



AGENDA

The City of Beaufort

HISTORIC DISTRICT REVIEW BOARD

Wednesday, May 13, 2020, 2:00 P.M.

~~City Hall, Planning Conference Room — 1911 Boundary Street, Beaufort, SC~~

Please note, this meeting will be conducted electronically via Zoom and broadcasted via livestream on Facebook. You can view the meeting live via Facebook at the City's website www.cityofbeaufort.org

STATEMENT OF MEDIA NOTIFICATION: "In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting."

I. Call to Order:

II. Minutes:

A. Minutes of the April 8, 2020 Meeting

III. Old Business:

IV. Review of Full Board Projects:

A. 1114 Greene Street, PIN R120 004 000 0274 & 0275 00000, Alterations and Additions

Applicant: Johan Nimand, JHN Residential Building Design (20-15 HRB.1)

The applicant is requesting approval to construct a new screened porch and addition.

B. 501 Carteret Street, PIN R120 004 000 0731 0000, New Construction.

Applicant: Joel Newman (20-18 HRB.1)

The applicant is requesting approval to convert existing building into a 12-unit hotel.

V. New Business

VI. Discussion

VII. Adjournment

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.



Historic District Review Board

Meeting Minutes – April 8, 2020

1 CALL TO ORDER

A regular meeting of the Historic District Review Board was held via Zoom on Wednesday, March 11, 2020 at 2:00 pm.

2 ATTENDEES

Attendees included Board members including Vice-Chairman John Dickerson, Katherine Pringle, and Chuck Symes, and staff members Jeremy Tate, Heather Spade, and David Prichard.

Absent was Edward Mouton and Bill Allison.

3 APPROVAL OF MINUTES

Mr. Symes had the following comments:

1. He likes the format a lot and appreciates the person who thought of it.
2. He said he did some learning to learn the difference between a transcription and minutes. What we have here is a good example of minutes that are really well done.
3. The discussion part should also summarize as opposed to be more detailed. His biggest concern with the current minutes is the detail of them. If we need to go back into the record and look at what that is are examples of what we've done the last few times. If in fact, the City is keeping an audio file of these meetings, at the top of the minutes or somewhere appropriate we should state that meeting is online and put the information where it is available, so there is a transcript to help us in the future.

Mr. Prichard addressed the Chairman and said the City would also like to put in the minutes for each agenda item the time when that item started in the audio/video so if someone is interested in a specific item, they can go straight to it.

Mr. Symes added that in the future meetings, if we have an old item coming up that we actually get a transcription of that particular item so that would help us review and make a better decision the next time it comes up. Board agreed as well as Mr. Prichard.

Motion: Mr. Symes made a motion, seconded by Ms. Pringle, approve the April 8, 2020 minutes. The motion passed unanimously.

4 PUBLIC HEARING

1. 905 Port Republic Street (PIN R121 004 000 0859 0000) - Demolition

Mr. Symes said, “the City told you had to, so you should probably agree to it”. Mr. Johnson disagreed because he never agreed to this; it was an issue from day one. Mr. Symes said, “and that’s why we have this problem”. Mr. Prichard said the ZBOA has the latitude on granting variances and setting conditions for granting the variance. If the ZBOA made that a condition allowing you to build the accessory structure before building the primary structure, then that’s a condition of the variance. Mr. Johnson said, “this is doesn’t make sense and it doesn’t seem lawful”. Mr. Prichard per the ordinance, you didn’t get a variance without the condition.

Motion: Mr. Symes made a motion, seconded by Ms. Pringle, to table the application until we get a complete site plan, complete drawing of the primary structure that goes on Charles Street, so we know what’s going there.

Mr. Tate asked Mr. Symes to use the word *defer* and not *tabled*. Symes amended his motion to say, *defer*.

Motion: Mr. Symes made a motion, seconded by Ms. Pringle, to defer the application until we get a complete site plan, complete drawing of the primary structure that goes on Charles Street, so we know what’s going there.

The motion passed unanimously.

Ms. Spade said there are a few Facebook comments she feels need to be addressed. Mr. Dickerson said we can review them. The comment that says, “requiring all of the information to come back before us before anything can move forward” by **Mr. Montgomery and Ms. Jenkins**. We will have their comments incorporated into the minutes. We addressed all of this because it has to come back, Mr. Dickerson said. Board members and staff all agree.

Mr. Symes asked Ms. Spade to provide the board members with the minutes from the HRB meeting where they reviewed 908 Charles Street.

6 ADJOURNMENT

Mr. Symes, made motion, seconded by Ms. Pringle, to adjourn the meeting. The motion passed unanimously.

The meeting ended at 3:00 p.m.

Chair

Date of approval

1114 Greene Street
PIN R120 004 000 0274 & 0275 00000

Alterations and Additions

Applicant: Johan Nimand, JHN Residential Building Design (20-15 HRB.1)



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
13 May 2020

1 SUMMARY OF REQUEST

The applicant, Johan Niemand, is requesting an addition on the south side of the structure to accommodate an art studio. The applicant is also requesting a screened porch addition.

2 FACTS

Property Address:	1114 Greene Street
Parcel ID:	R120 004 000 0274 0000
Case Number:	20-15 HRB.1
Applicant:	Johan Niemand, JHN-Residential Building Design
Type of Request:	Alterations, Additions
Zoning:	T4-N
Use:	Residential

District Development Standards for T4-N:

- **Minimum Lot Size:** *n/a*
- **Setback requirements – Primary Structure:**
 - *Front – 0' min., 15' max.*
 - *Rear setback – 10' minimum*
 - *Side Interior – 5' min, or 0' if attached*
 - *Side Corner/Alley – 0' min., 10' max.*
- **Frontage Build out:** 60% min; 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed
- **Permitted Uses:** Single Family Dwelling, or Two- or Three-Unit Dwelling is permitted by right in the T4-N zoning classification.

Historical Background:

According to Beaufort County Historic Site Survey the building was used as a “commercial-store/shop”. It was a rectangular one-story 3 x 3 bay frame building with front-facing gable roof.

References

City of Beaufort Strategic Plan 2019 - 2021

Civic Master Plan, adopted 2014

The Beaufort Code, rev. 2018

3 STAFF COMMENTS / RECOMMENDATIONS

1114 Greene Street - Addition

- This is a request for small addition to the southern end of the former dwelling component of the historic complex.

Staff Comments:

1. Front building (Ed Pruitt's Grocery Store) is a contributing structure per the 1997 Historic Site Survey. The original complex consisted of the store to the west and a dwelling to the east, which is stepped back from the front of the store. Comments below are descriptive relative to the "store" and "dwelling".
2. The most recent construction project at this property was in 2017. The entire dwelling structure was demolished, and a new structure built in original location but widened toward the east by almost 2 feet. The existing dwelling and rear porch are no longer constructed with original historic fabric. However, the form of the new "dwelling" does respect the original structure's relationship to the southern lot line. It is unfortunate the lack of historic fabric remaining on the contributing historic structure.
3. Given the lack of remaining historic fabric relative to the dwelling, the applicant's location of the art studio is appropriate at the rear of the dwelling mass. Its placement in this location is still respectful of the original form of Pruitt's Grocery Store.
4. Staff recommends that the east side of the art studio addition be set back from the east side of the dwelling exterior wall. This setback will allow the addition's east wall to tuck behind the existing corner board of the dwelling's east wall. This offset gives visual indication and respect to the original southern extent of the dwelling's wall.
5. Staff recommends that the west window in the addition be two windows installed side by side with casing between instead of one large window. The two windows shall have the same height to width ratio of other windows found on the structure.
6. The two small windows on the south elevation are not well proportioned and are out of place with other windows found on the house. These windows would be better to be slightly taller in height and similar in proportion to the smaller west elevation windows found on Pruitt's store.
7. The roof line of the addition is appropriate to continue as an extension as it keeps the massing of the overall building form simple.
8. Applicant is seeking final approval. However, not enough detail was submitted to support final approval. This application is missing details, material notes, etc. as described in the submittal requirements checklist found on the City's HRB website.

Staff recommendation: Preliminary approval of the addition with comments noted above.

1114 Greene Street – Screen Porch Addition

- This is request for a screen porch addition to a contributing structure

Staff Comments:

1. Proposed location, scale, and mass of the screen porch is not appropriate relative to the existing low roof building form. Screen porch is too large for the existing structure and should be at least half the proposed dimension.
2. Screen porch should be pushed toward the rear of the structure and away from front line of the existing dwelling to visually respect corners of the existing structure.
3. Proposed materiality of the screen porch is not appropriate for the existing historic structure. The premanufactured metal structure proposed with its exposed fasteners, metal connector fabrications, and cable bracing is not appropriate with the historic nature of the existing home. Materials and proportions should be compatible and consistent with the existing building including metal roof, wood framing, wood trim, etc.

Staff recommendation: Denial of the screen porch addition request.



DEVELOPMENT REVIEW PROCESS HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: **Date Filed:** 3/20/20 **Application #:** **Zoning District:** T4-N
BCAGHS Survey: ☒ Yes ☐ No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: ☐ Conceptual ☒ Preliminary ☒ Final ☐ Bailey Bill Approval* ☐ Change After Certification
**Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? ☐ Yes ☐ No

Applicant, Property, and Project Information

Applicant Name: Johan Niemand, JHN-Residential Building Design

Applicant Address: 73 Sams Point Road, Beaufort, SC 29907

Applicant E-mail: info@jhn-residential.com **Applicant Phone Number:** (605) 605-6168

Applicant Title: ☐ Homeowner ☐ Tenant ☒ ~~Architect~~ **Bld. Designer** ☐ Engineer ☐ Developer

Owner (if other than the Applicant): Dr. Alfred M. Cohen

Owner Address: 1114 Greene St Beaufort, SC 29902

Project Name: Addition to the Cohen Residence

Property Address: 1114 Greene St Beaufort, SC 29902

Property Identification Number (Tax Map & Parcel Number): R120 004 0274 & R120 004 0275

Date Submitted: March 20, 2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature:  **Date:** March 20, 2020

Owner's Signature: **Date:**



DEVELOPMENT REVIEW PROCESS HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

Project Name: Addition to the Cohen Residence

Property Size in Acres: 5819.25 Proposed Building Use: Single Family Residential

Nature of Work (check all that apply):

- ☐ New Construction, Primary Structure ☐ New Construction, Primary Structure ☒ Alterations / Additions
☐ Demolition* ☐ Relocation* *Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

Existing Heated = 1315 Sq.feet, New Heated = 208 Sq. feet.

Is this project a redevelopment project: ☐ Y ☒ N

Are there existing buildings on the site? ☒ Y ☐ N if yes, will they remain? ☒ Y ☒ N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

Addition of a Art studio on the South end of the existing Structure.

Note: Existing Residence his subject to the Bailey Bill.

See separate Demolition Application.

CONTACT INFORMATION –

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1088
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): Ed Pruitt's Grocery Store Map Ref.: BFT 09 (TL) Tax Number: R120 004 000 0274 0000
Common name(s): _____ City Block Ref.: 85 Island: Port Royal Is.
Address/location: 1114 Greene St. City/Vicinity of (vic.) Beaufort

Date: 1905 ca. Alteration date: _____
Ownership: ☒ 1. private ☐ 2. city ☐ 3. county ☐ 4. state ☐ 5. federal ☐ 6. unknown
Category: ☒ 1. building ☐ 2. site ☐ 3. structure ☐ 4. object
Historic use(s): commercial - store/shop Current uses: vacant

Notes: Rectangular 1 story 3 x 3 bay frame store w/front-facing gable roof

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey:

- ☐ H.A.B.S.
☐ Feiss-Wright (1969)
☒ Historic Resources of the Lowcountry (1979)
☐ Milner Historic District Inventory (1979)
☐ A Guide to Historic Beaufort (1995 ed.)

Reference:

38 BU 1089

Notes:

The Neighborhood

Photograph:



Photographs:

- ☒ prints
☐ slides
☒ negatives

Date: 8/1/97

Recorder: D. Schneider, Historic Beaufort Fdn.

Roll # Neg. View of:
S-10 9 N facade & W elev., fac. SE













1114



JHN-Residential Building Design

JHN-Residential LLC

73 Sams Point Road,
Beaufort, SC 29907

jhn-residential.com

Tel: 843.605.6168
info@jhn-residential.com

Copyright:

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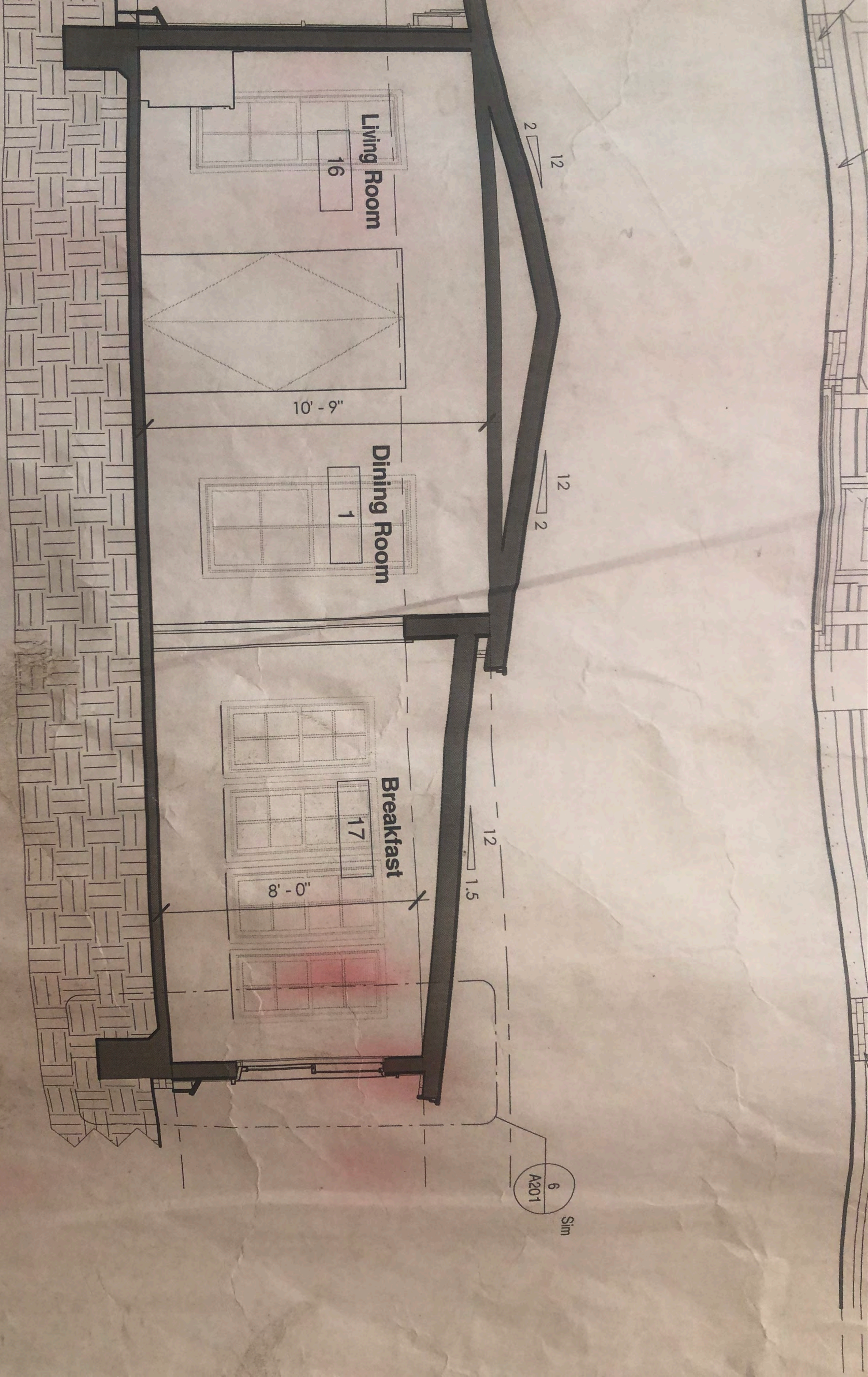
PROPOSED REMODEL AND
ADDITION TO "PRUITT'S STORE"
FOR JOHN TRASK III

1114 GREENE STREET, BEAUFORT, SC 29902

Scale As indicated

Date March 16, 2017

prepared and provided with express understanding that structural integrity would be checked



Living Room

16

10' - 9"

Dining Room

1

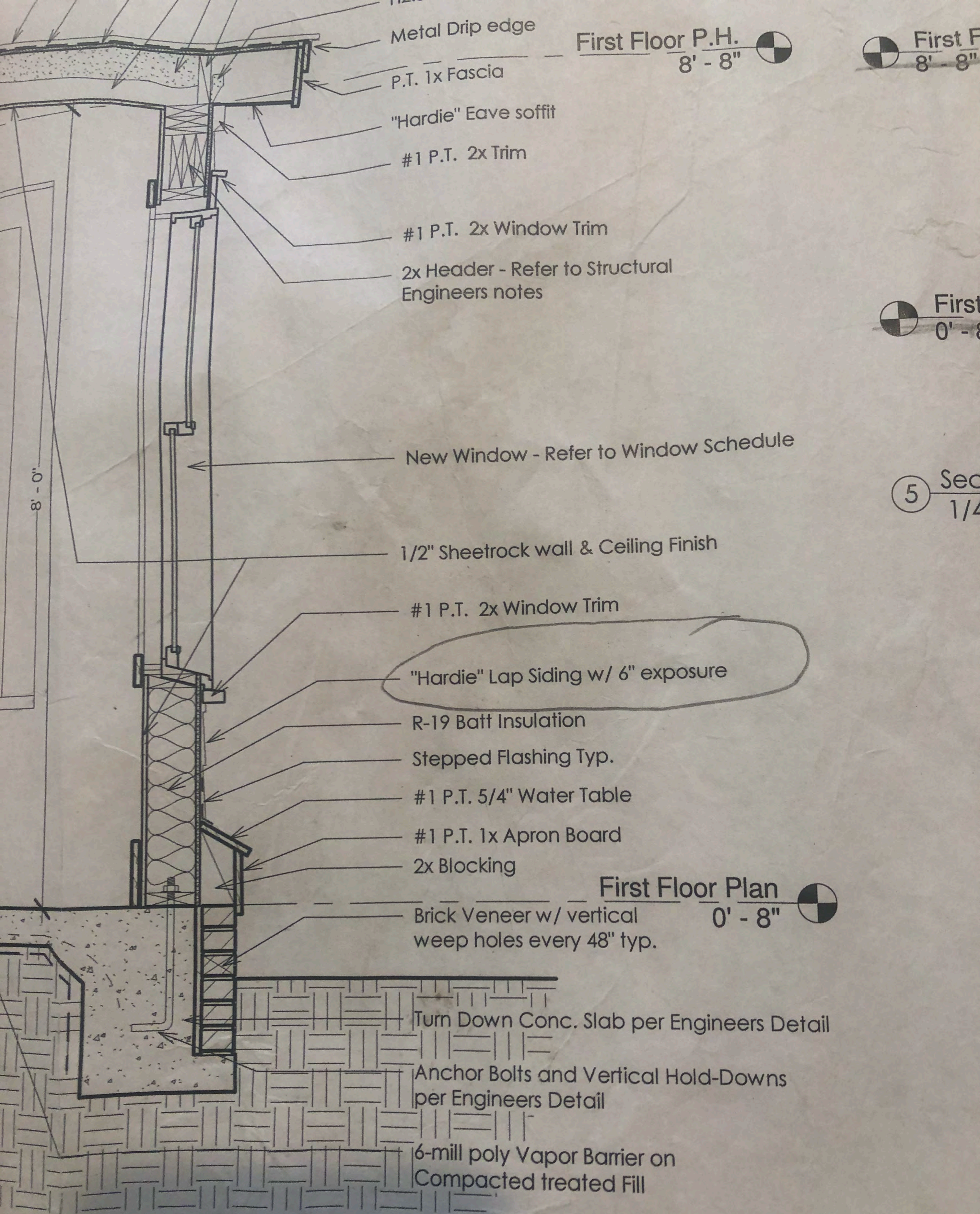
Breakfast

17

8'-0"

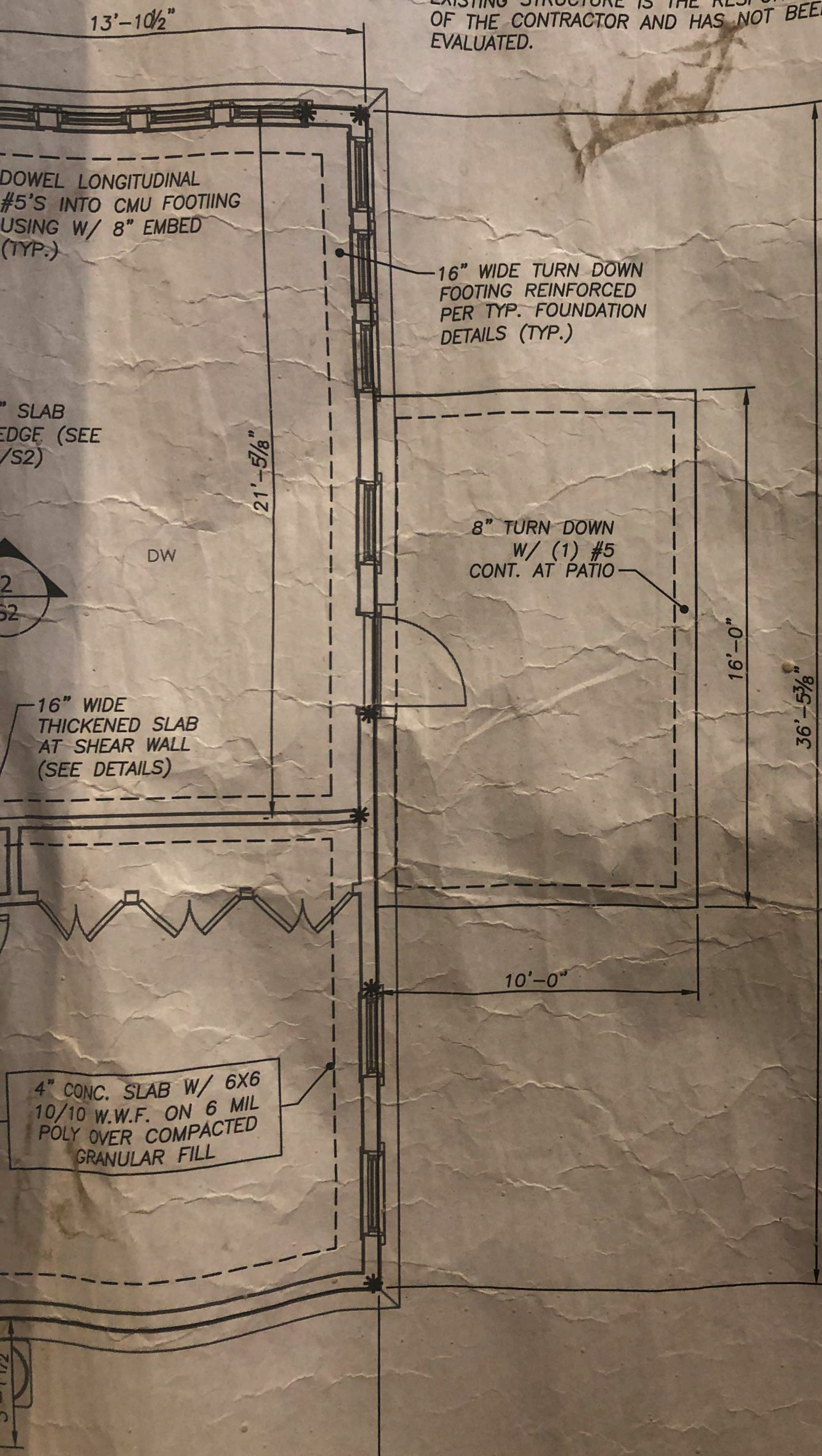
6
A201

Sim



Typical Wall Section
1/4" = 1'-0"

7. AND ANY INFORMATION NOT SHOWN HERE. SEE SHEARWALL PLAN FOR HOLDOWN LOCATIONS AND OTHER CAST IN PLACE ITEMS.
8. STRUCTURAL DESIGN IS FOR FINAL CONFIGURATION. - ALL TEMPORARY BRACING, SUPPORT, LEVELING AND STRAIGHTENING OF EXISTING STRUCTURE IS THE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN EVALUATED.



