



## **AGENDA**

City of Beaufort

### **DESIGN REVIEW BOARD MEETING**

Thursday, July 14, 2022, 2:00 P.M.

**City Hall, Council Chambers, 2<sup>nd</sup> Floor – 1911 Boundary Street, Beaufort SC**

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87375365781?pwd=dEVNaHJPK0gvQjRPaGdxdU5FUHRaZz09>

Passcode: 035371

Meeting ID: ID: 873 7536 5781

Call in Phone#: 1+929-205-6099

#### **STATEMENT OF MEDIA NOTIFICATION:**

"In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place and agenda of this meeting."

*Note: A project will not be reviewed if the applicant or a representative is not present at the meeting.*

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#### **I. Call to Order**

#### **II. Review of Minutes:**

##### **A. Minutes of June 9, 2022 Meeting**

#### **III. Applications:**

##### **A. Coastal States Bank, PIN R120 004 000 0012 0000, 1203 Boundary Street. Applicant: Dana McClure, Warner Summers Architecture (22-06 DRB.3)**

The applicant is proposing a new single-story bank approximately 2,800 SF with attached 2-lane drive-thru.

##### **B. Desai Hotel, New Construction, PIN R120 06 000 0160 0000, 3670 Trask Parkway. Applicant: Tom Michaels, SM& Design, LLC (22-13 DRB.1)**

The applicant is requesting final approval for a new five-story, 116-room hotel at 12 County Shed Road. The site configuration includes a new parking lot and drop-off area.

#### **IV. Discussion**

#### **V. Adjournment**

# DRAFT

“Neighborhood St. 1 – General” on Church and C.6.6 on “Boundary St. 2A East of Ribault Road” section. Board would like applicant to save the 22” live oak tree on north side of lot and the 18” live oak on the Boundary side of the lot and encourage applicant to work with an arborist to work out a solution to save the 8” live oak tree near Boundary. In regard to the impervious, applicant to provide a drainage plan to not have a giant raingarden that could potentially be a hindrance to future development on the corner of Church and Calhoun. Board would like to see drive-thru lanes restudied to show the screening requirement and that be part of the building renderings, including views from both corners (Boundary and Church and Calhoun and Church) and include all landscape elements on the rendering and provide a landscape plan as well as a level of detail for a landscaping wall if applicant chooses to include a wall for screening. Applicant to revisit curb cuts and minimize radius to help slow down cars coming into the lot and crossing the sidewalk. Motion seconded by Mr. Petersen. Motion passed (3-0) with Mr. Cox abstaining.

**Motion 2 (1:37:50):** Mr. Petersen makes a motion for preliminary approval [*architecture*] with staff conditions along with Board conditions that the applicant do a color study, provide new updated renderings that show the appropriate window code requirements such as the window rowlock sill, and that the applicant also show a shed roof instead of the now-existing flat roof for design consideration along with hipping the drive-thru roof as well. Applicant to provide updated renderings that also show landscaping plans. Applicant to show a lighter roof color as part of the color study showing more natural (or Galvalume) color. Motion seconded by Mr. Suter. Motion passed (3-0), with Mr. Cox abstaining.

## DISCUSSION

1:40:56

The Board discussed incorporating a tree and topography survey in conceptual application list and overlay it on proposed designs and provide X-marks over trees proposed to be removed. Board to move landscape plan to preliminary application. Applicant to also provide appropriate street section design where applicable, compliant with Appendix C.

**Motion (1:46:00):** Mr. Petersen made a motion to amend the preliminary checklist to include landscaping plans and in that, have language showing street sections where applicable, and in conceptual, applicant to provide tree and topographical survey overlaid on conceptual design plan showing which trees will be eliminated and kept; seconded by Mr. Cox. Motion passed unanimously (4-0).

## ADJOURNMENT

1:47:53

Mr. Morillo made a motion to adjourn the meeting at 3:47 pm, Mr. Cox seconded. The motion passed unanimously.

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Chair

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Date of approval

# DRAFT



## Design Review Board Meeting Minutes –June 9, 2022

### CALL TO ORDER

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A regular meeting of the Design Review Board was held in-person on Thursday, June 9, 2022, at 2:00 PM.

### ATTENDEES

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Members in attendance: Benjie Morillo (Chair), Erik Petersen, Witt Cox (Virtual) and William Suter. Kimberly McFann (Vice-Chair) was absent from the meeting.

Staff in attendance: Jeremy Tate and Maria Short (Meadors Architecture).

### APPROVAL OF MINUTES

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**0:02:52**

**Motion:** Mr. Suter made a motion to approve the April 14, 2022 minutes; seconded by Mr. Petersen. The motion passed unanimously (4-0).

*All Design Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Traci Guldner at 843-525-7024 or by email at [tguldner@cityofbeaufort.org](mailto:tguldner@cityofbeaufort.org)*

### APPLICATIONS

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**0:05:35**

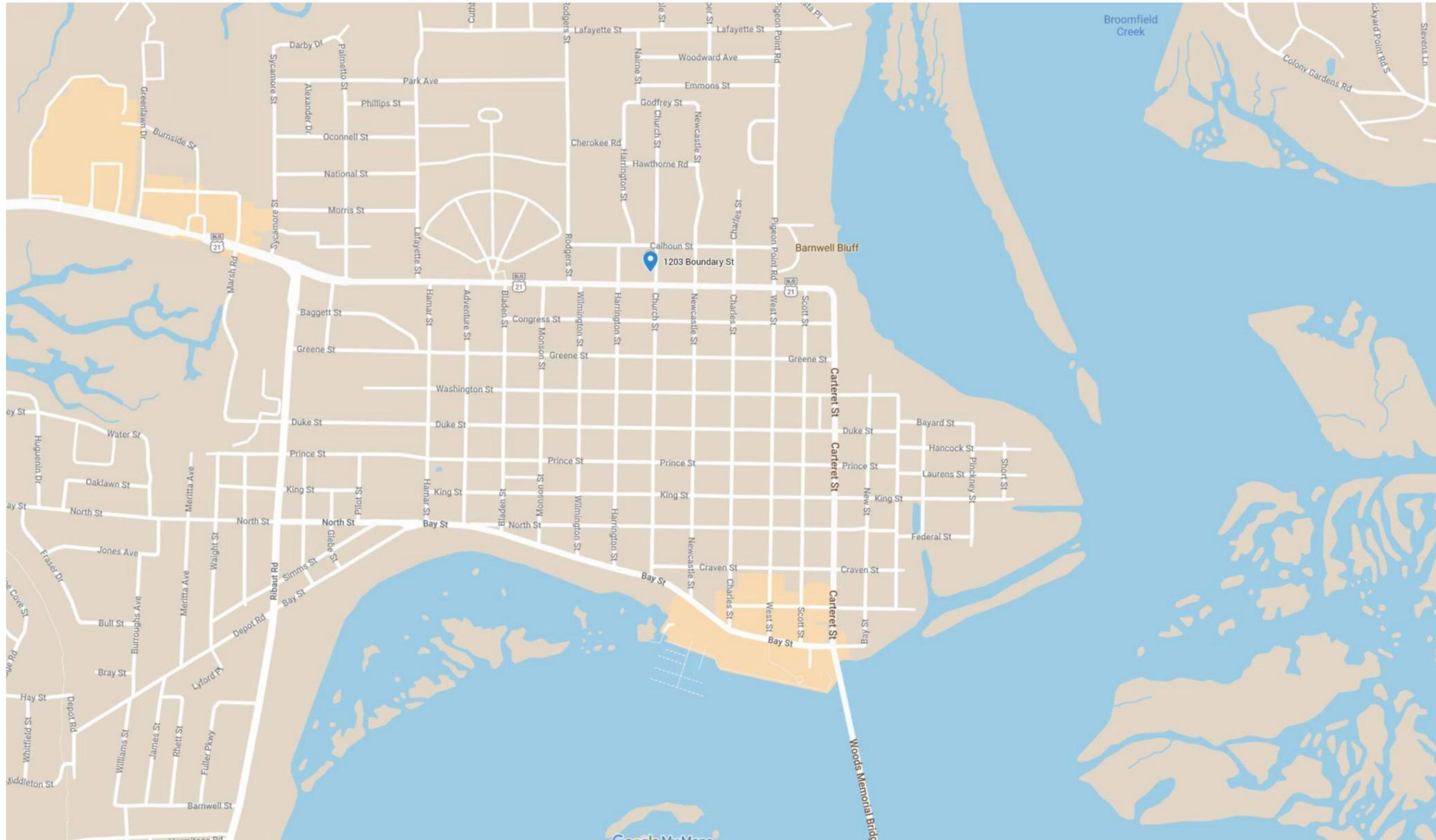
- A. **Coastal States Bank, PIN R120 004 000 0012 0000**, 1203 Boundary Street  
Applicant: Dana McClure, Warner Summers Architecture (22-06 DRB.2)

The applicant is proposing a new single-story bank approximately 2,800 SF with attached 2-lane drive-thru.

**Motion (1:29:00):** Mr. Morillo made a motion to defer the site plan with the staff comments and in addition to that, board comments regarding recalculating the minimum and maximum parking requirements and potentially using credits for on-street parking on the Church Street development, looking into reducing the impervious surface of the parking and reducing the parking on site in general to allow for a potential future development on the Calhoun Street and Church Street corner and submitting a master plan showing this potential future development. Board would also like to see on the site plan the street sections on Church and Boundary and Calhoun Streets showing the street infrastructure plan based on Appendix C.5.7 for the

## **CITY STAFF INTRODUCTION**

1203 Boundary Street  
Coastal States Bank





1203 Boundary 3 of 64







## **APPLICANT PRESENTATION**

1203 Boundary Street  
Coastal States Bank



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / website: www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:

OFFICE USE ONLY: Date Filed: Application #: Zoning District:

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. Upon receipt of an application, staff will review the submittal and then contact the applicant letting them know when the meeting will be. A complete schedule can be found at: https://www.cityofbeaufort.org/379/Design-Review-Board

Submittal Requirements: All forms and information shall be submitted digitally + 5 hardcopies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Dana McClure

Applicant Address: 1550 Southland Circle, Suite 100, Atlanta, GA 30318

Applicant E-mail: dmccclure@warnersummers.com Applicant Phone Number: 404.351.6075

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): 303 Associates

Owner Address: 2015 Boundary Street, Suite 300, Beaufort, SC 29902

Project Name: Coastal States Bank - Beaufort Branch

Property Address: 1203 Boundary Street, Beaufort, SC 29902

Property Identification Number (Tax Map & Parcel Number): R120 004 000 0012 0000

Date Submitted: June 16, 2022



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Required Project Information

Project Name: Coastal States Bank Beaufort Branch

Property Size in Acres: 0.70 Proposed Building Use: Bank Branch

Building Square Footage (if multiple buildings, please list each one and their square footage by floor): 2,700 SF

# of Parking Spaces Required: 7 # of Parking Spaces Provided: 10

Is this project a redevelopment project: Y [N]

Are there existing buildings on the site? Y [N] if yes, will they remain? Y N

Provide a brief Project Narrative and outline any specific questions you would like addressed.
Resubmittal for site preliminary review. Building has received preliminary approval.

New single-story bank branch with attached 2-lane drive-thru. Site work scope includes new curb cuts, parking lot, sidewalks and required landscaping. Building design will include steel frame structure, standing seam metal roofing, stucco, and board-and-batten hardie siding. Fenestration will be a combination of punched storefront windows, curtainwall and clerestory windows with black anodized metal and clear low-e glazing. Entrance canopy will be comprised of low slope TPO roof, pre-finished metal trim, and metal structure, all to be finished black or dark gray.

Applicant's Signature: [Signature] Date: June 16, 2022

Owner's Signature: [Signature] Date: June 16, 2022

(The owner's signature is required if the applicant is not the owner.)

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

# CITY OF BEAUFORT - DESIGN REVIEW

## Application Requirements

**\*DIGITAL SUBMITALL OF ALL DOCUMENTS ONLY\***

The *Beaufort Code* applies to all projects.

The *Civic Master Plan*, Adopted February 2014, shall be used as guidance for all projects.

All documents can be found online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

- The Beaufort Code can be found here: <http://www.cityofbeaufort.org/zoning-map-ordinance.aspx>
- The Civic Master Plan can be found here: <http://www.cityofbeaufort.org/345/Forms>

### General Notes:

- A complete application form, including a written narrative (both in digital form) and applicable fee, shall be submitted for each review. Application fees may be paid online or in person with a credit card or with a check made out to The City of Beaufort.
- Plans must be submitted in digital format only.
- All plans must be drawn to-scale, and shall include a scale bar on each drawing.
  - All plans for preliminary and final review shall have the following information:
    - Cover or Index Sheet with project title, developer name, consultant name, an index to drawings by title and sheet number, a project location map and if applicable a graphic key.
    - North Arrow (as appropriate) on all site plans;
    - Written and Graphic Scale on all plans; and
    - Appropriate Legends, Notes and Labels on all plans.
- An incomplete application will not be reviewed.
- Most projects submitted for Design Review should attend the Pre-Design conference – held every Tuesday at 2pm – prior to proceeding past the conceptual submission. A separate application form for the Pre-Design, along with submission instructions, can be found here: <http://www.cityofbeaufort.org/345/Forms>.

# City of Beaufort Design Review Checklists

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## Submission Requirements for Design Review Board or Staff Level Design Review New Construction / Additions where Design Review is Required

### Conceptual Review

- **Existing Context:** Color photographs of the existing structure, if applicable, and adjacent structures.
- **Plat:** A plat indicating the tax map and parcel number, and providing boundary information, setbacks and all existing items on the property including: existing structure(s), pavement, setbacks, existing trees 8” caliper DBH and greater, and fences.
- **Site Plan:** A site plan, to scale, indicating general design elements; this may be in sketch form, or a hard-lined drawing is acceptable as well. The site plan should include:
  - Proposed Buildings
  - Vehicular and Pedestrian Circulation
  - Parking Areas
  - Planting Areas, including existing trees
  - Connections to the public right-of-way and adjacent sites
  - Parking Requirement Calculation
  - Impervious Surface Calculation
  - Delivery and Service Areas
- **Floor Plans:** Floor Plans, showing the general interior layout of all
- **Building Elevations:** Conceptual Elevations of the front and sides. They should display massing and scale of new construction and how it relates to the surrounding context and existing structure (if applicable). For infill construction, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.

### Preliminary Review: All of the documents required for Conceptual Review, PLUS:

- **Detailed Site Plan:** A hard-lined site plan, including the following *additional* information: turning radii, all trees and trees to be removed marked with an “X”, pavement materials, existing grading, and conceptual proposed grading
- **Floor Plans:** Floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition
- **Building Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). Mechanical equipment should be dashed-in on elevations.
- **Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- **3-D Rendering:** A 3-D rendering showing the height, mass and scale of the proposed building in its context may be required for structures in infill contexts
- A Certified Arborist report is required for all grand trees (24” DBH and greater) which are affected by the project

Final Review: see the next sheet

# City of Beaufort Design Review Checklists

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## Submission Requirements

### New Construction / Additions where Design Review is Required Districts *(ctd.)*

**Final Review:** All of the documents required for Preliminary Review, PLUS:

- **Detailed Site Plan:** A hard-lined site plan(s), including the following *additional* information: utilities, mechanical equipment, stormwater, outdoor merchandise or vending
  - **Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include A schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.
  - **Building Elevations:** Elevations should be updated to include: mechanical equipment, lighting, location of signage, materials labeled, gutters and downspouts
  - **Details:** A typical wall section, window details, eave details, colonnade/awning details, and any other details characteristic to the building are required
  - **Material Samples:** Samples of windows, lighting and building materials may be required
  - **Final Materials List:** A final list, including colors, is required.
  - **Lighting:** A lighting and photometric should be prepared for the site. All exterior building lighting should be shown on the building elevations. If lights exceed 5500 lumens, they should be indicated on the photometric plan. Cut sheets are required for all site and exterior building lighting.
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## Submission Requirements

### New Construction / Additions where Design Review is NOT Required

- **Existing Context:** Color photographs of the adjacent structures and existing structure, if applicable.
- **Plat:** A plat indicating the tax map and parcel number, and providing boundary information, setbacks and all existing items on the property including: existing structure(s), pavement, setbacks, existing trees 8” caliper DBH and greater, and fences.
- **Site Plan:** A site plan, to scale, indicating general design elements; this may be in sketch form, or a hard-lined drawing is acceptable as well. The site plan should include:
  - Proposed Buildings
  - Vehicular and Pedestrian Circulation
  - Delivery and Service Areas
  - Parking Areas
  - Planting Areas
  - All existing 8”+ caliper DBH trees
  - Trees to be removed marked with “X”
  - Mechanical Equipment
  - Connections to the public right-of-way and adjacent sites
  - Parking Requirement Calculation
  - Existing and Proposed Grading
  - Impervious Surface Calculation
  - Turning Radii
  - Pavement Materials
  - Utilities & Stormwater
  - Outdoor Merchandise or Vending
- **Floor Plans:** Floor plans of all levels of the building, including square footage.
- **Elevations:** Complete elevations including building heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable) - materials labeled, colors, downspouts and gutters, lighting, mechanical equipment dashed in, signage



# DESIGN REVIEW BOARD FEE SCHEDULE

(As of July 1, 2020)

## **BOARD REVIEW FEES:**

Single-family residential projects (board review)	\$100.00
Multifamily and commercial projects (board review)	\$250.00
Change After Certification	\$100.00
Demolition (whole structure)	\$250.00
Special Board Meeting	\$500.00

**Post facto applications shall be triple the normal fee.**

## **STAFF REVIEW FEES:**

**Single Family and 2/3-unit buildings not in a historic district are exempt.**

### **Type 1**

Renovations/Improvements (not including additions),  $\leq 50\%$  of the value of the structures

<u>Value</u>	<u>Fee</u>
Improvements $\leq$ \$5,000	\$50
Improvements $>$ \$5,000 but $\leq$ \$25,000	$\$50 + 0.25\% \times \text{value above } \$5,000$
Improvements $>$ \$25,000	$\$100 + 0.20\% \times \text{value above } \$25,000$

### **Type 2**

- Any single-family and 2/3-unit residential addition in a historic district: \$50
- All other additions: \$500 base fee + \$0.05/square foot of addition.

### **Type 3**

Review for new construction and for renovations/improvements totaling over 50% of the value of the structure:

- Single-family and 2-3 unit residential in the historic district
- $\leq 10,000$  square feet: \$500 base fee + 0.05/square foot of building
- $> 10,000$  square feet: \$1,000 base fee + \$0.05/square foot of building for the first 100,000 square feet of building. For additional square footage over 100,000, \$0.02/square foot.

# CSB - BEAUFORT BRANCH

1203 Boundary Street Beaufort, SC 29902

**WARNER SUMMERS**  
ARCHITECTURE & INTERIOR DESIGN  
1550 Southland Circle, Suite 100  
Atlanta, Georgia 30318  
(404) 351-6075  
www.warnersummers.com



Coastal State Bank -  
Beaufort Branch

1203 Boundary Street  
Beaufort, SC 29902

## PROJECT TEAM

### OWNER

COASTAL STATES BANK  
COMPANY CONTACT: STEVE STONE  
3350 RIVERWOOD PARKWAY  
SUITE 750  
ATLANTA, GA 30339  
PHONE: 770.203.4584

### ARCHITECT

WARNER SUMMERS  
COMPANY CONTACT: JOSHUA HENDON  
1550 SOUTHLAND CIRCLE  
SUITE 100  
ATLANTA, GEORGIA 30318  
PHONE: 404.351.6075

### DEVELOPER

303 ASSOCIATES  
COMPANY CONTACT: COURTNEY MORRELL  
2015 BOUNDARY STREET  
SUITE 300  
BEAUFORT, SC 29902

### STRUCTURAL ENGINEER

SHEAR STRUCTURAL  
COMPANY CONTACT: HOLLY JEFFREYS  
3411 PIERCE DRIVE  
SUITE 100  
CHAMBLEE, GEORGIA 30341

### CONTRACTOR

TBD

### MECHANICAL/ELECTRICAL ENGINEER

BARRETT, WOODYARD, AND ASSOCIATES  
COMPANY CONTACT: STEVE LUTTRELL  
3495 HOLCOMB BRIDGE ROAD  
NORCROSS, GEORGIA 30092

### CIVIL ENGINEER & LANDSCAPE ARCHITECT

CAROLINA ENGINEERING CONSULTANTS  
COMPANY CONTACT: TIM BRUTCHER  
800 CONGRESS STREET  
BEAUFORT, SC 29901  
PHONE: 843.322.0553

## PROJECT DESCRIPTION

NEW SINGLE-STORY BANK BRANCH WITH ATTACHED 2-LANE DRIVE-THRU. SITE WORK SCOPE INCLUDES NEW CURB CUTS, PARKING LOT, SIDEWALKS AND REQUIRED LANDSCAPING. BUILDING DESIGN WILL INCLUDE STEEL FRAME STRUCTURE, STANDING SEAM METAL ROOFING, STUCCO, AND BOARD-AND-BATTEN HARDIE SIDING. FENESTRATION WILL BE A COMBINATION OF PUNCHED STOREFRONT WINDOWS, CURTAINWALL AND CLERESTORY WINDOWS WITH DARK BRONZE ANODIZED METAL AND CLEAR LOW-E GLAZING. ENTRANCE CANOPY WILL BE COMPRISED STANDING SEAM ROOFING AND EXPOSED STEEL COLUMNS WITH A STUCCO BASE.

## DRAWING INDEX

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION DATE
GENERAL			
A0.1	GENERAL COVER SHEET	12 MAY 2022	24 JUNE 2022
PLAT	EXISTING PLAT	12 MAY 2022	
ARCHITECTURE			
A1.0.1	SITE PLAN OPTION ONE	16 JUNE 2022	24 JUNE 2022
A1.0.2	SITE PLAN OPTION TWO	16 JUNE 2022	24 JUNE 2022
A1.1	SITE SECTIONS	12 MAY 2022	24 JUNE 2022
A2.1	GROUND FLOOR PLAN	12 MAY 2022	
AB.0.1	EXTERIOR PERSPECTIVES - SITE OPTION 1	12 MAY 2022	24 JUNE 2022
AB.0.2	EXTERIOR PERSPECTIVES - SITE OPTION 2	12 MAY 2022	24 JUNE 2022
AB.1	EXTERIOR ELEVATIONS	12 MAY 2022	24 JUNE 2022
AB.2	EXTERIOR ELEVATIONS	12 MAY 2022	16 JUNE 2022

## PROJECT DATA

**PROJECT AREA:** 2,700 SQUARE FEET  
**OCCUPANCY:** BUSINESS  
**NUMBER STORIES:** 1 STORIES  
**BUILDING CONSTRUCTION TYPE:** IBC TYPE II-B  
**FIRE SPRINKLER SYSTEM:** NOT SPRINKLERED  
**OCCUPANT LOAD:** TBD OCCUPANTS

## MATERIALS

	UNDISTURBED EARTH OR COMPACTED FILL		POROUS FILL
	CONCRETE		GYPSUM BOARD / DIRECT APPLIED FINISH / EIFS
	WOOD BLOCKING / SHIM		STOREFRONT
	ROUGH WOOD FRAMING		GLAZING ELEVATION
	FINISH WOOD		TEMPERED GLAZING ELEVATION
	CONCRETE MASONRY UNITS		ACOUSTICAL PANEL
	FACE BRICK		PLYWOOD
	RIGID INSULATION		MDF
	BATT INSULATION		STEEL
	NEW CONSTRUCTION		ONE HOUR FIRE RATED WALLS
	EXISTING CONSTRUCTION		TWO HOUR RATED WALLS
	EXISTING CONSTRUCTION TO BE REMOVED		

DATE	REV.	DESCRIPTION
24 JUNE 2022	4	DRB COMMENTS
24 MAY 2022	2	DESIGN REVIEW BOARD COMMENTS
DATE	REV.	DESCRIPTION
REVISION SCHEDULE		

THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTIES OF THE ARCHITECTS AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF WARNER SUMMERS.

