reflectance and emittance over time.
- **Made of Metal That Has Recycled Content & Is Recyclable—** Environmentally friendly, typically having a minimum recycled content of 25%. 100% recyclable at the end of a long, useful life.
- **Available Quickly—** Stocked in volume for fast delivery.

* Available at a slight price premium.
* Copper is a standard gloss product.

Colors shown are matched as accurately as possible, but may vary slightly from finished product. Please contact your representative for more information.

Certified Laboratory Test Report Summary & Stock Availability Matrix

			ISR	EMI	3 Yr.	SRI	40.375"	48.375"
L/S Regal White	★	L	0.66	0.87	0.66	80	●	●
L/S Dove Gray	★	L	0.49	0.87	-	56	●	●
L/S Slate Gray	★	L	0.40	0.85	0.40	43	●	●
L/S Ash Gray	★	L	0.49	0.87	-	56	●	●
L/S Dark Gray	★	L	0.32	0.86	0.33	33	●	●
L/S Colonial Red	★	-	0.29	0.85	0.27	28	●	●
L/S Evergreen	★	-	0.26	0.87	0.26	25	●	●
L/S Terra Cotta	★	L	0.37	0.88	0.36	40	●	●
L/S Sandstone	★	L	0.60	0.87	-	71	●	●
L/S Sierra Tan	★	L	0.29	0.86	0.30	29	●	●
L/S Mansard Brown	★	-	0.27	0.87	-	27	●	●
L/S Medium Bronze	★	L	0.30	0.86	0.32	30	●	●
L/S Dark Bronze	★	-	0.26	0.85	0.25	24	●	●
L/S Black	★	-	0.28	0.85	0.27	27	●	●
L/S Antique	★	-	0.28	0.85	0.27	27	●	●
Copper	★	L	0.49	0.86	0.47	56	●	●
Acrylic Coated Galvalume	-	-	0.67	0.14	0.55	56	●	●

	Accelerated Weathering ASTMG 23	Salt Spray ASTMB 117	Humidity ASTMD 2247	Formability ASTMG 522	Adhesion ASTMD 3359	Pencil Hardness ASTMD 3363	Specular Gloss ASTMD 523	Impact Resistance ASTMD 2794	Abrasion Resistance ASTMD 968	Tunnel Test ASTME 84	Acid Resistance ASTMD Procedure 72 (Independent Of Substrate)
Galvalume®	2,000 Hours Chalk: #8 Color: 2AE	2,000 Hours Scribe: 7 1/16" Blisters Field: 10 No Blisters	2,000 Hours Rating: 10 No Blisters	1/8" Mandrel No Cracking No loss of adhesion	No loss of adhesion	HB Minimum	85° = 5-15	3x Metal Thickness in Inch-lb No loss of adhesion	Total Sand = 67 liters Plus or minus 10 liters	Class A Coating	20% Sulfuric Acid 18 hour - No Visible Change

Notes:

- All of Sheffield's COOLR® metal is painted with a .20 mil primer and .70-.90 mil Top Coat of 70% Kynar 500® or Hylar 5000®. The reverse side has a .20 primer and .30-.40 backer coating.
- For low slope roofing to meet Energy Star requirements, the ISR must be ≥0.65. After 3 years, the solar reflectance must be ≥0.50.
- For steep slope roofing to meet Energy Star requirements, the ISR must be ≥0.25. After 3 years, the solar reflectance must be ≥0.15.
- For low slope roofing to meet LEED 2009 requirements, the SRI must be ≥78.
- For steep slope roofing to meet LEED 2009 requirements, the SRI must be ≥29.
- Low slope is defined as ≤2:12.
- Steep slope is defined as >2:12.