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Palmetto Porches, Inc.

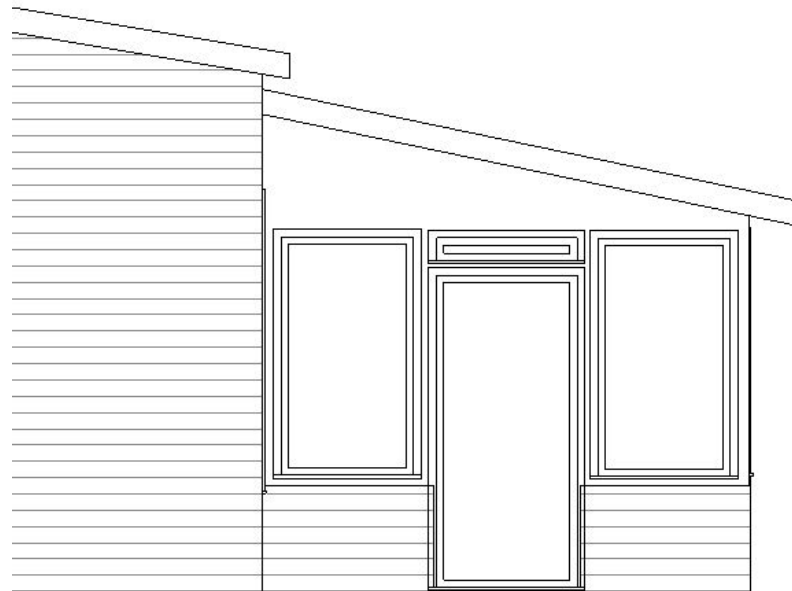
PROJECT: COHEN



PROJECT: COHEN

DATE: 3/17/20

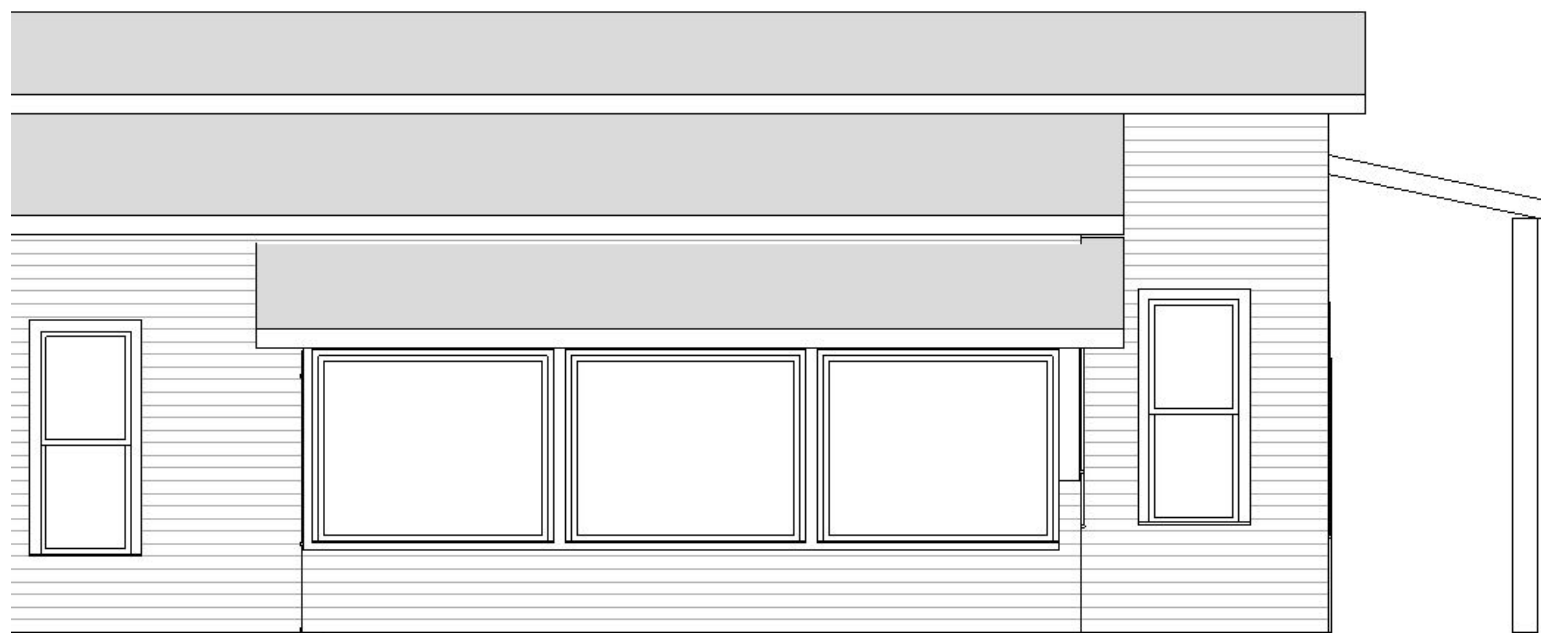
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LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

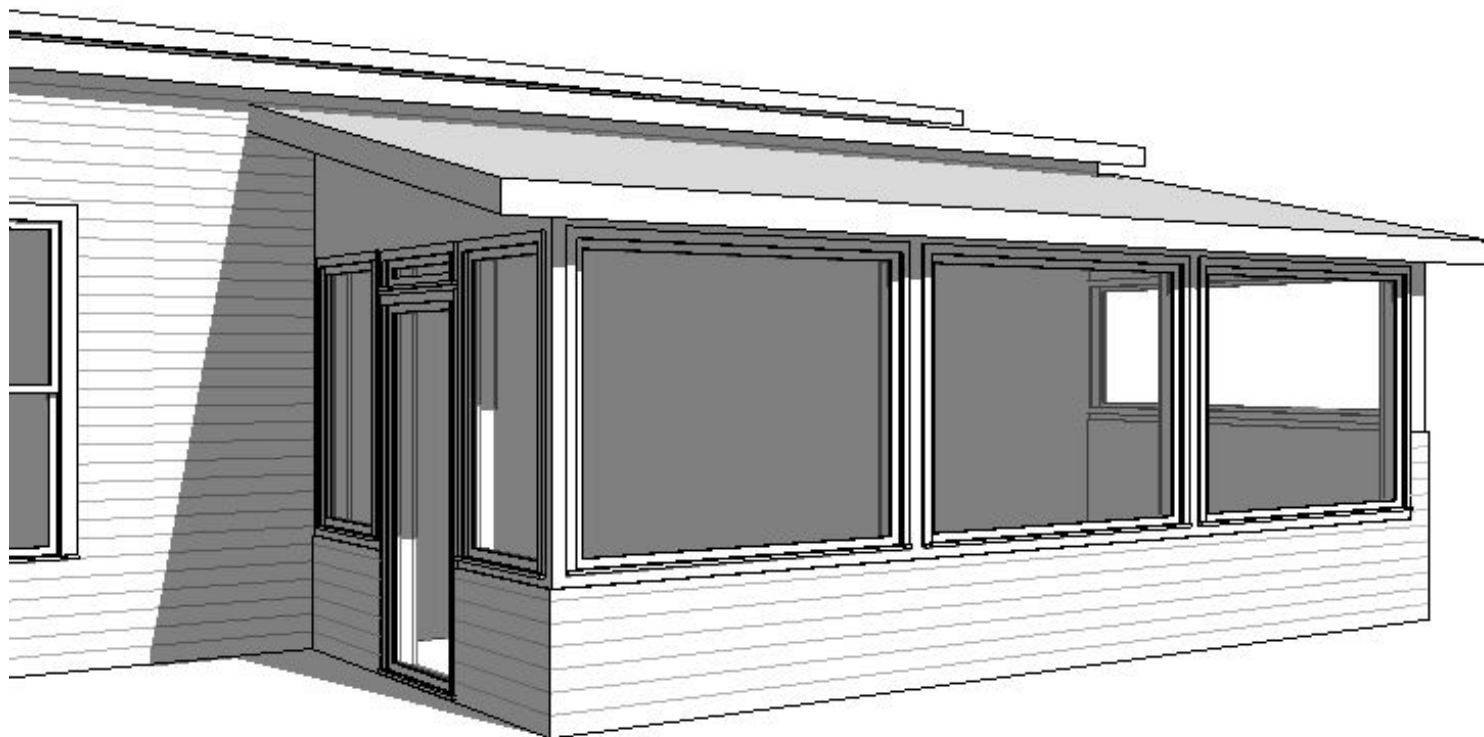
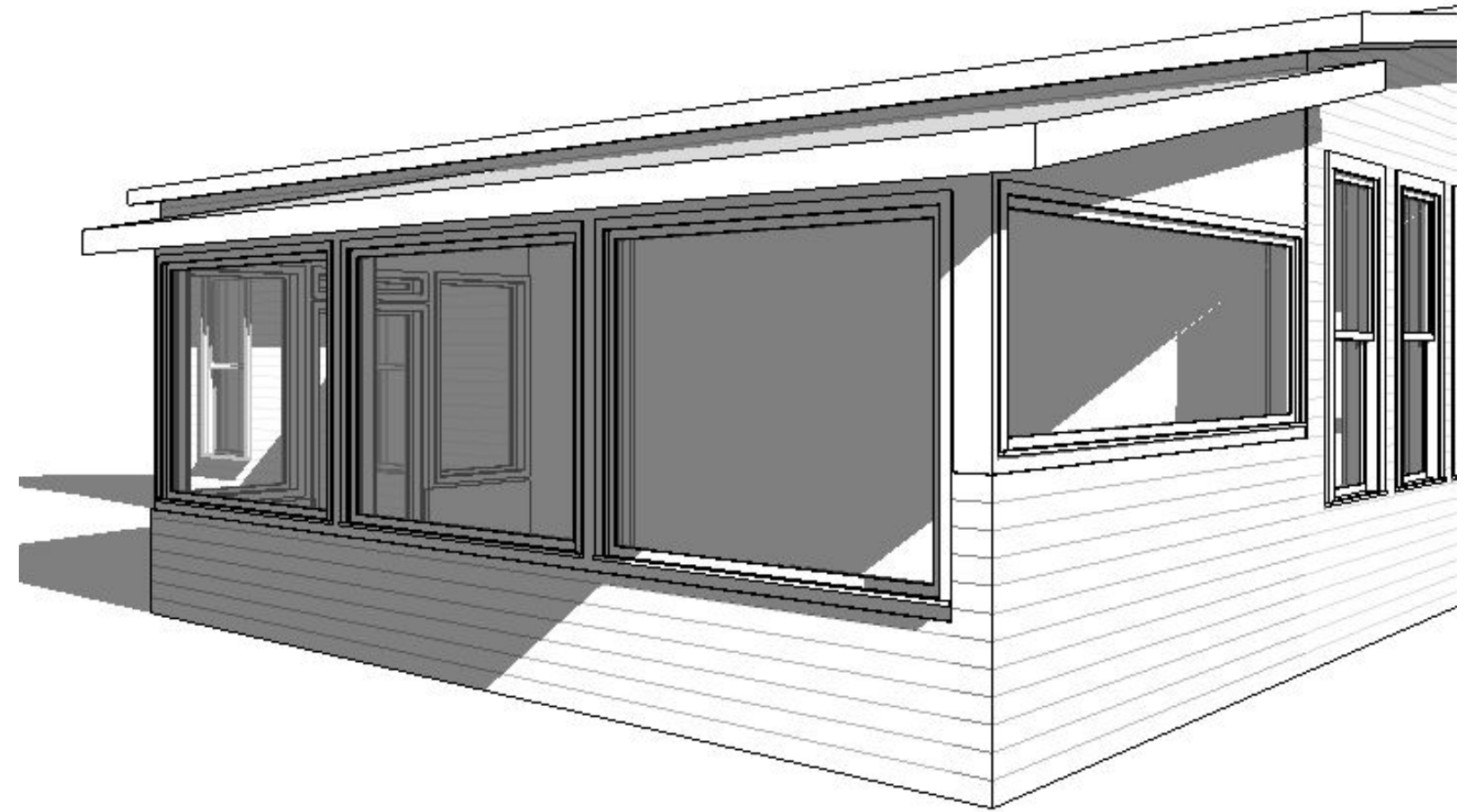


ELEVATIONS

PROJECT: COHEN

DATE: 3/17/20

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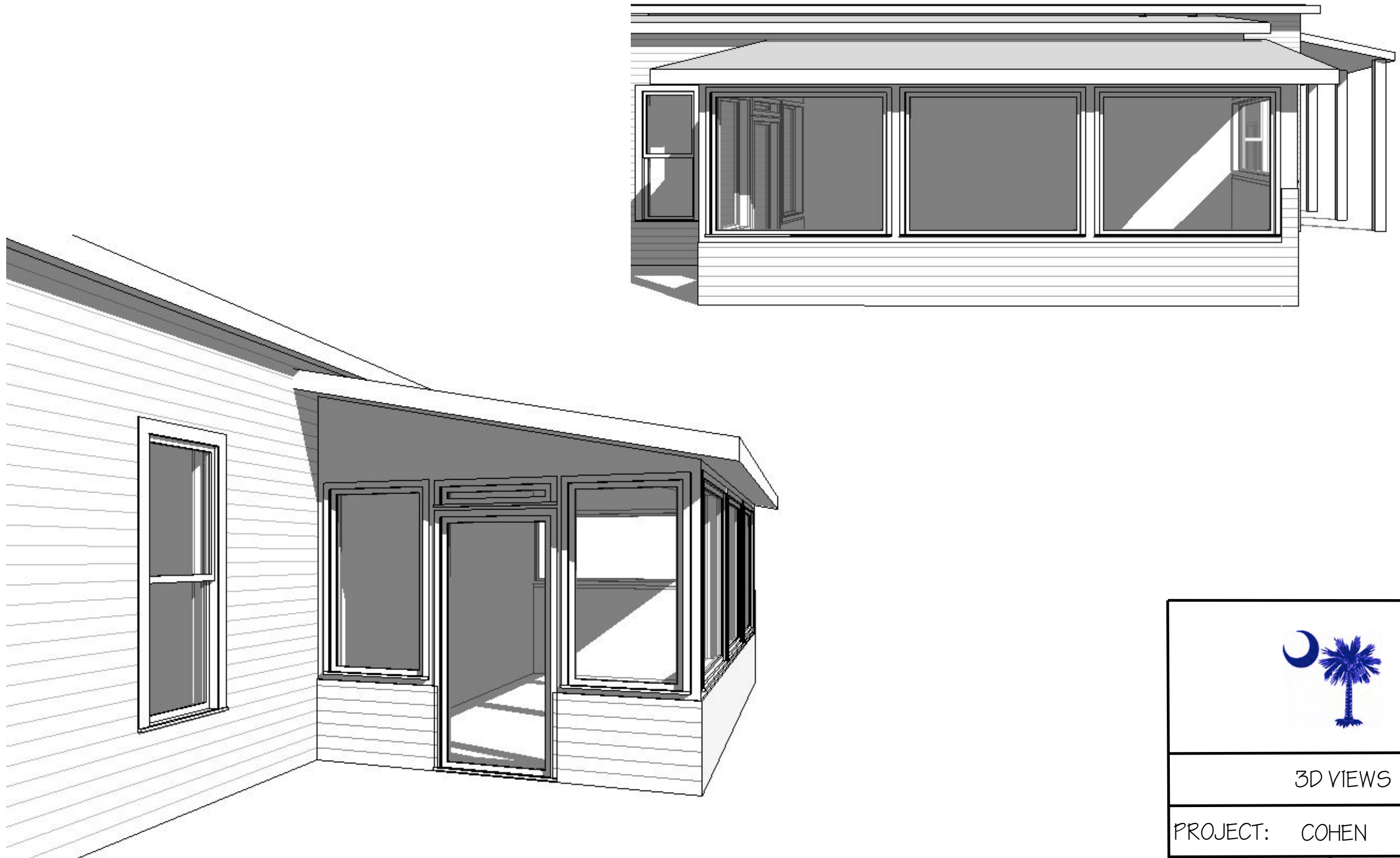