## APPLICABLE CODES

**INTERNATIONAL BUILDING CODE:** 2018 EDITION  
**INTERNATIONAL FUEL GAS CODE:** 2018 EDITION  
**INTERNATIONAL MECHANICAL CODE:** 2018 EDITION  
**INTERNATIONAL PLUMBING CODE:** 2018 EDITION  
**NATIONAL ELECTRIC CODE:** 2017 EDITION  
**INTERNATIONAL FIRE CODE:** 2018 EDITION  
**ACCESSIBILITY:** ACCESSIBILITY CODE FOR BUILDINGS AND FACILITIES, 2010 EDITION, CHAPTER 120-3-20 & ADAAG GUIDELINES.  
**ENERGY:** INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION

## SYMBOLS

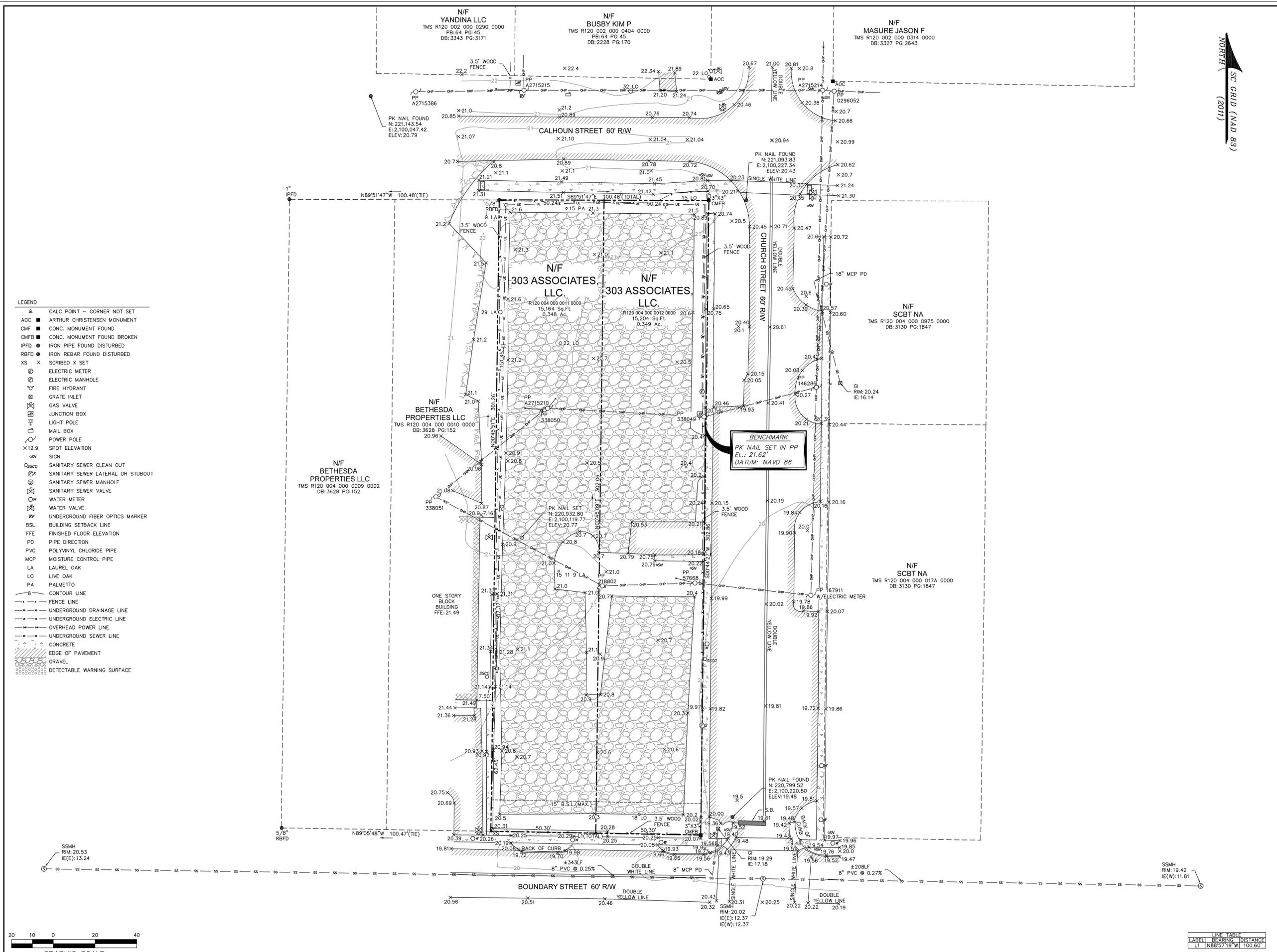
<b>ELEVATION REFERENCE</b>	DRAWING NUMBER SHEET NUMBER DRAWING NUMBER SHEET NUMBER		<b>NORTH ARROW</b>	
<b>DETAIL REFERENCE</b>	DRAWING NUMBER SHEET NUMBER		<b>DOOR NUMBER</b>	
<b>SECTION REFERENCE</b>	DRAWING NUMBER SHEET NUMBER		<b>PARTITION TYPE</b>	
<b>DRAWING TITLE</b>	DRAWING NO. SHEET NO. SCALE		<b>WINDOW TYPE</b>	
<b>ELEVATION INDICATOR</b>	ROOM NAME ROOM NO. ROOM AREA		<b>CENTER LINE</b>	
<b>ROOM INFORMATION</b>			<b>REVISION CLOUD AND NUMBER</b>	
			<b>BREAK LINE</b>	
			<b>COLUMN CENTERLINE</b>	
			<b>FINISH TRANSITION</b>	
			<b>PAINT FINISH</b>	
			<b>WALLCOVERING FINISH</b>	
			<b>FLOOR/BASE FINISH</b>	
			<b>SOLID SURFACE FINISH</b>	
			<b>STONE FINISH</b>	
			<b>PLASTIC LAMINATE FINISH</b>	
			<b>FIRE EXTINGUISHER CABINET</b>	
			<b>FIRE EXTINGUISHER BRACKET</b>	

ISSUED FOR  
DESIGN BOARD  
REVIEW

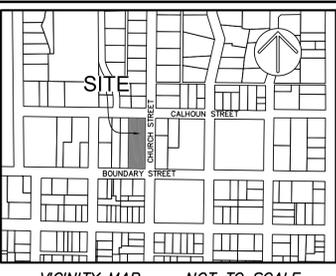
ISSUED FOR  
DATE: 12 MAY 2022  
PROGRESS  DRAWN BY: JAH  
PRICING  CHECKED BY: DFM  
CONSTRUCTION  PROJ NO: 22010

SHEET TITLE  
**GENERAL COVER SHEET**

SHEET NUMBER  
**A0.1**



- LEGEND**
- ▲ CALC POINT - CORNER NOT SET
  - ▲ AOC ARTHUR CHRISTENSEN MONUMENT
  - CMF CONC. MONUMENT FOUND
  - CMBF CONC. MONUMENT FOUND BROKEN
  - IPFD IRON PIPE FOUND DISTURBED
  - Rbfd IRON REBAR FOUND DISTURBED
  - XS X SCRIBED X SET
  - ⊕ ELECTRIC METER
  - ⊕ ELECTRIC MANHOLE
  - ⊕ FIRE HYDRANT
  - ⊕ GRATE INLET
  - ⊕ GAS VALVE
  - ⊕ JUNCTION BOX
  - ⊕ LIGHT POLE
  - ⊕ MAIL BOX
  - ⊕ POWER POLE
  - ⊕ 12.9 SPOT ELEVATION
  - ⊕ SIGN
  - ⊕ SANITARY SEWER CLEAN OUT
  - ⊕ SANITARY SEWER LATERAL OR STUBOUT
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ SANITARY SEWER VALVE
  - ⊕ WATER METER
  - ⊕ WATER VALVE
  - ⊕ UNDERGROUND FIBER OPTICS MARKER
  - BSL BUILDING SETBACK LINE
  - FFE FINISHED FLOOR ELEVATION
  - PD PIPE DIRECTION
  - PVC POLYVINYL CHLORIDE PIPE
  - MCP MOISTURE CONTROL PIPE
  - LA LAUREL OAK
  - LO LIVE OAK
  - PA PALMETTO
  - CONTOUR LINE
  - FENCE LINE
  - UNDERGROUND DRAINAGE LINE
  - UNDERGROUND ELECTRIC LINE
  - OVERHEAD POWER LINE
  - UNDERGROUND SEWER LINE
  - CONCRETE
  - EDGE OF PAVEMENT
  - GRAVEL
  - DETECTABLE WARNING SURFACE



- NOTES**
- THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X, COMMUNITY 450026, MAP NUMBER 45013001586.
  - CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
  - VERTICAL DATUM IS NAVD 88.
  - BUILDING SETBACKS ARE PER EMAIL FROM THE CITY OF BEAUFORT ON 3-18-2022, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.
  - HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
  - THE EXISTENCE AND LOCATION OF THE SURFACE AND SUB-SURFACE UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE RECORDS AND SURFACE VISIBLE FEATURES ALONG WITH ELECTRONIC AND ACoustICAL EVIDENCE AS OF XXXX, 20XX. THE EXTENT AND LIABILITY OF THIS INFORMATION IS LIMITED TO THE STANDARDS OF CARE FOR A SPECIFIC UTILITY INVESTIGATION AS DEFINED BY THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) PUBLICATION 38-02. THE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES CANNOT BE DETERMINED WITHOUT EXPOSING THEM IN SOME WAY. PRIOR TO CONSTRUCTION OR EXCAVATION, IT IS REQUIRED BY LAW TO CONTACT THE STATE 811 UTILITY PROTECTION CENTER.

- REFERENCES**
- SURVEY DONE BY GASQUE & ASSOCIATES INC., DATED 3-14-18.
  - DB: 3743 PG: 3072

PREPARED FOR:  
303 ASSOCIATES, LLC.

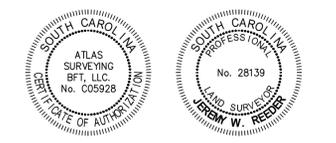
AN AS-BUILT/  
TREE AND TOPOGRAPHIC SURVEY OF  
#1203 & #1205  
BOUNDARY STREET

TAX PARCEL Nos. R120 004 000 0012 0000  
& R120 004 000 0011 0000  
THE CITY OF BEAUFORT  
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: LKW  
FIELD CHECK: JWR  
DRAWN BY: DTJ  
DATE: 03-22-2022  
SCALE: 1"=20'  
PROJECT No.: BFT-22037  
FILE: BFT-22037\_ATL.DWG

# ATLAS SURVEYING, INC.

49 BROWN'S COVE ROAD, SUITE #5  
RIDGELAND, SC 29936  
PHONE: (843) 645-9277  
WEBSITE: WWW.ATLASSURVEYING.COM



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

JEREMY W. REEDER  
S.C.P.L.S. No. 28139  
NOT VALID UNLESS CRIMPED WITH SEAL



**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N88°5'19" W	100.60'

1203 Boundary 15 of 64

DATE	REV.	DESCRIPTION
24 JUNE 2022	4	DRB COMMENTS
<b>REVISION SCHEDULE</b>		

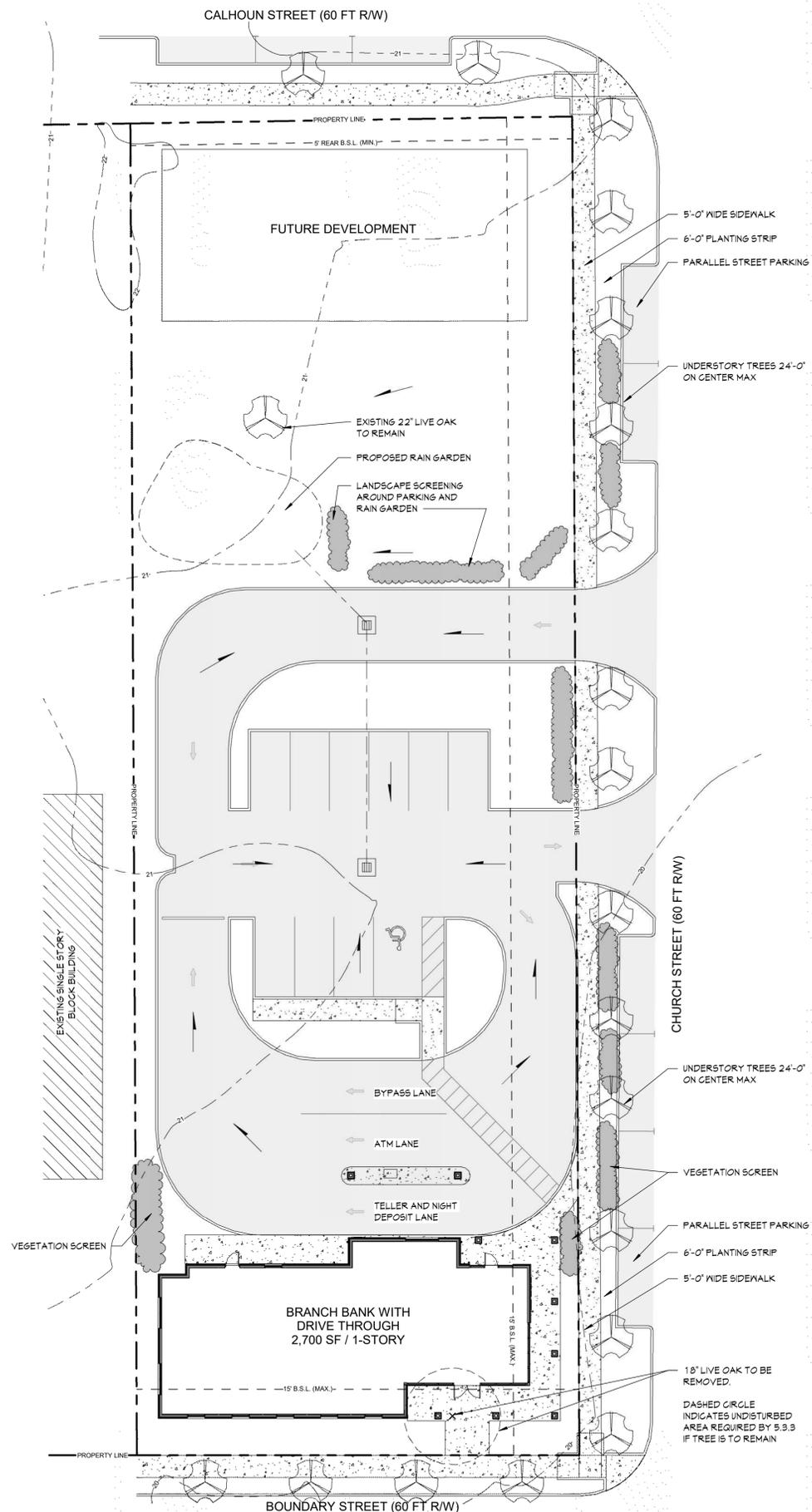
THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTIES OF THE ARCHITECTS AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF WARNER SUMMERS.

ISSUED FOR  
DESIGN BOARD  
REVIEW

ISSUED FOR	DATE	16 JUNE 2022
PROGRESS <input type="checkbox"/>	DRAWN BY	JAH
PRICING <input type="checkbox"/>	CHECKED BY	DFM
CONSTRUCTION <input type="checkbox"/>	PROJ. NO.	22010

SHEET TITLE  
**SITE PLAN OPTION ONE**

SHEET NUMBER  
**A1.0.1**



**SITE PLAN LEGEND**

- VEHICULAR TRAFFIC DIRECTION
- EXISTING GRADING CONTOURS
- PROPOSED CONCEPTUAL GRADING

**PARKING SUMMARY**

BUILDING SQUARE FOOTAGE ± 2,700 SF  
SERVICE OR RETAIL USE ± 1 PER 400 SF

**PARKING SPACES**

MINIMUM REQUIRED	+ 1 SPACES
MAXIMUM ALLOWED (14.0% OF MIN. REQUIRED)	+ 10 SPACES
PARKING PROVIDED	+ 10 SPACES

(SEVEN PARKING SPOTS FOR ESTIMATED EMPLOYEES AND THREE SPOTS FOR CUSTOMERS)

**SITE DEVELOPMENT**

TOTAL SITE AREA	0.70 AC
IMPERVIOUS AREA	31.2 AC
PERVIOUS AREA	38.8 AC
IMPERVIOUS PERCENTAGE	44.6%

REQUIRED STREET TREES AND VEGETATED SCREENS SHOWN. ADDITIONAL LANDSCAPING WILL BE INCLUDED ON LANDSCAPE PLAN AS PART OF FINAL REVIEW.

**CALHOUN STREET:**  
PROJECT DOES NOT AFFECT THE ENTIRE BLOCK FACING CALHOUN. PER SECTION 1.2.1.C STREET SECTION DOES NOT HAVE TO BE COMPLIANT. STREET IMPROVEMENTS BASED ON CITY PLAN SHOWN FOR REFERENCE.

**CHURCH STREET:**  
COMPLIANT WITH SECTION 'MAIN STREET 2 LIMITED' AND 'NEIGHBORHOOD ST. 2'.  
5'-0" SIDEWALK  
6'-0" PLANTING STRIP  
STREET PARKING

**BOUNDARY STREET:**  
COMPLIANT WITH 'BOUNDARY STREET 2A'.  
5'-0" SIDEWALK  
4'-0" PLANTING STRIP

SITE CAN ACCOMMODATE FUTURE 'BOUNDARY STREET 2B' IMPROVEMENTS TOTALING 1.6'-0" OF STREET IMPROVEMENTS.

DATE	REV.	DESCRIPTION
24 JUNE 2022	4	DRB COMMENTS
<b>REVISION SCHEDULE</b>		

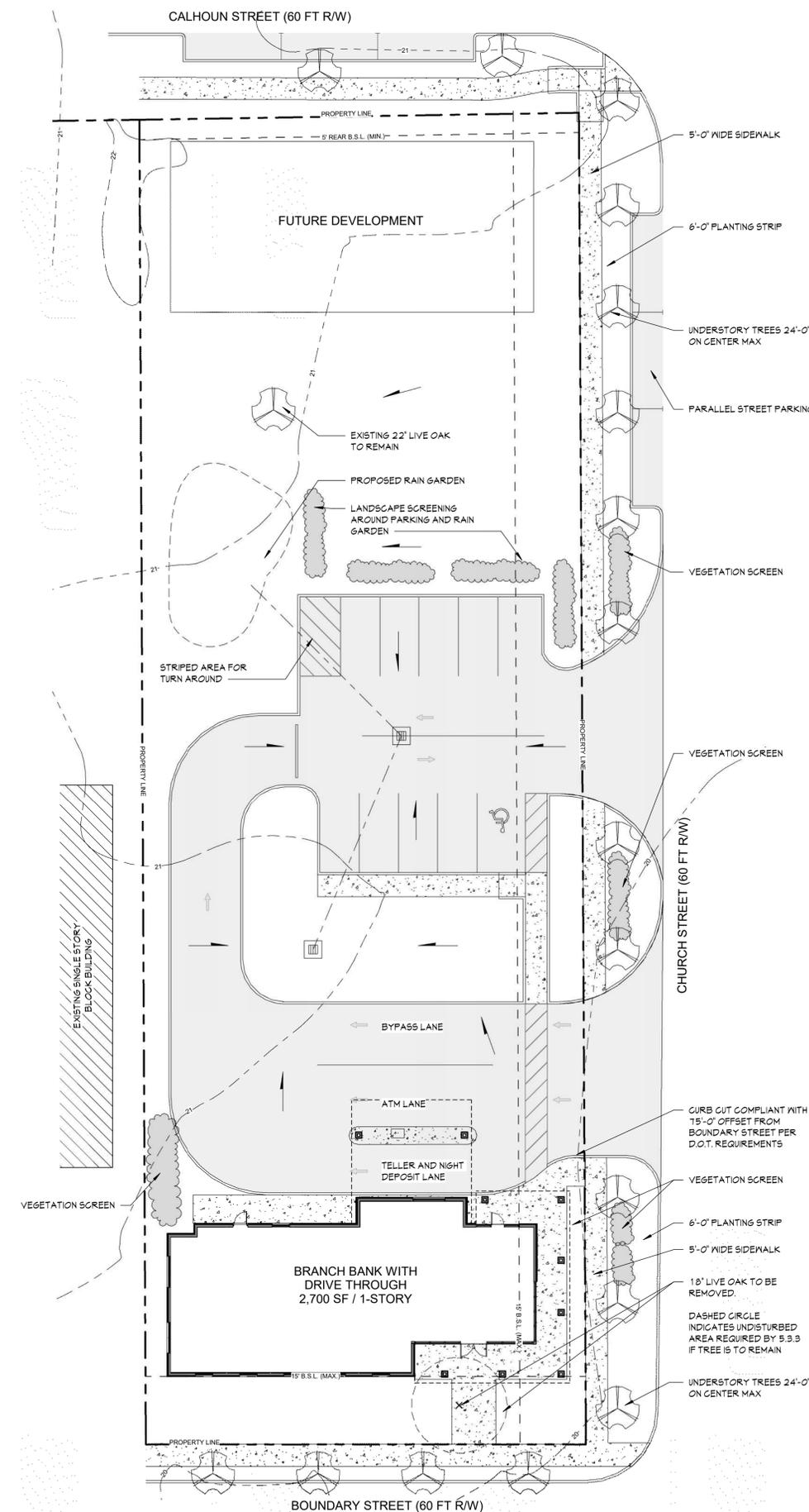
THIS DRAWING AND ITS REPRODUCTIONS ARE THE PROPERTIES OF THE ARCHITECTS AND MAY NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF WARNER SUMMERS.

**ISSUED FOR  
DESIGN BOARD  
REVIEW**

ISSUED FOR	DATE	16 JUNE 2022
PROGRESS <input type="checkbox"/>	DRAWN BY	JAH
PRICING <input type="checkbox"/>	CHECKED BY	DFM
CONSTRUCTION <input type="checkbox"/>	PROJ. NO.	22010

SHEET TITLE  
**SITE PLAN OPTION TWO**

SHEET NUMBER  
**A1.0.2**

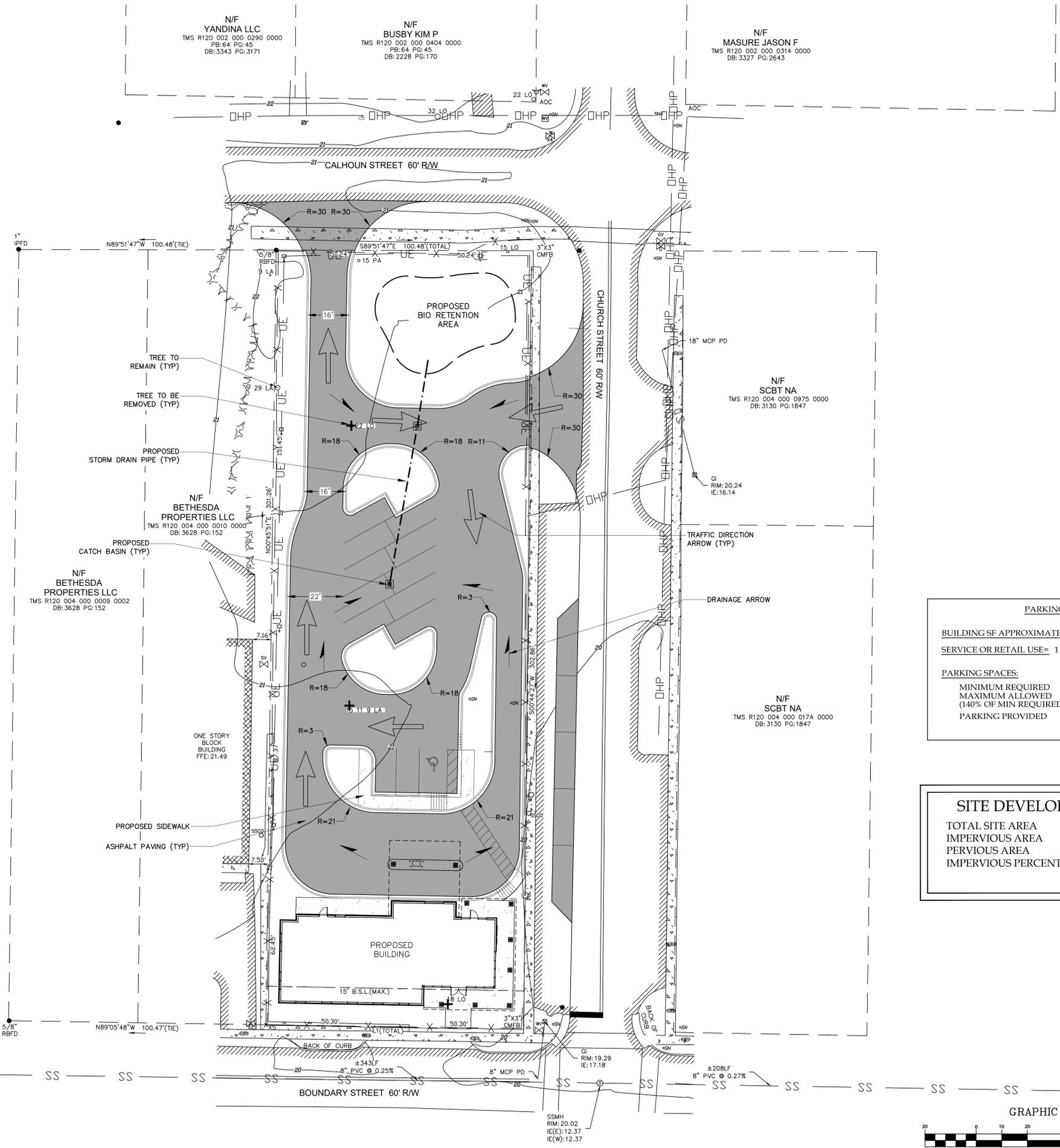


SITE PLAN LEGEND	
	VEHICULAR TRAFFIC DIRECTION
	EXISTING GRADING CONTOURS
	PROPOSED CONCEPTUAL GRADING
PARKING SUMMARY	
BUILDING SQUARE FOOTAGE = 2,700 SF	
SERVICE OR RETAIL USE = 1 PER 400 SF	
PARKING SPACES	
MINIMUM REQUIRED	= 7 SPACES
MAXIMUM ALLOWED (140% OF MIN. REQUIRED)	= 10 SPACES
PARKING PROVIDED	= 10 SPACES
(SEVEN PARKING SPOTS FOR ESTIMATED EMPLOYEES AND THREE SPOTS FOR CUSTOMERS)	
SITE DEVELOPMENT	
TOTAL SITE AREA	0.70 AC
IMPERVIOUS AREA	0.30 AC
PERVIOUS AREA	0.40 AC
IMPERVIOUS PERCENTAGE	42.9%
REQUIRED STREET TREES AND VEGETATED SCREENS SHOWN. ADDITIONAL LANDSCAPING WILL BE INCLUDED ON LANDSCAPE PLAN AS PART OF FINAL REVIEW.	
CALHOUN STREET: PROJECT DOES NOT AFFECT THE ENTIRE BLOCK FACING CALHOUN. PER SECTION 1.2.1.G STREET SECTION DOES NOT HAVE TO BE COMPLIANT. STREET IMPROVEMENTS BASED ON CITY PLAN SHOWN FOR REFERENCE.	
CHURCH STREET: COMPLIANT WITH SECTION 'MAIN STREET 2 LIMITED' AND 'NEIGHBORHOOD ST. 2'	
5'-0" SIDEWALK	
6'-0" PLANTING STRIP	
STREET PARKING	
BOUNDARY STREET: COMPLIANT WITH 'BOUNDARY STREET 2A'	
5'-0" SIDEWALK	
4'-0" PLANTING STRIP	
SITE CAN ACCOMMODATE FUTURE 'BOUNDARY STREET 2B' IMPROVEMENTS TOTALING 16'-0" OF STREET IMPROVEMENTS.	



**1** ARCHITECTURAL SITE PLAN  
A1.0.2 1/16" = 1'-0"

**PREVIOUS DESIGN -  
PRESENTED AT JUNE DRB  
MEETING**



**PARKING SUMMARY**

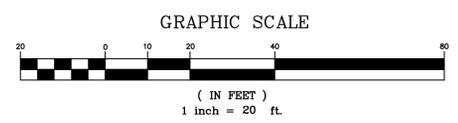
BUILDING SF APPROXIMATE= 2800 SF  
 SERVICE OR RETAIL USE= 1 PER 300SF

**PARKING SPACES:**

MINIMUM REQUIRED	= 9 SPACES
MAXIMUM ALLOWED (140% OF MIN REQUIRED)	= 13 SPACES
PARKING PROVIDED	= 13 SPACES

**SITE DEVELOPMENT TABLE**

TOTAL SITE AREA	0.70 AC
IMPERVIOUS AREA	0.46 AC
PERVIOUS AREA	0.24 AC
IMPERVIOUS PERCENTAGE	66%



**1203 Boundary 18 of 64**

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 No. 002324  
 CERTIFICATE OF REGISTRATION

\*ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF CAROLINA ENGINEERING CONSULTANTS, INC. NO REPRODUCTION, COPY, OR USE OF THESE PLANS OR THE INFORMATION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

**PLAN REVISIONS**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

**COASTAL STATES BANK**  
 CHURCH STREET  
 BEAUFORT COUNTY, SC

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 843/522-0553  
 843/522-0556 (FAX)  
 WWW.CAROLINAENGINEERING.COM

PROJECT: 2487  
 DATE: 05/11/22  
 REVISED: 05/11/22  
 DRAWN BY: TAB  
 ENGINEER: JPA  
 SCALE: 1"=20'

**SITE PLAN**

**1**  
 OF 1



















Michael P. Murphy,  
NJ-0146B

May 23, 2022

Courtney Worrell  
303 Associates  
2015 Boundary Street  
Beaufort, SC 29902

Re: Coastal States Bank

The purpose of this report is to perform a modified Level 2, Basic Tree Risk Assessment on all trees required of this attention by The Beaufort City Code.

Each tree will have a detailed visual inspection of its surrounding site, buttress roots, trunk and branches and an assessment of the tree's general health. The information will be used to determine physical and structural health of the trees, as well as the likelihood and consequences of failure in each tree. This evaluation technique will provide an assessed degree of risk associated with each tree. A potential of failure will then be assigned to each tree. This potential rating can be submitted to the City of Beaufort and may result in a reduction allowance to the total caliper inches of trees which need to be mitigated for. It can also be used to determine which trees should, or should not, be preserved on site as well as which trees may need special attention.

Each of the assessed trees on site will be categorized into four different groups designating each tree's individual condition based on both structural and physical health factors. These designating letters and groupings are as follows:

- A.) Trees with slight defects having an improbable likelihood of failure.
- B.) Trees with moderate defects having a possible likelihood of failure.
- C.) Trees with severe defects having a probable likelihood of failure.
- D.) Trees with critical defects having an imminent likelihood of failure. These will need immediate attention.

This site has only two trees that will need this level of assessment, a 22 and an 18-inch live oak.

Both trees are classified as B.) having moderate defects with a possible likelihood of failure.

There will be no corrected tree and topo submitted by the arborist.

There is a 29-inch laurel oak along the NW property line that is not marked for removal. This tree has major stem (trunk) faults, many previous areas of storm damage and a low Live Crown Ratio (LCR). In some cases, trees in similar conditions can be reduced to better growth points, but because of the low LCR this is not possible. If this tree required assessment, it would be graded as "C", having severe defects and a probable likelihood of failure. This tree should be removed with site work so as not to be a hazard to the proposed bank lot or the existing lot to the west.

Please call if you have any questions or concerns about this report.