Key:

- = Stocked Item
- ★ = Energy Star Compliant
- L = LEED 2009 Compliant
- ISR = Initial Solar Reflectance
- EMI = Emissivity
- SRI = Solar Reflectance Index

Represented on this chart are our most popular, high quality architectural finishes. We are proud to offer PVDF fluoropolymer coatings. These rich and vibrant colors are produced with either Kynar 500® or Hylar 5000® resins, which provides superior color retention, and allows us to offer non-prorated coating warranties for most applications.

We carry an extensive inventory of painted aluminum and Galvalume® steel, as well as, acrylic-coated Galvalume®. Custom color matching and specialty paint systems are available upon request. Your sales representative can supply you with additional information on these and our other products.

Oil canning is an aesthetic issue and is an inherent part of light gauge cold formed metal products. By using coil that has been processed properly, designing for thermal movement, following stringent specifications for installation and proper handling most oil canning can be eliminated. Oil canning is not grounds for coil/panel rejection.

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Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
14 April 2021

1 SUMMARY OF REQUEST

808 Charles Street, New Construction

Applicant: Cooter Ramsey / Allison Ramsey Architects

The applicant is requesting Final approval for construction of a single-family residence on a vacant parcel.

The subject property is in the Historic Preservation Neighborhood.

Background: This is the first submission for the currently proposed construction of a single-family residence.

2 FACTS

Property Address:	808 Charles Street
Parcel ID:	R120 004 000 0392 0000
Case Number:	21-08 HRB.1
Applicant:	Cooter Ramsey / Allison Ramsey Architects
Type of Request:	New construction of single-family residence
Zoning:	T4-N
Use:	Vacant

District Development Standards for T4-N:

- **Minimum Lot Size:** *n/a*
- **Setback requirements – Primary Structure:**
 - *Front – 0’ min., 15’ max.*
 - *Rear setback – 10’ min.*
 - *Side Interior – 5’*
- **Frontage Build out:** 60% min., 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed
- **Permitted Uses:** Single Family Dwelling is permitted by right in the T4-N zoning classification.

References:

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement



3 STAFF COMMENTS

Staff Acknowledgements

- The proposed development meets all Beaufort Code Section 2.4.1 Development Standards for the T4-N district with one exception as referenced in Staff Condition 1 below.
- The proposed development meets all Section 4 Building Design and Infill Standards for single family detached homes as referenced in Section 4.5.4.
- No specimen trees or Landmark Trees are impacted or removed due to this proposed development. A Certified Arborist Report is not required.
- Staff feels that this project is a positive addition to the Historic Preservation Neighborhood. The proposed residence draws upon the proportion and number of bays in surrounding buildings as required in Section 4.6.1.B of the Beaufort Code and page 42 of the Beaufort Preservation Manual.
- Staff finds the proposed use of cementitious siding, trim, pickets, fascia, etc., to be acceptable on this structure since it is new construction. Similarly, Staff finds the proposed 5V metal roof to be acceptable for this structure since it is new construction.
- Staff is in support of the proposed hogspen lattice screening and the proposed mechanical screens.

Staff Conditions:

1. Section 2.4.1.A.4 of the Beaufort Code requires a 60% minimum and 85% maximum frontage build-out in the T4-N district. The lot frontage is 64.9 feet, and the proposed residence is 27.4 feet wide at the frontage. Per Section 2.5.1.B.5, 6 feet of the 12-foot shared drive is exempt from the frontage build-out requirement and may be subtracted from the total lot width to determine the frontage build-out percentage. The resulting frontage build-out percentage of 45.9% (27.4 feet/58.9 feet) does not meet the 60% minimum requirement.

However, Section 9.10.2.A.3.A grants the Historic Review Board (HRB) the authority to authorize a variance of up to 35% from any numerical standard set forth in Section 2. The 35% variance calculates out to a minimum frontage build-out of 39%, resulting in the proposed frontage build-out of 45.9% being in compliance. The design exception requirement of public notice in a local newspaper and posted notice on the property 15 days prior to the public meeting has been met.