3D VIEWS

PROJECT: COHEN

DATE: 3/17/20

PAGE: 2/4

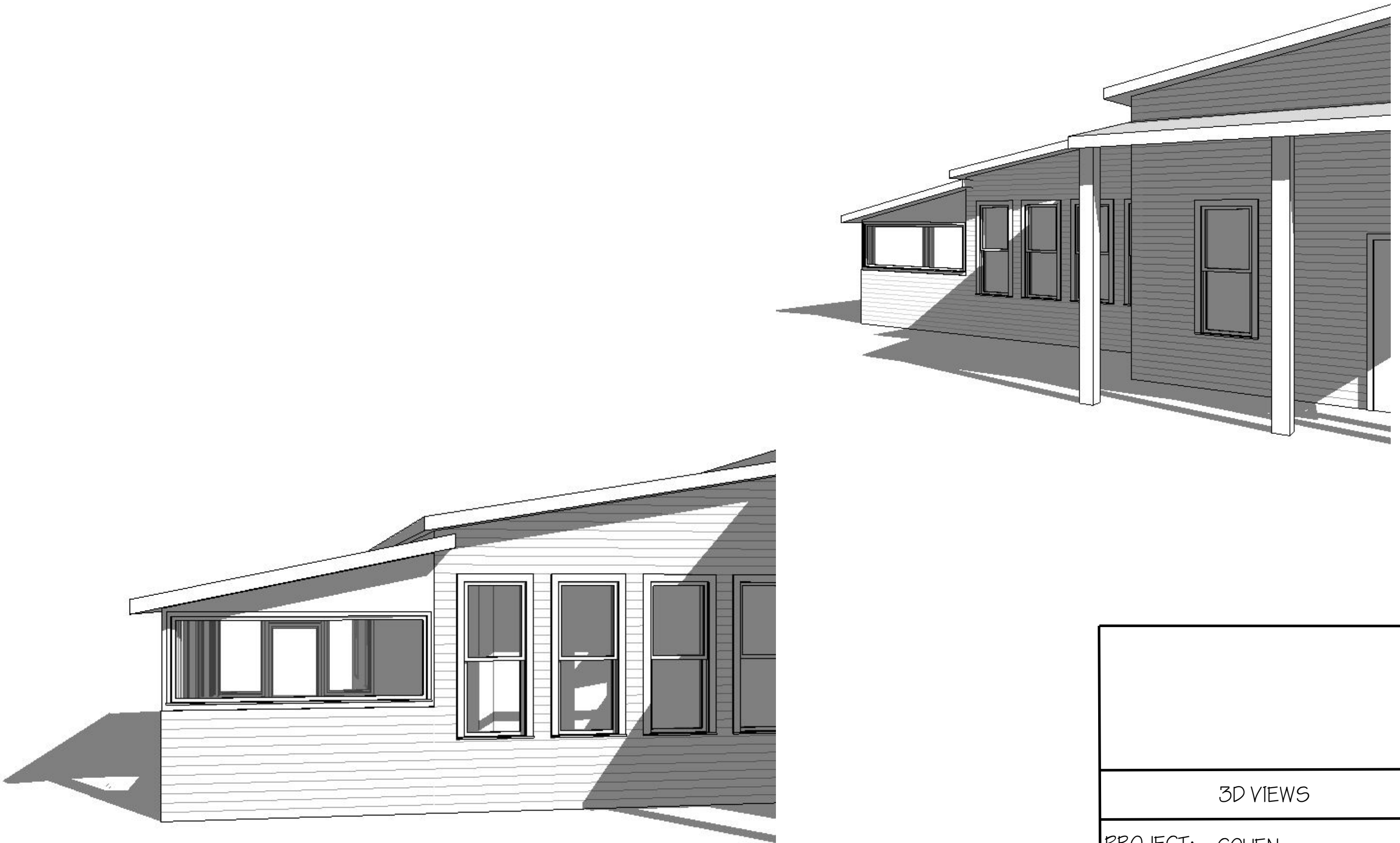


3D VIEWS

PROJECT: COHEN

DATE: 3/17/20

PAGE: 3/4

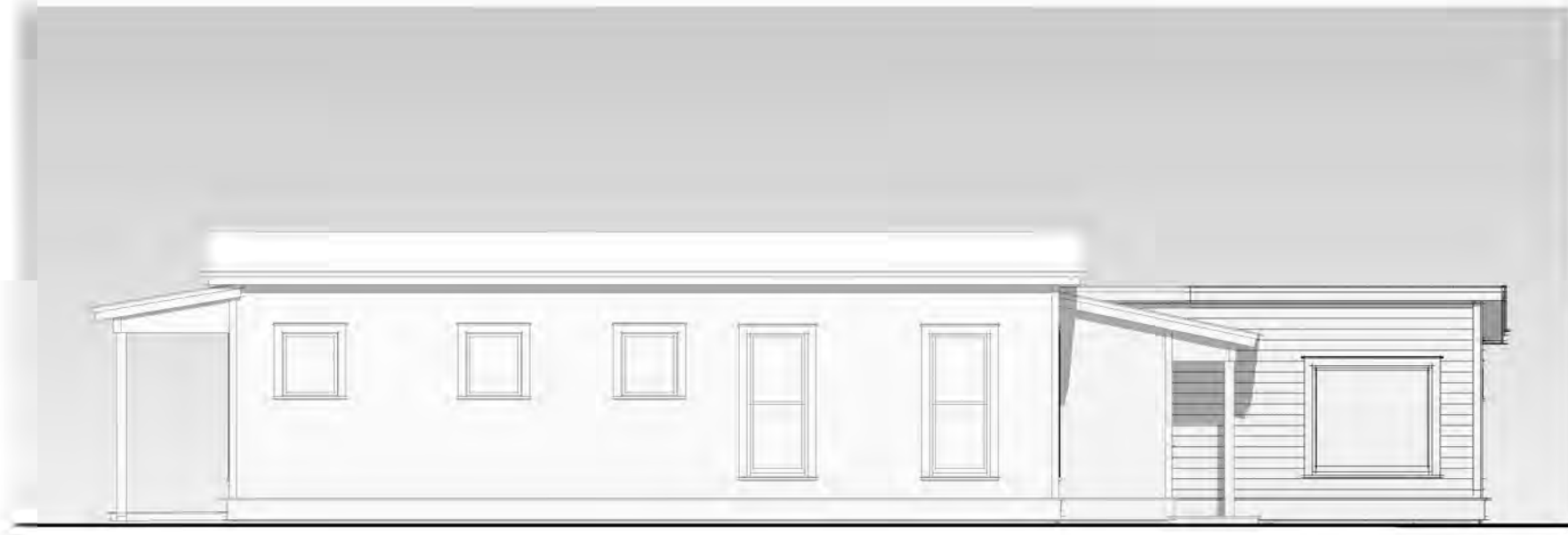


3D VIEWS

PROJECT: COHEN

DATE: 3/17/20

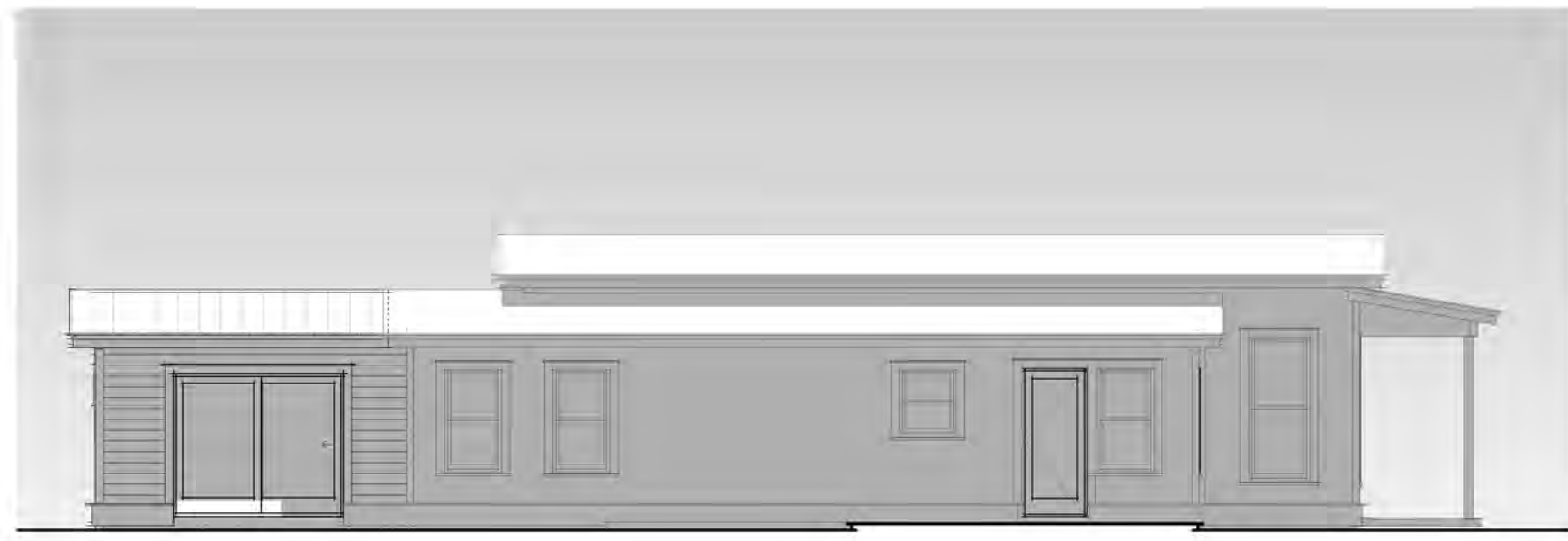
PAGE: 4/4



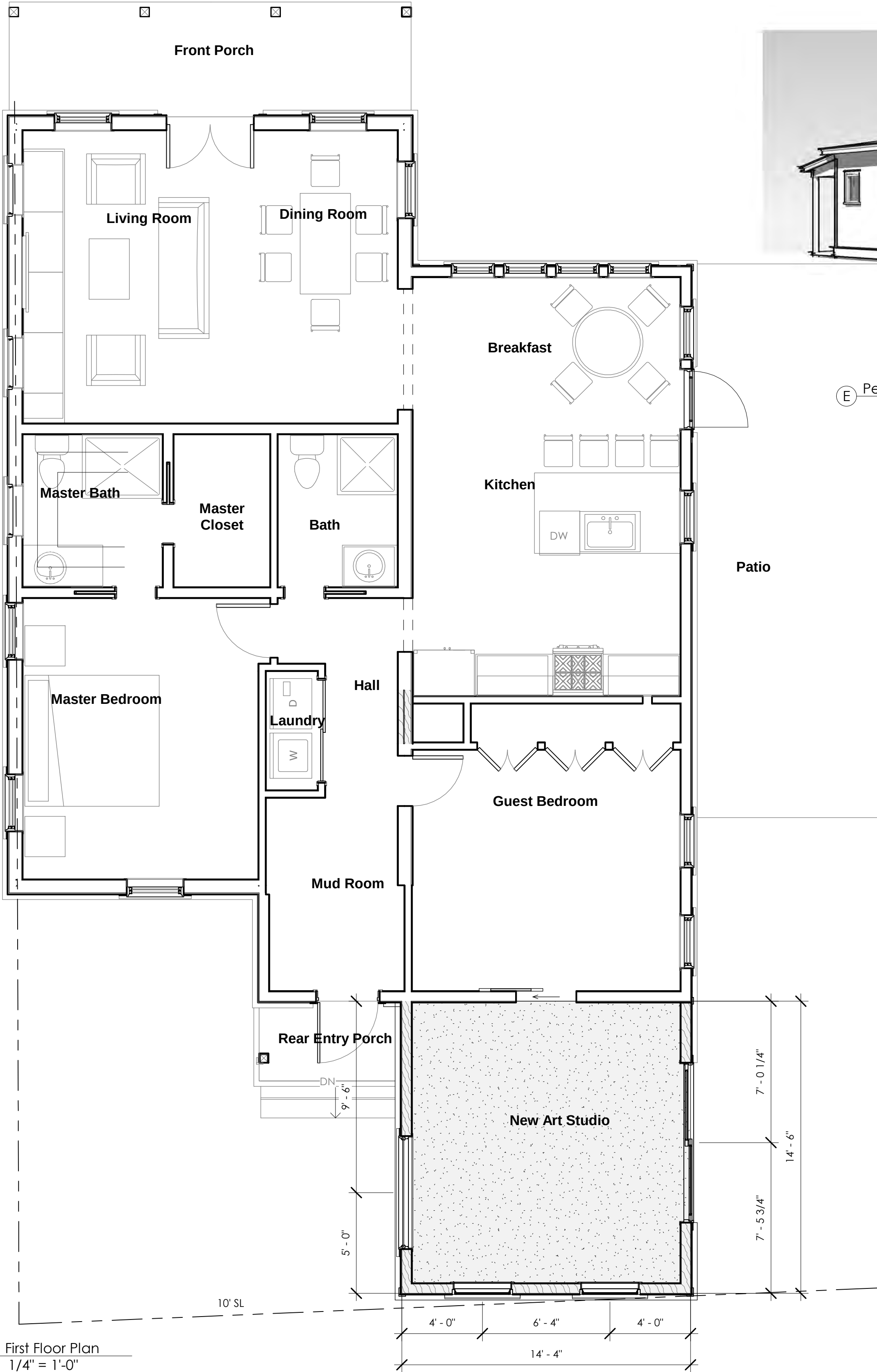
(B) West Elevation
1/8" = 1'-0"



(C) South Elevation
1/8" = 1'-0"



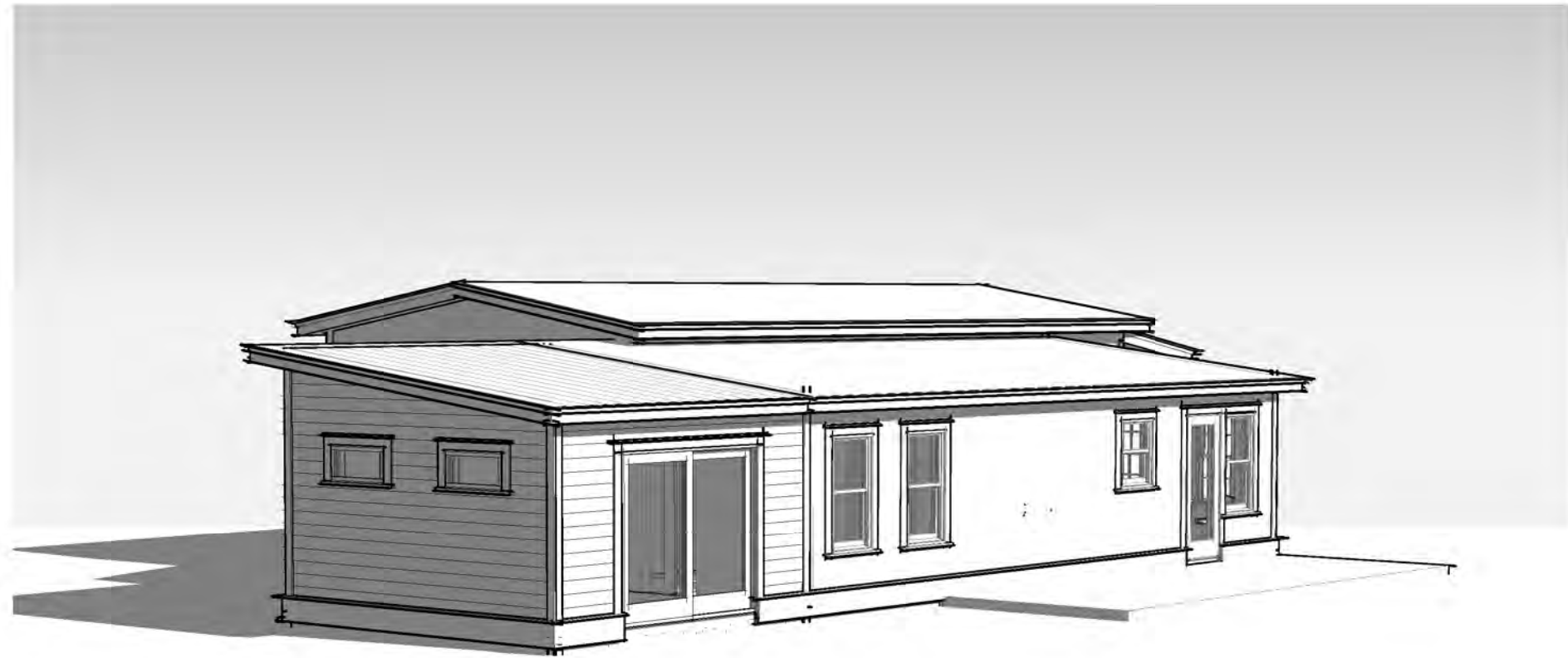
(D) East Elevation
1/8" = 1'-0"



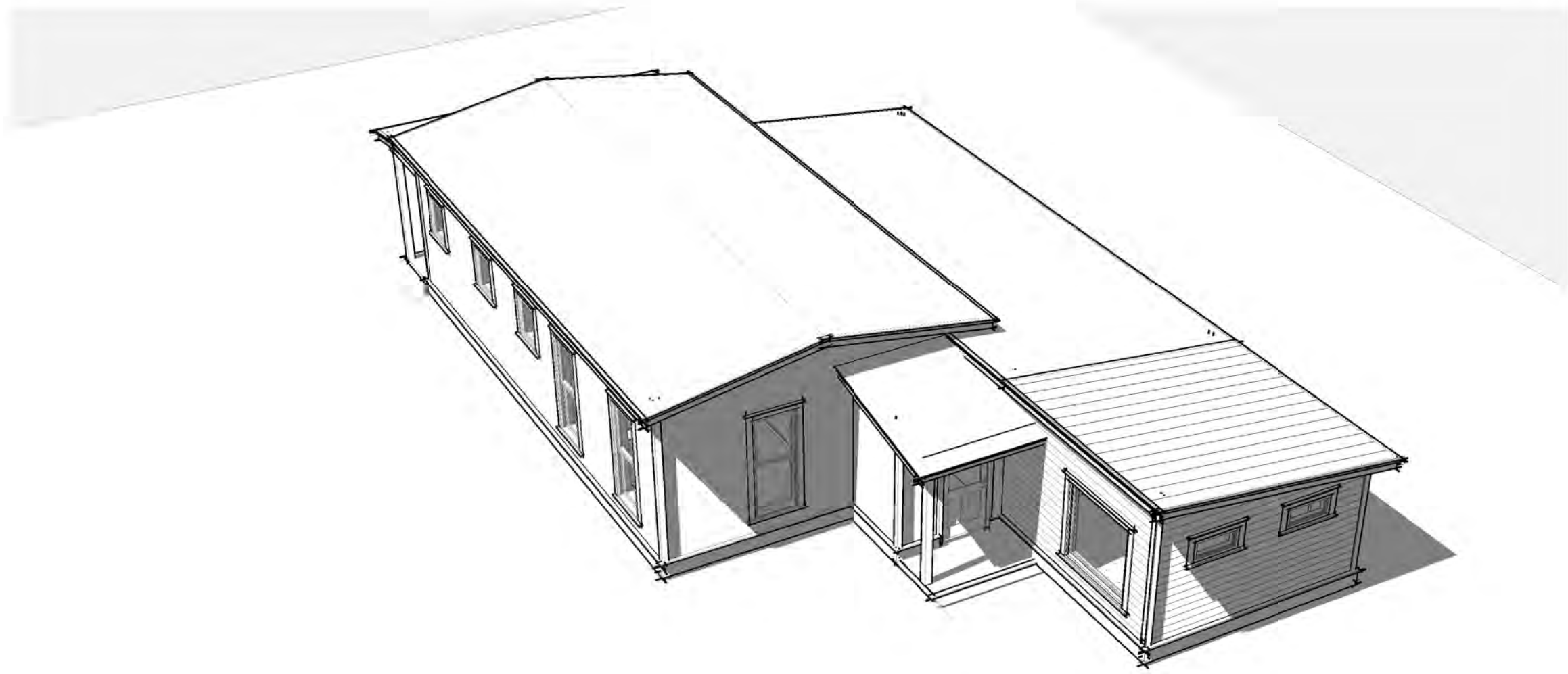
(A) First Floor Plan
1/4" = 1'-0"



(E) Perspective - South West



(F) Perspective - South East



(G) Perspective - Birds Eye View

Area Schedule	
Heated	
Ex. Heated Area	1315 SF
New Heated	208 SF
	1523 SF
Unheated	
Ex. Rear Entry Porch	28 SF
Ex. Patio	160 SF
Ex. Covered Front Porch	114 SF
	302 SF



JHN-Residential
Building Design

73 Sams Point Road,
Beaufort, SC 29907

JHN-Residential LLC

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Tel: 843.605.6168

info@jhn-residential.com

Revision No.	Description	Date

Proposed Addition and Remodel of

the Existing Cohen Residence

1114 Greene Street, Beaufort, SC 29902

Scale As indicated Date March 20, 2020

Sketch
Design

SD101

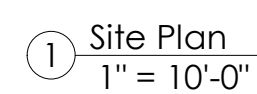
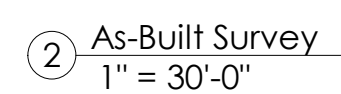
Preliminary Not For Permit

13/20/2020 4:44:32 PM

Disclaimer: All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural engineer.

All plan & elevation dimensions to be site verified before construction commences.

Copyright: JHN-Residential LLC. All rights Reserved



Preliminary Not For Permit

3/20/2020 12:48:25 PM

**Site Plan &
As-Built
Survey
C101**

Proposed Addition and Remodel of

the Existing Cohen Residence

1114 Greene Street, Beaufort, SC 29902

Scale	As indicated	Date	March 20, 2020
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MEMBER
A | I
B | D
AMERICAN INSTITUTE OF
BUILDING DESIGN

Disclaimer: All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural engineer.

All plan & elevation dimensions to be site verified before construction commences.

Copyright: JHN-Residential LLC. All rights Reserved

DESIGN SPECIFICATIONS FOR SCREENED ENCLOSURES WITH SCREEENED/SOLID PANEL ROOFS

GENERAL INFORMATION:

1. THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL ALUMINUM FOR BUILDINGS OR STRUCTURES SHALL CONFORM TO SPECIFICATIONS AND GUIDELINES FOR ALUMINUM STRUCTURES, ALUMINUM DESIGN MANUAL 2010, OF THE ALUMINUM ASSOCIATION. THE ALUMINUM ALLOYS DESIGN FOR THIS STRUCTURE ARE 6005-T5. THE USE OF ALTERNATE ALUMINUM ALLOYS SHALL BE PERMITTED PROVIDED THEIR STANDARD OF PERFORMANCE IS NOT LESS THAN THE AFORMENTIONED SPECIFICATION.
2. PROPER CARE SHALL BE TAKEN TO ACCOUNT FOR DEAD, WIND, AND ERECTION DURING ERECTION OF THE STRUCTURE.
3. WHERE THE ALUMINUM ALLOY SECTIONS ARE IN CONTACT WITH, OR ARE FASTENED TO, STEEL MEMBERS OR OTHER DISSIMILAR MATERIALS, THE ALUMINUM SHALL BE KEPT FROM DIRECT CONTACT WITH THE STEEL OR OTHER DISSIMILAR MATERIAL BY PAINTING OR SEALING AS NOTED BELOW:

PAINTING THE DISSIMILAR METAL WITH A PRIME COAT OF ZINC-CHROMATE PRIMER OR OTHER SUITABLE PRIMER, FOLLOWED BY 1 OR 2 COATS OF ALUMINUM METAL-AND-MASONRY PAINT OR OTHER SUITABLE PROTECTIVE COATING, EXCLUDING THOSE CONTAINING LEAD PIGMENTATION.

PAINTING THE DISSIMILAR METAL WITH A COATING OF A HEAVY-BODIED BITUMINOUS PAINT.

PLACING A GOOD QUALITY CAULKING MATERIAL BETWEEN THE ALUMINUM AND THE DISSIMILAR METAL.

APPLYING A NON-ABSORPTIVE TAPE OR GASKET.

HOT-DIP GALVANIZING OR ZINC-PLATING STEEL MEMBERS AFTER FABRICATION THEN PAINT OR SEAL BEFORE INSTALLATION.
4. ALL FASTENINGS, NOT SPECIFICALLY STATED HEREIN, SHALL BE A MAXIMUM OF TWENTY FOUR INCHES (24") ON CENTER, AND BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALUMINUM, HOT-DIP ELECTRO-GALVANIZED STEEL OR STAINLESS STEEL FASTENERS SHALL BE USED, UNLESS SPECIFIED OTHERWISE.
5. CONCRETE ANCHORS MUST BE EMBEDDED A MINIMUM OF ONE AND ONE QUARTER INCHES (1-1/4') INTO THE STRUCTURAL CONCRETE, EXCEPT WHERE OTHERWISE SPECIFIED ON THE DETAILS CONTAINED HEREIN. EXPANSION ANCHORS SHALL BE INSTALLED A MINIMUM OF THREE INCHES (3") FROM THE EDGE OF CONCRETE. ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SCREENED AND/OR SOLID ROOFS:

1. SCREENED ROOFS MAY BE CONSTRUCTED IN VARIOUS CONFIGURATIONS, SUCH AS BUT NOT LIMITED TO, A GABLE, HIP/GABLE, OR MANSARD, WITH PRIMARY STRUCTURAL BEAMS CONTAINING SPLICES. THESE JUNCTIONS OR RIDGE LINES SHALL BE PROPERLY GUSSETED AS PER DETAILS CONTAINED HEREIN, SO AS NOT TO EXERT OUTWARD THRUST ON WALL SECTIONS. THE BEAM SPAN FOR ROOF CONFIGURATIONS, OTHER THAN FLAT, SHALL BE DETERMINED BY THE STRAIGHT LINE DISTANCE BETWEEN THE TWO SUPPORT POINTS OF THE BEAM.
2. SCREENED ROOF PURLINS SHALL BE DESIGNED AND PLACED BETWEEN PRIMARY STRUCTURAL ROOF BEAMS, AT A MAXIMUM SPACING OF 8.90' (106.80") FOR UP TO 130 MPH WIND SPEEDS AND 8.40' (100.80") FOR 140 MPH WIND SPEEDS. THESE PURLINS NEED TO BE INSTALLED FOR BRACING AND LATERAL STABILITY, AND SHALL BE A MINIMUM OF A 2"x2"x0.044" HOLLOW OR SNAP EXTRUSION, AND FASTENED AT EACH END AS PER THE DETAILS CONTAINED HEREIN. IF U-CHANNEL OR ANGLE BRACKETS ARE USED, THE MINIMUM THICKNESS SHALL NOT BE LESS THAN 0.062" WALL THICKNESS. IF ROOF PURLIN SPACING EXCEEDS THE ABOVE REFERENCED SPACINGS THEN IT IS NECESSARY TO USE A 2"x3"x0.050" PATIO BEAM EXTRUSION AND FASTEN SIMILAR TO THE DETAILS FOR THE 2"x2"x0.044" PURLINS AS DENOTED IN THE DETAILS CONTAINED HEREIN.
3. SELF MATING BEAMS (SMB) SHALL BE FASTENED AT THE TOP AND BOTTOM FLANGES, WITH #12x3/4" SMS FASTENERS, AND SHALL NOT BE MORE THAN TWO FEET (2'-0") APART AND WITHIN 3" OF END OF BEAM, OR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS / REQUIREMENTS / SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
4. STRUCTURES SHALL BE DESIGNED SO AS TO REQUIRE THE WALL END OF ROOF BEAMS TO SIT DIRECTLY ON TOP OF THE POST OR COLUMN AND BE PROPERLY NOTCHED, GUSSETED AND FASTENED, ACCORDING TO THE DETAILS CONTAINED HEREIN. ALL BEAMS FASTENED TO THE HOST STRUCTURE SHALL BE FASTENED SECURELY ACCORDING TO THE DETAILS CONTAINED HEREIN.
5. FASCIA BOARDS SUPPORTING ANY ALUMINUM STRUCTURE SHALL BE FASTENED TO EACH TRUSS/RAFTER TAIL WITH A MINIMUM OF TWO (2) #14 LAG SCREWS LONG ENOUGH TO PENETRATE THE END OF THE TRUSS/RAFTER TWO INCHES (2"), OR AS PER THE DETAILS CONTAINED HEREIN.
6. THE MINIMUM HEIGHT CLEARANCE FROM THE FINISHED DECK OR FLOOR TO THE UNDERSIDE OF A SCREENED ROOF STRUCTURE SHALL BE SEVEN FEET (7'-0"). IN THE CASE OF BUILT-IN JUMP OR DIVING BOARDS, MINIMUM WIDTH AND HEIGHT CLEARANCES OF THE ROOF SHALL MEET THE MINIMUM REQUIREMENTS OF THE 1998-2000 FINA HANDBOOK FOR DIVING FACILITIES.