Respectfully submitted,



Michael P. Murphy  
Board Certified Master Arborist  
NJ-0146B



Michael P. Murphy,  
NJ-0146B

June 14, 2022

303 Associates  
2015 Boundary Street  
Beaufort, SC 29902

Re: Coastal States Bank, 18-inch live oak

Dear Courtney,

In regard to the 18-inch live oak near the front entrance to the proposed Coastal States Bank building, it is never a good idea to enclose a tree within a roof, deck or any other building feature. No matter how much of a buffer you leave between the trunk and the structure the tree will eventually grow into it. This usually causes damage to the structure and necessitates the eventual removal of the tree at great expense because of the in-place infrastructure.

Leaving a tree of this age and vigor is an invitation for future trouble.

Respectfully submitted,

Michael P. Murphy  
Board Certified Master Arborist, NJ-0146B



Coastal States Bank- Beaufort Branch, Traffic Study

DATE: 11 May 2022

TO: Peng Zhu, SEPI Inc  
 Rob McFee, SEPI Inc

FROM: Anthony P. Valduga, Coastal States Bank

CC: Courtney Worrell, 303 Associates  
 Dana McClure, Warner Summers Inc

Coastal States Bank is proposing to build a new single-story branch at 1203 Boundary Street, Beaufort, SC 29902. This location will be 2,700 SF with one drive through transaction lane, separate ATM lane, and a bypass lane.

Traffic data was collected from an existing branch at 7 Thurmond Way, Bluffton, DC 29910 that has been in operation for over ten years. This branch is 4,000 SF with two drive through lanes, separate ATM lane, and a bypass lane. Coastal States Bank is transitioning all locations to the following hours. The proposed branch in Beaufort will use these operating hours.

Drive Through: 8:30am – 4:30pm  
 Lobby: 9:00am – 4:30pm  
 ATMs Always available

Drive through transactions are limited to three per car. This is indicated by permanently posted signage. Two types of transactions occur in the drive through. Transaction type ‘A’ averages two-three minutes and accounts for 75% of drive through traffic. Transaction type ‘B’ averages five-six minutes and accounts for 25% of drive through traffic. Drive through transactions were recorded between April 28<sup>th</sup> and May 4<sup>th</sup> to establish average drive through activity. Transactions recorded after closing were already queued in the drive through.

	28-Apr		29-Apr		2-May		3-May		4-May	
	# Cars	# Tran								
8:00-8:30AM	0	0	1	1	0	0	0	0	0	0
8:30-9:00AM	0	0	2	2	4	5	5	5	1	1
9:00-9:30AM	0	0	2	2	6	6	5	6	2	2
9:30-10:00AM	0	0	4	4	8	8	4	4	2	2
10:00-10:30AM	0	0	2	2	6	6	1	1	0	0
10:30-11:00AM	0	0	2	2	3	3	2	2	5	6
11:00-11:30AM	0	0	3	3	6	6	4	4	0	0

11:30-12:00PM	0	0	3	3	7	7	3	4	0	0
12:00-12:30PM	4	4	3	3	5	5	2	2	1	1
12:30-1:00PM	6	6	1	1	5	5	6	7	4	4
1:00-1:30PM	4	4	3	3	6	9	4	4	3	3
1:30-2:00PM	6	6	3	3	1	1	3	3	2	2
2:00-2:30PM	2	2	7	7	10	10	4	5	8	8
2:30-3:00PM	4	4	5	5	4	4	6	6	1	1
3:00-3:30PM	7	7	7	7	6	6	2	2	5	5
3:30-4:00PM	5	5	7	10	3	3	4	4	2	2
4:00-4:30PM	3	3	9	9	4	4	4	4	5	5
4:30-5:00PM	1	1	5	5	7	11	7	7	3	3
5:00-5:30PM	0	0	3	3	0	0	0	0	0	0

All vehicular traffic was recorded during peak hours defined as 7:00am-9:00am and 4:00pm-6:00pm on May 4<sup>th</sup> and May 5<sup>th</sup> to establish an average. This data was recorded retroactively using security footage. All drive through traffic was recorded on cameras at each lane. Employee and lobby customers were tracked with internal security cameras. Recorded traffic was based

4-May-22				
Entering Site				
	7:00-7:30AM	7:30-8:00AM	8:00-8:30AM	8:30-9:00AM
Employees	0	3	5	0
Drive Through	0	0	0	3
Lobby	0	0	0	3
ATM Traffic	0	0	0	4
Exiting Site				
Employees	0	0	0	0
Drive Through	0	0	0	1
Lobby	0	0	0	0
ATM Traffic	0	0	0	4

Entering Site				
	4:00-4:30PM	4:30-5:00PM	5:00-5:30PM	5:30-6:00PM
Employees	0	0	0	0
Drive Through	3	0	0	0
Lobby	3	0	0	0
ATM Traffic	2	0	0	0

	Exiting Site			
Employees	0	4	4	0
Drive Through	5	3	0	0
Lobby	0	2	0	0
ATM Traffic	2	0	0	0

5-May-22				
	Entering Site			
	7:00-7:30AM	7:30-8:00AM	8:00-8:30	8:30-9:00
Employees	0	4	5	0
Drive Through	0	0	0	1
Lobby	0	0	0	4
ATM Traffic	0	0	0	2
	Exiting Site			
Employees	0	0	0	0
Drive Through	0	0	0	1
Lobby	0	0	0	0
ATM Traffic	0	0	0	2

	Entering Site			
	4:00-4:30PM	4:30-5:00PM	5:00-5:30	5:30-6:00
Employees	0	0	0	0
Drive Through	6	0	0	0
Lobby	2	0	0	0
ATM Traffic	3	0	0	0
	Exiting Site			
Employees	0	4	4	0
Drive Through	2	6	0	0
Lobby	2	0	0	0
ATM Traffic	3	0	0	0



**May 12, 2022**

Joshua Hendon  
Project Manager, WARNER SUMMERS  
1550 Southland Circle, Suite 100  
Atlanta, Georgia 30318

**RE: Coastal States Bank Beaufort Branch Traffic Statement**

Dear Mr. Hendon:

The purpose of this memorandum is to provide a Traffic Statement and document the development of total peak hour trips and net new peak hour trips generated from the proposed Coastal States Bank (CSB) Beaufort Branch at 1203 Boundary Street in Beaufort, SC 29902. This location is a drive-in bank of 2,700 SF GFA with two drive-in lanes (one drive through transaction lane and one separate ATM lane), and a bypass lane. The proposed site plan is shown in Exhibit A.

Based on our analysis, net new trips for AM and PM peak hours from the proposed project will be under 50 trips per hour.

**Total Peak Hour Trips**

Total trip generation was estimated using 1) ITE Trip Generation Manual 11<sup>th</sup> Edition (ITE Manual), and 2) CSB traffic data collected at a similar location.

Trip Generation Using ITE

The ITE Land Use Code for drive-in banks is 912. The ITE Manual provides three sets of trip generation rates: by 1000 SF GFA, by drive-in lanes, and by employees. Project trips were estimated using rates by GFA and drive-in lanes only. Number of employees is unavailable since this is a proposed project. Table 1 below summarizes total trips using the ITE Trip Generation rates.



**Table 1. Total Trip Generation Using the ITE Manual**

ITE Land Use Code	Land Use Type	Unit	Size	Avg. Trip Generation Rate:				Total Trip Generation			
				Peak Hour of Adjacent Street		Peak Hour of Generator		Peak Hour of Adjacent Street		Peak Hour of Generator	
				AM	PM	AM	PM	AM	PM	AM	PM
912	Drive-in Bank	KSF	2.7	9.95	21.01	14.78	20.92	26.9	56.7	39.9	56.5
		Drive-in Lanes	2	8.54	27.07	17.14	22.38	17.1	54.1	34.3	44.8

Note: Fitted curve equations are unavailable for LU 912.

Based on the ITE Manual, AM peak hour total trips are under 50 for both adjacent streets and the generator, while. PM peak hour total trips are over 50 for adjacent streets and the generator as highlighted in Table 1.

Trip Generation Using CSB Traffic Data

CSB has conducted an independent traffic data collection from an existing branch at 7 Thurmond Way, Bluffton, DC 29910. As indicated in the traffic data collection report, this branch is 4,000 SF with two drive through lanes, one separate ATM lane, and a bypass lane. The data includes inbound and outbound trips between 7-9AM and 4-6 PM on May 4<sup>th</sup> and May 5<sup>th</sup> of 2022. The traffic data is summarized in Table 2 below. The CSB traffic data collection report is provided in Exhibit B.

**Table 2. CSB Traffic Data Summary**

AM Peak	Avg. Trips of 5/4/22 and 5/5/22					Trip Rate by GFA			Trip Rate by Drive-In Lane		
	7:00-7:30	7:30-8:00	8:00-8:30	8:30-9:00	Peak Hour	Unit	Size	Avg. Rate	Unit	Size	Avg. Rate
Inbound	0	3.5	5	8.5	13.5	KSF	4	3.38	Lanes	3	4.50
Outbound	0	0	0	4	4	KSF	4	1.00	Lanes	3	1.33
Total	0	3.5	5	12.5	17.5	KSF	4	4.38	Lanes	3	5.83
PM Peak	4:00-4:30	4:30-5:00	5:00-5:30	5:30-6:00	Peak Hour	Unit	Size	Avg. Rate	Unit	Size	Avg. Rate
Inbound	9.5	0	0	0	9.5	KSF	4	2.38	Lanes	3	3.17
Outbound	7	9.5	4	0	16.5	KSF	4	4.13	Lanes	3	5.50
Total	16.5	9.5	4	0	26	KSF	4	6.50	Lanes	3	8.67



Based on observed traffic volumes at the existing branch, the size of the branch, and the number of drive-in lanes, a set of observed trip rates were calculated as shown by the highlighted values of Table 2.

Table 3 presents total trip generation from the proposed project using the observed trip rates. Total trips from both AM and PM peak hours are less than 50.

**Table 3. Total Trip Generation Using Observed Trip Rates from CSB Data**

Unit	Size	Peak Hour Trip Rates		Total Trip Generation	
		AM	PM	AM	PM
KSF	2.7	4.38	6.50	11.8	17.6
Drive-in Lanes	2	5.83	8.67	11.7	17.3

### Net New Peak Hour Trips

Net new peak hour trips are trips produced by the proposed project that are adjusted for mode split, internal capture, and pass-by trips. Mode split adjusts for those using alternative transportation modes such as transit, biking, or walking. Internal capture applies to projects with multiple land use types such as commercial, restaurant, and residential. Pass-by trips accounts for existing trips on adjacent streets making stops at a new near-by commercial development. For this project, the only applicable adjustment is for pass-by trips.

The ITE Manual provides data for pass-by trip adjustment, as shown in Exhibit C. In an average, pass-by trips for drive-in banks account for 38% of total trips generated, and non-pass-by trips are 62% of total trips. Table 4 and Table 5 summarize net new peak hour trips from both using ITE Manual and using the CSB data. All peak hour net new trips are under 50 per hour.

**Table 4. Net New Peak Hour Trips Using ITE**

Trip Generation by	Total Trip Generation Using ITE				Avg. Pass-by Rate (LU 912)	Net New Trips Using ITE			
	Peak Hour of Adjacent Street		Peak Hour of Generator			Peak Hour of Adjacent Street		Peak Hour of Generator	
	AM	PM	AM	PM		AM	PM	AM	PM
KSF	26.9	56.7	39.9	56.5	38%	16.7	35.2	24.7	35.0
Drive-in Lanes	17.1	54.1	34.3	44.8	38%	10.6	33.6	21.3	27.8



**Table 5. Net New Peak Hour Trips Using CSB Data**

Trip Generation by	Total Trips Using Observed Trip Rates		Avg. Pass-by Rate (LU 912)	Net New Trips Using Observed Trip Rates	
	AM	PM		AM	PM
KSF	11.8	17.6	38%	7.3	10.9
Drive-in Lanes	11.7	17.3	38%	7.3	10.7

It is noted that even if the minimum pass-by rate (12%, shown in Exhibit C) is applied, all net new peak hour trips are still under 50, with the highest being 49.9 (56.7\*(1-12%).

**Conclusions**

Total trips generated from the proposed CSB Beaufort Branch are 39.9 for weekday AM peak hour and 56.5 for weekday PM peak hour using the ITE Manual. Based on traffic data observed from a similar CSB bank location, weekday AM peak hour trips are 11.8 and PM peak hour trips are 17.6. Considering pass-by trip adjustment of 38% for drive-in banks, total net new trips for the proposed bank are 24.7/35.0 for AM/PM peak hours using ITE, and 7.3/10.9 if using observed data from CSB. The net new trips for AM and PM peak hours from the proposed project will be below 50 trips per hour.

Sincerely,  
**SEPI, INC.**

Peng Zhu, PhD, PE, PTOE  
 Traffic Practice Director

David Bost, PE  
 Western Carolina Traffic Practice Leader





**EXIHIBIT A – Coastal States Bank – Beaufort Branch Site Plan**



EXIHIBIT B – Coastal States Bank Traffic Data Collection





**Coastal States Bank- Beaufort Branch, Traffic Study**

**DATE:** 11 May 2022

**TO:** Peng Zhu, SEPI Inc  
Rob McFee, SEPI Inc

**FROM:** Joshua Hendon, Warner Summers Inc

**CC:** Courtney Worrell, 303 Associates  
Dana McClure, Warner Summers Inc

Coastal States Bank is proposing to build a new single-story branch at 1203 Boundary Street, Beaufort, SC 29902. This location will be 2,700 SF with one drive through transaction lane, separate ATM lane, and a bypass lane.

Traffic data was collected from their existing branch at 7 Thurmond Way, Bluffton, DC 29910 that has been in operation for over ten years. This branch is 4,000 SF with two drive through lanes, separate ATM lane, and a bypass lane. Coastal States Bank is transitioning all locations to the following hours. The proposed branch in Beaufort will use these operating hours.

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Lobby: 9:00am – 4:30pm  
ATMs Always available

Drive through transactions are limited to three per car. This is indicated by permanently posted signage. Two types of transactions occur in the drive through. Transaction type ‘A’ averages two-three minutes and accounts for 75% of drive through traffic. Transaction type ‘B’ averages five-six minutes and accounts for 25% of drive through traffic. Drive through transactions were recorded between April 28<sup>th</sup> and May 4<sup>th</sup> to establish average drive through activity. Transactions recorded after closing were already queued in the drive through.

	28-Apr		29-Apr		2-May		3-May		4-May	
	# Cars	# Tran								
8:00-8:30AM	0	0	1	1	0	0	0	0	0	0
8:30-9:00AM	0	0	2	2	4	5	5	5	1	1
9:00-9:30AM	0	0	2	2	6	6	5	6	2	2
9:30-10:00AM	0	0	4	4	8	8	4	4	2	2
10:00-10:30AM	0	0	2	2	6	6	1	1	0	0
10:30-11:00AM	0	0	2	2	3	3	2	2	5	6
11:00-11:30AM	0	0	3	3	6	6	4	4	0	0
11:30-12:00PM	0	0	3	3	7	7	3	4	0	0

12:00-12:30PM	4	4	3	3	5	5	2	2	1	1
12:30-1:00PM	6	6	1	1	5	5	6	7	4	4
1:00-1:30PM	4	4	3	3	6	9	4	4	3	3
1:30-2:00PM	6	6	3	3	1	1	3	3	2	2
2:00-2:30PM	2	2	7	7	10	10	4	5	8	8
2:30-3:00PM	4	4	5	5	4	4	6	6	1	1
3:00-3:30PM	7	7	7	7	6	6	2	2	5	5
3:30-4:00PM	5	5	7	10	3	3	4	4	2	2
4:00-4:30PM	3	3	9	9	4	4	4	4	5	5
4:30-5:00PM	1	1	5	5	7	11	7	7	3	3
5:00-5:30PM	0	0	3	3	0	0	0	0	0	0

All vehicular traffic was recorded during peak hours defined as 7:00am-9:00am and 4:00pm-6:00pm on May 4<sup>th</sup> and May 5<sup>th</sup> to establish an average. This data was recorded retroactively using security footage. All drive through traffic was recorded on cameras at each lane. Employee and lobby customers were tracked with internal security cameras. Recorded traffic was based

4-May-22				
Entering Site				
	7:00-7:30AM	7:30-8:00AM	8:00:-8:30AM	8:30-9:00AM
Employees	0	3	5	0
Drive Through	0	0	0	3
Lobby	0	0	0	3
ATM Traffic	0	0	0	4
Exiting Site				
Employees	0	0	0	0
Drive Through	0	0	0	1
Lobby	0	0	0	0
ATM Traffic	0	0	0	4

Entering Site				
	4:00-4:30PM	4:30-5:00PM	5:00-5:30PM	5:30-6:00PM
Employees	0	0	0	0
Drive Through	3	0	0	0
Lobby	3	0	0	0
ATM Traffic	2	0	0	0
Exiting Site				
Employees	0	4	4	0
Drive Through	5	3	0	0
Lobby	0	2	0	0

Coastal States Bank Beaufort- Traffic Study

11 May 2022

Page 3 of 3

ATM Traffic	2	0	0	0
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5-May-22				
	Entering Site			
	7:00-7:30AM	7:30-8:00AM	8:00-8:30	8:30-9:00
Employees	0	4	5	0
Drive Through	0	0	0	1
Lobby	0	0	0	4
ATM Traffic	0	0	0	2
	Exiting Site			
	7:00-7:30AM	7:30-8:00AM	8:00-8:30	8:30-9:00
Employees	0	0	0	0
Drive Through	0	0	0	1
Lobby	0	0	0	0
ATM Traffic	0	0	0	2

	Entering Site			
	4:00-4:30PM	4:30-5:00PM	5:00-5:30	5:30-6:00
Employees	0	0	0	0
Drive Through	6	0	0	0
Lobby	2	0	0	0
ATM Traffic	3	0	0	0
	Exiting Site			
	4:00-4:30PM	4:30-5:00PM	5:00-5:30	5:30-6:00
Employees	0	4	4	0
Drive Through	2	6	0	0
Lobby	2	0	0	0
ATM Traffic	3	0	0	0

## Drive Thru-Lane 1 and 2 plus Night Drop view



## ATM



## Lobby Traffic and Employees

No pictures for security reasons; but Used Cameras from

- ALL Teller stations
- Lobby Offices
- Hallways.

EXIHIBIT C – LU 912 Drive-in Bank Pass-By Rates by ITE Trip Generation 11<sup>th</sup> Edition



### Vehicle Pass-By Rates by Land Use

Source: ITE *Trip Generation Manual*, 11th Edition

Land Use Code	912								
Land Use	Drive-In Bank								
Setting	General Urban/Suburban								
Time Period	Saturday Midday								
# Data Sites	5								
Average Pass-By Rate	38%								
	Pass-By Characteristics for Individual Sites								
					Non-Pass-By Trips				
GFA (000)	State or Province	Survey Year	# Interviews	Pass-By Trip (%)	Primary (%)	Diverted (%)	Total (%)	Adj Street Peak Hour Volume	Source
3.8	Pennsylvania	2005	63	33	—	—	67	—	19
3.8	Pennsylvania	2005	103	77	—	—	23	—	19
3.8	Pennsylvania	2005	34	37	—	—	63	—	19
3.8	Pennsylvania	2005	53	33	—	—	67	—	19
3.8	Pennsylvania	2005	25	12	—	—	88	—	19



# Design Review Board Meeting Staff Report

From the Department of Community and Economic Development  
14 July 2022

## 1 SUMMARY OF REQUEST

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### 1203 Boundary Street/Coastal States Bank, New Construction

Applicant: Dana McClure, Warner Summers Architecture

In this application, the applicant is proposing a new single-story branch bank approximately 2,800 SF with attached 2-lane drive-thru.

This is proposed new construction of a branch bank on a currently vacant lot.

Background: A previous application for this project received Preliminary Approval with Conditions for the architecture only at the June 2022 Design Review Meeting while the site was deferred for preliminary approval. **This is an application for preliminary approval of the site only.**

## 2 FACTS

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<b>Property Address:</b>	1203 Boundary Street
<b>Parcel ID:</b>	R120 004 000 0012 0000
<b>Case Number:</b>	23402
<b>Applicant:</b>	<b>Dana McClure/Warner Summers Architecture</b>
<b>Type of Request:</b>	Conceptual New Construction
<b>Zoning:</b>	T5-UC
<b>Current Use:</b>	Vacant
<b>Proposed Use:</b>	Commercial Retail with Drive-Thru Facilities

### **District Development Standards for T5-UC:**

- **Setback requirements – Primary Structure:**
  - *Front- 0' min./15 ft. max.*
  - *Rear setback – 5' min.*
  - *Side Corner/Alley – 0' min./15' max.*
  - *Side Interior – 0' min.*
- **Maximum Lot Coverage:** 100%
- **Frontage Buildout:** 60% Min
- **Conditional Uses:** Retail with Drive-Thru Facilities are conditional in T5-UC

### **References:**

- The Beaufort Code

### 3 STAFF COMMENTS

---

#### **Staff Acknowledgements:**

- A. At the June 2022 DRB meeting, the Board deferred the site with the following comments for the applicant:
  - 1. Applicant to recalculate the minimum and maximum parking requirements with the potential to use credits for on-street parking on the Church Street development.
  - 2. Applicant to look into reducing the impervious surface of the parking and reducing the parking on-site in general to allow for a potential future development on the Calhoun Street and Church Street corner, as well as submitting a master plan showing this future development.
  - 3. Applicant to show streets sections on Church, Boundary, and Calhoun Streets on the site plan, illustrating the street infrastructure plan based on Appendix C.5.7 for “Neighborhood St. 1 – General” on Church Street and C.6.6 for “Boundary St. 2A East of Ribault Road” section.
  - 4. Board would like the Applicant to save the 22” live oak tree on the north side of the lot and the 18” live oak on the Boundary Street side of the lot. Additionally, the Board encourages the Applicant to work with an arborist to work out a solution to save the 18” live oak tree near Boundary Street.
  - 5. Applicant to provide a drainage plan that does not have a large raingarden, which could be a hindrance to future development on the corner of Church and Calhoun Streets.
  - 6. Board would like the Applicant to restudy the drive-thru lanes to show the screening requirement, and include that in building renderings, including views from both corners (Boundary and Church Streets and Calhoun and Church Streets). Applicant to include all landscape elements on the rendering a provide a landscape plan as well as a level of detail for a landscaping wall if the Applicant chooses to include a wall for screening.
  - 7. Applicant to revisit curb cuts and minimize radius to help slow down cars coming into the lot and crossing the sidewalk.
  
- B. Applicant has met all conditions except for Condition 4. The proposed site still involves the removal of the 18” live oak tree near Boundary Street. Regarding conditions 6 and 7 above, Staff has further comments below.
  
- C. Regarding Condition 3 above, Staff confirmed that the applicant does not need to provide a street section for Calhoun Street because the proposed development does not affect one whole block face. Refer to section 7.2.1.C.
  
- D. The applicant has provided additional renderings of four proposed options for the building architecture design. However, only the site approval is being considered during this meeting. The applicant requests comments and feedback on the building design architecture and will come back formally at a future meeting for building architecture approval.
  
- E. Applicant has provided two site options for the board to consider and in response to the last DRB board and staff conditions.

## Staff Conditions:

### *Site:*

1. Site Plan Option One: while the applicant has responded to the board and staff's previous conditions, staff feels this site plan is deficient for the following reasons:
  - a. Staff does not support two curb cuts along Church Street, especially given their proximity to each other. Staff recommends moving the egress curb cut north to join the ingress curb cut. Staff recommends the northeastern most parking space be eliminated to accommodate a travel lane for egress.  
  
Church Street is an SCDOT road and SCDOT will govern the minimum spacing for driveways based on posted speed limit and annual average daily traffic (AADT) generating more than 50 peak hour trips. Staff does not believe the proposed driveway spacing complies with SCDOT standards.
  - b. Per Section 5.7.8.B.3.a, "landscaped peninsulas with a plantable area of at least 12 feet wide by 18 feet long area shall be established parallel to parking spaces and at the end of the parking aisle in order to separate the last space from any adjacent driveways." Applicant's two western most peninsulas do not meet this requirement. It appears to staff, that the applicant may need to eliminate two more spaces in addition to the recommended elimination of one space in comment 1a to dimensionally meet this requirement. This will bring the onsite parking down from ten to seven parking spaces which is the minimum parking requirement.
  - c. Per Section 5.7.8.B.3.b, "At least 1 broad-leaved overstory tree shall be provided within each landscaped peninsula. All landscaped peninsulas and medians shall be landscaped with mulch, sod, shrubs, or ground cover vegetation.' Applicant to demonstrate compliance with this and include at least one overstory tree with notations for additional landscaping on the peninsulas in future submissions.
  - d. Applicant to note that if 16' one way travel lanes are approved by the DRB, they must be approved by the fire marshal per Section 5.7.7.A.1.b of the Beaufort Code.
  - e. Staff recommends that the applicant minimize the radius of the curb cuts as stated in Board condition 7 of the June DRB Decision Letter (see Staff Acknowledgements above).
  - f. Applicant to provide more detail for the proposed vegetative screening. Applicant to include views of vegetation screening in final application renderings as stated in Board condition 6 of the June DRB Decision Letter (see Staff Acknowledgements above).
2. Site Plan Option Two: while the applicant has responded to the board and staff's previous conditions, staff feels this site plan is deficient for the following reasons:
  - a. Staff does not support two curb cuts along Church Street, especially given their proximity to each other. Staff recommends eliminating the south ingress curb cut as staff is concerned about the proximity of this curb cut to the intersection of Church and Boundary Street and the lack of car stacking this location provides. Staff recommends

the applicant design a drive-thru queuing lane onsite and utilize one curb cut for ingress and egress to Church Street at midblock location.

Church Street is an SCDOT road and SCDOT will govern the minimum spacing for driveways based on posted speed limit and annual average daily traffic (AADT) generating more than 50 peak hour trips. Staff does not believe the proposed driveway spacing complies with SCDOT standards.

- b. Per Section 5.7.8.B.3.a, “landscaped peninsulas with a plantable area of at least 12 feet wide by 18 feet long area shall be established parallel to parking spaces and at the end of the parking aisle in order to separate the last space from any adjacent driveways.” Applicant to demonstrate compliance with this requirement in a redesigned site plan.
  - c. Per Section 5.7.8.B.3.b, “At least 1 broad-leaved overstory tree shall be provided within each landscaped peninsula. All landscaped peninsulas and medians shall be landscaped with mulch, sod, shrubs, or ground cover vegetation.’ Applicant to demonstrate compliance with this and include at least one overstory tree with notations for additional landscaping on the peninsulas in future submissions.
  - d. Staff recommends that the applicant minimize the radius of the curb cuts as stated in Board condition 7 of the June DRB Decision Letter (see Staff Acknowledgements above).
  - e. Applicant to provide more detail for the proposed vegetative screening. Applicant to include views of vegetation screening in final application renderings as stated in Board condition 6 of the June DRB Decision Letter (see Staff Acknowledgements above).
3. For both options:
- a. Applicant to demonstrate compliance with Section 5.6 Landscape Installation and Maintenance.
  - b. Applicant to demonstrate compliance with Section 5.8 Lighting.
  - c. For both site options, Staff asks the applicant to consider relocating the building front and placing it on the 15’ maximum building setback line to assist with keeping the 18 inch live oak tree. Staff will also give a 10% adjustment to the 15’ maximum building setback line (1.5 feet) to allow the building to sit at 16.5’ from the property line to assist with efforts to keep the 18 inch live oak tree.