The Board's consideration of the variance should be in an action prior to consideration of the request for final approval. Section 9.10.2.A.3.b. provides the HRB with the following review criteria:

- b. **Review Criteria:** The HRB may approve an application for a Design Exception where it reasonably determines that there will be no significant negative impact upon residents of surrounding property, or upon the general public. The board shall consider the following criteria in its review:*

- i. **Compatibility:** The proposed exception is appropriate for its location. It is compatible with the character of surrounding properties and the development permitted by the zoning of the surrounding properties, and will not reduce property values of surrounding properties.*
 - ii. **No Adverse Impact:** The design of the proposed exception minimizes adverse effects including visual impacts of the proposed use on surrounding properties; furthermore, the proposed exception does not create a nuisance for surrounding properties.*
 - iii. **Consistency with Adopted Plans:** The proposed development is in general conformity with the City's Comprehensive Plan, Civic Master Plan and other plans officially adopted by the City.*
2. Page 28 of the Beaufort Preservation Manual Supplement states that "The rhythm of the bays, as established by the porch columns, should follow the rhythm of the solids and voids of the house façade behind it." The centerlines of the doors on the first-floor front porch and the doors on the side porch do not align with the centerlines of the proposed column bays in front of them. Applicant to ensure alignment in these areas.
3. Regarding proposed windows, Staff understands that Marvin Integrity has been replaced by Marvin Elevate. Staff is in support of both Marvin Integrity and Marvin Elevate for this project. Since cut sheets have not been provided, applicant to note that if windows are wood windows, they must follow the guidelines on page 37 of the Preservation Manual Supplement, which state that "In the case of new construction, use only true muntins for all wood windows in the proposed Historic Beaufort District". If the windows are to be aluminum or fiberglass clad, the windows should have simulated divided lights with shadow bars.
4. P. 30 of the Beaufort Preservation Manual Supplement states that "In the case of ... a new porch floor, tongue and groove wood flooring laid with a maximum 1/16" gap between boards is recommended to allow for expansion and prevent buckling. This should be fully back-primed prior to installation....The ends of the porch floor boards should receive wood edging." Applicant to ensure and demonstrate compliance with this section of the Supplement. Staff recommends the applicant use tongue and groove wood flooring on both the first and second level porches.
5. Staff recommends that the applicant restudy the detailing of the stucco walls around the chimney and consider adding a drainage plane behind stucco with ventilation at top and bottom to elongate the lifespan of the stucco and to provide appropriate ventilation over the proposed wood frame construction. Applicant to ensure proper and appropriate weather resistive barrier (WRB) for stucco over wood wall framed system.
6. No cut sheet was submitted for exterior doors, but the entry door and upper-level porch door are noted as Mahogany on the Color and Material List. Applicant to clarify if these doors and the exterior doors on the rear porch are all proposed to be wood doors. Staff supports wood doors with true divided lights. Applicant to submit cut sheet for doors or more detailed drawings of doors that indicate proposed profiles, panels, muntins, etc.
7. Applicant to clarify the proposed color of the siding, trim, and columns. The number included on the application is actually the number for Sherwin Williams "Classic French Gray", but the color is labeled as "White" in the application. Staff supports the use of white but asks the applicant to

clarify this color selection so that the record for this project is correct. Staff is otherwise in support of the proposed color selections.

8. Staff prefers that the porch column and foundation details be altered so that the column base extents align with the outside face of the foundation wall below. The top of the first-floor column is correctly detailed, as it aligns with the outside face of the architrave above it. Since the columns are not tapered, the outside face of the second-floor column and the outside face of the first-floor column should not align. Rather, the second-floor column should be of a slightly smaller size and should be aligned with the centerline of the first-floor column below it. The neck of the second-floor column should then align with the outside faces of the architrave above.
9. Applicant to submit cut sheets for final doors, windows, siding, railings, exterior ceiling fans, and all exterior lighting fixtures to Staff for review once finalized.

STAFF RECOMMENDATION:

Final Approval with noted conditions.