SCREENED WALLS:

1. THE BOTTOM PLATE, OR BASE MEMBER OF SCREENED WALLS SHALL BE FASTENED TO THE DECK OR FOUNDATION WITH APPROVED ANCHORS, A MINIMUM OF TWENTY FOUR INCHES (24") APART, AND ONE ANCHOR WITHIN SIX INCHES (6") OF EACH SIDE OF EACH COLUMN OR VERTICAL MEMBER. SECONDARY ANGLES SHALL BE USED ON THE LOAD BEARING AND NON-LOAD BEARING WALLS, ACCORDING TO THE DETAILS CONTAINED HEREIN.
2. TOP MEMBERS OF SCREENED WALLS SHALL BE FASTENED TO COLUMNS OR VERTICAL MEMBERS AS PER THE DETAILS CONTAINED HEREIN.
3. ALL SCREENED WALL SECTIONS HIGHER THAN SIX FEET (6'-0") WITH POSTS SPACED AT NO MORE THAN 7'-0" ON CENTER FOR 130 MPH WIND SPEEDS, SHALL HAVE A MINIMUM 2"x2" HORIZONTAL CHAIR RAIL OR KICK PLATE RAIL FOR LATERAL BRACING PURPOSES, FROM SIXTEEN INCHES (16") MINIMUM TO FOURTY-EIGHT INCHES (48") MAXIMUM IN HEIGHT ABOVE THE FINISHED FLOOR. IF POSTS ARE SPACED FARTHER APART THAN THE ABOVE REFERENCED SPACING, BUT LESS THAN 9'-0" ON CENTER, THEN A 2"x3"x0.050" PATIO BEAM OR LARGER SHALL BE USED FOR THE HORIZONTAL CHAIR RAIL. WALLS SHALL BE CONSTRUCTED SUCH THAT THE VERTICAL SPACING BETWEEN THE RAILS WILL NOT EXCEED SEVENTY-TWO INCHES (72") ON CENTER. THIS RAIL SHALL BE PROPERLY FASTENED AT EACH END, ACCORDING TO THE DETAILS CONTAINED HEREIN, AND TO PREVENT TWISTING. IF U-CHANNEL (RECEIVING CHANNEL) OR ANGLE BRACKETS ARE USED, THE MINIMUM THICKNESS SHALL NOT BE LESS THAN THE RAIL.
4. ALL POSTS OR COLUMNS SHALL BE FASTENED TO THE SLAB OR DECK BY MEANS OF ANGLES ON BOTH SIDES, AND PROPERLY FASTENED AS PER THE DETAILS CONTAINED HEREIN.
5. COLUMNS OR VERTICAL MEMBERS USED AS DOOR JAMBS IN SCREENED WALLS SHALL BE DESIGNED ACCORDING TO THEIR HEIGHT, SPACING, APPLICABLE WINDLOADS, AND PER THE TABLES CONTAINED HEREIN.
6. SELF-MATING BEAMS (SMB) USED AS COLUMNS SHALL BE FASTENED AT THE INWARD AND OUTWARD FLANGES, USING #12x3/4" SMS FASTENERS, AND SHALL NOT BE MORE THAN TWENTY-FOUR INCHES (24") APART AND WITHIN 3" OF END OF BEAM, OR IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

WIND BRACING:

1. CORNER CABLES OR RIGID DIAGONAL CORNER BRACING SHALL BE USED ON ANY SCREEN WALL NOT DIRECTLY FASTENED TO THE HOST STRUCTURE, IN ORDER TO RESIST DIAGONAL WINDLOAD STRESSES, EXCEPT IN CASES WHERE SOLID (RIGID) ROOF AREAS OCCUR. THEY SHALL EXTEND DIAGONALLY DOWNWARD FROM THE UPPERMOST SCREEN WALL CORNER AT AN ANGLE BETWEEN 30 AND 45 DEGREES. IF CABLES ARE USED, THEY SHALL BE STAINLESS STEEL AND HAVE A MINIMUM TEST STRENGTH OF 1,750 POUNDS AND BE INSTALLED AT THE SCREEN WALL CORNER FOR EACH NINE FEET (9') OR FRACTION THEREOF OF WALL ELEVATION, AS PER THE DETAILS. TENSION SHALL BE ADJUSTABLE BY TURNBUCKLES OR OTHER METHODS CONTAINED HEREIN, AND SHALL HAVE A LOCKING DEVICE T PREVENET LOOSENING. THE BOTTOM OF THE CABLE SHALL BE FASTENED TO THE SLAB OR DECK AS PER THE DETAILS.
2. CABLE OR RIGID BRACING SHALL BE INSTALLED ON THE OUTER CORNER OF THE SIDEWALLS (SIDEWALLS BEING THE WALLS ATTACHED DIRECTLY TO THE HOST STRUCTURE) IF THE LENGTH OF THE SIDEWALL EXCEEDS FORTY (40) FEET.
3. WHEN THE WALL HEIGHT EXCEEDS TWENTY FEET (20'), THEN CABLE OR RIGID BRACING SHALL BE INSTALLED ON THE SIDEWALLS REGARDLESS OF THE LENGTH OF SIDEWALL. IF DIAGONAL BRACING CABLE IS USED, THEY SHALL EXTEND THROUGH OR ACROSS THE ROOF, WITH PLACEMENT AND QUANTITY TO ACHIEVE A RIGID STRUCTURE.
4. IF STRUCTURAL BRACING COLUMNS ARE USED, THEY SHALL BE A MINIMUM OF 3"x3"x0.125", OR THE EQUIVALENT STRENGTH GALVANIZED STEEL, SET IN A POURED CONCRETE FOUNDATION ACCORDING TO THE CONCRETE DETAILS CONTAINED HEREIN. THEY SHALL BE RIGIDLY STRAPPED AND/OR FASTENED TO THE UPPERMOST HORIZONTAL MEMBER OF THE SCREENED WALL.
5. IF UPON INSTALLATION THE CAGE SEEMS TO SWAY, THEN ADDITIONAL BRACING SHALL BE INSTALLED TO PREVENT RACKING.

PROJECT NOTES:

BUILDING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE; APPENDIX H

SUNROOM CATEGORY: I (AAMA/NPEA/NSA 2100-12)

WIND LOAD: V(ult) = 138 MPH (RISK CATEGORY II), EXPOSURE B
DEAD LOAD: SELF-WEIGHT OF STRUCTURE
LIVE LOAD: 10 PSF MINIMUM

1. ENGINEERING DESIGN CONTAINED HEREIN IS BASED ON 20/20 FIBERGLASS MESH SCREENING WITH A MESH DIAMETER OF 0.0055". VINYL AND ACRYLIC PANELS MAY BE UTILIZED WITH THESE SYSTEMS. PANELS MUST BE OF THE REMOVABLE TYPE AS MANUFACTURED BY CUSTOM WINDOWS & DOORS OR EQUAL. REMOVABLE PANELS SHALL BE IDENTIFIED AS REMOVABLE BY A DECAL THAT ESSENTIALLY STATES "REMOVABLE PANEL SHALL BE REMOVED WHEN WIND SPEEDS EXCEED 75 MPH. DECALS SHALL BE PLACED SUCH THAT THE DECAL IS VISIBLE WHEN PANEL IS INSTALLED.
2. ENGINEERING DESIGN CONTAINED HEREIN IS FOR THE PROPOSED ENCLOSURE ONLY. JOSEPH D. GASKIN, P.E. DOES NOT WARRANTEE OR GUARANTEE, EITHER EXPRESSLY OR IMPLIED, THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE TO HOST PROPOSED ATTACHMENTS.

REVISIONS	DATE	DESCRIPTION
	2.9.20	RELEASED FOR PERMITTING
THE SIGNATURE AFFIXED ON THE ACCOMPANYING ENGINEERING SEAL MUST BE ORIGINAL IN NON-BLACK INK FOR THIS TO BE AN AUTHORIZED COPY FOR PERMITTING AND CONSTRUCTION PURPOSES.		

JOSEPH D. GASKIN, P.E.
330 WOODLAND WAY
CLEMSON, S.C. 29631

Professional Engineer
No. 19464

JOSEPH D. GASKIN

CLIENT: COHEN RESIDENCE
PALMETTO PORCHES

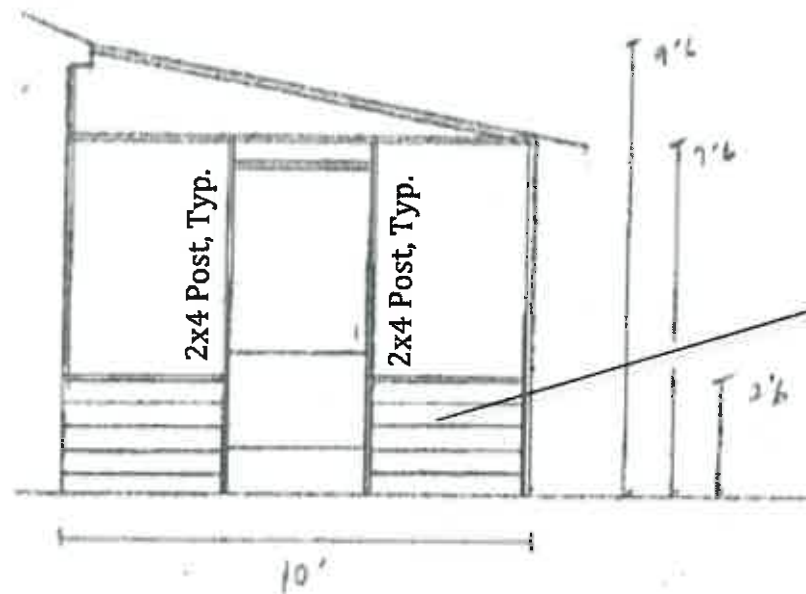
PROJECT #: 20000.024

SHEET TITLE: GENERAL NOTES

PROJECT LOCATION: 1114 GREEN ST.
BEAUFORT COUNTY, SC

S1

THE USE OF THESE DRAWINGS IS NOT WITHOUT LIMITATION. THESE DRAWINGS ARE PROVIDED IN ACCORDANCE WITH MY STANDARD "TERMS OF USE." A COPY OF THESE "TERMS OF USE" IS AVAILABLE UPON REQUEST. USE OF THESE DRAWINGS SHALL CONSTITUTE ACCEPTANCE OF THESE TERMS BY THE CLIENT, ARCHITECT, OWNER, CONTRACTOR OR ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN OR THE NEED TO USE THESE DRAWINGS.



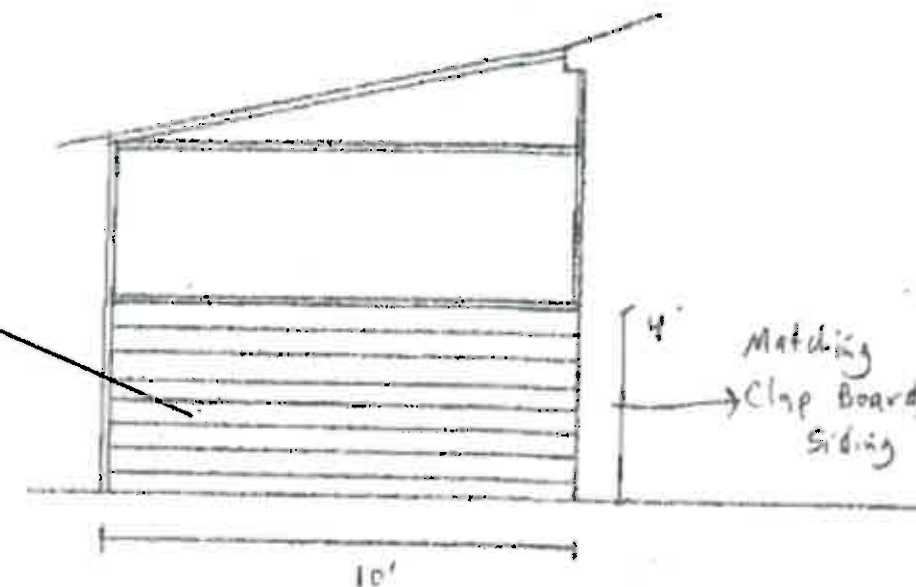
LEFT ELEVATION

- 4x4 White Aluminum Frame
- Red Metal Matching Roof
- 20/20 Screen Walls

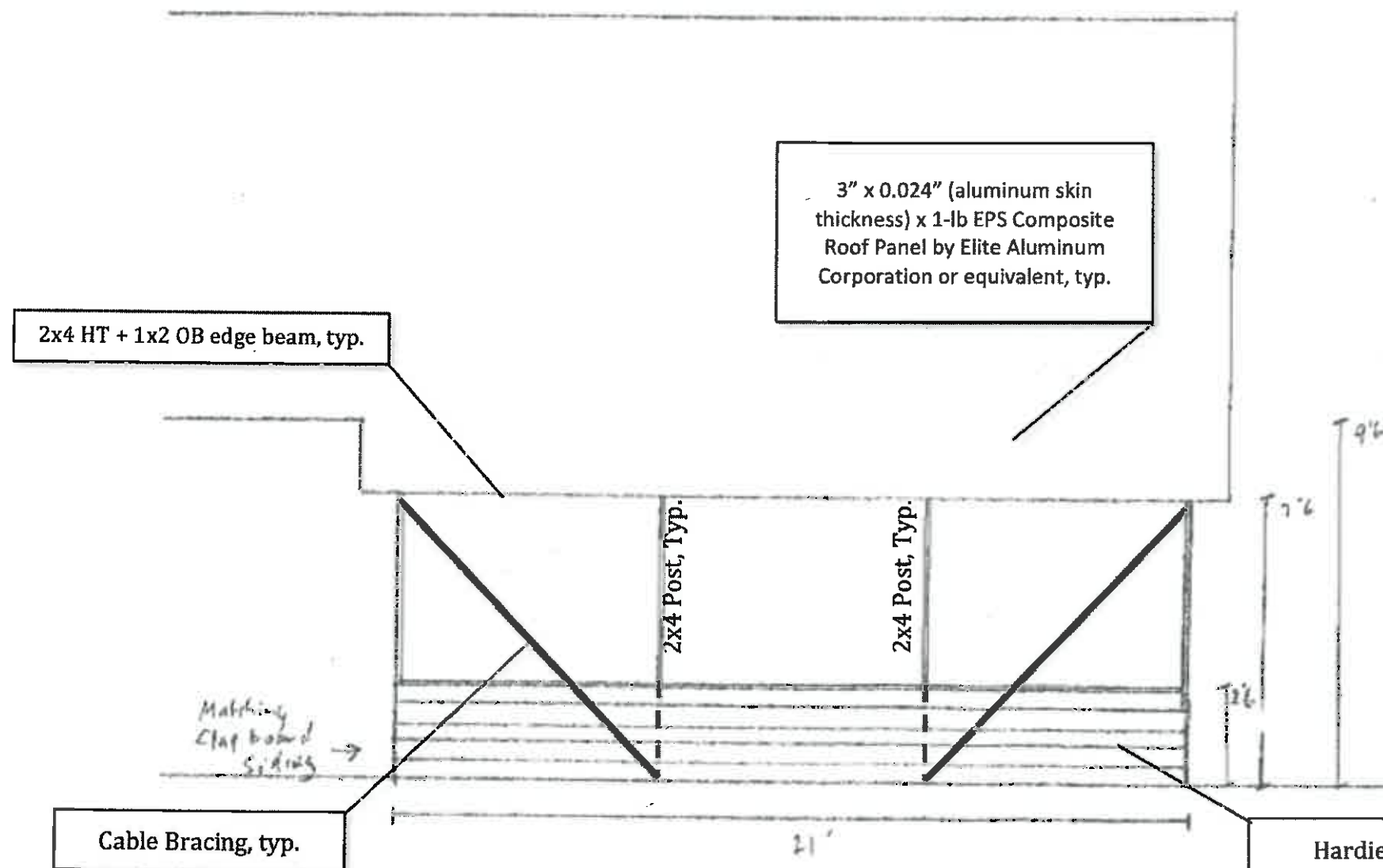
Alfred Cohen
1114 Green St.
520-400-0116

HardiePlank or similar cladding system. Install in accordance with manufacturer's installation instructions, typ.

HardiePlank or similar cladding system. Install in accordance with manufacturer's installation instructions, typ.



RIGHT ELEVATION



FRONT ELEVATION

3" x 0.024" (aluminum skin thickness) x 1-lb EPS Composite Roof Panel by Elite Aluminum Corporation or equivalent, typ.

2x4 HT + 1x2 OB edge beam, typ.

Cable Bracing, typ.

HardiePlank or similar cladding system. Install in accordance with manufacturer's installation instructions, typ.

NOTE:
REMOVAL AND/OR MODIFICATION OF ANY EXISTING STRUCTURAL MEMBERS IS NOT INCLUDED IN THE SCOPE OF WORK.

NOTE:
ALL RIGHT AND LEFT SIDEWALL COLUMNS ARE TO BE CONTINUOUS FROM FOUNDATION TO ROOF DECK.

CATEGORY I SUNROOM:
WALLS ARE OPEN OR ENCLOSED WITH INSECT SCREENING (20/20 MAX. DENSITY) OR 0.5 mm (20 MIL) MAX. THICKNESS VINYL FILM.

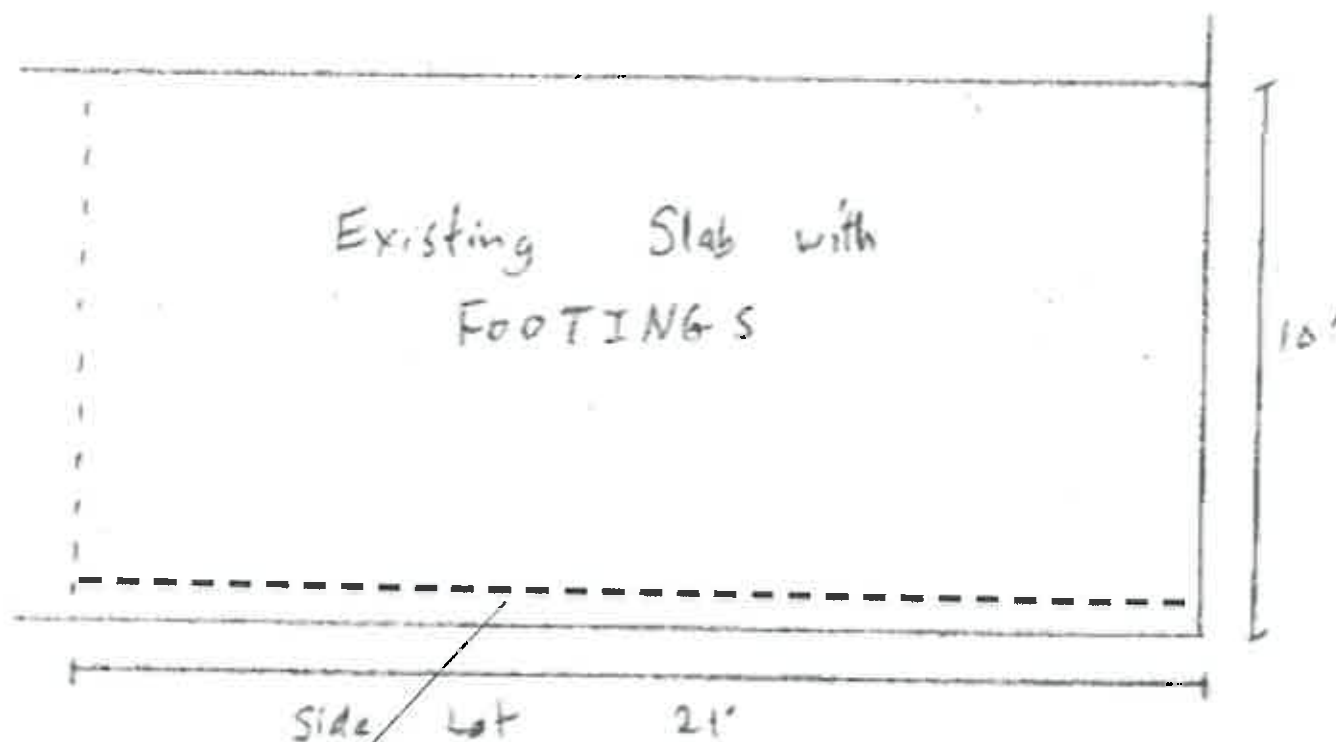
JOSEPH D. GASKIN, P.E.
330 WOODLAND WAY
CLEMSON, SC 29631

P: 843.252.8321
E: jdgaskin6@gmail.com

NOTE TO BUILDING CODE DEPARTMENT:
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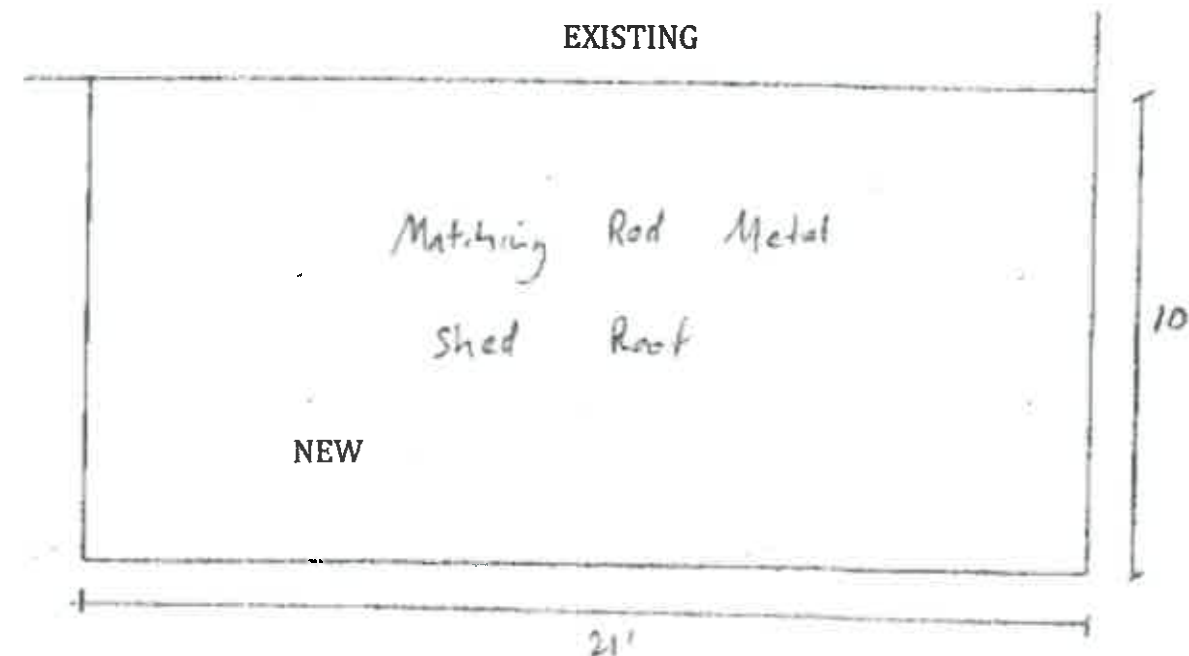
- 4x4 White Aluminum Frame
- Red Metal Matching Roof
- 20/20 Screen Walls

Alfred Cohen
1114 Green St.
520-400-0116



12" DEEP (MIN.) X 12" WIDE (MIN.) STRIP FOOTING, TYP. REINFORCE FOOTING W/ (2) #5 BARS CONT. BOTTOM OF FOOTING TO BEAR A MINIMUM OF 12" BELOW EXISTING GRADE.