**STAFF RECOMMENDATION:**

**Deferral of Preliminary Approval** for both site plan options 1 and 2 with conditions noted.

**ARCHITECTURE FOR COMMENT ONLY**

1203 Boundary Street  
Coastal States Bank



2 VIEW FROM CHURCH STREET  
A3.0



1 VIEW FROM CORNER OF BOUNDARY AND CHURCH  
A3.0

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Atlanta, Georgia 30318  
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**COASTAL STATES BANK**  
Coastal State Bank -  
Beaufort Branch  
1203 Boundary Street  
Beaufort, SC 29902

DATE	REV.	DESCRIPTION
16 JUNE 2022	3	BUILDING MATERIAL AND SITE PLAN COMMENTS
REVISION SCHEDULE		

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ISSUED FOR  
DESIGN BOARD  
REVIEW

ISSUED FOR	DATE	12 MAY 2022
PROGRESS <input type="checkbox"/>	DRAWN BY	JAH
PRICING <input type="checkbox"/>	CHECKED BY	DFM
CONSTRUCTION <input type="checkbox"/>	PROJ NO.	22010

SHEET TITLE  
**EXTERIOR  
PERSPECTIVES -  
OPTION 1**

SHEET NUMBER  
**A3.0**

**EXTERIOR ELEVATION KEYED NOTES**

- 1 WHITE AND TAN STUCCO FINISH WITH FINE SAND TEXTURE.
- 2 TAN STUCCO COLUMN BASE WITH FINE SAND TEXTURE.
- 3 BLUE FIBER CEMENT BOARD AND BATTEN SIDING AND TRIM. EXACT COLOR WILL BE SELECTED FOR FINAL REVIEW AND COORDINATED WITH CLIENT'S BRANDING.
- 4 STOREFRONT SYSTEM WITH DARK BRONZE ANODIZED FRAMING AND LOW-E GLAZING.
- 5 TAN STUCCO WINDOW TRIM.
- 6 EXPOSED COLUMNS WITH FINISH TO MATCH STOREFRONT FRAMING.
- 7 STANDING SEAM ENTRY CANOPY WITH MATCH TRIM.
- 8 STANDING SEAM METAL ROOF WITH MATCHING TRIM.
- 9 PREFINISHED METAL COPING GLEAT SYSTEM TO MATCH ADJACENT WALL MATERIAL COLOR.
- 10 PREFINISHED METAL BUTTERS AND DOWNSPOUTS TO MATCH STANDING SEAM ROOF.
- 11 ATTACHED SIGNAGE COMPLIANT WITH THE BEAUFORT CODE CHAPTER 6.
- 12 MECHANICAL EQUIPMENT (NO ROOF TOP UNITS). ARCHITECTURAL SCREEN WILL BE PROVIDED BASED ON FINAL MECHANICAL DESIGN.
- 13 BANK EQUIPMENT (DRIVE UP ATM, NIGHT DEPOSIT BOX, AND TRANSACTION WINDOW).

**BUILDING TRANSPARENCY:**  
(BASED ON BUILDING ELEVATION LOCATED WITHIN REQUIRED SETBACKS)

BOUNDARY STREET:  
47' - 9 1/2" / 84' - 5 1/2" = 56.5%

CHURCH STREET:  
14' - 2 1/4" / 27' - 4 1/2" FT = 51.8%



**2 EAST ELEVATION**  
A3.1 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
A3.1 1/4" = 1'-0"

DATE	REV.	DESCRIPTION
16 JUNE 2022	3	BUILDING MATERIAL AND SITE PLAN COMMENTS
24 MAY 2022	2	DESIGN REVIEW BOARD COMMENTS
<b>REVISION SCHEDULE</b>		

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SHEET TITLE

**EXTERIOR  
ELEVATIONS -  
OPTION 1**

SHEET  
NUMBER

**A3.1**





2 VIEW FROM CHURCH STREET  
A3.0



1 VIEW FROM CORNER OF BOUNDARY AND CHURCH  
A3.0

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PRICING <input type="checkbox"/>	CHECKED BY	DFM
CONSTRUCTION <input type="checkbox"/>	PROJ NO.	22010

SHEET TITLE  
**EXTERIOR  
PERSPECTIVES -  
OPTION 2**

SHEET NUMBER  
**A3.0**

**EXTERIOR ELEVATION KEYED NOTES**

- 1 WHITE AND TAN STUCCO FINISH WITH FINE SAND TEXTURE.
- 2 TAN STUCCO COLUMN BASE WITH FINE SAND TEXTURE.
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BOUNDARY STREET:  
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SHEET TITLE  
**EXTERIOR  
ELEVATIONS -  
OPTION 2**

SHEET NUMBER  
**A3.1**





2 VIEW FROM CHURCH STREET  
A3.0



1 VIEW FROM CORNER OF BOUNDARY AND CHURCH  
A3.0

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SHEET TITLE  
**EXTERIOR  
PERSPECTIVES -  
OPTION 3**

SHEET NUMBER  
**A3.0**

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ISSUED FOR  
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REVIEW

ISSUED FOR	DATE 12 MAY 2022
PROGRESS <input type="checkbox"/>	DRAWN BY JAH
PRICING <input type="checkbox"/>	CHECKED BY DFM
CONSTRUCTION <input type="checkbox"/>	PROJ NO 22010

SHEET TITLE

**EXTERIOR  
ELEVATIONS -  
OPTION 3**

SHEET  
NUMBER

**A3.1**





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(BASED ON BUILDING ELEVATION LOCATED WITHIN REQUIRED SETBACKS)

BOUNDARY STREET:  
41'-9 1/2" / 84'-5 1/2" = 56.5%

CHURCH STREET:  
14'-2 1/4" / 21'-4 1/2" FT = 51.8%



**2 EAST ELEVATION**  
A3.1 1/4" = 1'-0"



**1 SOUTH ELEVATION**  
A3.1 1/4" = 1'-0"

DATE	REV.	DESCRIPTION
16 JUNE 2022	3	BUILDING MATERIAL AND SITE PLAN COMMENTS
24 MAY 2022	2	DESIGN REVIEW BOARD COMMENTS
<b>REVISION SCHEDULE</b>		

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ISSUED FOR  
DESIGN BOARD  
REVIEW

ISSUED FOR	DATE 12 MAY 2022
PROGRESS <input type="checkbox"/>	DRAWN BY JAH
PRICING <input type="checkbox"/>	CHECKED BY DFM
CONSTRUCTION <input type="checkbox"/>	PROJ NO 22010

SHEET TITLE  
**EXTERIOR  
ELEVATIONS -  
OPTION 4**

SHEET NUMBER  
**A3.1**



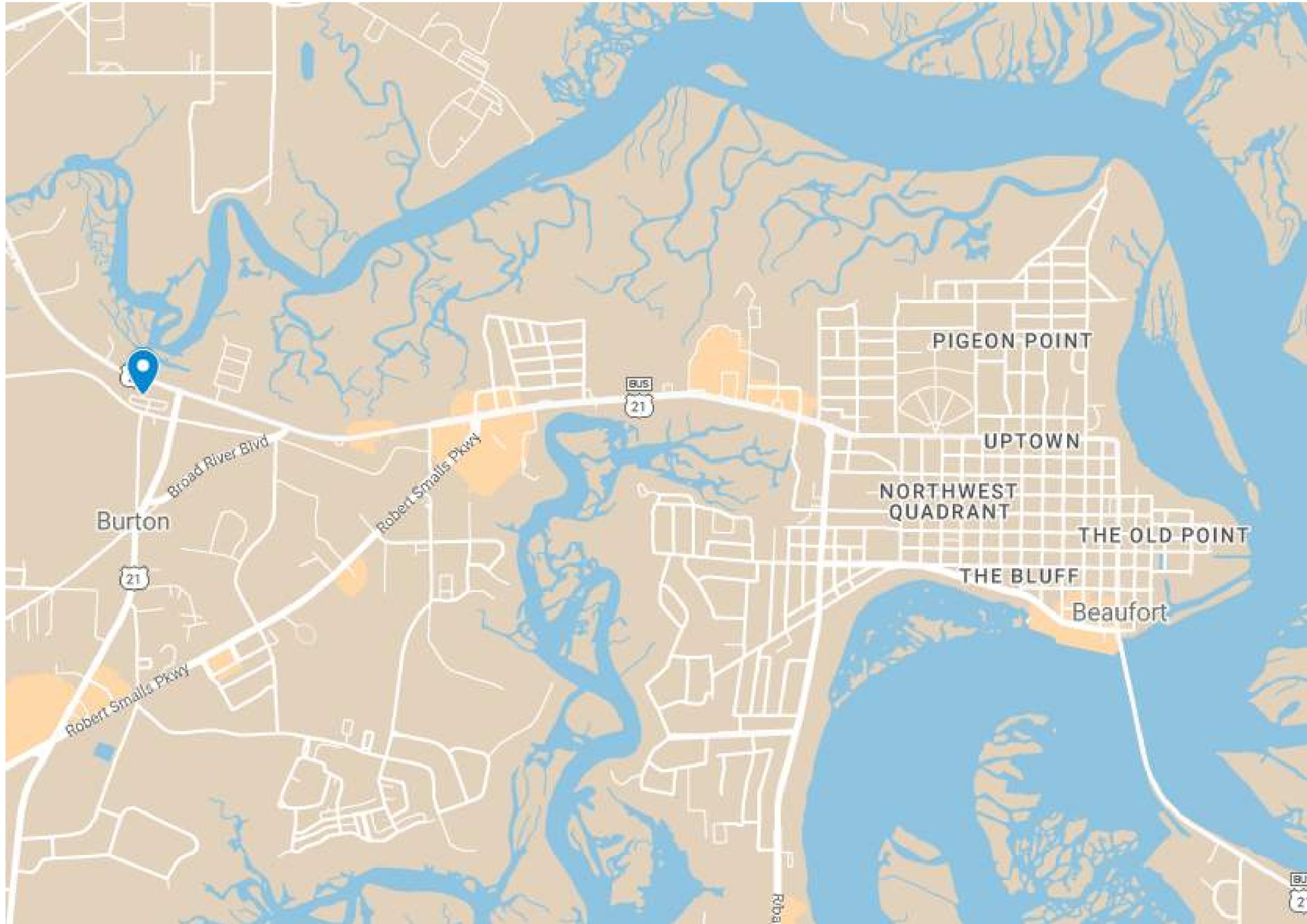






## **CITY STAFF INTRODUCTION**

12 County Shed Road  
Desai Hotel











## **APPLICANT PRESENTATION**

12 County Shed Road  
Desai Hotel



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / website: www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:

OFFICE USE ONLY: Date Filed: Application #: Zoning District:

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. Upon receipt of an application, staff will review the submittal and then contact the applicant letting them know when the meeting will be. A complete schedule can be found at: https://www.cityofbeaufort.org/379/Design-Review-Board

Submittal Requirements: All forms and information shall be submitted digitally + 5 hardcopies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: [ ] Conceptual [ ] Preliminary [x] Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [ ] Yes [x] No

Applicant, Property, and Project Information

Applicant Name: SM7 DESIGN LLC - THOMAS MICHAELS

Applicant Address: 1011 BAY ST. STE 314 - BEAUFORT, SC 29902

Applicant E-mail: THOMAS@SM7DESIGN.COM Applicant Phone Number: 843-252-2454

Applicant Title: [ ] Homeowner [ ] Tenant [x] Architect [ ] Engineer [ ] Developer

Owner (if other than the Applicant):

Owner Address:

Project Name: DESAI HOTEL

Property Address: 3670 TRASK PARKWAY - BEAUFORT, SC 29906

Property Identification Number (Tax Map & Parcel Number): R 120 026 000 0160 000

Date Submitted: 5/12/2022

See Section 9.8 of The Beaufort Code for complete information about the Design Review process | updated March 2, 2022 | p. 1 of 2
This form is also available online at www.cityofbeaufort.org



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606

Email: development@cityofbeaufort.org / Website: www.cityofbeaufort.org

Required Project Information

Project Name: DESAI HOTEL

Property Size in Acres: Proposed Building Use: HOTEL/COMMERCIAL

Building Square Footage (if multiple buildings, please list each one and their square footage by floor): 116 ROOM HOTEL / 3600 SQ FT COMMERCIAL & HOTEL AMENITIES

# of Parking Spaces Required: SEE SITE # of Parking Spaces Provided: SEE SITE

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative and outline any specific questions you would like addressed.

Blank lines for project narrative and questions.

Applicant's Signature: [Signature] Date: 5/12/2022
Owner's Signature: [Signature] Date: 5/12/2022

(The owner's signature is required if the applicant is not the owner.)

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.8 of The Beaufort Code for complete information about the Design Review process | updated March 2, 2022 | p. 2 of 2
This form is also available online at www.cityofbeaufort.org

May 24th, 2020

New Commercial Development – The Desai Hotel  
12 County Shed Road  
Beaufort, South Carolina

The following are responses to the email received 5/18/22 from Meredith Jacobs:

Missing Items for the Desai Hotel, due by EOD on May 24<sup>th</sup>:

1. On the plat, please clearly label setbacks and show all existing items, including existing trees on the property that are 8" DBH and greater. (See attached conditions of preliminary approval with provisions regarding existing trees).  
**Response:** This is an old plat and has been updated by the Civil Drawings in the new submittal.
2. On the Site Plan, please show and clearly label setbacks, the impervious surface calculation, and all trees with trees to be removed marked with an X.  
**Response:** The Civil Drawings have been updated with the setbacks and impervious calculations. There are currently no trees needed to be removed. There must have been some discrepancies in the documents. Below are some current photos of the site where the plans show trees:



3. Please provide a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.  
**Response:** A new street elevation has been provided showing the relationships of the current buildings with the new hotel.
4. Sheet 5 and several of the other site plan sheets appear to show a curb cut overlapping parking spaces on the west side of the proposed Desai Hotel footprint. Applicant to clarify if this is a graphical error and correct if so.

**Response:** The drawings have been updated and this had been corrected

5. Floor Plans of all levels of the building, including square footage.  
**Response:** Additional documents have been included in the submission.
6. Building elevations of all sides of the building, including heights – height above grade, floor to floor heights, overall height, etc. Include mechanical equipment, lighting, location of signage, materials labeled, and gutters and downspouts.  
**Response:** Additional documents have been included in the submission.
7. A colored version of at least one elevation, noting proposed materials and colors.  
**Response:** Additional documents have been included in the submission.
8. A 3D rendering showing the height, mass, and scale of the proposed building in its context.  
**Response:** A new colored 3D rendering is being developed and will be available at the meeting.
9. If any Specimen or Landmark Trees (Section 5.3 of the Beaufort Code) are affected by the project, please provide a Certified Arborist Report.  
**Response:** There are currently no trees to be removed from the site.
10. On the landscaping plan, please note trees to be removed, if any.  
**Response:** There are currently no trees to be removed from the site.
11. A typical wall section, window details, eave details, colonnade/awning details, and any other details characteristic to the building.  
**Response:** Additional documents have been included in the submission.
12. Provide cutsheets for windows, doors, site and exterior building lighting, and all building materials.  
**Response:** Additional documents have been included in the submission.
13. Final materials list, including colors.  
**Response:** Additional documents have been included in the submission.
14. A lighting and photometric plan that includes all lights exceeding 5500 lumens.  
**Response:** This is being developed and will be made available at the meeting.
15. Please review attached conditions of Preliminary Approval (found in August 2020 Staff Report) and ensure all are clearly addressed in the submission.  
**Response:** Please see attached project narrative for clarifications and alterations from previous submittals.

Sincerely,

Thomas Michaels



SM7 Design LLC  
P.O Box 2287  
Bluffton, SC 29910  
843.900.1841

May 24, 2022

## Project Narrative

New Commercial Development – The Desai Hotel  
3670 Trask Parkway  
Beaufort, South Carolina

The project will consist of a new 116 room hotel on the site. The following is a brief narrative of the project:

### Property Information

PIN: R120 026 000 0160 000  
Address: 3670 Trask Parkway

The following modifications have been made to the previous DRB submittal. We believe that these changes have greatly enhanced the overall project and have provided solutions to staff concerns from previous comments.

- Building Height: Due to the requirements of mechanical equipment needed within the structure, additional height has been added to each floor. The first-floor plate height has been raised from 10 feet to 12 feet. The plate heights on floors two, three, four and five and been raised from 8 feet to 9 feet. This has increased the roof height by 7 feet in total.
- ~~Roof Access and Deck: The elevator and stair towers now provide access to the roof which shall be utilized as an occupiable roof terrace. The center mass of roof top elevator lobby and restrooms has been pulled back from the façade zone and worked into the accent piece and signage to help reduce the visual impact.~~
- Building Base and Wood Materials: From the previous submittal, staff had some concerns about the building lacking a solid base and the wood material was to “light” as cladding for this area. While we disagree that the wood is not a substantial base, we have made some alterations. A new brick base of approximately two feet in height has been added to the bottom of the structure. This will serve to anchor the building as well as provide a more substantial surface to back the landscaping. The wood panel sizes have been increased in size to convey a greater mass. The following photos (Figure 1) are examples of the heavy feeling these panels convey. The design also accentuates these panels by building them out away from the areas where the thin brick is used. This gives the feeling that the wood panels are thick structural slabs and not thin cladding panels. The base is also strengthened by the inclusion of an architectural awning along the perimeter to add a horizontal element and a strong shadow line.



Figure 1

- Fenestration: We reworked the ground level to provide more windows and doors along the rear façade. This redesign includes a large secondary entrance off the street as well as banks of windows on the corners. Louvers have been added along the street in areas where mechanical vents can be hidden as well as to break up the long first floor service wall. We have investigated other areas to add windows but due to the constraints of individual room requirements, we need to be selective on window locations. We believe including the windows on the north and south elevations provided a better all-around feeling to the design.
- Room Air conditioning: In the previous submittal, the hotel room air conditioning system was going to be satisfied by a PTAC window unit. These under the windows. The systems currently designed for the hotel are VTAC systems. These units have a different configuration. We have utilized these as vertical accent opportunities. Instead of small, punched openings dotting the facades, we have used full length louvers as accents. These louvers will be colored to match the surrounding materials.
- Roof cornices, coping and material transitions: We have included in our submittal data from the manufactures for the installations of the material and well as on our wall sections. Material transitions and copings and material transitions are intended to be minor and unobtrusive. The parapets have a roof coping that ranges from 4-6" and is the dark bronze color to match the windows and horizontal elements. The copings and cornices are also minimalistic as venting is required for the panel systems and a large cornice would over complicate the construction.

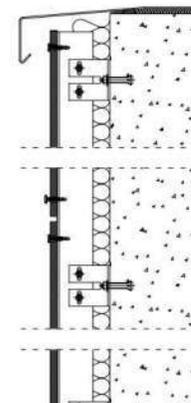


Figure 2: Cornice Detail and Installation Example

The material transition between the panel system (both wood and hardi) and the thin brick will be like the window terminations. The installation of the thin brick is recessed compared to the panels and provides for locations of venting and flashing.

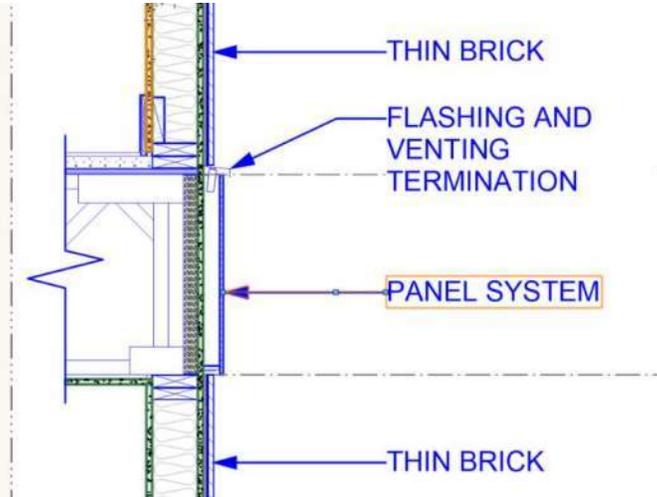


Figure 3: EXAMPLE OF MATERIAL TRANSITION

We feel the modifications we have made to address the concerns of staff have greatly enhanced the Desai Hotel project and are looking forward to further discuss the project with staff and the DRB.

Sincerely,

Thomas Michaels - RA





CONCEPTUAL STREETScape



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

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REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**FIRST FLOOR**

FIRST FLOOR AREA - 13,900 SQ. FT.  
SECOND FLOOR AREA - 12,600 SQ. FT.  
THIRD FLOOR AREA - 12,600 SQ. FT.  
FOURTH FLOOR AREA - 12,600 SQ. FT.  
FIFTH FLOOR AREA - 12,600 SQ. FT.  
TOTAL BUILDING AREA - 64,300 SQ. FT.

12 County Shed 17 of 150





PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

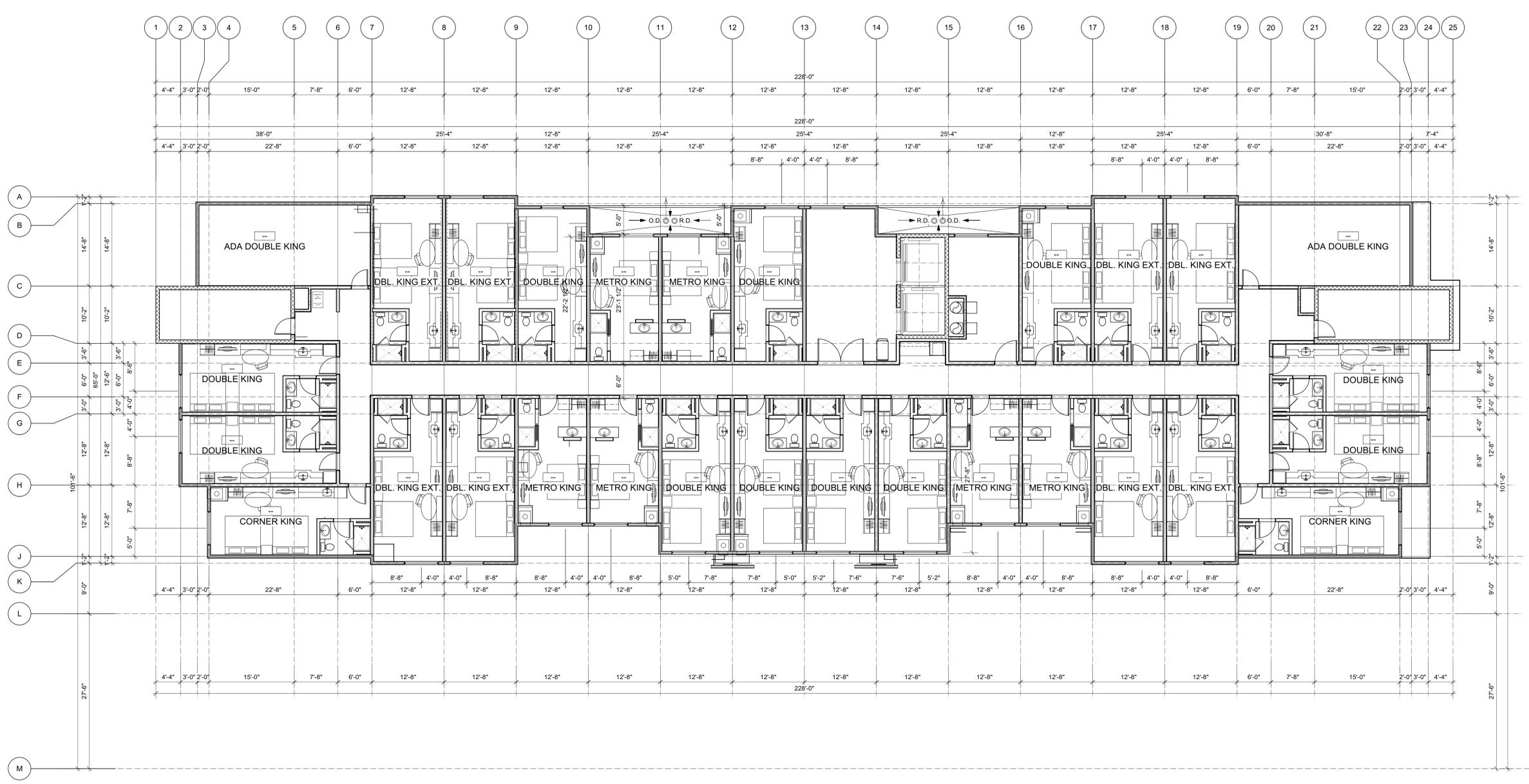
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REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**SECOND FLOOR**

FIRST FLOOR AREA - 13,900 SQ. FT.  
SECOND FLOOR AREA - 12,600 SQ. FT.  
THIRD FLOOR AREA - 12,600 SQ. FT.  
FOURTH FLOOR AREA - 12,600 SQ. FT.  
FIFTH FLOOR AREA - 12,600 SQ. FT.  
TOTAL BUILDING AREA - 64,300 SQ. FT.





PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

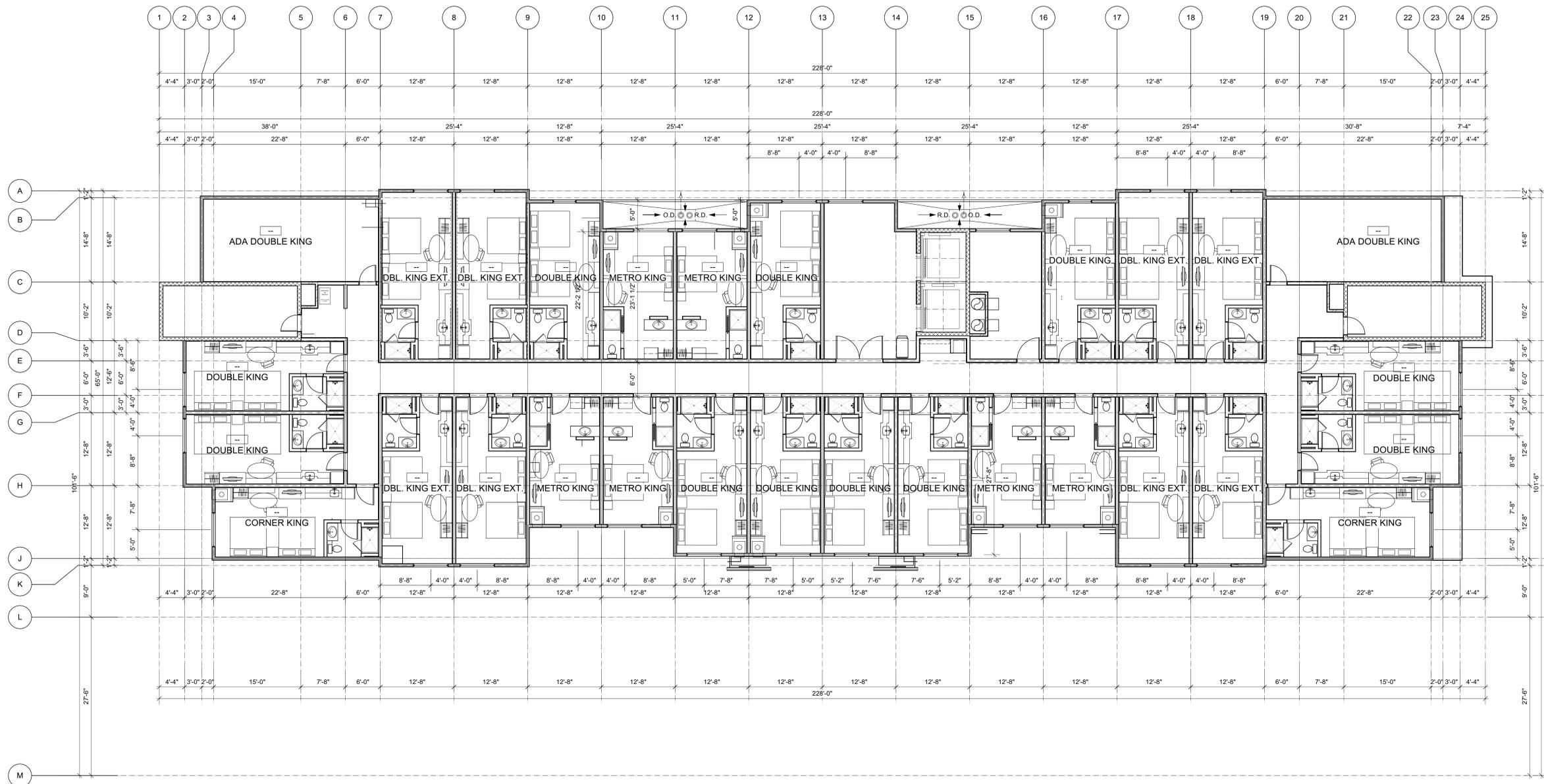
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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**THIRD FLOOR**

FIRST FLOOR AREA - 13,900 SQ. FT.  
SECOND FLOOR AREA - 12,600 SQ. FT.  
THIRD FLOOR AREA - 12,600 SQ. FT.  
FOURTH FLOOR AREA - 12,600 SQ. FT.  
FIFTH FLOOR AREA - 12,600 SQ. FT.  
TOTAL BUILDING AREA - 64,300 SQ. FT.





PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

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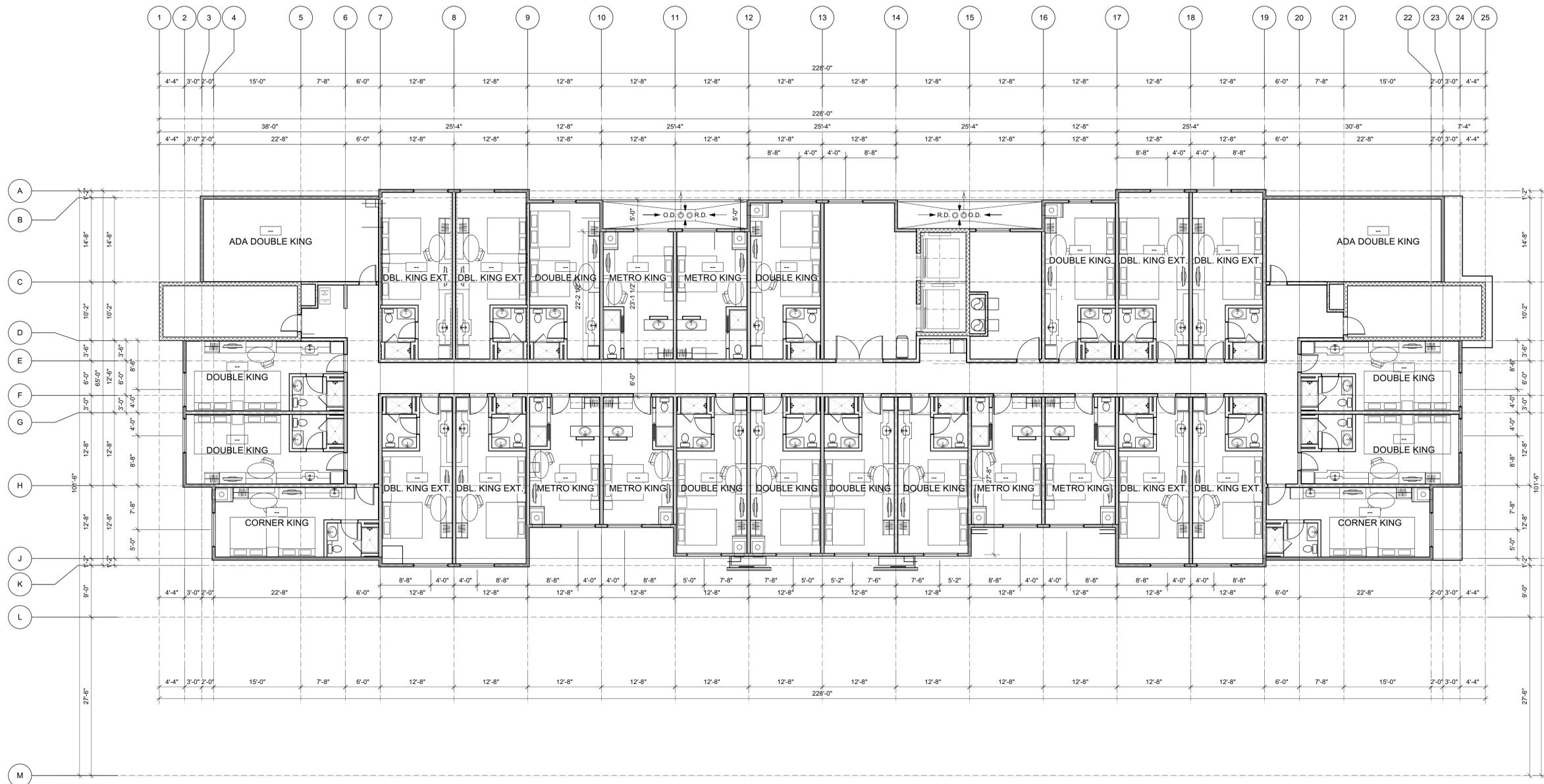
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REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**FOURTH FLOOR**

FIRST FLOOR AREA - 13,900 SQ. FT.  
SECOND FLOOR AREA - 12,600 SQ. FT.  
THIRD FLOOR AREA - 12,600 SQ. FT.  
FOURTH FLOOR AREA - 12,600 SQ. FT.  
FIFTH FLOOR AREA - 12,600 SQ. FT.  
TOTAL BUILDING AREA - 64,300 SQ. FT.

**A104**





PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

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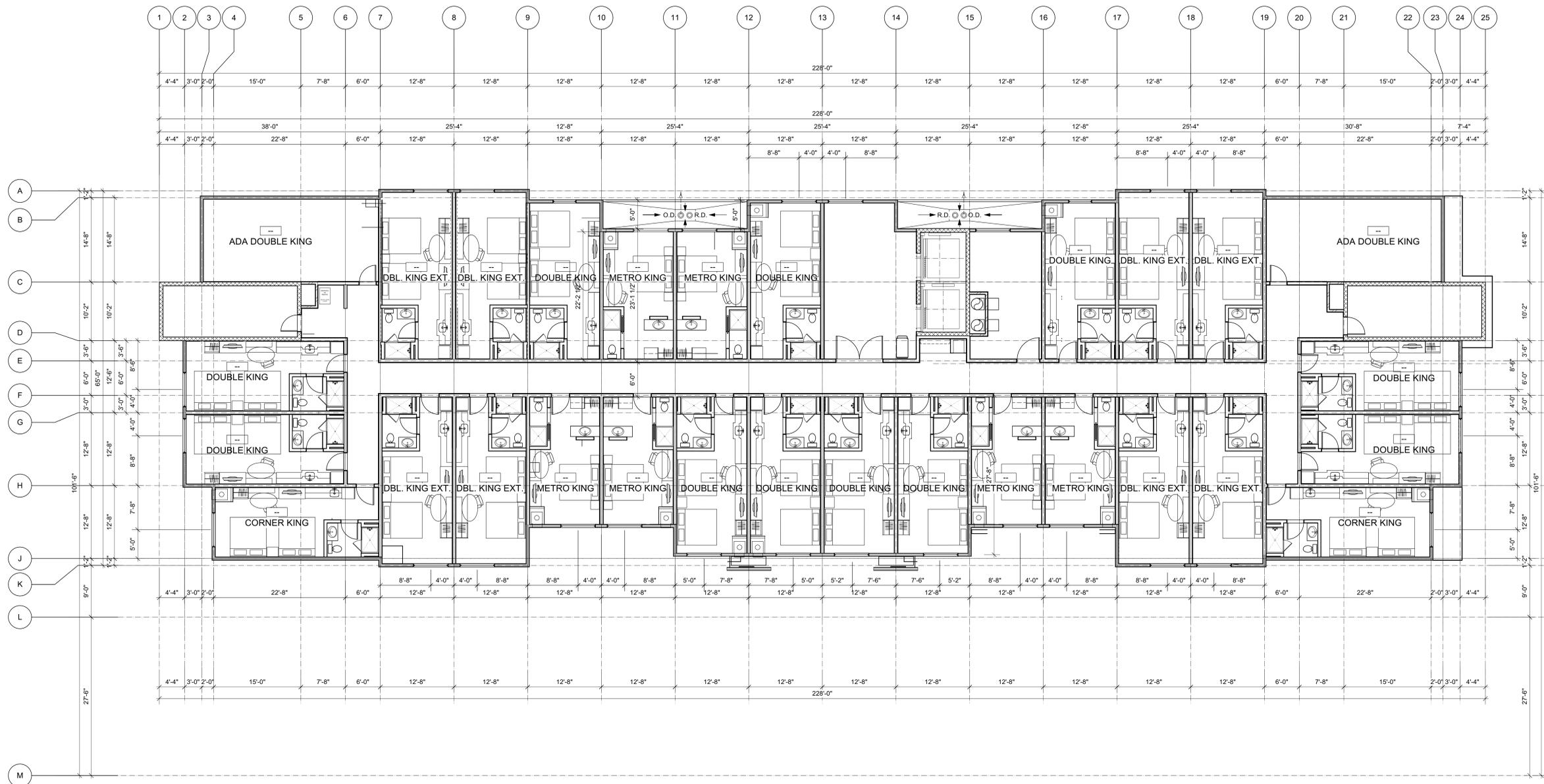
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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**FIFTH FLOOR**

FIRST FLOOR AREA - 13,900 SQ. FT.  
SECOND FLOOR AREA - 12,600 SQ. FT.  
THIRD FLOOR AREA - 12,600 SQ. FT.  
FOURTH FLOOR AREA - 12,600 SQ. FT.  
FIFTH FLOOR AREA - 12,600 SQ. FT.  
TOTAL BUILDING AREA - 64,300 SQ. FT.

**A105**





PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

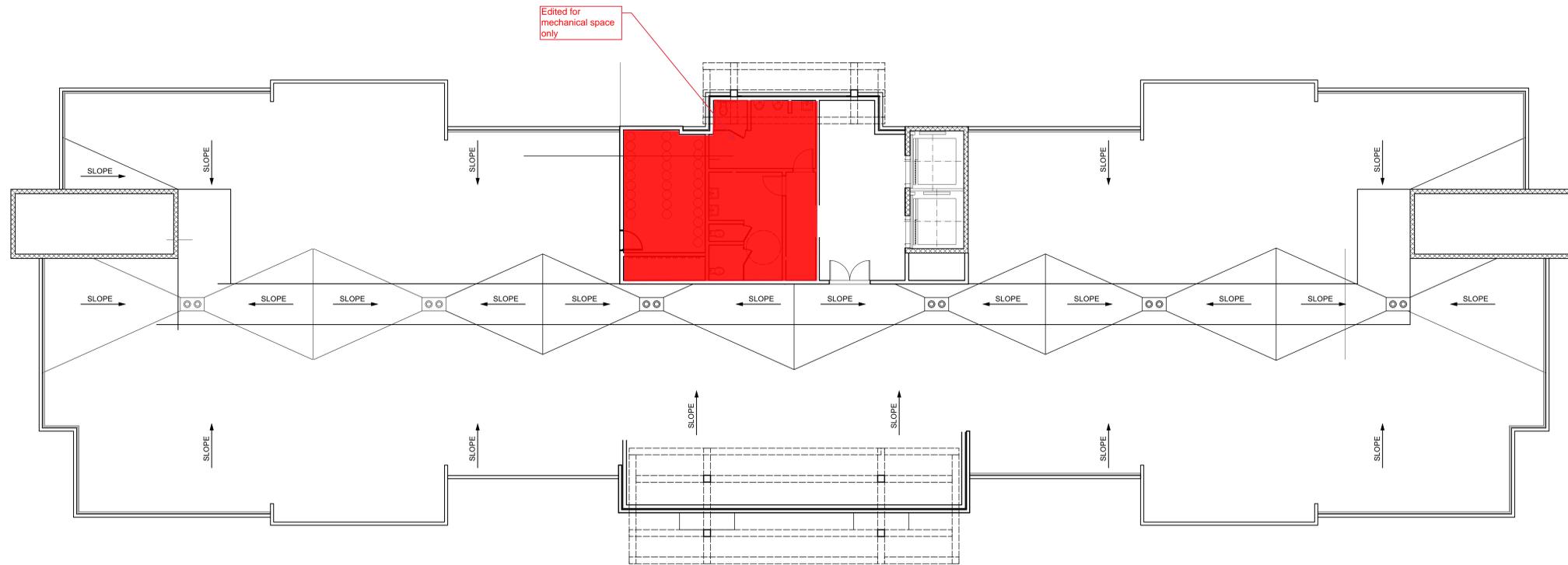
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SHEET TITLE:

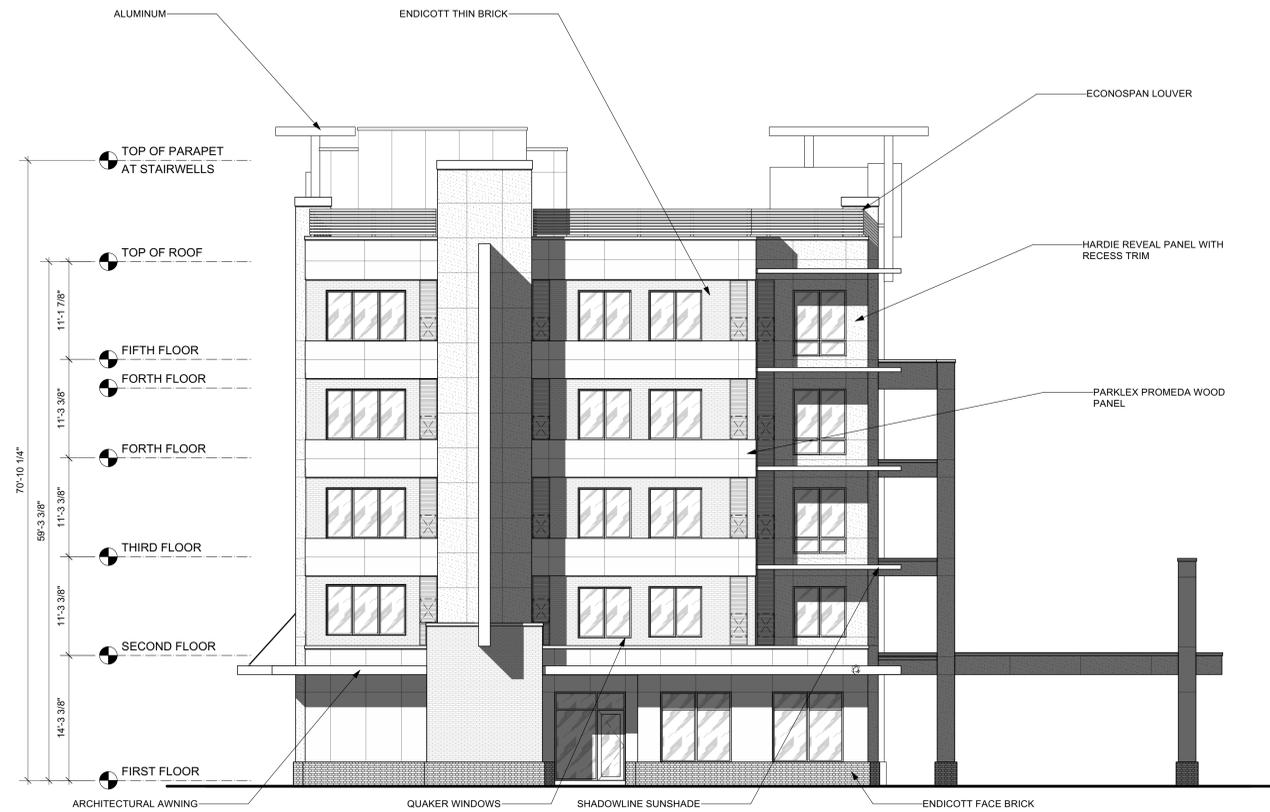
**ROOF PLAN**





PROJECT:  
DESAI HOTEL -  
BEAUFORT

ADDRESS:  
12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902



1 RIGHT ELEVATION  
Scale: 1/8" = 1'-0"

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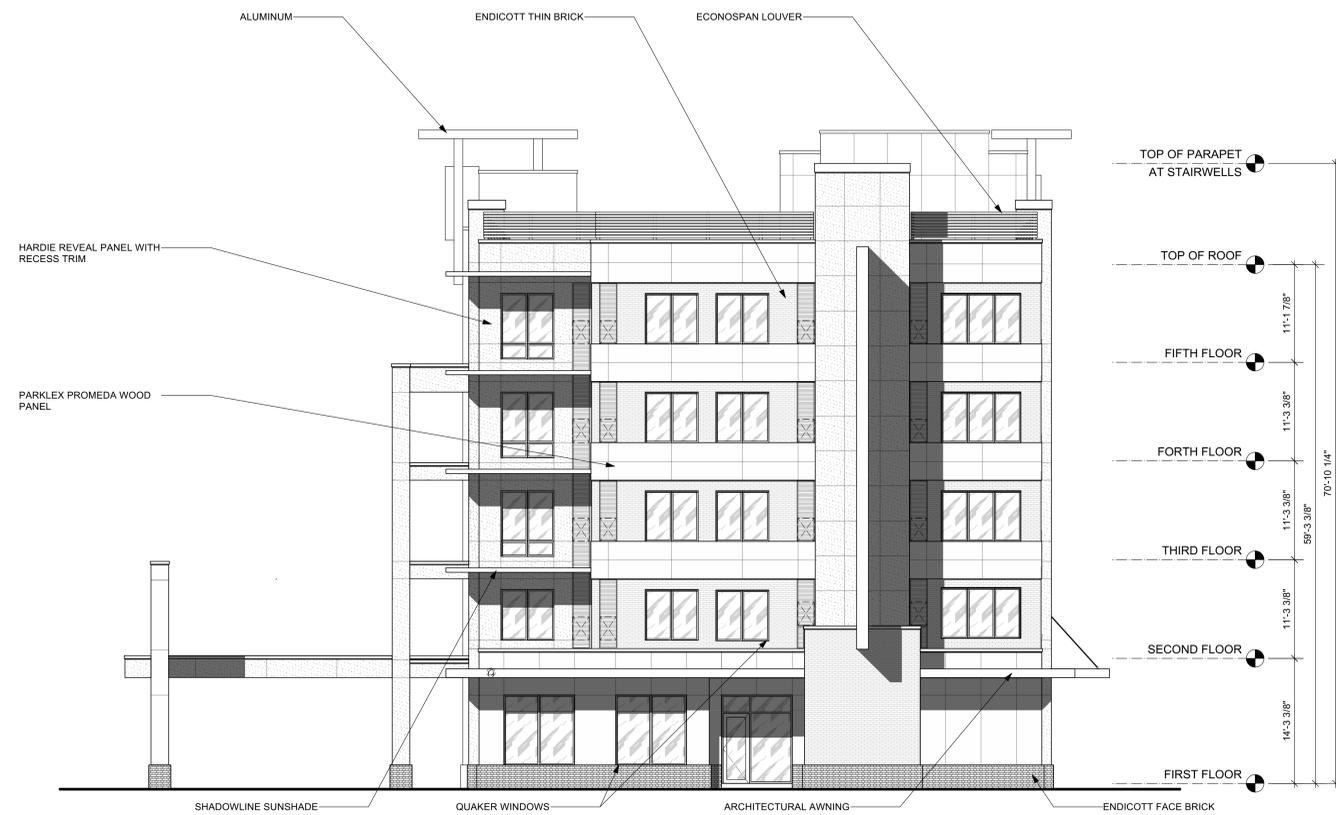


1 FRONT ELEVATION  
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REVIEWED BY: T. Michaels  
PROJECT: 20-012  
SHEET TITLE:

ELEVATIONS



**1 LEFT ELEVATION**  
Scale: 1/8" = 1'-0"



**1 REAR ELEVATION**  
Scale: 1/8" = 1'-0"





PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

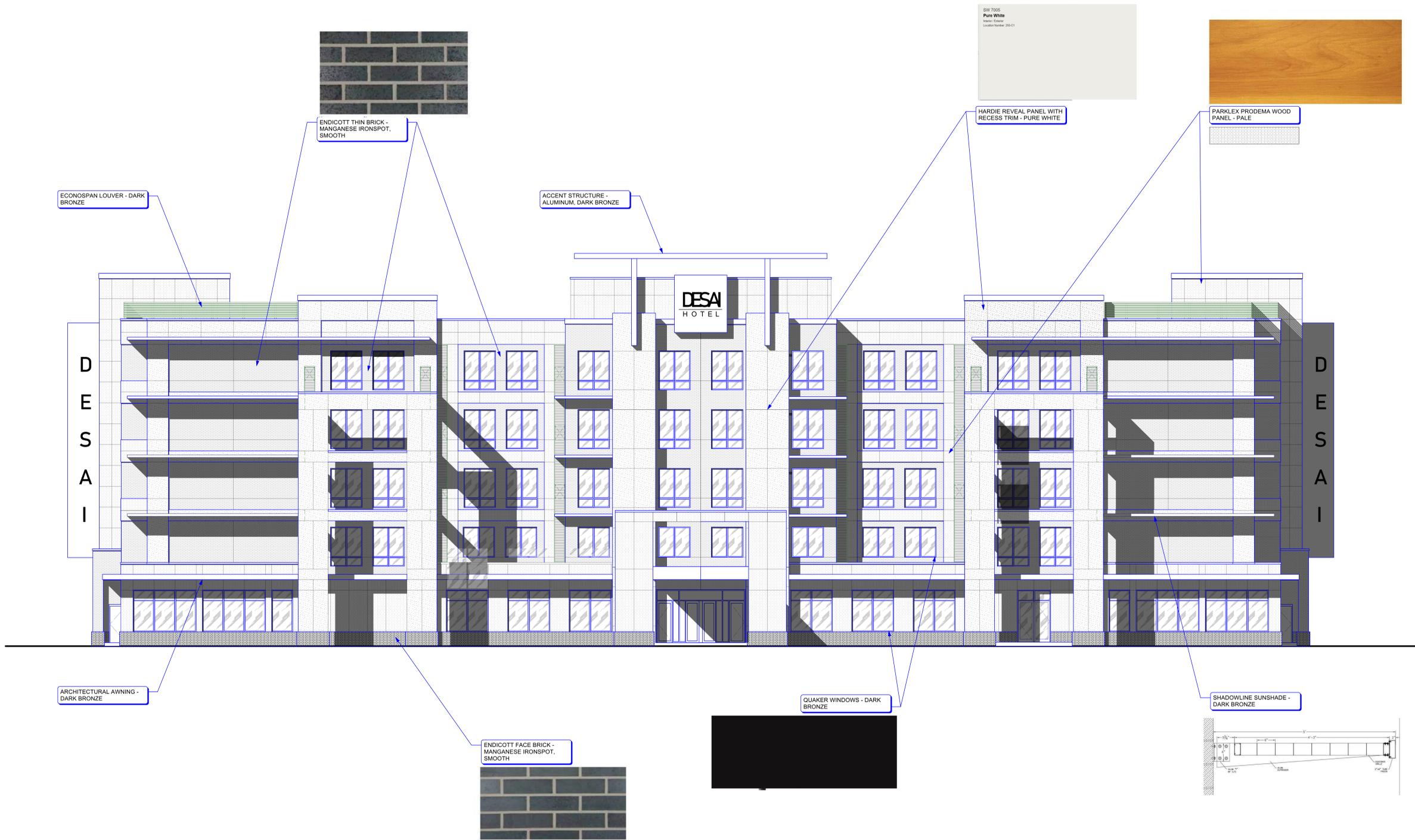
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SHEET TITLE:

**MATERIALS /  
COLORS**



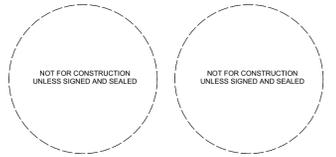


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PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC 29902**

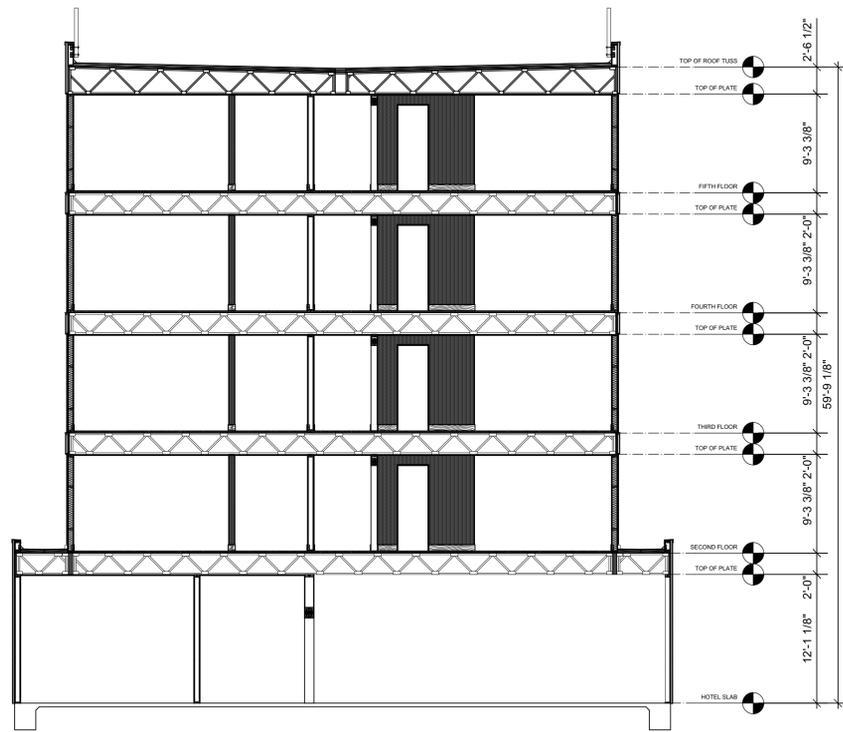
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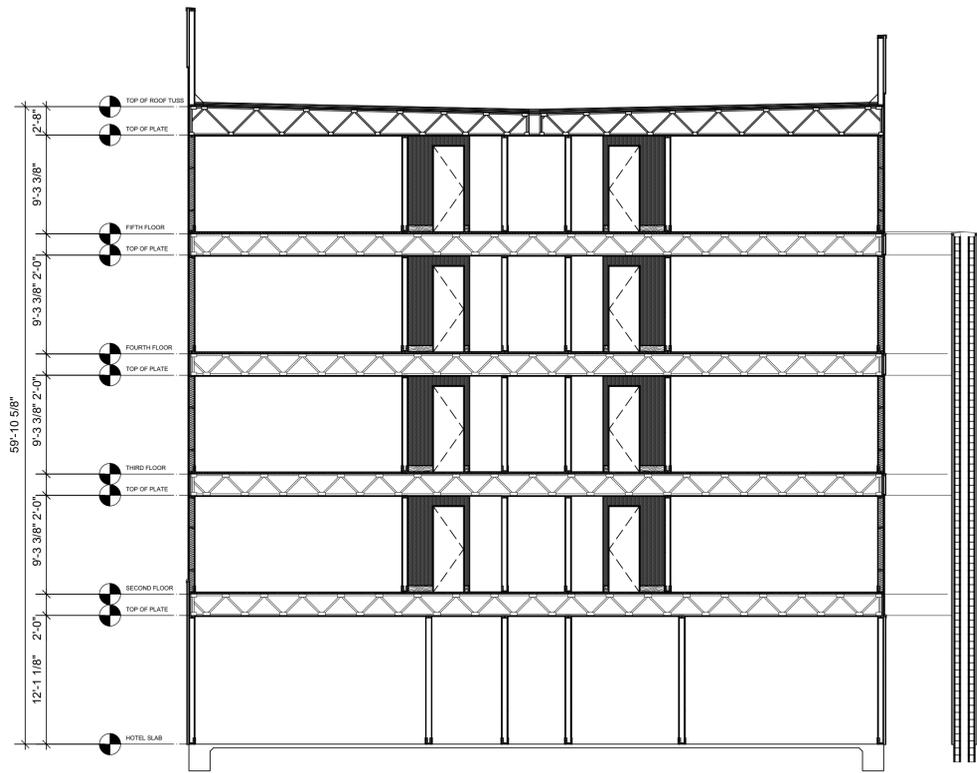
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REVIEWED BY: \_\_\_\_\_ REVIEWER  
PROJECT ID: \_\_\_\_\_ 20-012