FOUNDATION PLAN



ROOF PLAN

NOTE:

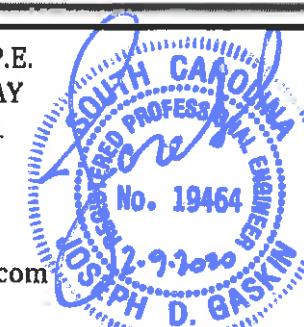
1. PROPOSED SCREEN ENCLOSURE (OR PORTIONS THEREOF) IS INTENDED TO BE SUPPORTED ON EXISTING CONCRETE SLAB-ON-GRADE WITHOUT FOOTINGS AS PERMITTED BY IRC APPENDIX H, SECTION AH106.5.
2. CONTRACTOR SHALL VERIFY/CONFIRM THAT EXISTING SLAB CONFORMS TO IRC SECTION R506, CONCRETE FLOORS (ON GROUND), AND IS NOT LESS THAN 3-1/2" INCHES IN THICKNESS.
3. NON-CONFORMING CONCRETE SLABS ON GRADE SHALL NOT BE USED TO SUPPORT SCREEN ENCLOSURES.
4. COLUMN LOCATIONS SUPPORTING LOADS IN EXCESS OF 750 POUNDS HAVE BEEN INDICATED WITH PROPOSED FOOTING INFORMATION ON THE FOUNDATION PLAN.
5. SEE ATTACHED DETAILS FOR SLAB AND/OR FOOTING DESIGN REQUIREMENTS.

NOTE:

REMOVAL AND/OR MODIFICATION OF ANY EXISTING STRUCTURAL MEMBERS IS NOT INCLUDED IN THE SCOPE OF WORK.

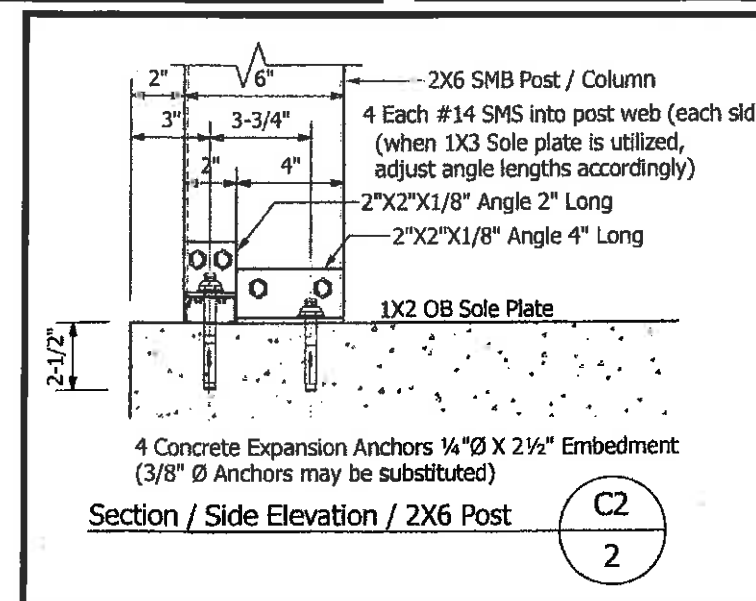
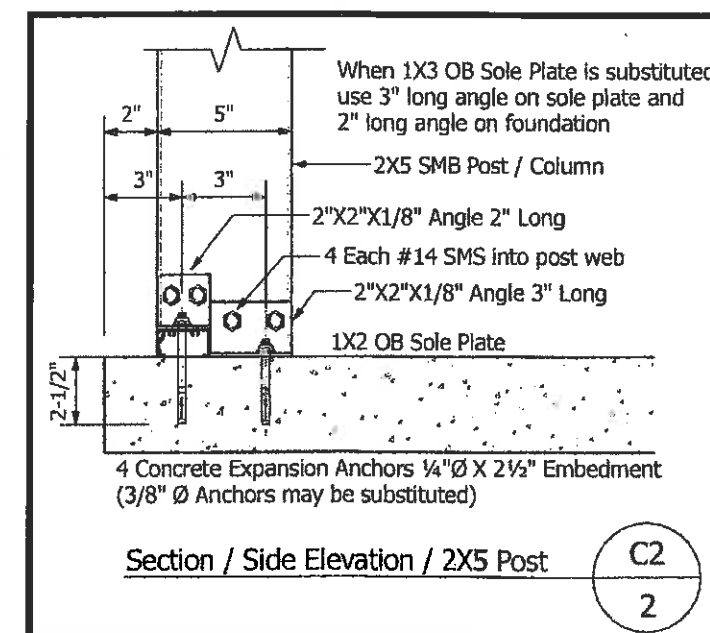
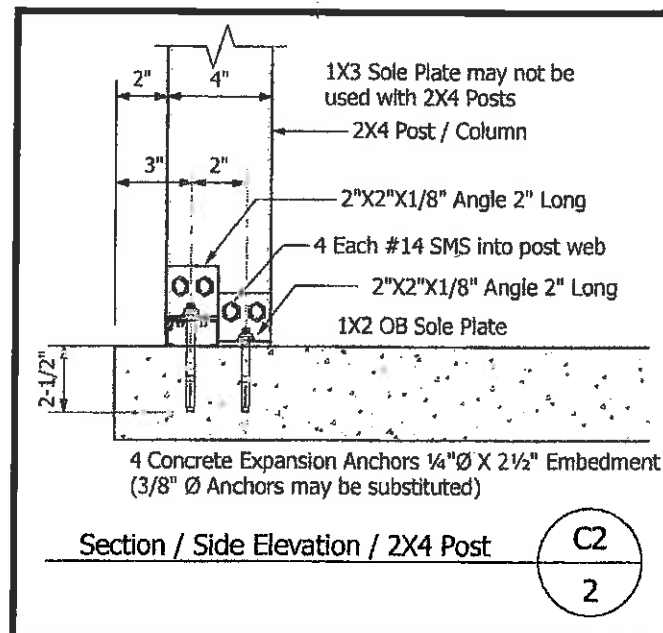
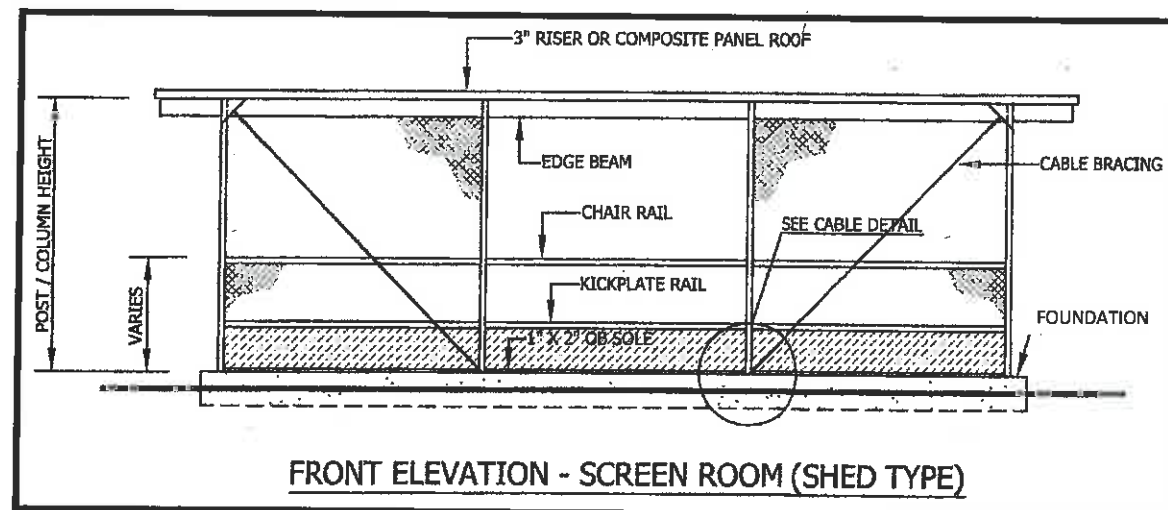
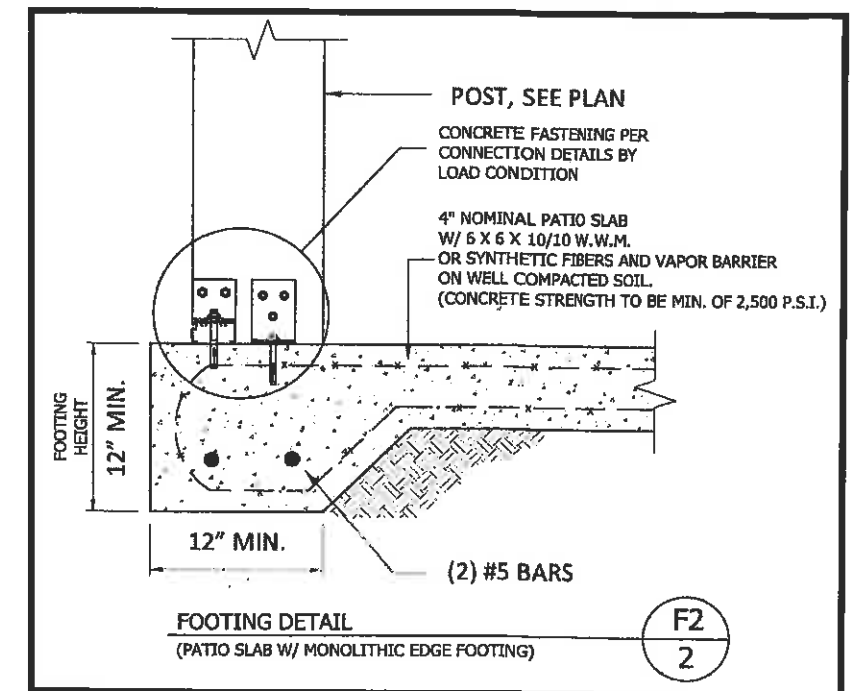
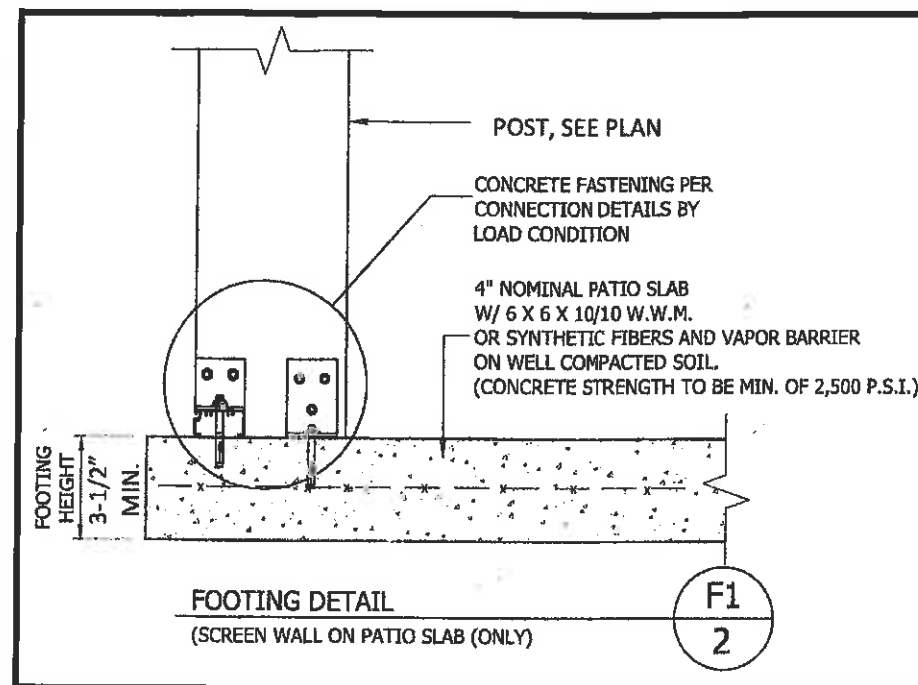
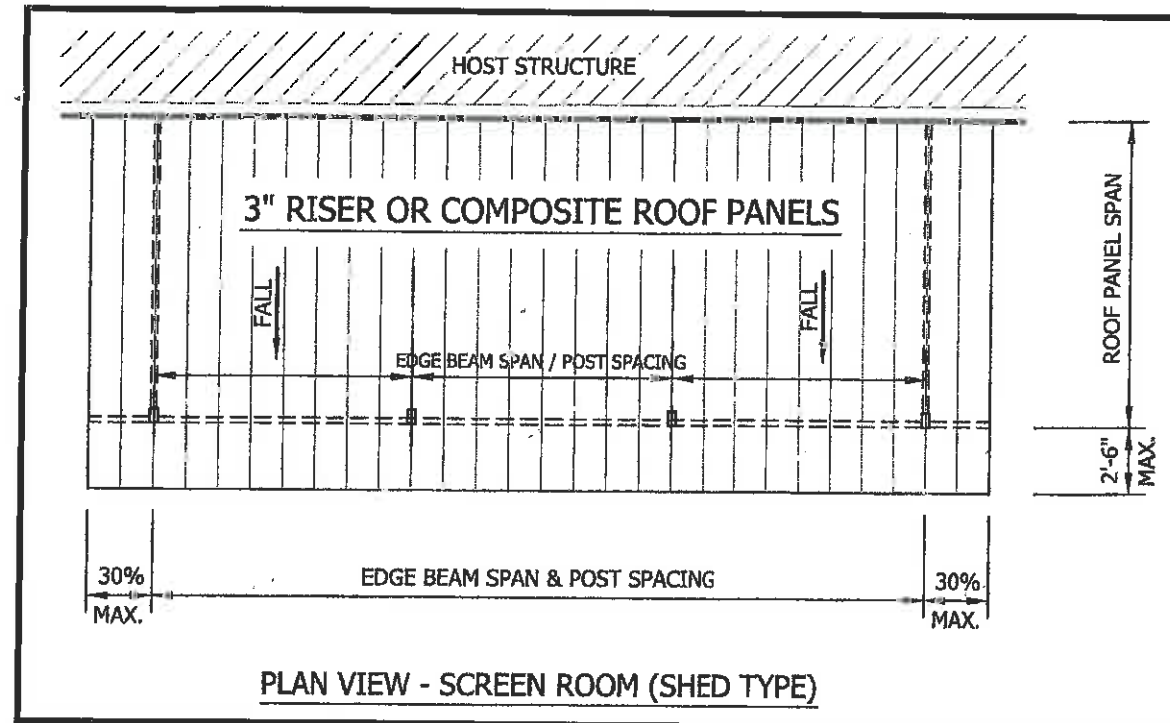
JOSEPH D. GASKIN, P.E.
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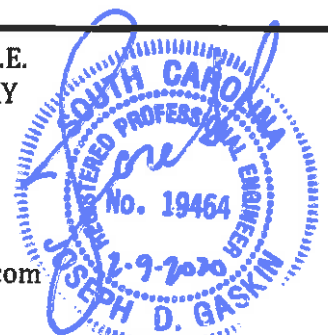
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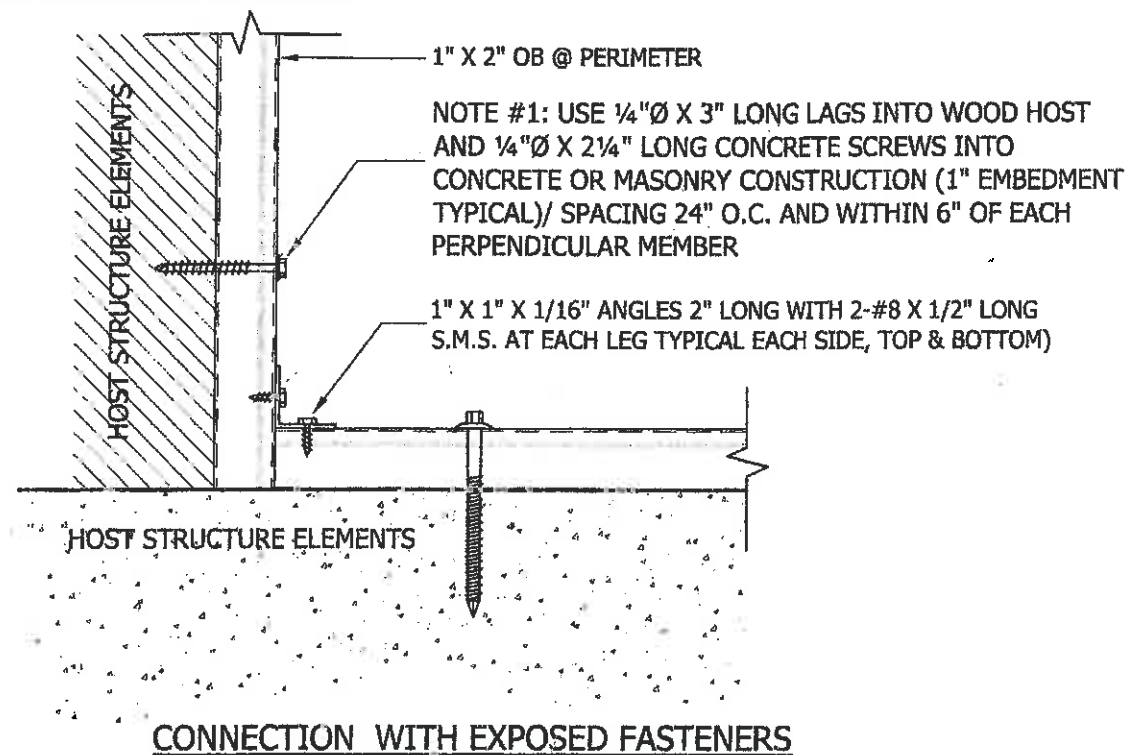


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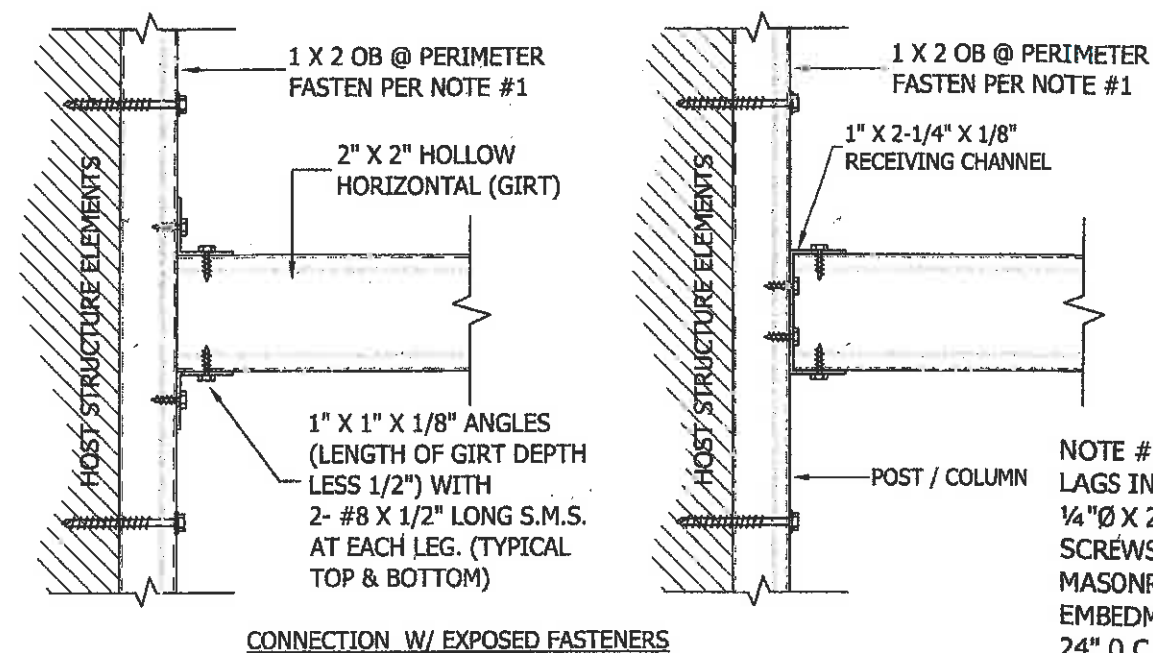
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INK FOR THIS TO BE AN AUTHORIZED COPY FOR
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PARTIAL ELEVATIONS / 1" X 2" TO 1" X 2" CONNECTIONS