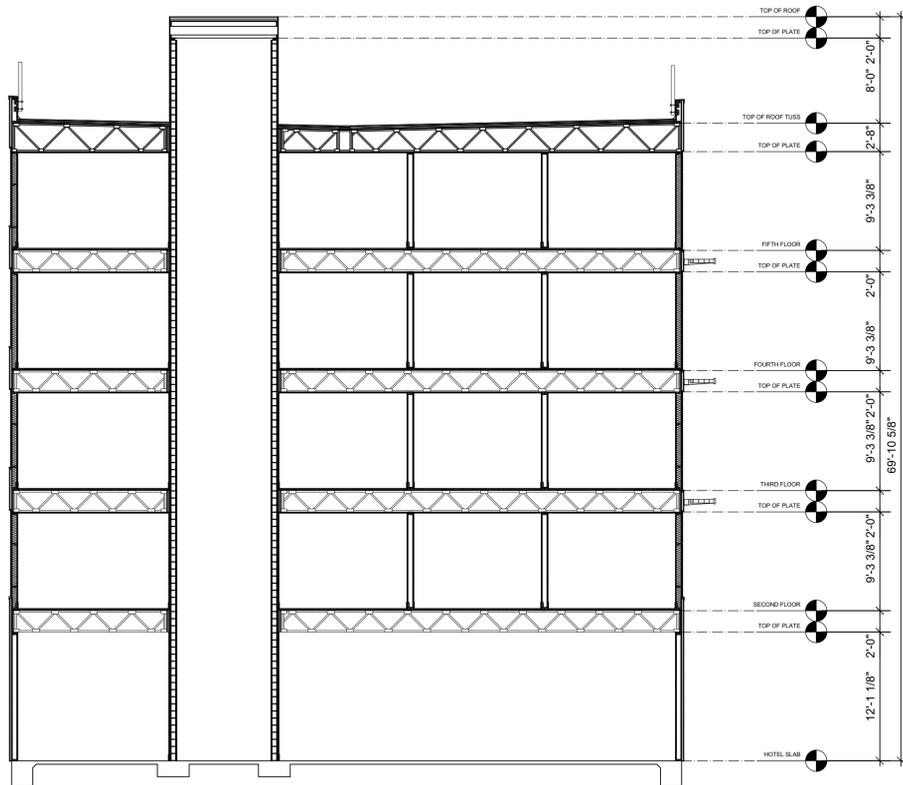
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SECTIONS**



**3** BUILDING SECTIONS  
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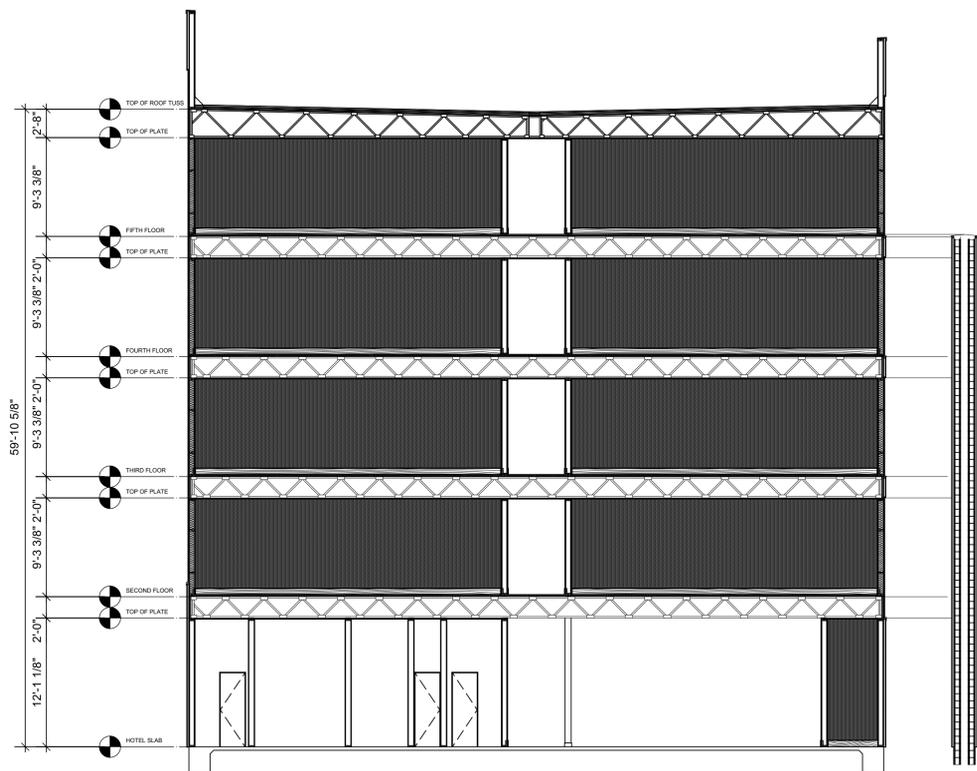


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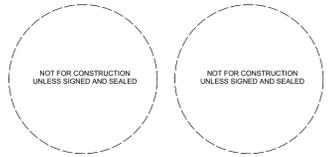


**1** BUILDING SECTIONS  
Scale: 1/8" = 1'-0"

12 County Shed 29 of 150



**2** BUILDING SECTIONS  
Scale: 1/8" = 1'-0"



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC 29902**

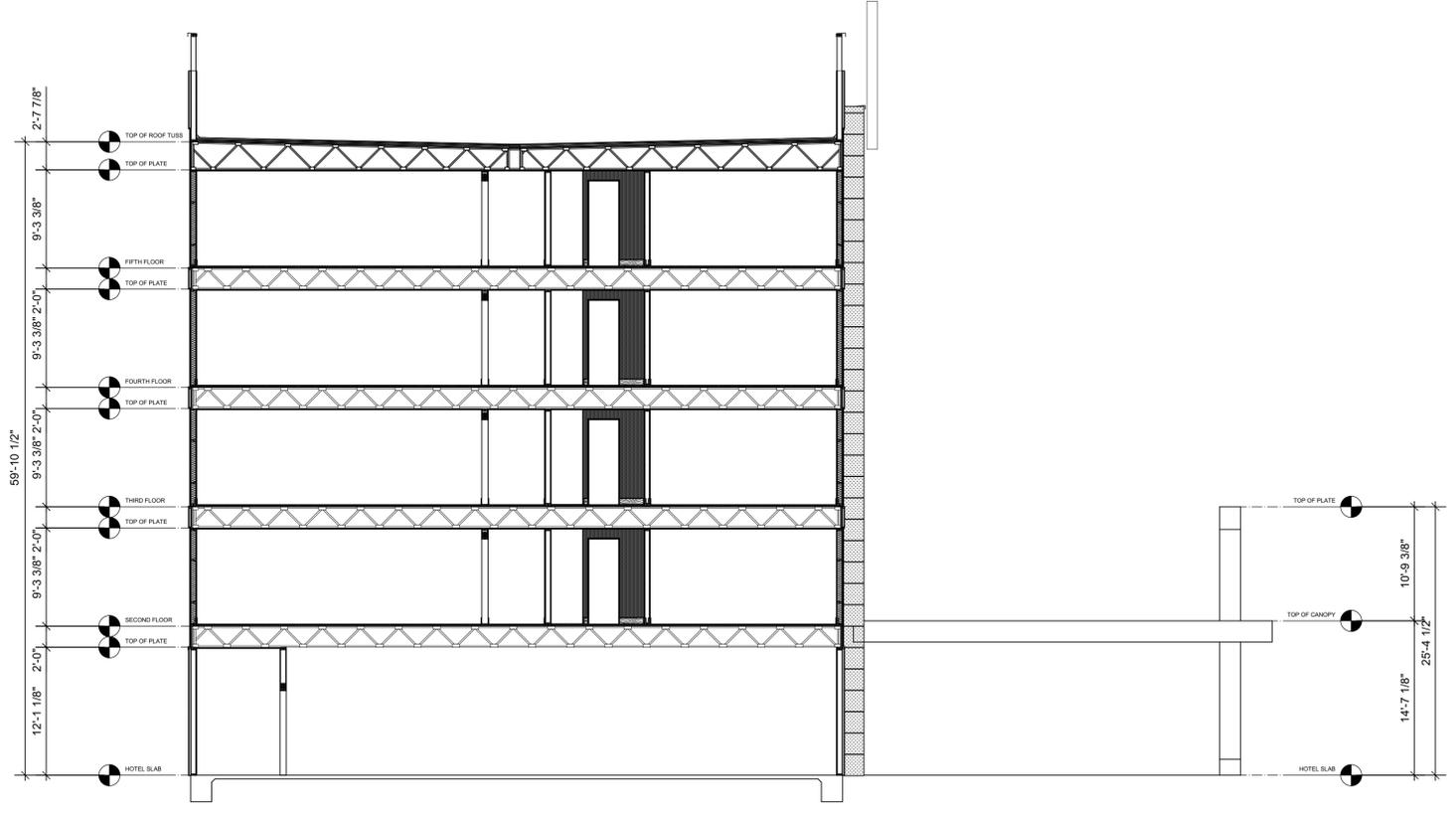
ISSUE / REVISION:

ADD COMPANY  
LOGO

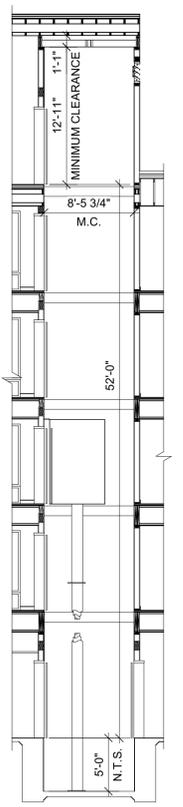
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DRAWN BY: \_\_\_\_\_ DRAWER  
REVIEWED BY: \_\_\_\_\_ REVIEWER  
PROJECT ID: \_\_\_\_\_ 20-012  
SHEET TITLE:

**BUILDING &  
ELEVATOR  
SECTIONS**

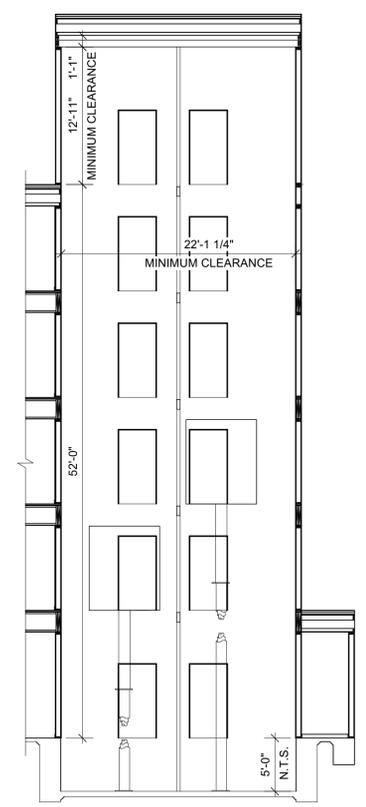


**3** BUILDING SECTIONS  
Scale: 1/8" = 1'-0"



**1** BUILDING SECTIONS  
Scale: 1/8" = 1'-0"

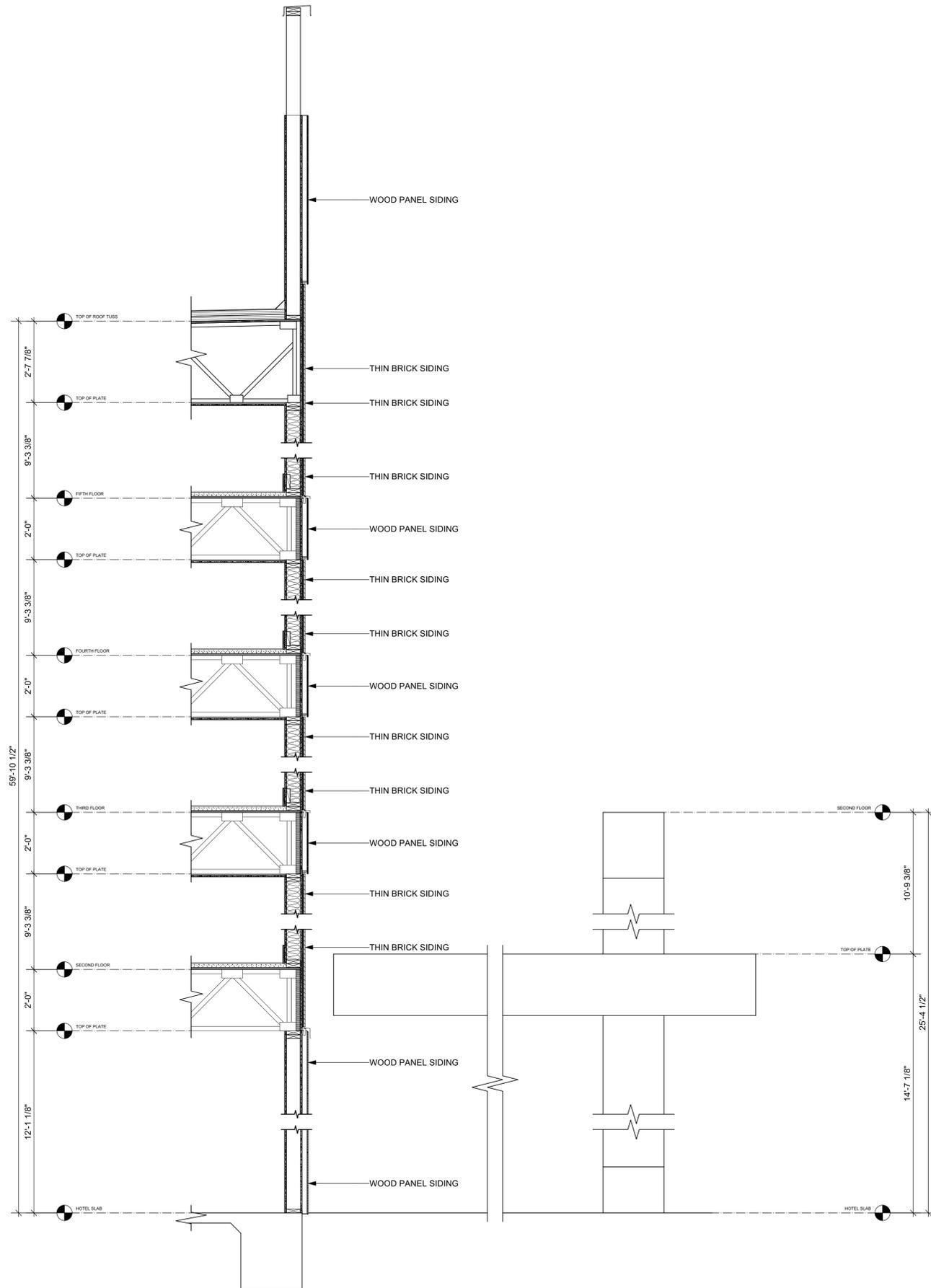
12 County Shed 30 of 150



**2** BUILDING SECTIONS  
Scale: 1/8" = 1'-0"



NOTE: WHERE SHINGLES ARE INSTALLED ON ROOF SLOPES LESS THAN 4:12, INSTALL (2) LAYERS OF 30# FELT (OR EQUAL) UNDER ROOFING. CONTRACTOR SHALL CONSULT MANUFACTURES SPECIFICATIONS FOR PRODUCT SPECIFIC REQUIREMENTS

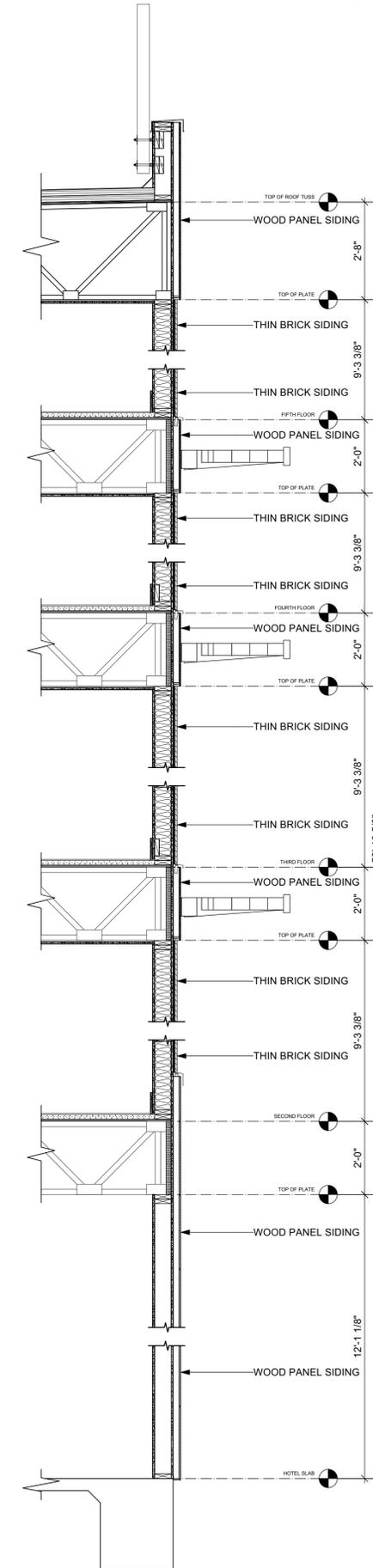


12 County Shed 32 of 150

2

WALL SECTION  
Scale: 1/2" = 1'-0"

NOTE: WHERE SHINGLES ARE INSTALLED ON ROOF SLOPES LESS THAN 4:12, INSTALL (2) LAYERS OF 30# FELT (OR EQUAL) UNDER ROOFING. CONTRACTOR SHALL CONSULT MANUFACTURES SPECIFICATIONS FOR PRODUCT SPECIFIC REQUIREMENTS



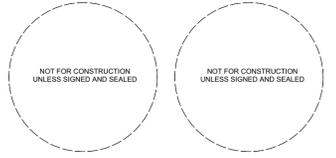
1

WALL SECTION  
Scale: 1/2" = 1'-0"



architecture + planning

SM7 DESIGN LLC  
1011 BAY STREET, STE 314  
BEAUFORT SC 29002



PROJECT:  
DESAI HOTEL -  
BEAUFORT

ADDRESS:  
12 COUNTY SHED  
ROAD  
BEAUFORT, SC 29902

ISSUE / REVISION:



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DRAWN BY: \_\_\_\_\_ DRAWER  
REVIEWED BY: \_\_\_\_\_ REVIEWER  
PROJECT ID: \_\_\_\_\_ 20-012  
SHEET TITLE:

WALL SECTIONS

A303

# SITE DEVELOPMENT PLANS FOR DESAI HOTEL BEAUFORT, SOUTH CAROLINA

Prepared for  
HD COMPANIES

### PROJECT DATA

OWNER/DEVELOPER: HD COMPANIES  
12 COUNTY SHED ROAD  
BEAUFORT, SOUTH CAROLINA

24HR CONTACT: BEN LOCKHART  
912-232-6533

TAX MAP & PARCEL NUMBER: R120 026 000 0160 0000

PARCEL AREA: 2.04

ZONING CLASSIFICATION: T5-UC / RMX

PROPOSED USE: HOTEL

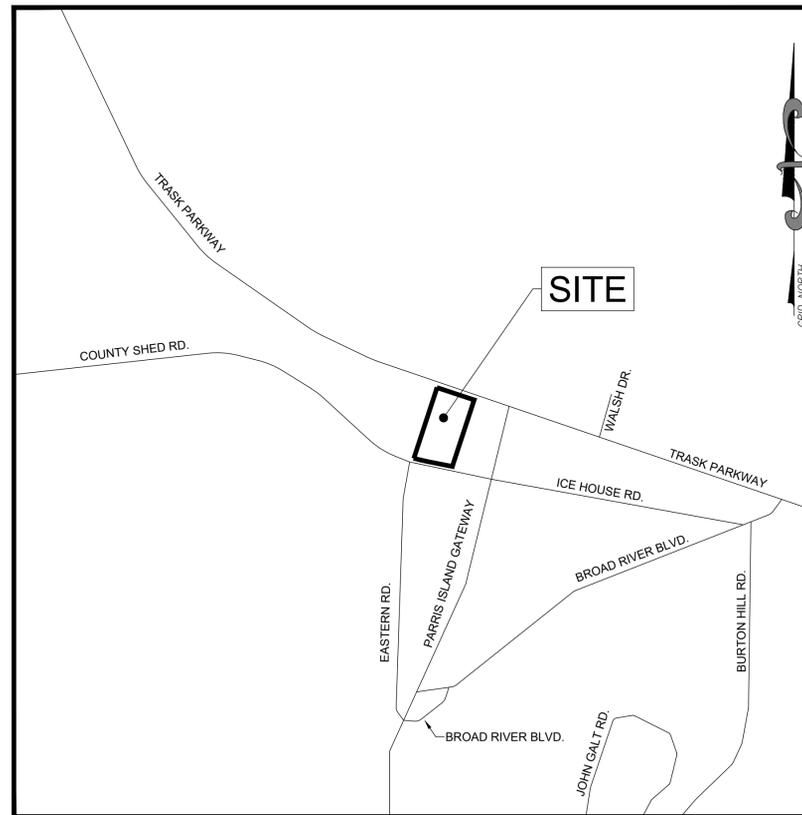
IMPERVIOUS AREA: 0.79

DISTURBED AREA: 1.79 ACRES

TOTAL BUILDING AREA: 14180 SF

PARKING SPACES REQUIRED: 100 SPACES

PARKING SPACES PROVIDED: 70 SPACES



**VICINITY MAP**  
NOT TO SCALE

INDEX OF DRAWINGS	
Sheet Number	Sheet Title
1	COVER
2	GENERAL NOTES AND LEGEND
3	OVERALL SITE PLAN
4	EXISTING CONDITIONS AND DEMOLITION PLAN
5	STAKING PLAN
6	UTILITY PLAN
7	SANITARY SEWER PROFILES
8	DRAINAGE PLAN
9	STORM DRAINAGE PROFILES
10	PAVING & GRADING PLAN
11	LANDSCAPE PLAN
12	INITIAL EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
13	INTERMEDIATE & FINAL EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN
14-18	CONSTRUCTION DETAILS

#### UTILITY LOCATION DISCLAIMER

THE UTILITIES ARE SHOWN AS PER THE LOCATION OF POLES, MANHOLES, VALVES, PEDESTALS, ETC., EXISTING DRAWINGS AND INFORMATION PROVIDED BY UTILITY PERSONNEL. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

REVISION	DESCRIPTION	DATE
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY SCG ENGINEERING, LLC., DATED 1/21/2016. COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE, NAD 83 AND ELEVATIONS ARE BASED ON NAVD 29 DATUM.

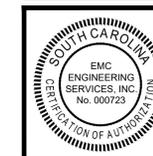


**PROJECT LOCATION:**  
3670 TRASK PARKWAY  
BEAUFORT, SOUTH CAROLINA  
EMC PROJECT# 20-0074  
MARCH 2022

PROJECT NAME: DESAI HOTEL  
BJWSA # 2022-141



**EMC ENGINEERING SERVICES, INC.**  
ENVIRONMENTAL- MARINE - CIVIL - SURVEY



EMC ENGINEERING SERVICES, INC.  
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PHONE: (912) 232-6533  
FAX: (912) 233-4580  
savannah@emc-eng.com  
www.emc-eng.com

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS • SAVANNAH  
STATESBORO • THOMASTON • VALDOSTA

**GENERAL NOTES:**

- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE OBTAINED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT CONTRACT DOCUMENTS AND THE APPLICABLE CITY OF BEAUFORT SPECIFICATIONS.
- PRIOR TO INSTALLATION OF ANY UTILITY LINES, THE CONTRACTOR SHALL GIVE THE UTILITY COMPANIES THREE (3) WORKING DAYS NOTICE TO ALLOW TIME FOR EXISTING UTILITIES TO BE STAKED. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES, AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY VARIANCES PRIOR TO COMMENCEMENT OF WORK OR PURCHASING ANY MATERIALS.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ABUTTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED. THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS DOES NOT IN ANY WAY GUARANTEE THE AMOUNT OR NATURE OF THE MATERIAL WHICH MAY BE ENCOUNTERED.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF AASHTO M170.
- FILL MATERIAL SHALL BE CLEAN AND FREE OF ALL DEBRIS AND ORGANIC MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND FURNISHING THE BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.
- ALL ITEMS REMOVED FROM THE PROJECT WHICH ARE NOT TO BE REUSED SHALL BE MOVED TO A LOCATION APPROVED BY THE OWNER.
- DURING CONSTRUCTION IN THE AREA OF AN INTERSECTION, WORK WILL BE PERFORMED IN SUCH A MANNER AS TO PERMIT TRAFFIC TO OPERATE WITH THE LEAST AMOUNT OF INCONVENIENCE POSSIBLE. ADDITIONAL CHANNELIZATION AND SIGNING SHALL BE INSTALLED, AS DIRECTED BY THE ENGINEER, TO ALLOW TRAFFIC TO FLOW AS FREELY AS POSSIBLE. WHEN AN INTERSECTION IS INOPERABLE, FLAGGERS WILL BE UTILIZED TO CONTROL TRAFFIC.
- ALL SIGNING SHALL BE PER DOT STANDARDS AND M.U.T.C.D.
- THIS PROPERTY IS LOCATED IN ZONE C, NOT A SPECIAL FLOOD HAZARD AREA, AS DETERMINED BY FIRM, COMMUNITY MAP NO. 450025, PANEL 0065D, DATED SEPTEMBER 29, 1986. THERE ARE NO WETLANDS OR STATE WATERS ON OR WITHIN 200' OF SITE.
- TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY SCG ENGINEERING, LLC., DATED 1/21/2016. COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE, NAD 83 AND ELEVATIONS ARE BASED ON NAVD 29 DATUM.