C3

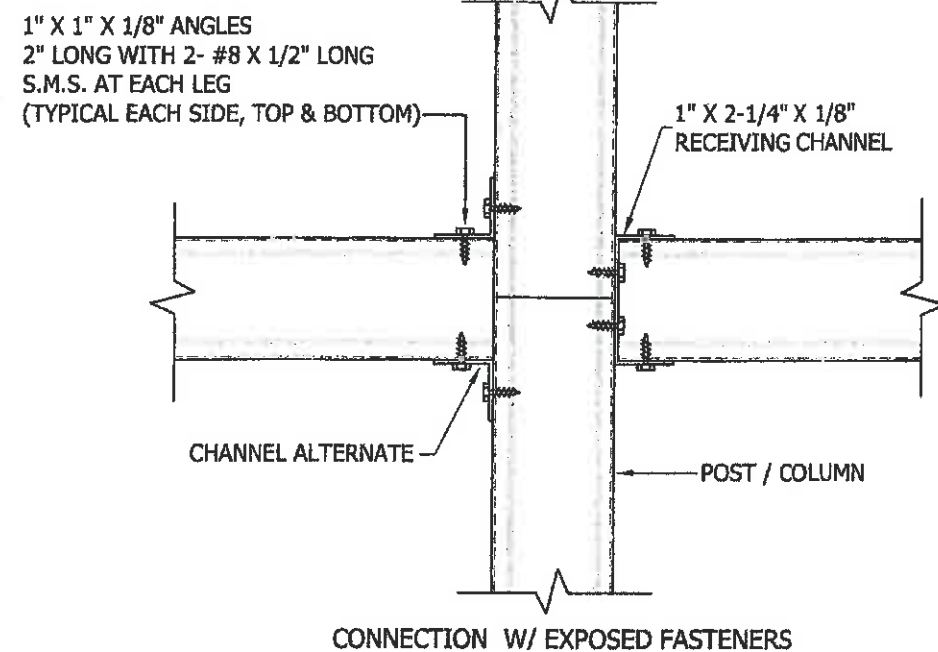
2



PARTIAL ELEVATIONS / 2 X 2 GIRT TO 1 X 2 CONNECTIONS

C4

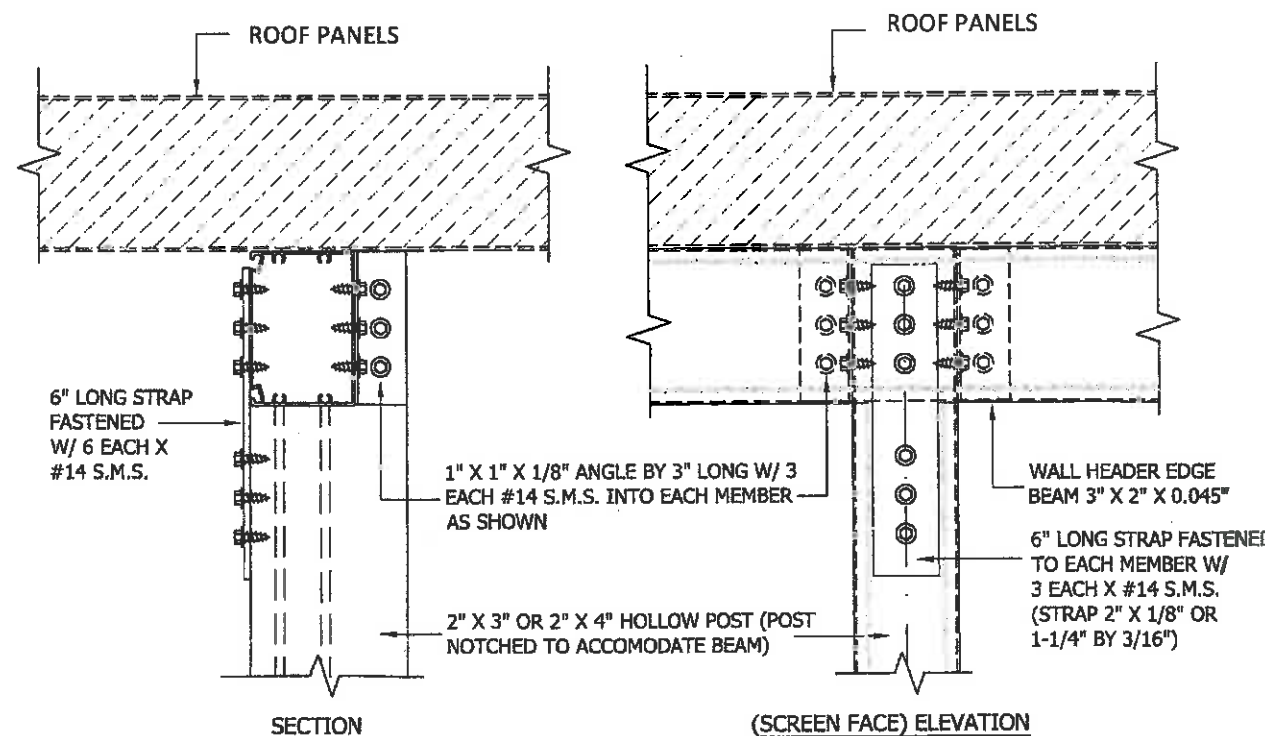
2



PARTIAL ELEVATIONS / GIRT TO POST CONNECTIONS

C5

2



EDGE BEAM FASTENING DETAILS - 3" X 2" BEAM & HOLLOW POST
(3" X 2" HEADER DETAIL #2)

ROOF PANEL FASTENING REQUIREMENTS

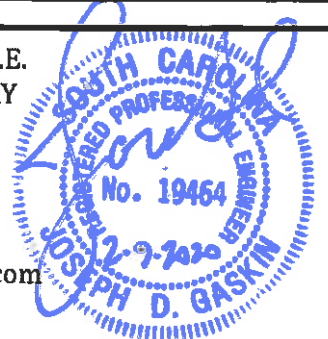
COMPOSITE ROOF PANELS SHALL BE FASTENED TO ALL SUPPORTING BEAMS WITH #12x4" SMS AT 8" O.C. MAX. W/ 1- 1/4" DIA. NEO-WASHERS, TYP.

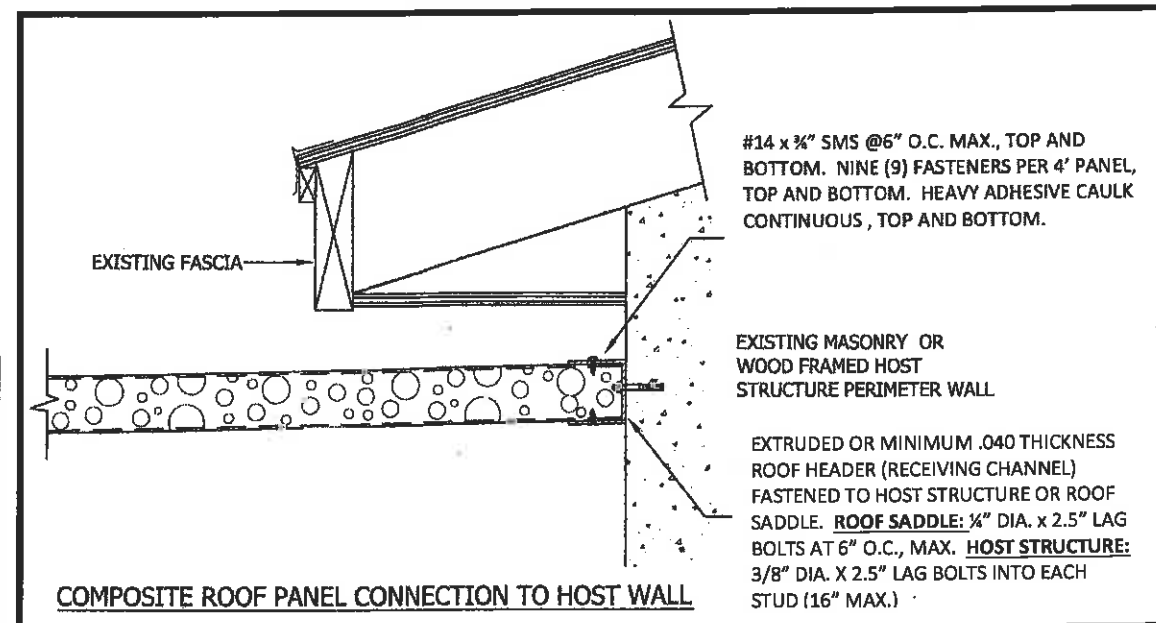
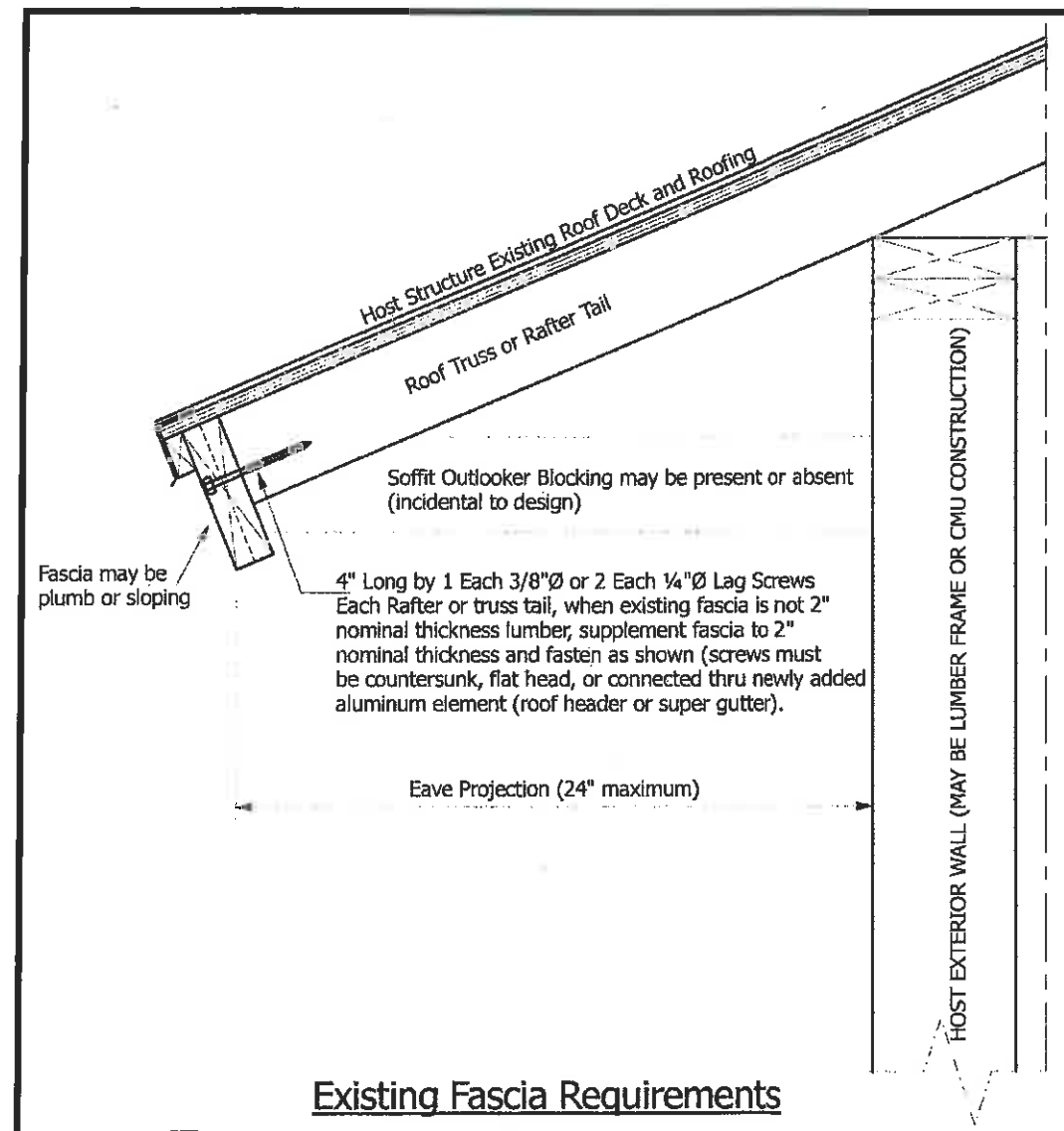
(USE 5" LONG FASTENERS WHEN USING 4" THICK PANELS, 1" MIN. PENETRATION REQ'D)

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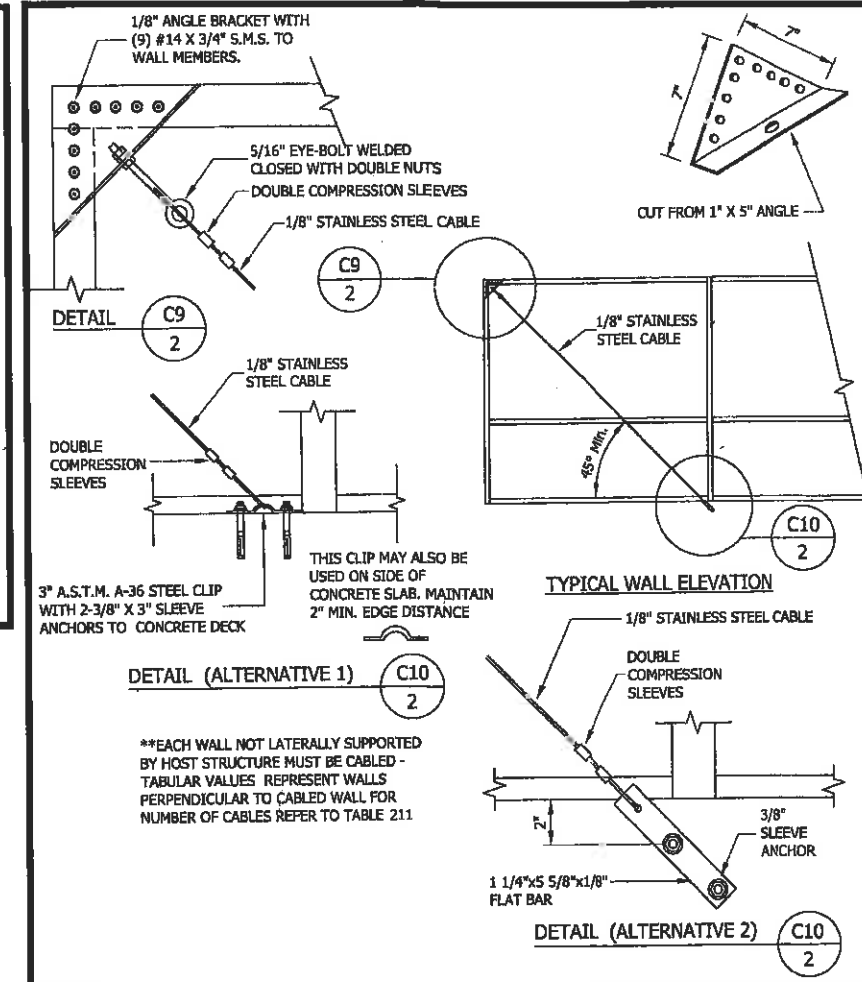
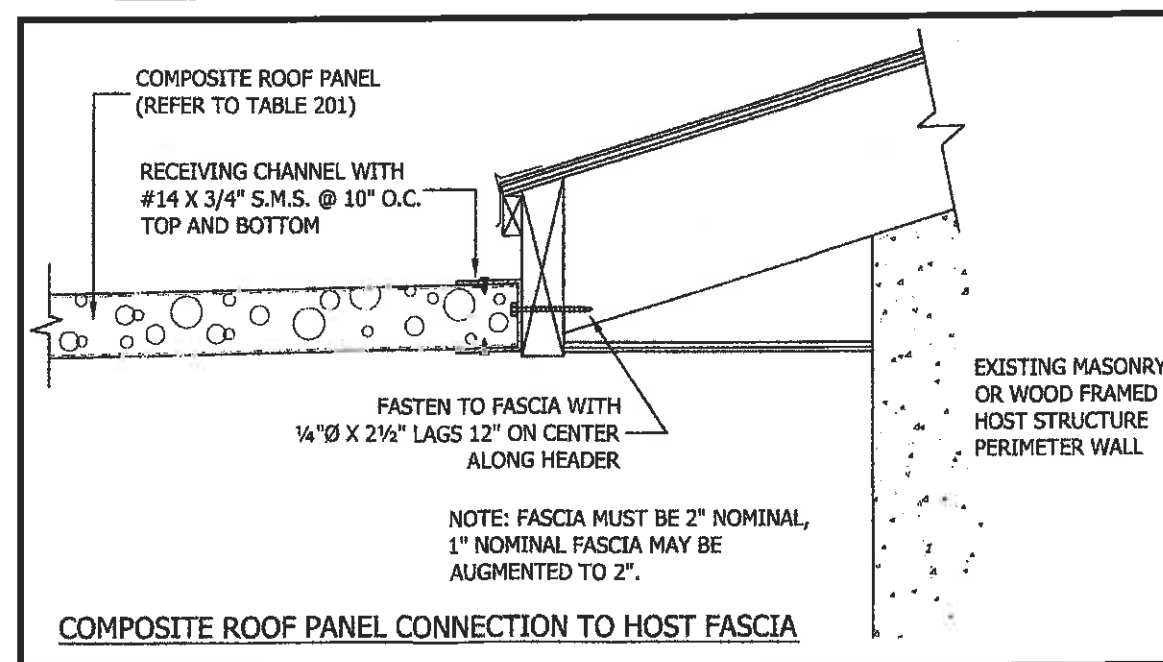


DETAIL ABOVE SHALL BE USED FOR CONNECTION OF COMPOSITE ROOF SADDLE TO ROOF SADDLE OR HOST STRUCTURE WALL.

ROOF PANEL FASTENING REQUIREMENTS

COMPOSITE ROOF PANELS SHALL BE FASTENED TO ALL SUPPORTING BEAMS WITH #12x4" SMS AT 8" O.C. MAX. W/ 1- 1/4" DIA. NEO-WASHERS, TYP.

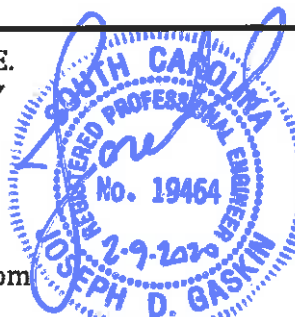
(USE 5" LONG FASTENERS WHEN USING 4" THICK PANELS, 1" MIN. PENETRATION REQ'D)



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501 Carteret Street

PIN R120 004 000 0731 00000

Alterations and Additions

Applicant: Joel Newman (20-18 HRB.1)



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
13 May 2020

1 SUMMARY OF REQUEST

The applicant, Joel Newman, is requesting alterations of an existing non-historic building and elevation of structure approximately 26 inches to accommodate FEMA requirements.

2 FACTS

Property Address:	501 Carteret Street
Parcel ID:	R120 004 000 0731 0000
Case Number:	20-18 HRB.1
Applicant:	Joel Newman, Thomas and Dezinger Architects
Type of Request:	Alterations, Additions
Zoning:	T4-N
Use:	Inn / Motel / Hotel

District Development Standards for T4-N:

- **Minimum Lot Size:** *n/a*
- **Setback requirements – Primary Structure:**
 - *Front – 0' min., 15' max.*
 - *Rear setback – 10' minimum*
 - *Side Interior – 5' min, or 0' if attached*
 - *Side Corner/Alley – 0' min., 10' max.*
- **Frontage Build out:** 60% min; 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed
- **Permitted Uses:** Single Family Dwelling, or Two- or Three-Unit Dwelling is permitted by right in the T4-N zoning classification.

Historical Background:

This project has not previously come before the Board.

References

City of Beaufort Strategic Plan 2019 - 2021

Civic Master Plan, adopted 2014

The Beaufort Code, rev. 2018

Beaufort Preservation Manual and Supplement

3 STAFF COMMENTS

- Due to programmatic requirements of converting building into use as a small Inn, code and FEMA regulations are requiring the structure to be elevated above FEMA base flood elevation. This will increase the overall height of the structure by approximately 26 inches which will visually alter the relationship to the streetscape. This alteration is necessary, and the applicant is sensitive to limiting this visual affect. Foundation paint color selection should be sensitive to minimize the visual difference this additional height creates relative to the street. Applicant should consider appropriate plantings to soften and transition the foundation to the new floor level. Note: flood vents illustrated on the proposed west and north elevations appear too high in foundation walls to accommodate FEMA requirements.
- The existing two hipped roof residential forms flanking a recessed courtyard along the west elevation are part of what makes the overall massing of this building pleasing – the proportions are successfully set within the adjacent residential buildings. Applicant’s design providing more public connection through the courtyard space is preferred to the existing disconnected courtyard. However, the courtyard space is reduced. However, staff understands applicant’s reasoning from the program requirements. Applicant should consider a material and/or color change on the new “courtyard” wall between the two hipped roof forms. The material and/or color change may provide an opportunity to visually recess the new “courtyard” wall keeping the two hipped roof forms as the focal point.
- On the west elevation, it is good to see the applicant’s slight variation of the fenestration within the south hipped roof form which differentiates it from its north counterpart. Staff asks the applicant to consider a middle window on the first floor of guestroom 3 to mimic the series of windows directly above. Also, on the west elevation staff understands the programmatic requirement for porch #3 and the one directly above. However, these porches located on the north side of the hipped roof mass detract from the overall composition of hipped roof masses with their southern exposed porches.
- The west entry stair on revised west elevation sheet 7.0A is visually heavy and disconnects the building from the streetscape. It is preferred that the entry stair be lighter visually as shown in the 3D rendering image the applicant provided.
- The existing south elevation is a prominent feature to this street corner. The existing band of windows under the low roof are balanced with the solid wall and Palladian window below. The south elevation illustrated on sheet 7.1A shows a canopy over the new door at grade level and an idea of applied ornament surrounding the door. The south elevation illustrated in the 3D rendering doesn’t illustrate the same concept as on sheet 7.1A and the door visually needs a covering and/or window above the door. Should a window be placed above this door, its head should align with the heads of flanking windows. Applicant should restudy the south elevation mass between the two porches to visually improve this elevation and find appropriate balance of solid and void.
- East elevation alterations appear to be limited to the northeast entry and fenestration changes in the middle part of the elevation. Staff feels these alterations are generally good and maintain architectural balance and order. Applicant should consider possible roof covering over the wheelchair lift and possible screening of the lift’s tower dependent on manufacturer and model selected. Applicant to provide information and details on the

wheelchair lift. Note that these outdoor wheelchair lifts in the coastal environment are tough to maintain and will deteriorate quickly. Is there not an opportunity for a more passive solution such as a ramp?