**UTILITY NOTES:**

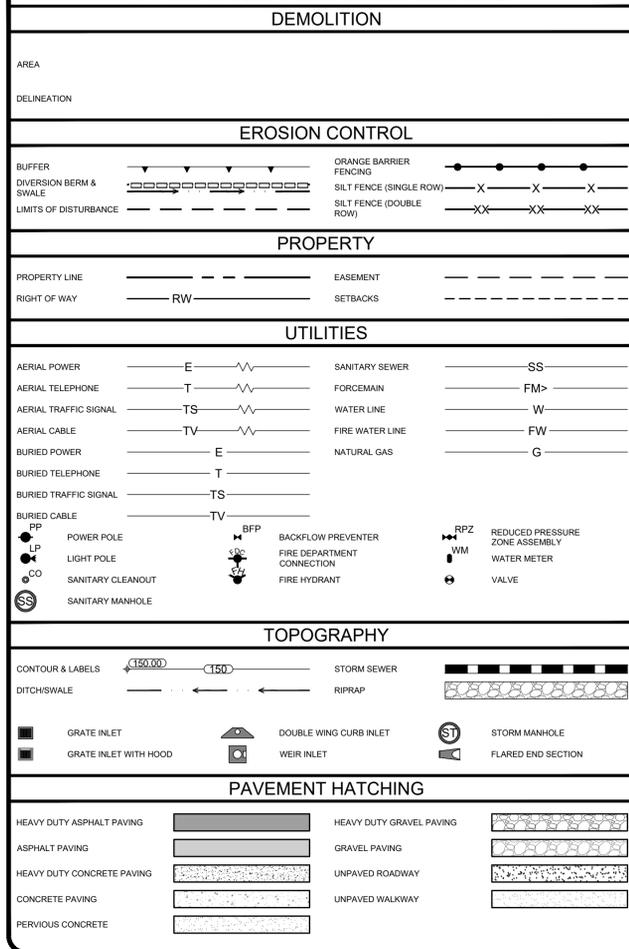
- ALL WATER AND SEWER LINE CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND BEAUFORT JASPER WATER SEWER AUTHORITY (BJWSA) REQUIREMENTS, STANDARDS AND SPECIFICATIONS.
- BJWSA WILL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF ALL WATER AND SEWER SYSTEM CONSTRUCTION AND FOR ACCEPTANCE, OPERATION AND MAINTENANCE.
- THE CONTRACTOR MUST NOTIFY BJWSA FORTY-EIGHT (48) HOURS PRIOR TO ANY CONSTRUCTION, INSPECTION OR TESTING OF THE WATER DISTRIBUTION SYSTEM.
- ALL PIPE, FITTINGS AND APPURTENANCES FOR WATER AND SEWER LINES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BJWSA TECHNICAL SPECIFICATIONS.
- SANITARY MANHOLE RIM ELEVATIONS ARE APPROXIMATE. ADJUST RIM ELEVATIONS TO BE FLUSH WITH FINISHED GRADE.
- THE CONTRACTOR SHALL NOT MAKE ANY CONNECTIONS TO THE EXISTING WATER OR SANITARY SEWER SYSTEMS UNLESS EXPRESSLY AUTHORIZED TO DO SO BY THE BJWSA. ALL WATER AND SEWER IMPROVEMENTS UNDER THIS CONTRACT MUST BE CONSTRUCTED COMPLETE, TESTED, INSPECTED AND APPROVED BY THE BJWSA BEFORE ANY AUTHORIZATION TO CONNECT WILL BE GIVEN. COORDINATION OF TESTING, INSPECTION AND CONNECTIONS WITH THE BJWSA IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE PIPES, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM ALL FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPES SHALL BE REJECTED. ALL FOREIGN MATTER SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT FOREIGN MATTER FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE PLUGGED OR CAPPED BY APPROVED MEANS TO FORM A WATER TIGHT SEAL. NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- ALL WET TAPS SHALL INCLUDE TAPPING SADDLES, SLEEVES, VALVES AND VALVE BOXES OR MANHOLES AS NOTED ON UTILITIES SHEET. ALL EXCAVATION, PROVIDING AND INSTALLING OF TAPPING SLEEVE, TAPPING VALVE IN A MANHOLE, THRU-RESISTANCE BLOCKS/TIE-RODS/MEGALUGS, BACKFILL, COMPRESSOR, MANPOWER, ETC. WILL BE PROVIDED BY THE CONTRACTOR.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACK FLOW PREVENTION DEVICE AND FIRE HYDRANT METER.
- PRIOR TO CONNECTING TO ANY EXISTING WATER MAINS, REUSE MAINS, OR SANITARY SEWER LINES AND PRIOR TO DIGGING FOR PROPOSED CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY OWNER A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- ALL MATERIALS USED AND THAT COME INTO CONTACT WITH DRINKING WATER DURING ITS DISTRIBUTION SHALL NOT ADVERSELY AFFECT DRINKING WATER QUALITY AND PUBLIC HEALTH AND MUST BE CERTIFIED FOR CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE / NATIONAL SANITARY FOUNDATION STANDARD 61 (ANSI/NSF STANDARD 61).
- MAINTAIN A MINIMUM OF 36" OF COVER FOR ALL MAINS 12" AND SMALLER. A MAXIMUM COVER OF 60" FROM FINISHED GRADE SHALL BE USED UNLESS APPROVED TO AVOID CONFLICT. IF THE COVER IS LESS THAN 36", DUCTILE IRON PIPE SHALL BE USED.
- ALL PHASES OF CONSTRUCTION OF THE WATER SYSTEM SHALL COMPLY WITH THE RULES FOR SAFE DRINKING WATER, CHAPTER 391-3-5 AND THE LATEST EDITION OF THE EPD MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS.
- MAXIMUM JOINT DEFLECTION AND BENDING OF PVC PIPE SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS AND INSTALLATION RECOMMENDATIONS.

**SCDHEC - OCRM NOTES:**

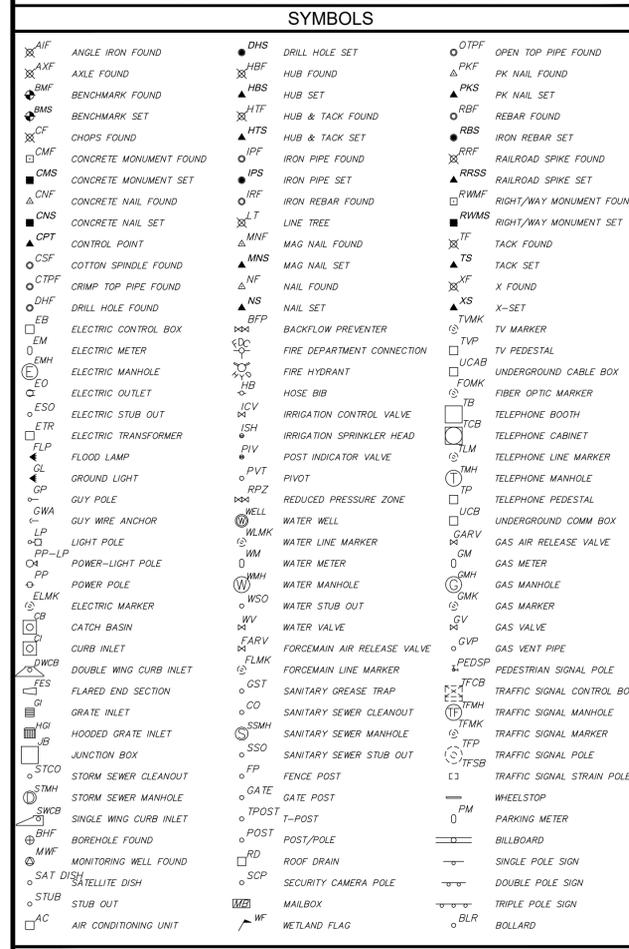
- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.  
WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL  
WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILTFENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED. STANDARD NOTES REVISED DECEMBER 2012.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE; MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.)
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:  
A. WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL  
B. WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS  
C. FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SCFS WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORMWATER EVENT WHENEVER PRACTICAL. IF IMPLEMENTATION BEFORE THE NEXT STORMWATER EVENT IS IMPRACTICAL, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION AND A POST-CONSTRUCTION CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

12 County Shed 34 of 150

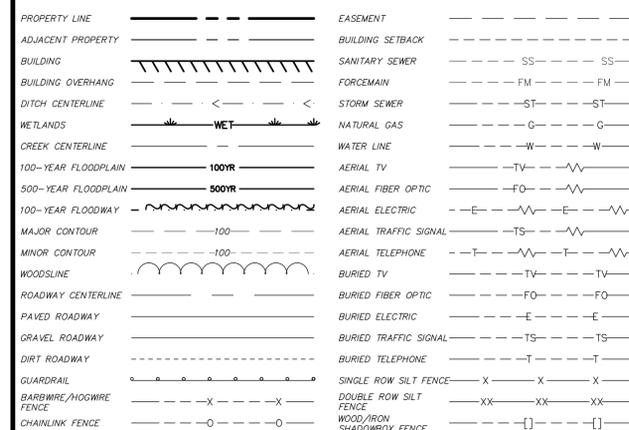
**PROPOSED FEATURES LEGEND**



**EXISTING FEATURES LEGEND**



**LINETYPES**



**ABBREVIATIONS**

BFE	BASE FLOOD ELEVATION	HDPE	HIGH DENSITY POLYETHYLENE	RCB	CONCRETE BOX CULVERT
CMP	CORRUGATED METAL PIPE	HDW	HEADWALL	RCP	REINFORCED CONCRETE PIPE
CPP	CORRUGATED PLASTIC PIPE	HML	HIGH WATER LEVEL	THR	THROAT ELEVATION
DIP	DUCTILE IRON PIPE	IE/INV	INVERT ELEVATION	VCP	VITRIFIED CLAY PIPE
FFE	FINISHED FLOOR ELEVATION	LWL	LOW WATER LEVEL	VLT	VAULT
FRD	FRENCH DRAIN	PVC	POLYVINYL CHLORIDE PIPE		

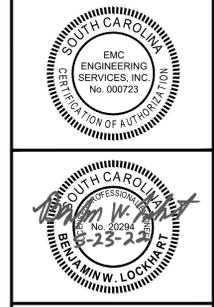
**SCDHEC-OCRM CERTIFICATION:**

"I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED, SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000."

**UTILITY CONTACTS:**

PALMETTO ELECTRIC:	843-208-5512	1 COOPERATIVE WAY, HARDEEVILLE, SC 29927
DOMINION ENERGY:	843-525-7700	108 ROBERT SMALLS PKWY, BEAUFORT, SC 29906
BJWSA:	843-987-9292	6 SNAKE ROAD, OKATIE, SC 29909
HARGRAY COMMUNICATIONS:	843-815-1675	PO BOX 3380, BLUFFTON, SC 29910
TIME WARNER CABLE:	843-913-7040	11 OFFICE PARK ROAD, HILTON HEAD, SC 29928
CENTURY LINK:	843-525-0444	2127 BOUNDARY ST. #16, BEAUFORT, SC 29902
SANTEE COOPER:	843-761-8000	1 RIVERWOOD DRIVE, MONCK'S CORNER, SC 29641

DATE	REVISION DESCRIPTION	NO.



**EMC ENGINEERING SERVICES, INC.**  
27 Chatham Center South, Suite A  
Savannah, GA 31405  
Tel: (912) 232-9530  
Fax: (912) 232-9530  
savannah@emc-eng.com  
www.emc-eng.com

**DESAI HOTEL**  
3670 TRASK PARKWAY  
BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

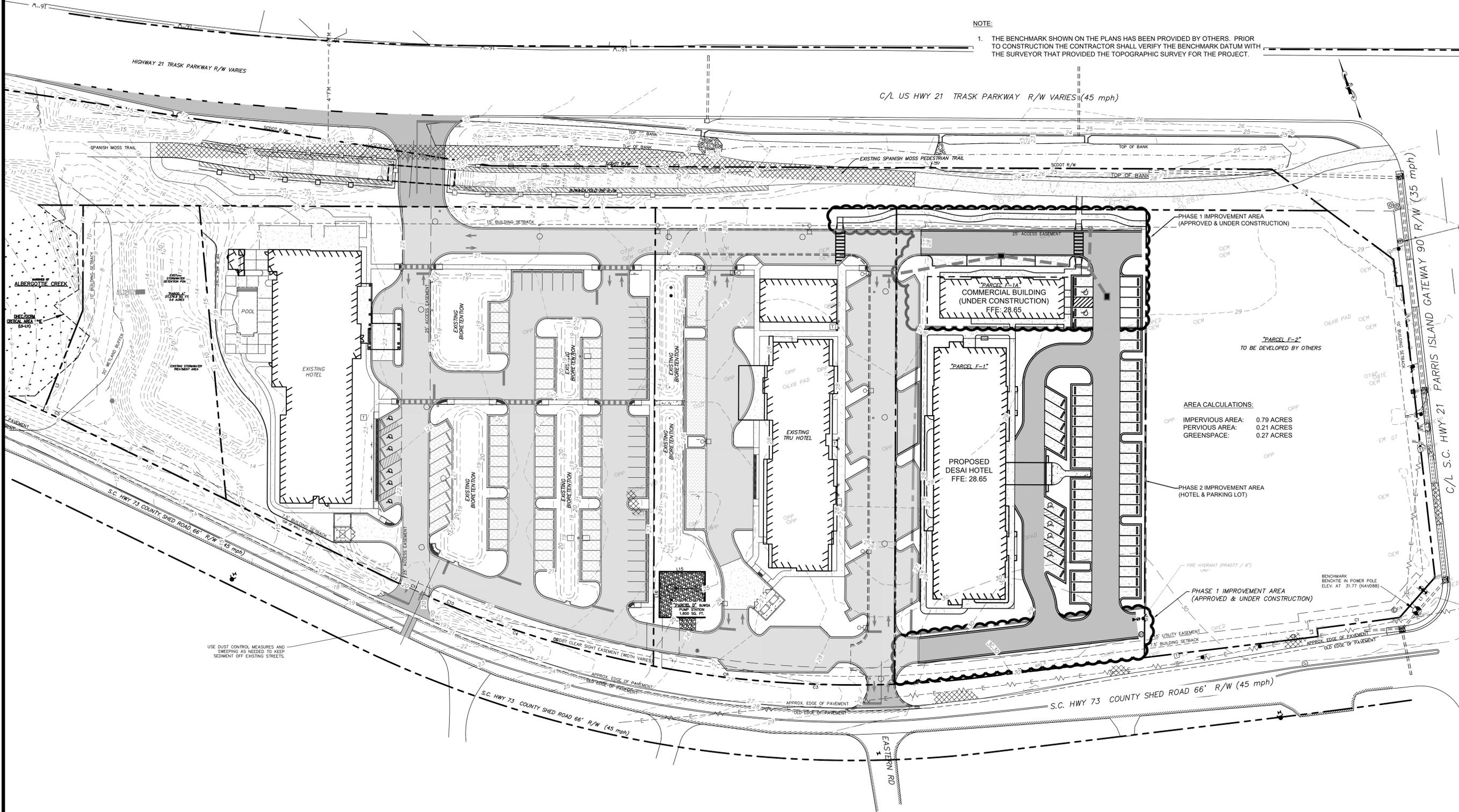
**GENERAL NOTES & LEGEND**

PROJECT NO.: 20-0074  
DRAWN BY: CPR  
DESIGNED BY: CPR  
SURVEYED BY: SCG ENG, LLC.  
SURVEY DATE: 1/21/2016  
CHECKED BY: BWL  
SCALE: N/A  
DATE: MARCH 2022

**SHEET**  
**2**  
OF 18

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01/2020/20-0074 DESAI HOTEL BEAUFORT SC\DWG\20-0074C-B02-HOTEL & COMMERCIAL BUILDING.DWG 5/23/2022 4:14 PM



NOTE:  
1. THE BENCHMARK SHOWN ON THE PLANS HAS BEEN PROVIDED BY OTHERS. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE BENCHMARK DATUM WITH THE SURVEYOR THAT PROVIDED THE TOPOGRAPHIC SURVEY FOR THE PROJECT.

NO.	REVISION DESCRIPTION	DATE



GRAPHIC SCALE: 1" = 40'

**EMC ENGINEERING SERVICES, INC.**  
 27 Chatham Center South, Suite A  
 Savannah, GA 31405  
 P: (912) 233-5530  
 savannah@emc-eng.com  
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**OVERALL SITE PLAN**  
**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA

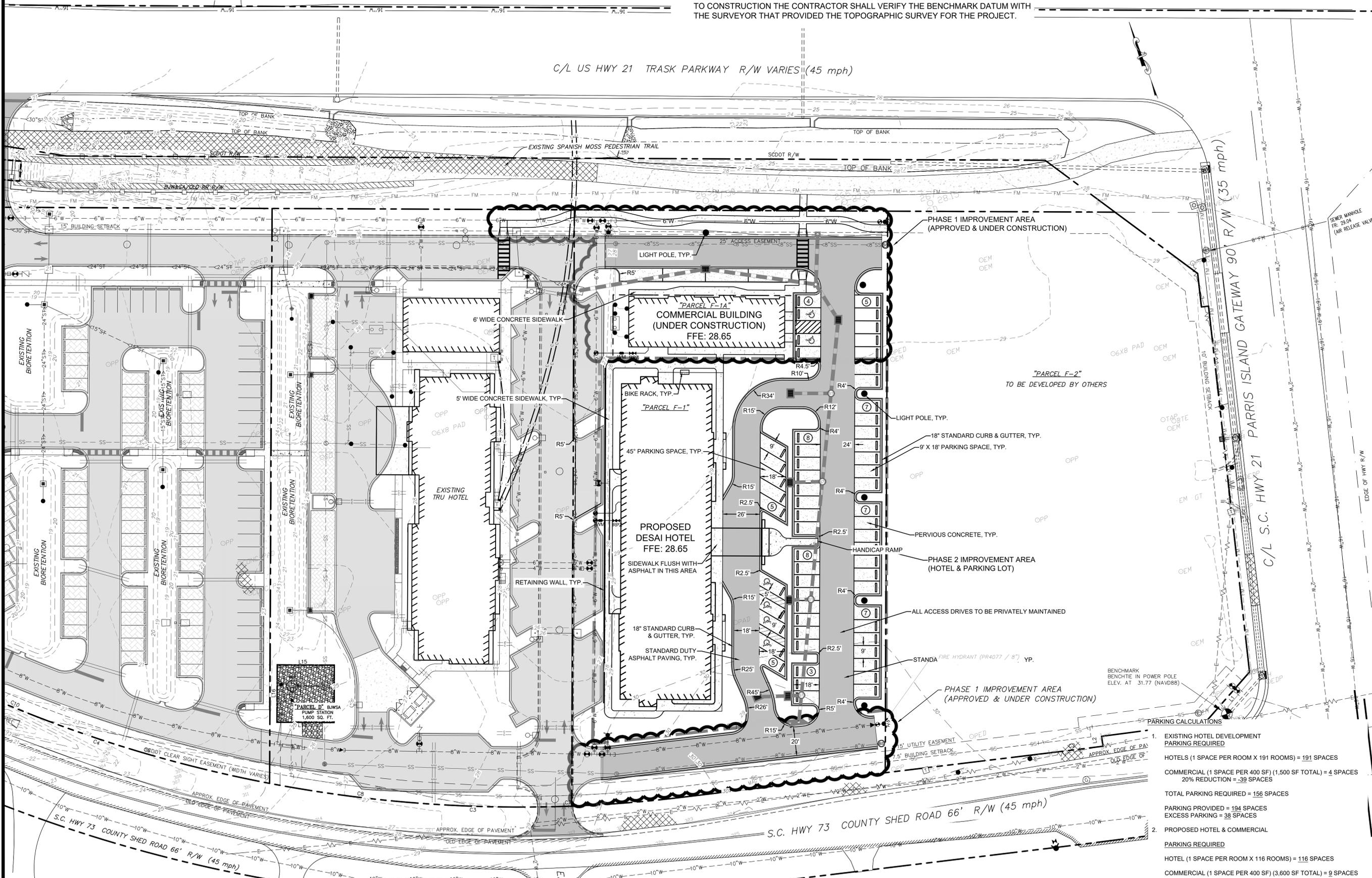
Prepared for:  
**HD COMPANIES**

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	SCG ENG. LLC.
SURVEY DATE:	1/21/2016
CHECKED BY:	BWL
SCALE:	1" = 40'
DATE:	MARCH 2022

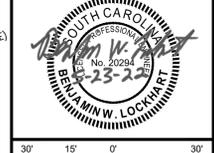


NOTE:

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**CIVIL MARINE ENVIRONMENTAL**

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**STAKING PLAN**  
**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

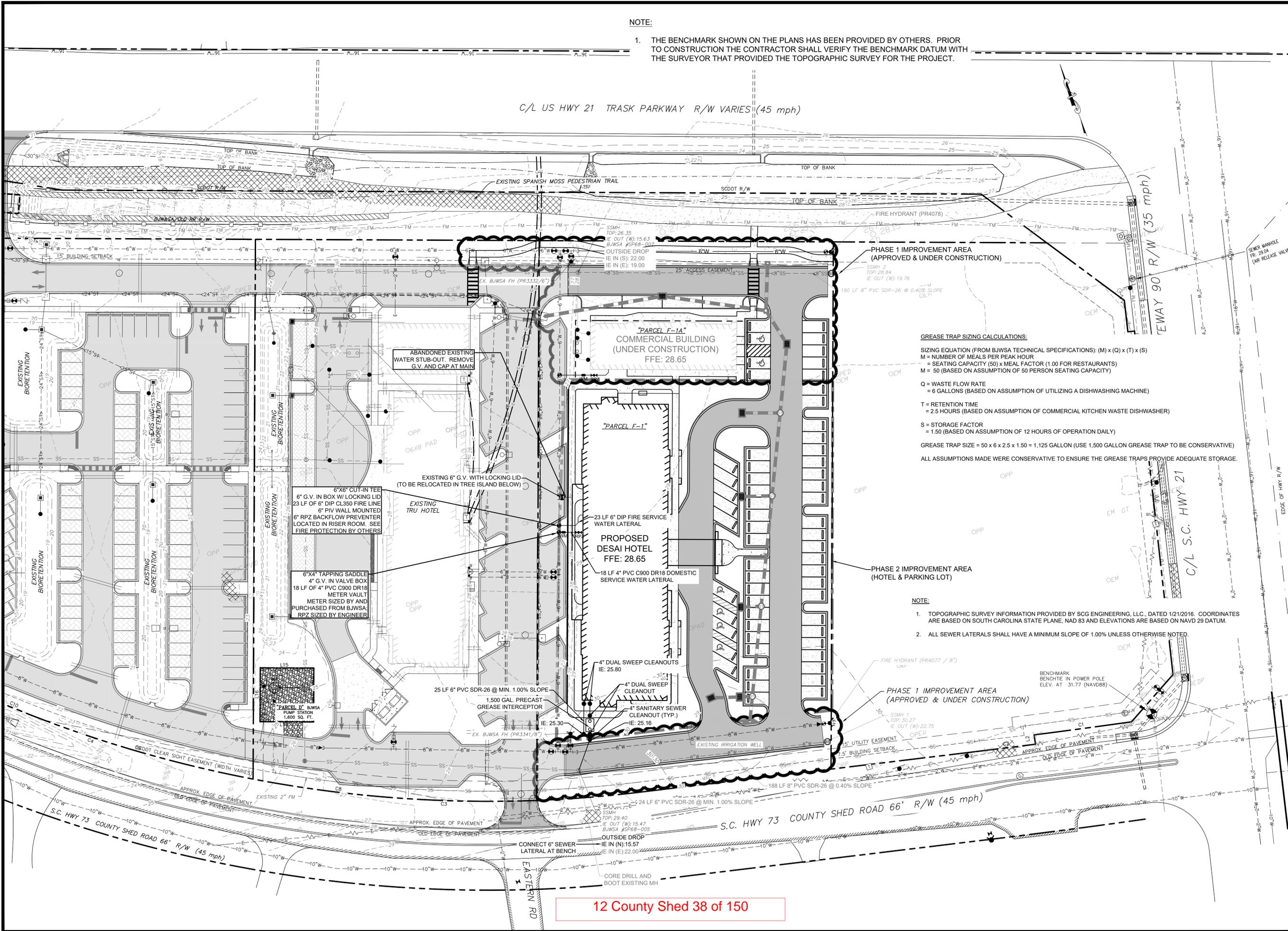
1. EXISTING HOTEL DEVELOPMENT PARKING REQUIRED  
 HOTELS (1 SPACE PER ROOM X 191 ROOMS) = 191 SPACES  
 COMMERCIAL (1 SPACE PER 400 SF) (1,500 SF TOTAL) = 4 SPACES  
 20% REDUCTION = -39 SPACES  
 TOTAL PARKING REQUIRED = 156 SPACES  
 PARKING PROVIDED = 194 SPACES  
 EXCESS PARKING = 38 SPACES
2. PROPOSED HOTEL & COMMERCIAL PARKING REQUIRED  
 HOTEL (1 SPACE PER ROOM X 116 ROOMS) = 116 SPACES  
 COMMERCIAL (1 SPACE PER 400 SF) (3,600 SF TOTAL) = 9 SPACES  
 20% REDUCTION = -25 SPACES  
 TOTAL PARKING REQUIRED = 100 SPACES  
 PARKING PROVIDED = 70 SPACES  
 PARKING DEFICIENCY = 30 SPACES  
 EXCESS PARKING FROM EXISTING HOTELS = 38 SPACES  
 EXCESS PARKING AFTER PROPOSED CONSTRUCTION = 8 SPACES

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	SCG ENG. LLC.
SURVEY DATE:	1/21/2016
CHECKED BY:	BWL
SCALE:	1" = 30'
DATE:	MARCH 2022

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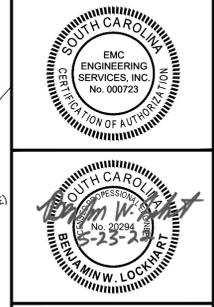
**GREASE TRAP SIZING CALCULATIONS:**

SIZING EQUATION (FROM BJWSA TECHNICAL SPECIFICATIONS):  $(M) \times (Q) \times (T) \times (S)$   
 M = NUMBER OF MEALS PER PEAK HOUR  
 = SEATING CAPACITY (50) x MEAL FACTOR (1.00 FOR RESTAURANTS)  
 M = 50 (BASED ON ASSUMPTION OF 50 PERSON SEATING CAPACITY)  
 Q = WASTE FLOW RATE  
 = 6 GALLONS (BASED ON ASSUMPTION OF UTILIZING A DISHWASHING MACHINE)  
 T = RETENTION TIME  
 = 2.5 HOURS (BASED ON ASSUMPTION OF COMMERCIAL KITCHEN WASTE DISHWASHER)  
 S = STORAGE FACTOR  
 = 1.50 (BASED ON ASSUMPTION OF 12 HOURS OF OPERATION DAILY)  
 GREASE TRAP SIZE =  $50 \times 6 \times 2.5 \times 1.50 = 1,125$  GALLON (USE 1,500 GALLON GREASE TRAP TO BE CONSERVATIVE)  
 ALL ASSUMPTIONS MADE WERE CONSERVATIVE TO ENSURE THE GREASE TRAPS PROVIDE ADEQUATE STORAGE.

**NOTE:**

1. TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY SCG ENGINEERING, LLC., DATED 1/21/2016. COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE, NAD 83 AND ELEVATIONS ARE BASED ON NAVD 29 DATUM.
2. ALL SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF 1.00% UNLESS OTHERWISE NOTED.