4 STAFF RECOMMENDATION

Applicant's alterations are generally positive and in-keeping with the concept of differentiated but compatible in the historic district. Staff recommends preliminary approval with staff comments noted above.



DEVELOPMENT REVIEW PROCESS HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

- ☐ Staff Review
☐ Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: _____ Application #: _____ Zoning District: _____
BCAGHS Survey: ☐ Yes ☐ No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: ☐ Conceptual ☐ Preliminary ☐ Final ☐ Bailey Bill Approval* ☐ Change After Certification
**Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? ☐ Yes ☐ No

Applicant, Property, and Project Information

Applicant Name: _____

Applicant Address: _____

Applicant E-mail: _____ Applicant Phone Number: _____

Applicant Title: ☐ Homeowner ☐ Tenant ☐ Architect ☐ Engineer ☐ Developer

Owner (if other than the Applicant): _____

Owner Address: _____

Project Name: _____

Property Address: _____

Property Identification Number (Tax Map & Parcel Number): _____

Date Submitted: _____

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: _____ Date: _____

Owner's Signature: _____ Date: _____

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019

DEVELOPMENT REVIEW PROCESS

HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: _____

Property Size in Acres: _____ Proposed Building Use: _____

Nature of Work (check all that apply):

- ☐ New Construction, Primary Structure ☐ New Construction, Primary Structure ☐ Alterations / Additions
☐ Demolition* ☐ Relocation* **Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

[illegible]

CONTACT INFORMATION –

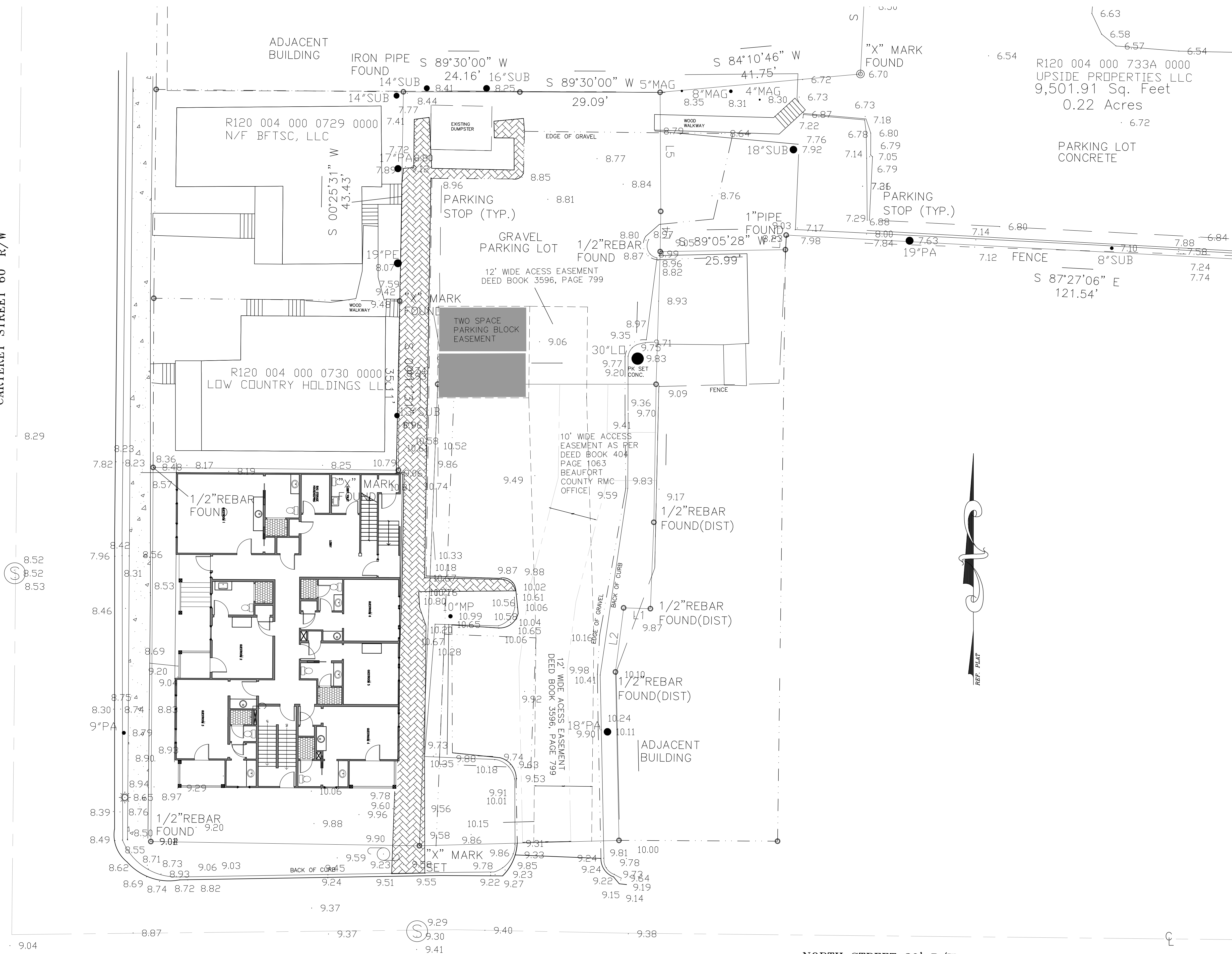
Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

CARTERET STREET 60' R/W



PK NAIL SET
N:218567.9577
E:2101977.0774

NORTH STREET 30' R/W

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

THOMAS & DENZINGER ARCHITECTS

920 Bay Street, Beaufort, South Carolina 29902
Telephone: 843.524.6361
138 St. Philip Street, Suite 200, Charleston, South Carolina 29403 Telephone: 843.723.6651
73 1/2 State Street, Charleston, South Carolina 29402 Telephone: 843.577.5373

Mk	Description	Date
Revised		

Project Title
RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title
SITE PLAN

Date
MARCH 2020

Scale
1" = 10' - 0"

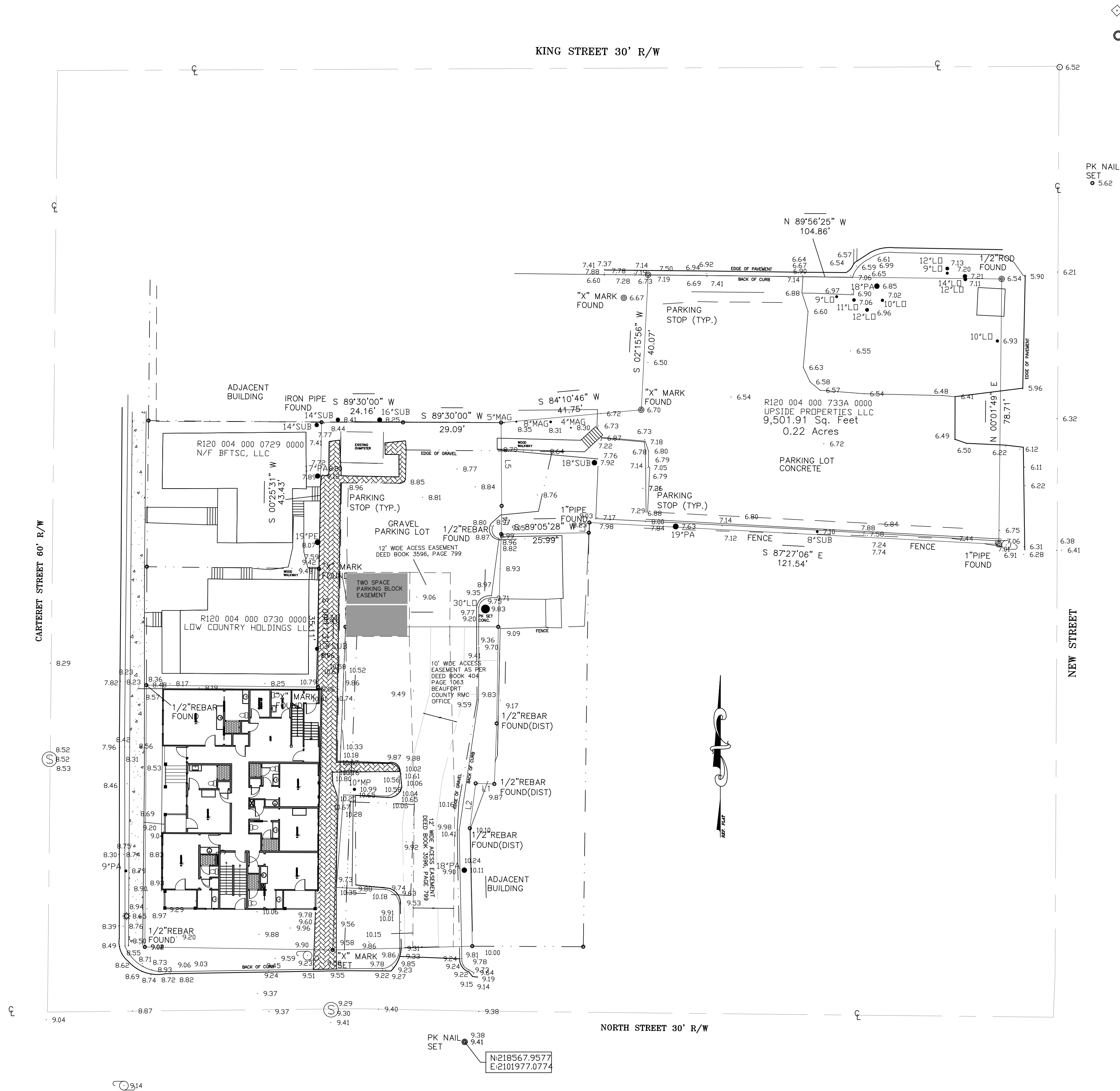
Drawing No.

2.0

PLOT DATE: 3/23/2020 4:31 PM

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PRELIMINARY DESIGN
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Mk	Description	Date
Revised		
Project Title		
RENOVATIONS TO WONDERS BUILDING 501 CARTERET STREET BEAUFORT SOUTH CAROLINA		
Drawing Title		
SITE PLAN		
Date		
MARCH 2020		
Scale		
1" = 20' - 0"		
Drawing No.		
2.1		

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PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		

Project Title
RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title
REVISED FIRST FLOOR PLAN

Date
MARCH 2020

Scale
1/4" = 1'-0"

Drawing No.

4.0A

THOMAS &
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REVISED SECOND FLOOR PLAN
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		

Project Title
RENOVATIONS TO
WONDERS BUILDING

BEAUFORT
501 CARTERET STREET
SOUTH CAROLINA

Drawing Title
REVISED SECOND FLOOR PLAN

Date
MARCH 2020
Scale
1/4" = 1'-0"
Drawing No.

4.2A



PRELIMINARY DESIGN
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THOMAS & DENZINGER ARCHITECTS

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Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

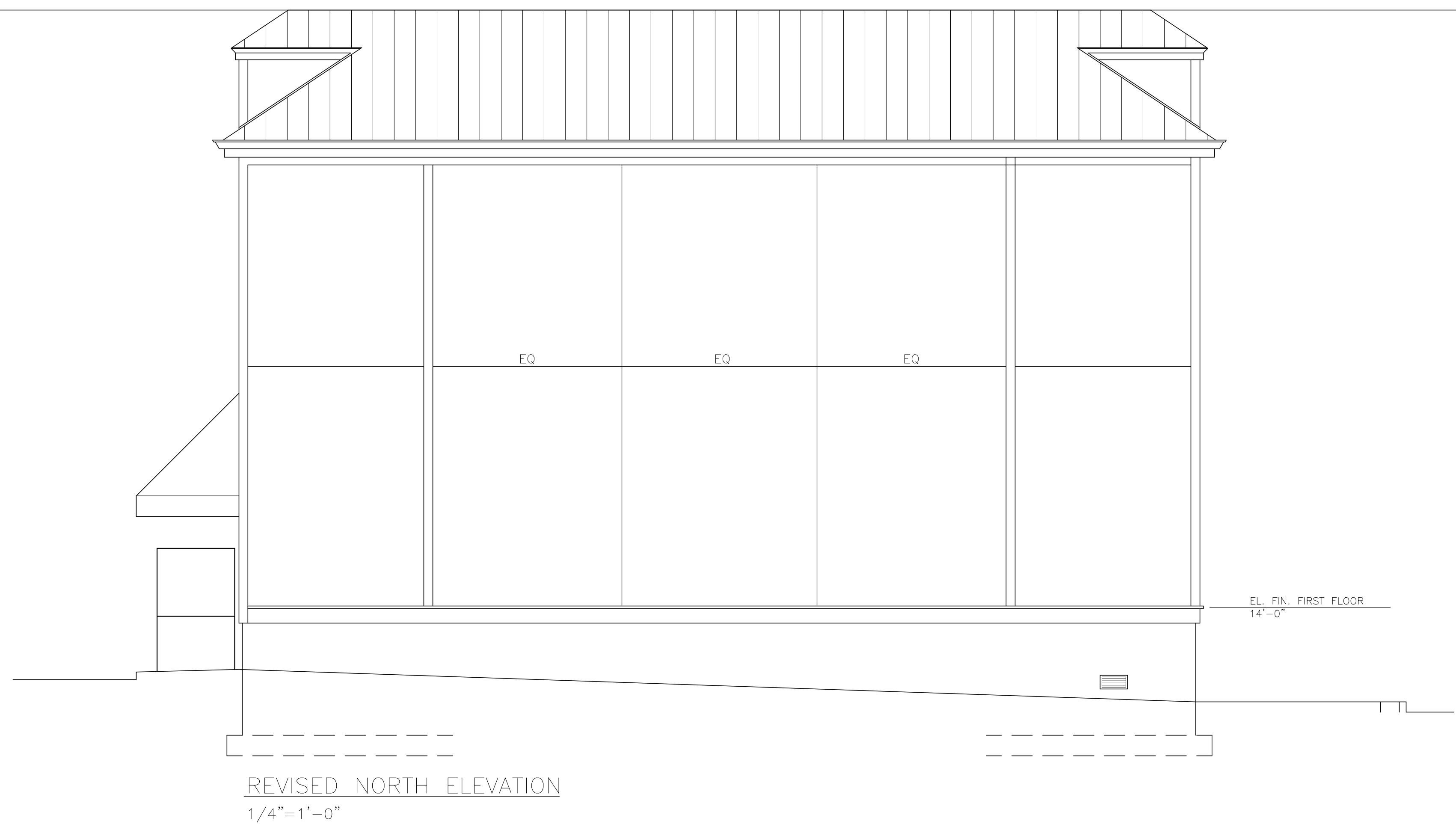
REVISED BUILDING ELEVATIONS

Date
FEBRUARY 2020

Scale
1/4" = 1'-0"

Drawing No.

7.0A



PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

REVISED BUILDING ELEVATIONS

Date

MARCH 2020

Scale

1/4" = 1'-0"

Drawing No.

7.2A







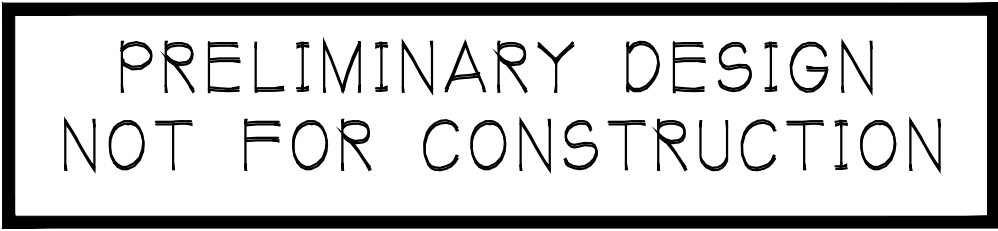














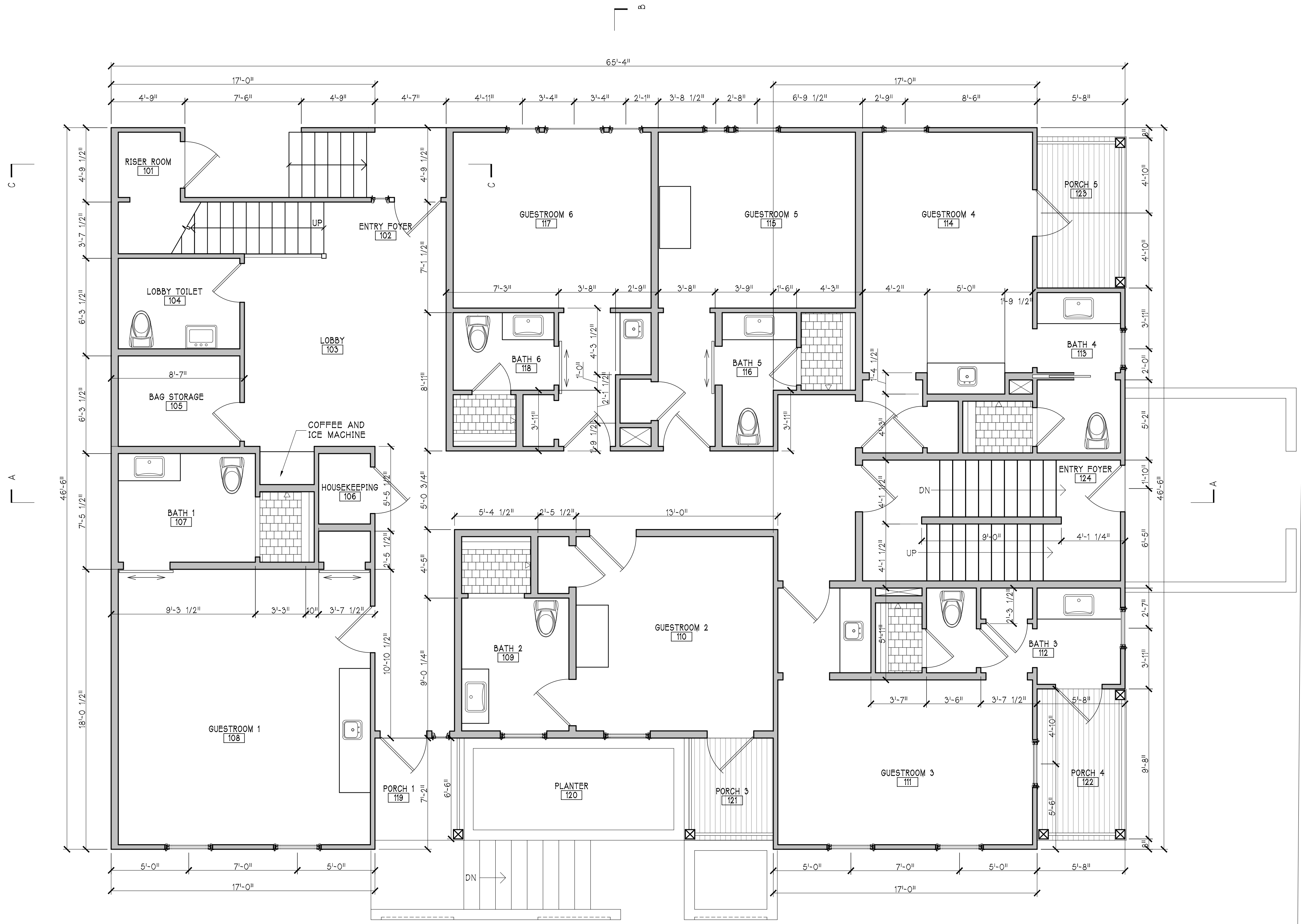
40

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PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

REVISED FIRST FLOOR PLAN

Date
MARCH 2020

Scale
1/4" = 1'-0"

Drawing No.

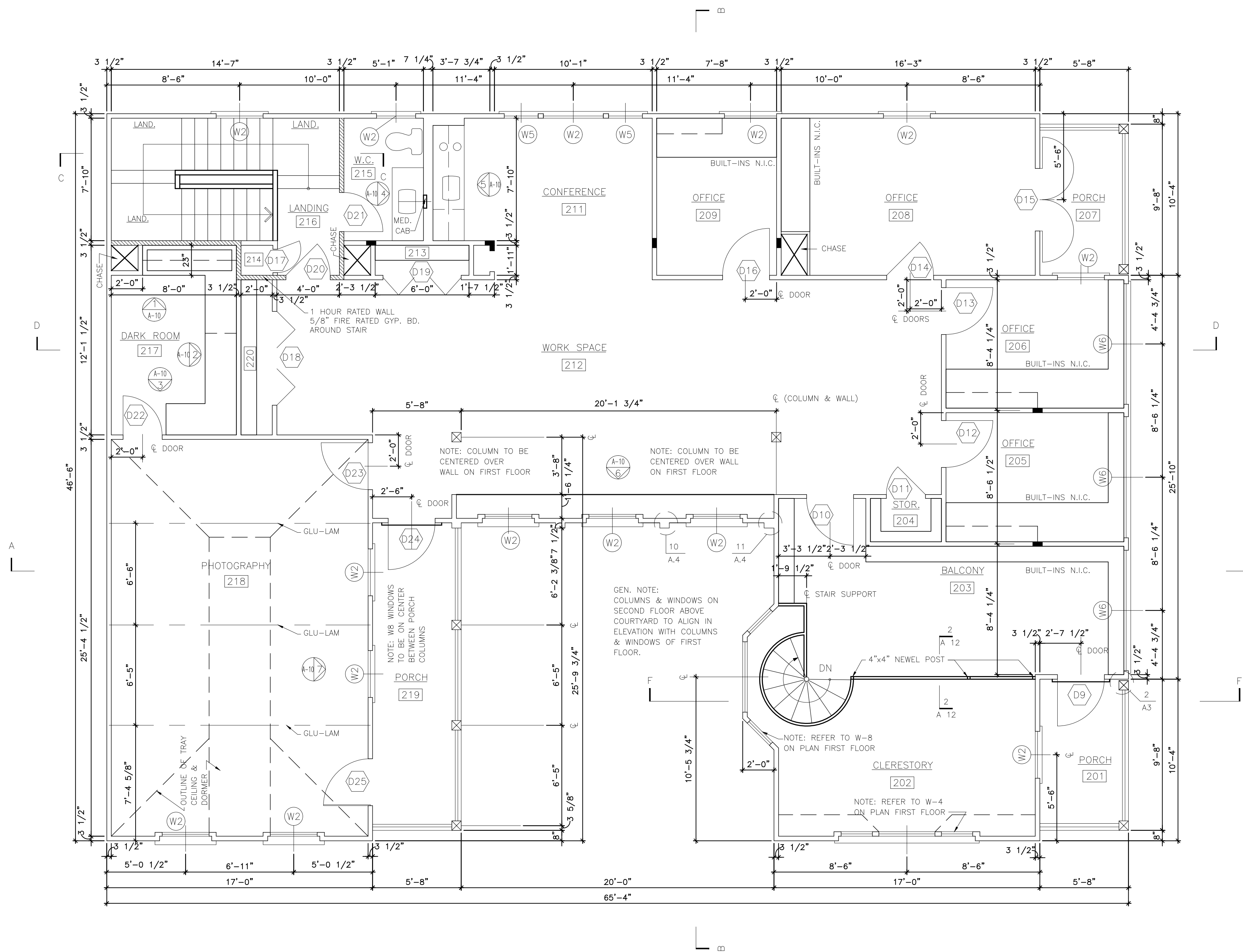
4.0A

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EXISTING SECOND FLOOR PLAN
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
----	-------------	------

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET ST
BEAUFORT
SOUTH CAROLINA

Drawing Title

EXISTING SECOND FLOOR PLAN

Date

MARCH 2020

Scale

SOUTH CAROLINA

Drawing No.

4.2

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REVISED SECOND FLOOR PLAN
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Reviewed		

Project Title
RENOVATIONS TO
WONDERS BUILDING
601 CARTERET ST
BEAUFORT
SOUTH CAROLINA

Drawing Title
REVISED SECOND FLOOR PLAN

Date
MARCH 2020
Scale
1/4" = 1'-0"
Drawing No.

4.2A

THOMAS & DENZINGER ARCHITECTS

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EXISTING WEST ELEVATION
1/4" = 1'-0"

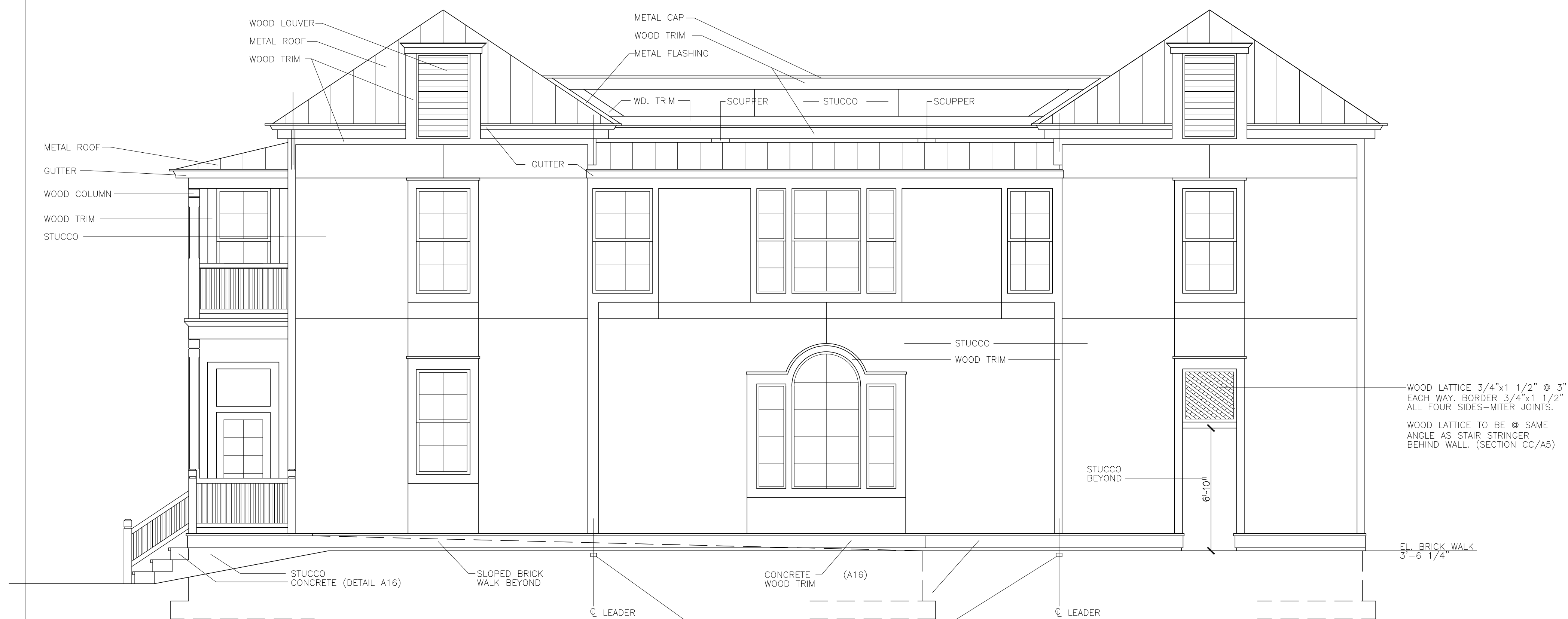
**AWNING SCHEDULE

*WIDTH	PROJECTION	NO.REQ.
3'-3"	5'-0"	9
10'-0"	5'-0"	9

**REF. TO DETAILS 4,5,6,7,8,9,10 SHEET A-8
FOR AWNING
* WIDTH OF WINDOW RECESS



EXISTING SECTION/ELEVATION
1/4" = 1'-0"



EXISTING EAST ELEVATION
1/4" = 1'-0"

Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

EXISTING BUILDING ELEVATIONS

Date
FEBRUARY 2020

Scale
1/4" = 1'-0"

Drawing No.

7.0

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

THOMAS &
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REVISED WEST ELEVATION
1/4"=1'-0"



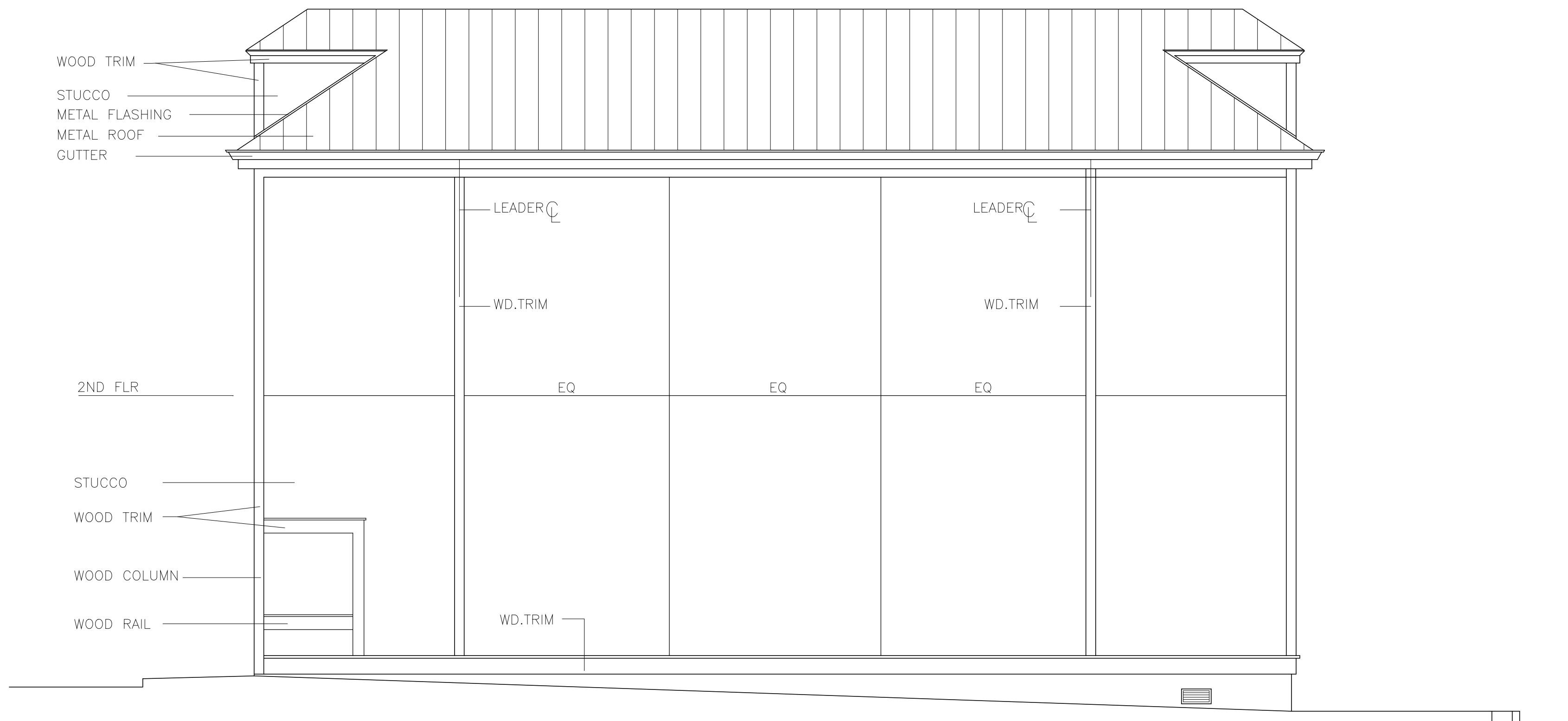
EAST ELEVATION
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		
Project Title		
RENOVATIONS TO WONDERS BUILDING 501 CARTERET STREET BEAUFORT SOUTH CAROLINA		
Drawing Title		
REVISED BUILDING ELEVATIONS		
Date		
FEBRUARY 2020		
Scale		
1/4" = 1'-0"		
Drawing No.		
7.0A		



EXISTING SOUTH ELEVATION
1/4"=1'-0"



EXISTING NORTH ELEVATION
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

EXISTING BUILDING ELEVATIONS

Date
FEBRUARY 2020

Scale
1/4" = 1'-0"

Drawing No.

7.1

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DENZINGER
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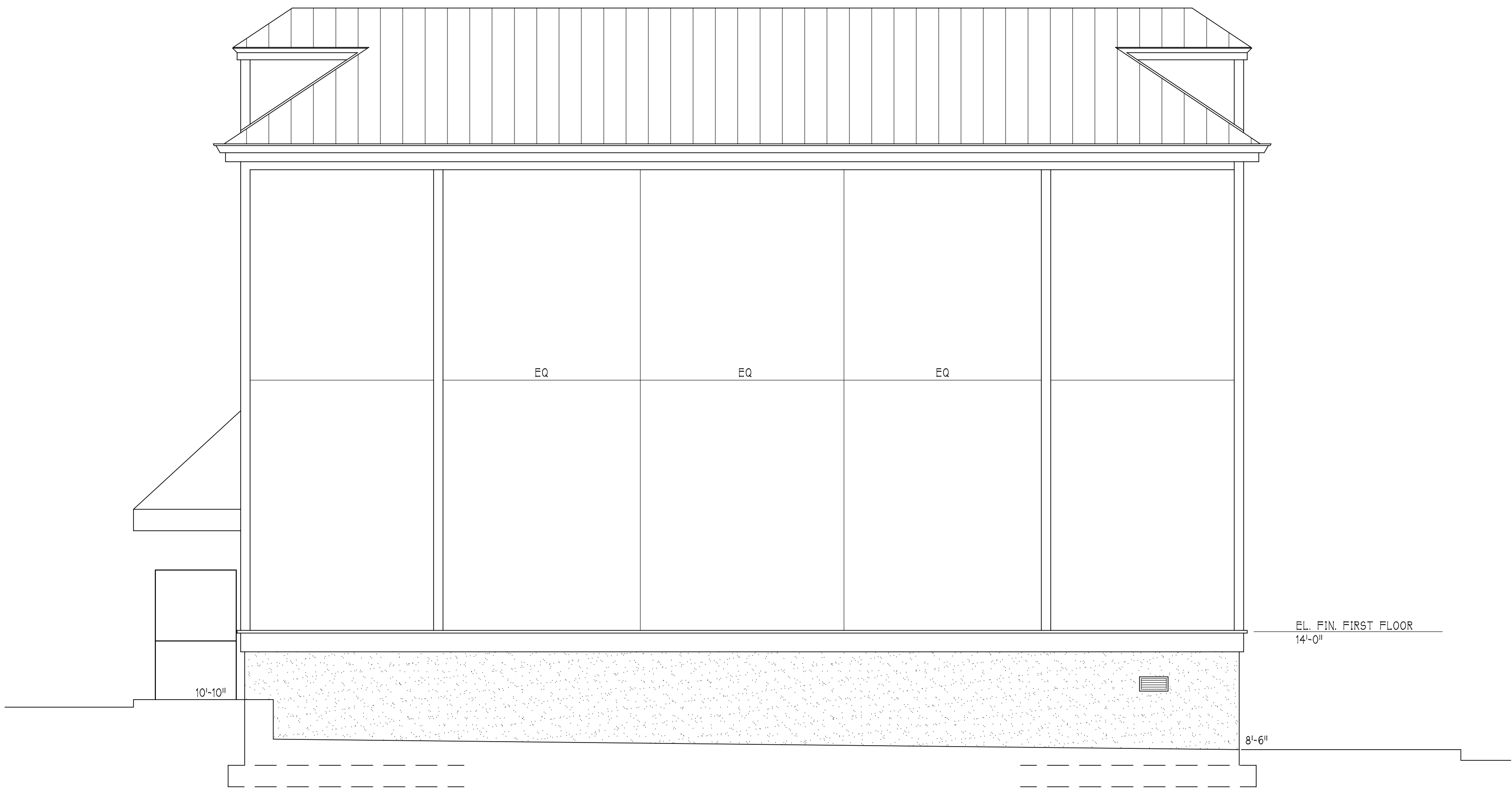
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REVISED SOUTH ELEVATION
1/4"=1'-0"



REVISED NORTH ELEVATION
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

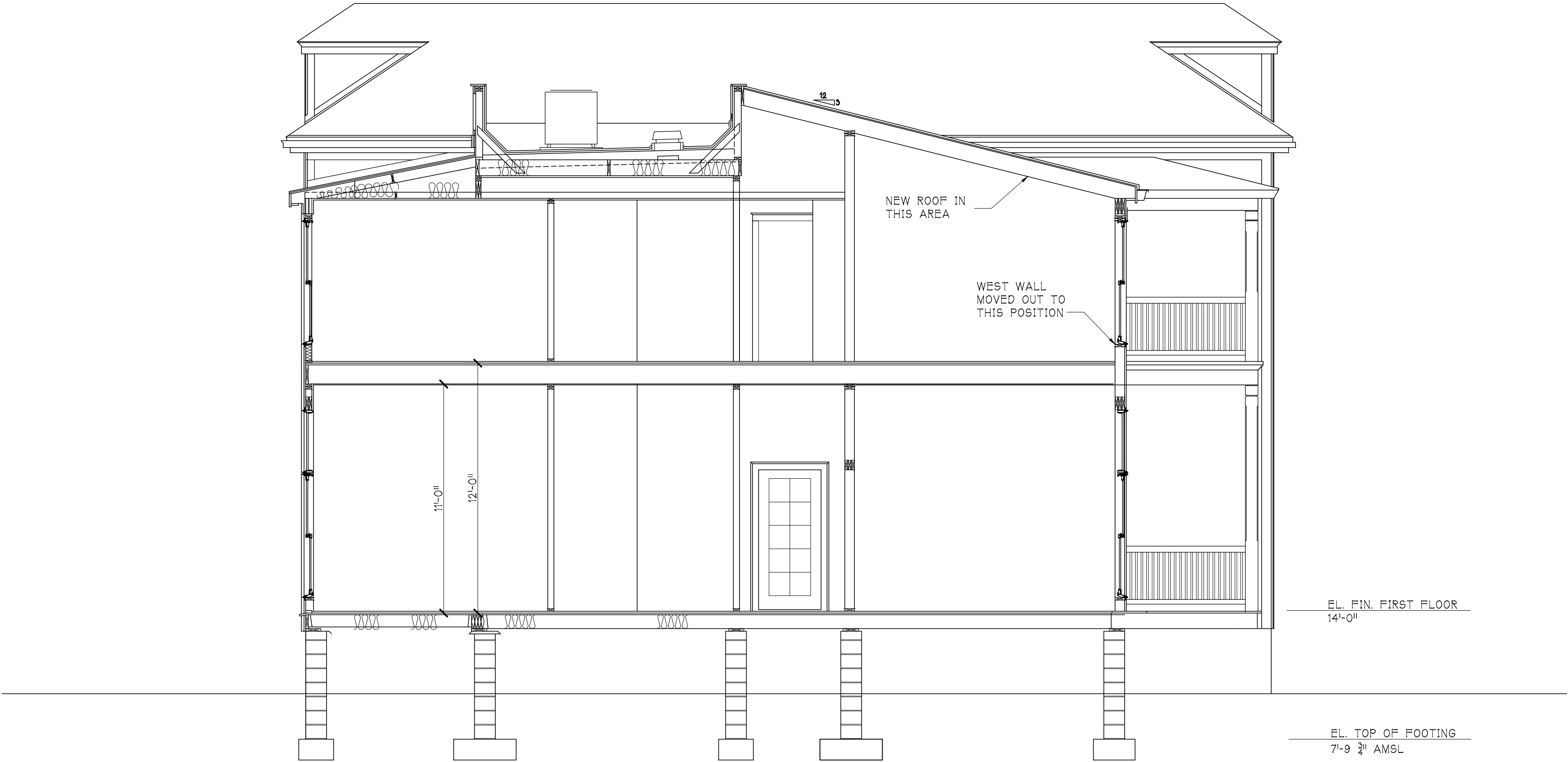
REVISED BUILDING ELEVATIONS

Date
MARCH 2020

Scale
1/4" = 1'-0"

Drawing No.

7.1A



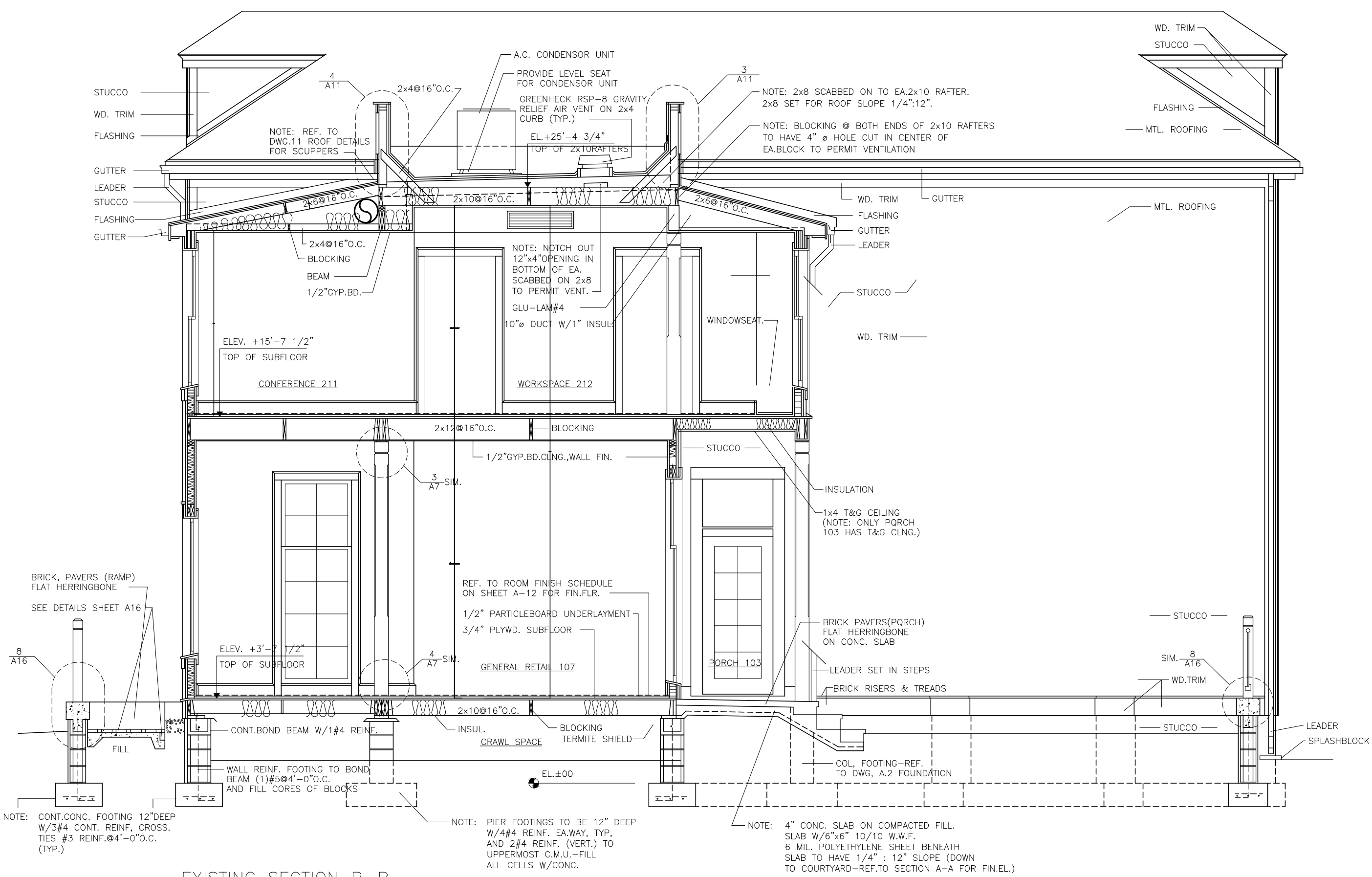
REVISED SECTION B-B
1/4"=1'-0"

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

Mk	Description	Date
Revised		
Project Title		
RENOVATIONS TO WONDERS BUILDING 501 CARTERET STREET BEAUFORT SOUTH CAROLINA		
Drawing Title		
REVISED BUILDING SECTIONS		
Date		
MARCH 2020		
Scale		
1/4" = 1'-0"		
Drawing No.		
8.0A		



EXISTING SECTION
1/4"=1'-0"



EXISTING SECTION B-B
1/4"=1'-0"

Mk	Description	Date
Revised		

Project Title

RENOVATIONS TO
WONDERS BUILDING
501 CARTERET STREET
BEAUFORT
SOUTH CAROLINA

Drawing Title

EXISTING BUILDING SECTIONS

Date
MARCH 2020

Scale
1/4" = 1'-0"

Drawing No.

8.1

PRELIMINARY DESIGN
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