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**CIVIL MARINE ENVIRONMENTAL**

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**UTILITY PLAN**  
**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

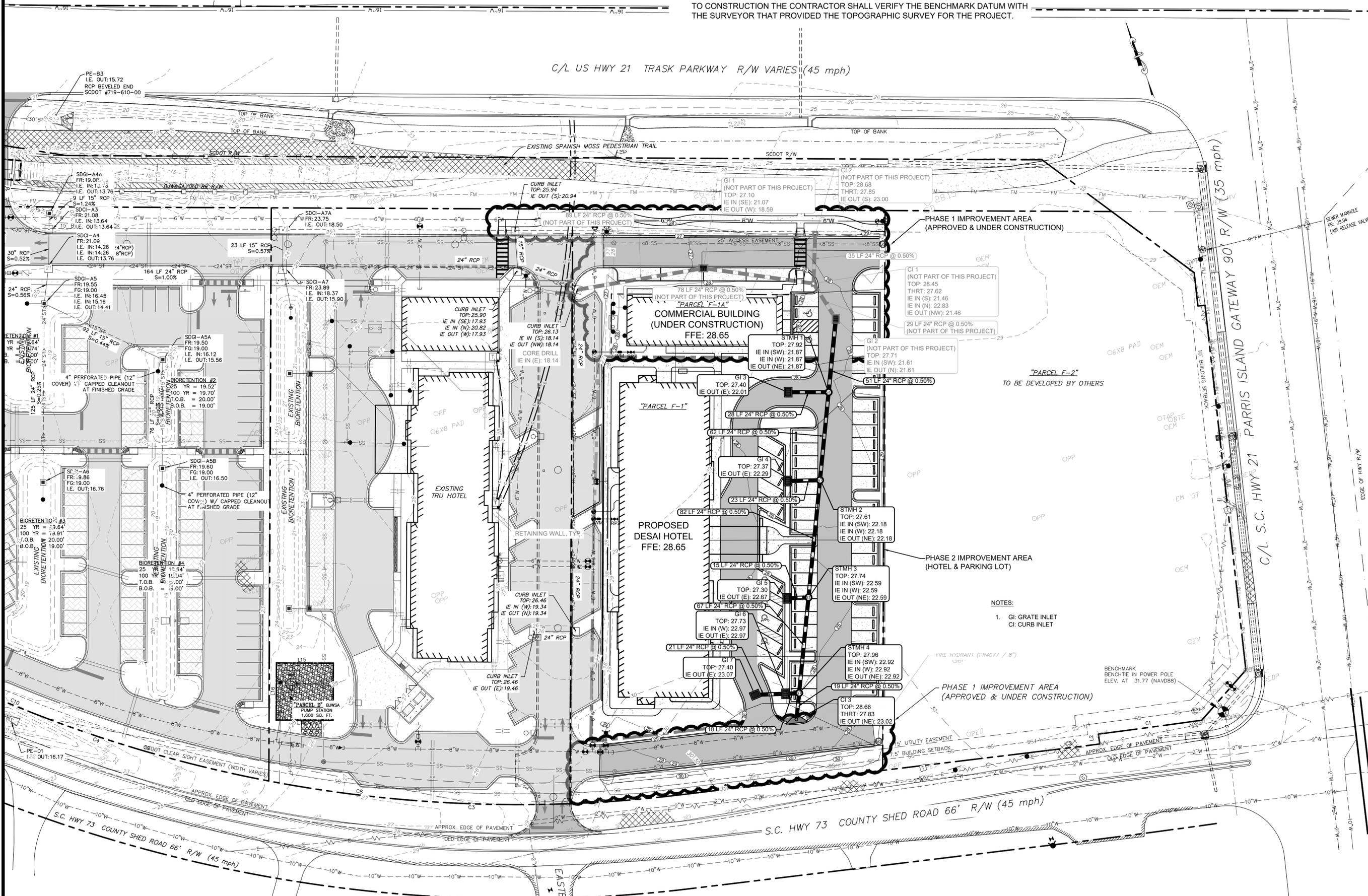
PROJECT NO.:	20-0074
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SURVEYED BY:	SCG ENG. LLC.
SURVEY DATE:	1/21/2016
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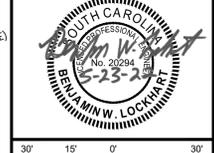
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- NOTES:
1. GI: GRATE INLET  
CI: CURB INLET

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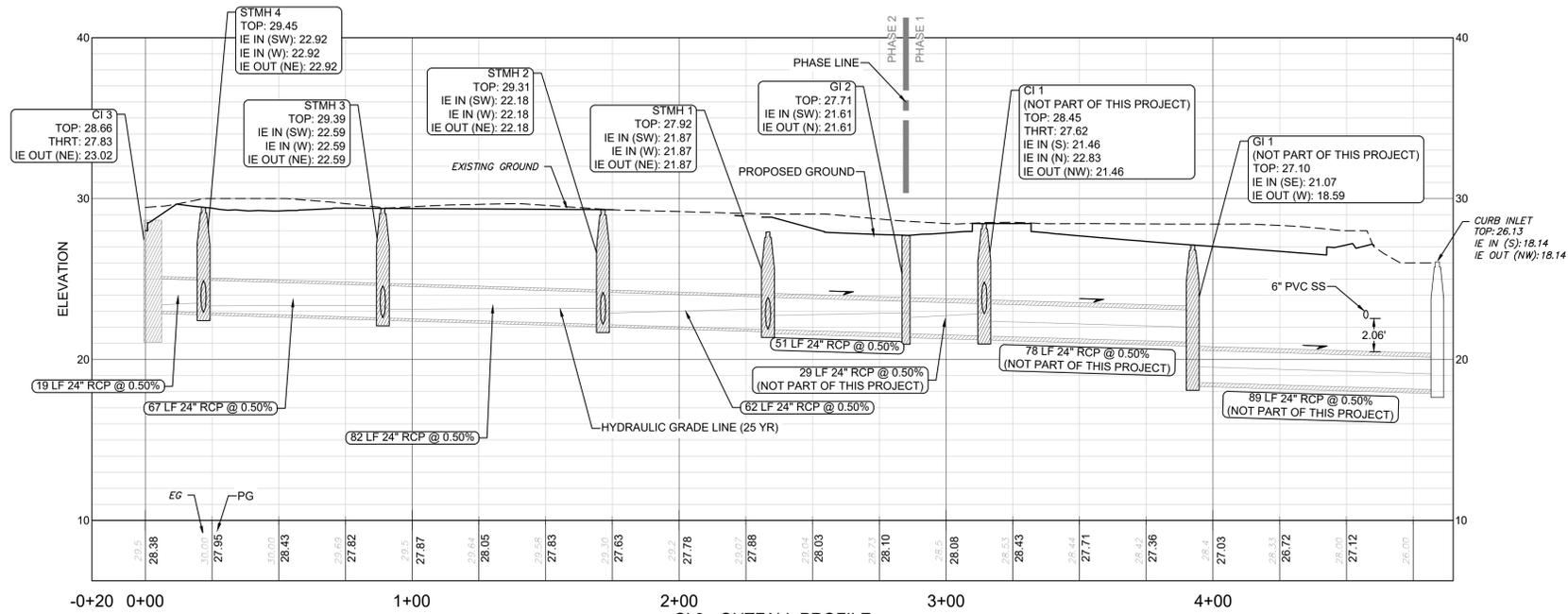
**DRAINAGE PLAN**

**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

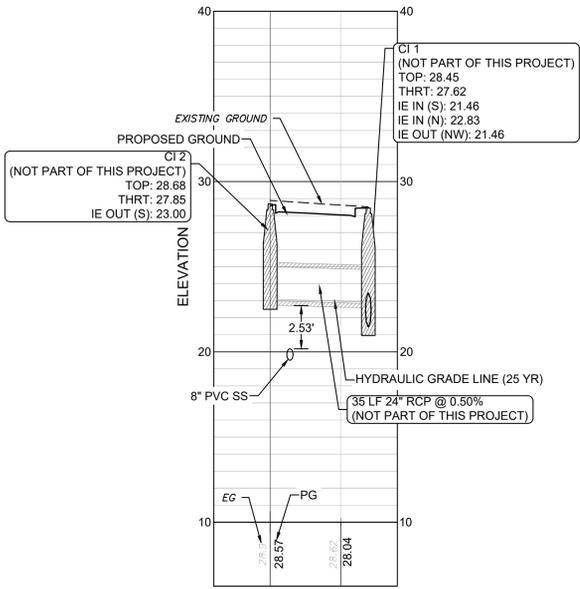
PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	SCG ENG. LLC.
SURVEY DATE:	1/21/2016
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SCALE:	1" = 30'
DATE:	MARCH 2022

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CI 3 - OUTFALL PROFILE  
 HORZ SCALE: 1" = 30'  
 VERT SCALE: 1" = 5'

NOTE:  
 SOME IMPROVEMENTS SHOWN IN THIS PROFILE ARE PART OF THE COMMERCIAL BUILDING PROJECT THAT IS UNDER CONSTRUCTION. THESE IMPROVEMENTS ARE SHOWN FOR REFERENCE ONLY.



CI 1 - CI 2 PROFILE  
 HORZ SCALE: 1" = 30'  
 VERT SCALE: 1" = 5'

NOTE:  
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**STORM PROFILES**

**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA

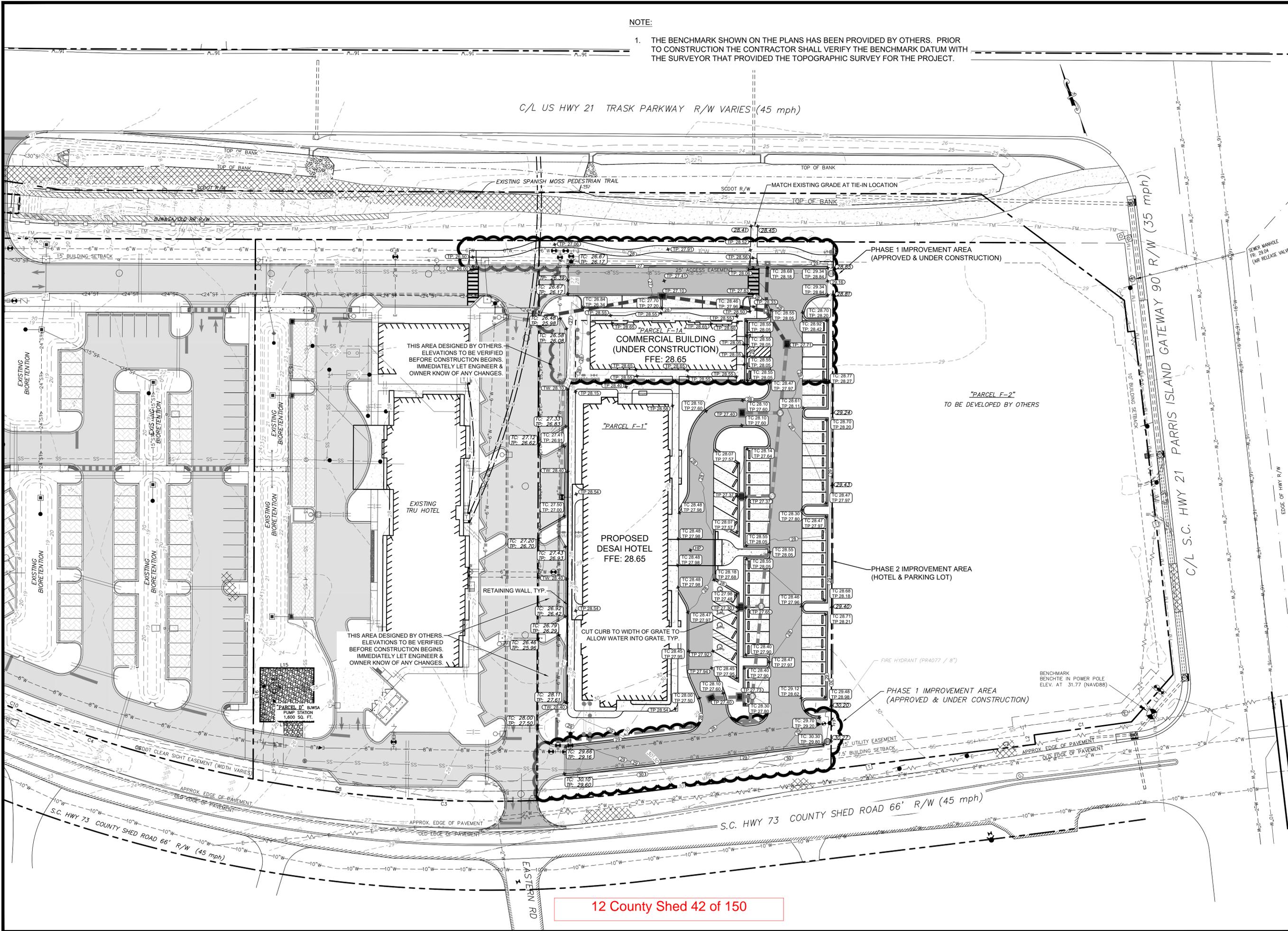
Prepared for:  
**HD COMPANIES**

PROJECT NO.:	20-0074
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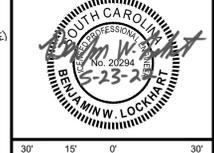
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**PAVING & GRADING PLAN**

**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	SCG ENG. LLC.
SURVEY DATE:	1/21/2016
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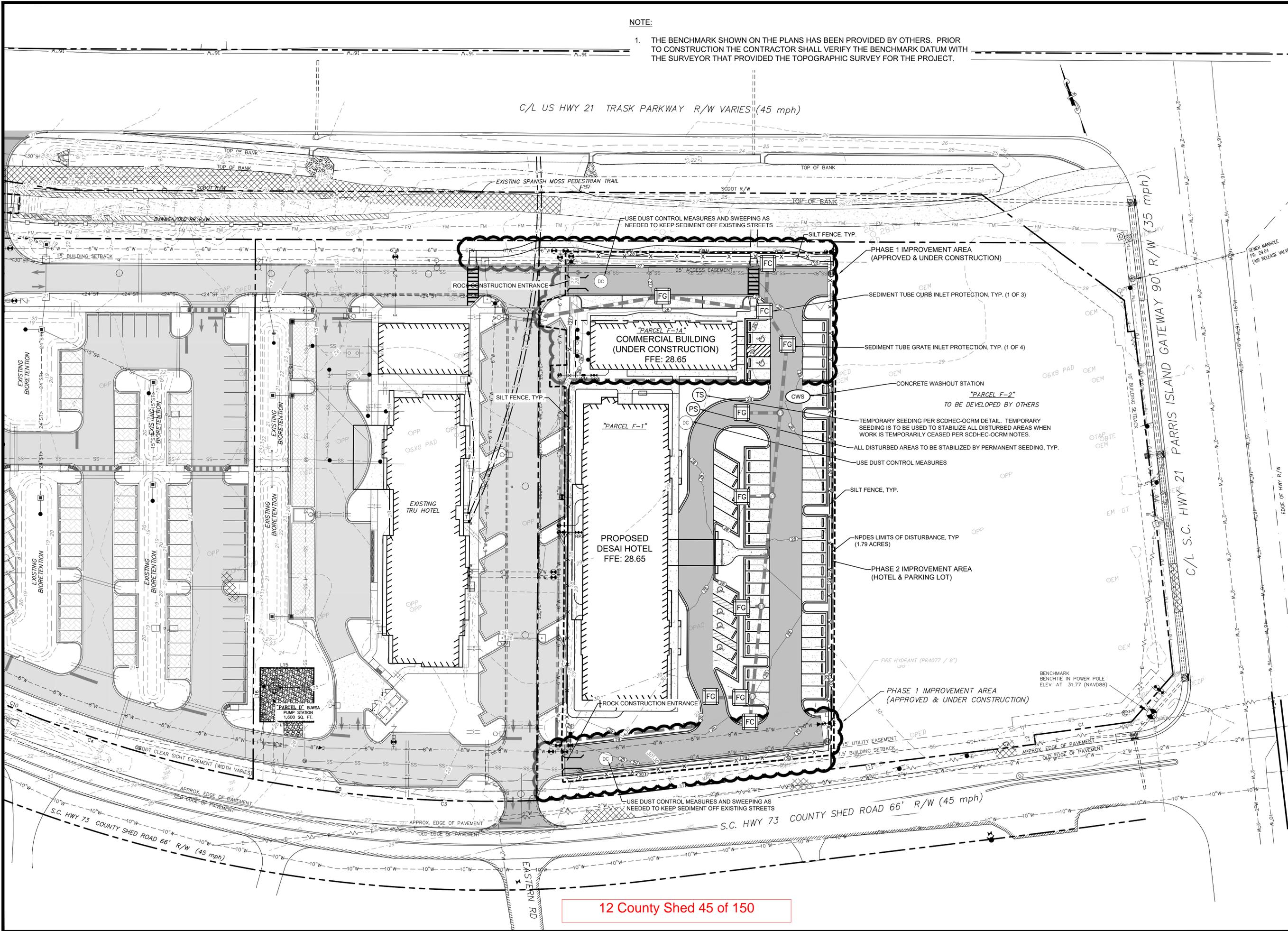
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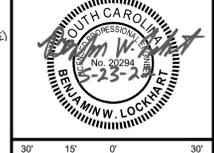


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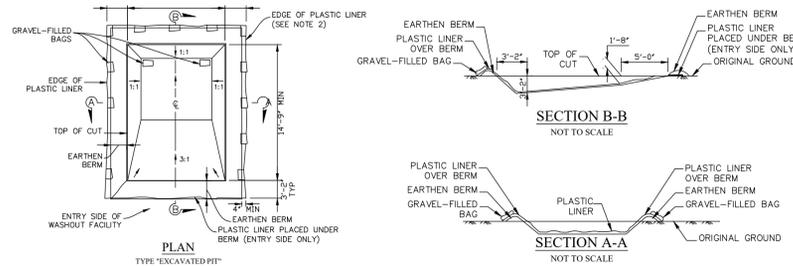
Prepared for:  
**HD COMPANIES**

INTERMEDIATE & FINAL EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	SCG ENG. LLC.
SURVEY DATE:	1/21/2016
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**EXCAVATED PIT CONCRETE WASHOUT**

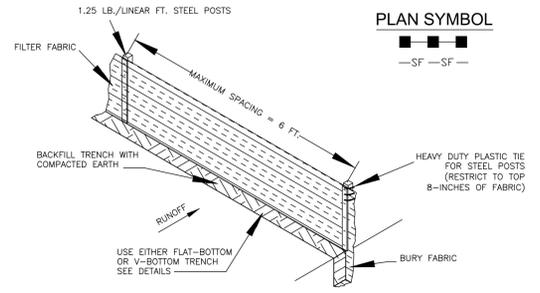


- NOTES:**
- ACTUAL LAYOUT DETERMINED IN FIELD.
  - INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  - TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
  - CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
  - THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
  - SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
  - A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.



South Carolina Department of Health and Environmental Control  
**CONCRETE WASHOUT EXCAVATED PIT**  
 STANDARD DRAWING NO. RC-08 PAGE 1 of 1  
 NOT TO SCALE FEBRUARY 2014 DATE

**SILT FENCE INSTALLATION**



- SILT FENCE - GENERAL NOTES**
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
  - Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
  - Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
  - Silt fence joints, when necessary, shall be completed by one of the following options:
    - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
    - Overlap silt fence by installing 3-feet passed the support post with the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
    - Overlap entire width of each silt fence roll from one support post to the next support post.
  - Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
  - Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
  - Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

South Carolina Department of Health and Environmental Control  
**SILT FENCE**  
 STANDARD DRAWING NO. SC-03 Page 1 of 2  
 NOT TO SCALE FEBRUARY 2014 DATE

**SILT FENCE - POST REQUIREMENTS**

- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
  - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
  - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
  - Weight 1.25 pounds per foot (± 8%).
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

**SILT FENCE - INSPECTION & MAINTENANCE**

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstances that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

**SILT FENCE - FABRIC REQUIREMENTS**

- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
  - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
  - Free of any treatment or coating which might adversely alter its physical properties after installation;
  - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
  - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
- Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter fabric shall be installed at a minimum of 24-inches above the ground.

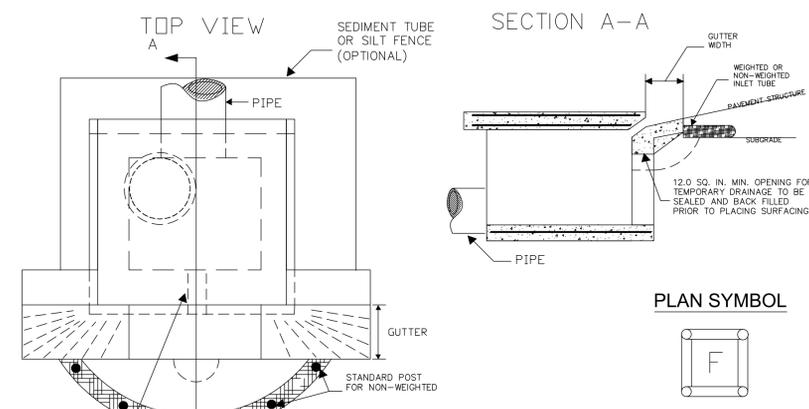
South Carolina Department of Health and Environmental Control  
**SILT FENCE**  
 STANDARD DRAWING NO. SC-03 PAGE 2 of 2  
 GENERAL NOTES FEBRUARY 2014 DATE

**CONSTRUCTION ENTRANCE - GENERAL NOTES**

- Stabilized construction entrances should be used at all points where traffic will egress/ingress a construction site onto a public road or any impervious surfaces, such as parking lots.
- Install a non-woven geotextile fabric prior to placing any stone.
- Install a culvert pipe across the entrance when needed to provide positive drainage.
- The entrance shall consist of 2-inch to 3-inch D50 stone placed at a minimum depth of 6-inches.
- Minimum dimensions of the entrance shall be 24-feet wide by 100-feet long, and may be modified as necessary to accommodate site constraints.
- The edges of the entrance shall be tapered out towards the road to prevent tracking at the edge of the entrance.
- Divert all surface runoff and drainage from the stone pad to a sediment trap or basin or other sediment trapping structure.
- Limestone may not be used for the stone pad.

**CONSTR. ENTRANCE - INSPECTION & MAINTENANCE**

- The key to functional construction entrances is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of construction entrances shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- During regular inspections, check for mud and sediment buildup and pad integrity. Inspection frequencies may need to be more frequent during long periods of wet weather.
- Reshape the stone pad as necessary for drainage and runoff control.
- Wash or replace stones as needed and as directed by site inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce the amount of mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone pad.
- Immediately remove mud and sediment tracked or washed onto adjacent impervious surfaces by brushing or sweeping. Flushing should only be used when the water can be discharged to a sediment trap or basin.
- During maintenance activities, any broken pavement should be repaired immediately.
- Construction entrances should be removed after the site has reached final stabilization. Permanent vegetation should replace areas from which construction entrances have been removed, unless area will be converted to an impervious surface to serve post-construction.



South Carolina Department of Health and Environmental Control  
**CONSTRUCTION ENTRANCE**  
 STANDARD DRAWING NO. SC-06 PAGE 2 of 2  
 GENERAL NOTES FEBRUARY 2014 DATE

South Carolina Department of Health and Environmental Control  
**Type F INLET TUBES**  
 STANDARD DRAWING NO. SC-11 PAGE 1 of 2  
 NOT TO SCALE FEBRUARY 2014 DATE

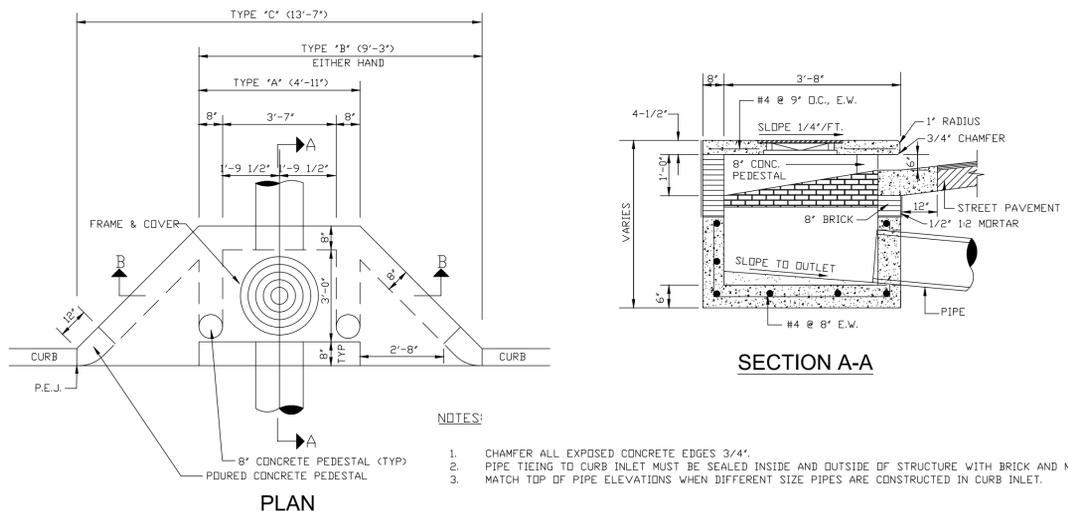
SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES

South Carolina Department of Health and Environmental Control  
**CONSTRUCTION ENTRANCE**  
 STANDARD DRAWING NO. SC-06 PAGE 1 of 2  
 NOT TO SCALE FEBRUARY 2014 DATE

**TYPE F - INLET TUBES INLET PROTECTION**

- GENERAL NOTES**
- Inlets tubes should be composed of compacted geotextiles, curled excelsior wood, natural coconut fibers, a hardwood mulch, or a mix of these materials enclosed by a flexible netting material.
  - Inlets tubes should utilize an outer netting that consists of seamless, high-density polyethylene photodegradable materials treated with ultraviolet stabilizers or a seamless, high-density polyethylene non-degradable material. Curled wood excelsior fiber, or natural coconut fiber rolled erosion control products rolled up to create an inlet tube device are not allowed.
  - Do not use straw, straw fiber, straw bales, pine needles, or leaf mulch as fill material within inlet tubes.
  - Weighted inlet tubes must be capable of staying in place without external stabilization measures and may have a weighted inner core or other weighted mechanism to keep them in place.
  - Install weighted tubes lying flat on the ground, with no gaps between the underlying surface and the inlet tube. Do not stack inlet tubes. Do not completely block inlet with tube.
  - Non-weighted inlet tubes require staking or other stabilization methods to keep them safely in place.
  - Overflow or overtopping of inlet tubes must be allowed to flow into inlet unobstructed.
  - To avoid possible flooding, two or three concrete cinder blocks may be placed between the tube and the inlet.

- INSPECTION AND MAINTENANCE**
- The key to functional inlet protection is weekly inspection, routine maintenance, and regular sediment removal.
  - Regular inspections of all inlet protection shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
  - Attention to sediment accumulations in front of the inlet protection is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
  - Remove accumulated sediment when it reaches 1/3 the height of the blocks. If a sump is used, sediment should be removed when it fills approximately 1/3 the depth of the hole.
  - Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
  - Large debris, trash, and leaves should be removed from in front of tubes when found.
  - Replace inlet tube when damaged or as recommended by manufacturer's specifications.
  - Inlet protection structures should be removed after the disturbed areas are permanently stabilized. Remove all construction material and sediment, and dispose of them properly. Grade the disturbed area to the elevation of the drop inlet structure crest. Stabilize all bare areas immediately.

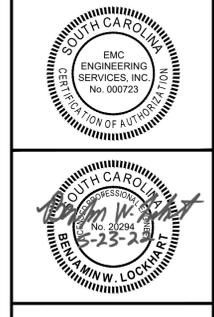


South Carolina Department of Health and Environmental Control  
**Type F INLET TUBES**  
 STANDARD DRAWING NO. SC-11 PAGE 2 of 2  
 GENERAL NOTES FEBRUARY 2014 DATE

South Carolina Department of Health and Environmental Control  
**CURB INLET**  
 SCALE = N.T.S.

**NOTE:**  
 C.I. MANHOLE FRAME AND COVER EQUIVALENT TO NENAH R-5900-F. FRAME AND COVER TO BE MACHINE FITTED PRIOR TO LEAVING SHOP. WEIGHT - 605 LBS.

NO.	REVISION DESCRIPTION	DATE



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 www.emc-eng.com

CIVIL MARINE ENVIRONMENTAL

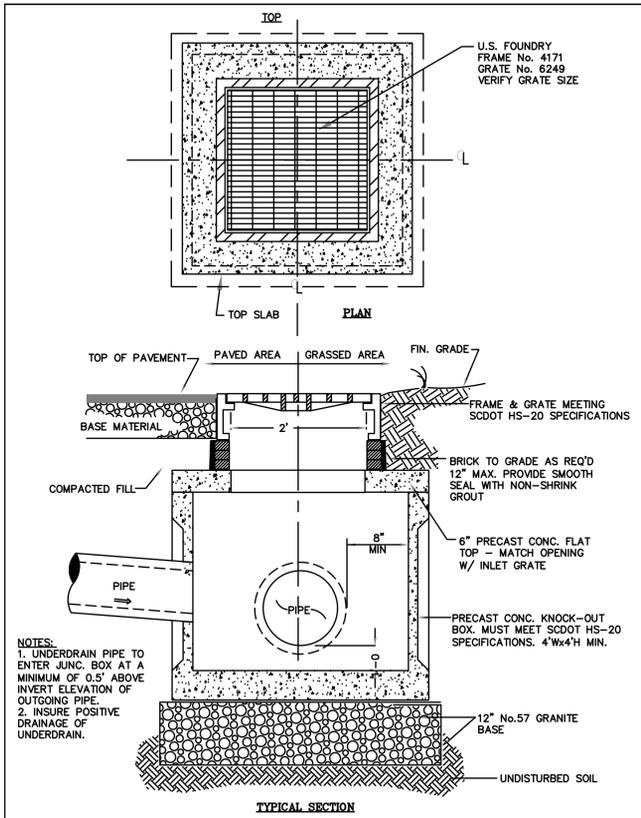
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 SAVANNAH - STATESBORO - THOMASTON - VALDOSTA

South Carolina Department of Health and Environmental Control  
**CONSTRUCTION DETAILS**  
 DESAI HOTEL  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA  
 Prepared for:  
 HD COMPANIES

PROJECT NO.: 20-0074  
 DRAWN BY: CPR  
 DESIGNED BY: CPR  
 SURVEYED BY: SCG ENG. LLC.  
 SURVEY DATE: 1/21/2016  
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 SCALE: N/A  
 DATE: MARCH 2022

SHEET  
**14**  
 OF 18

12 County Shed 46 of 150

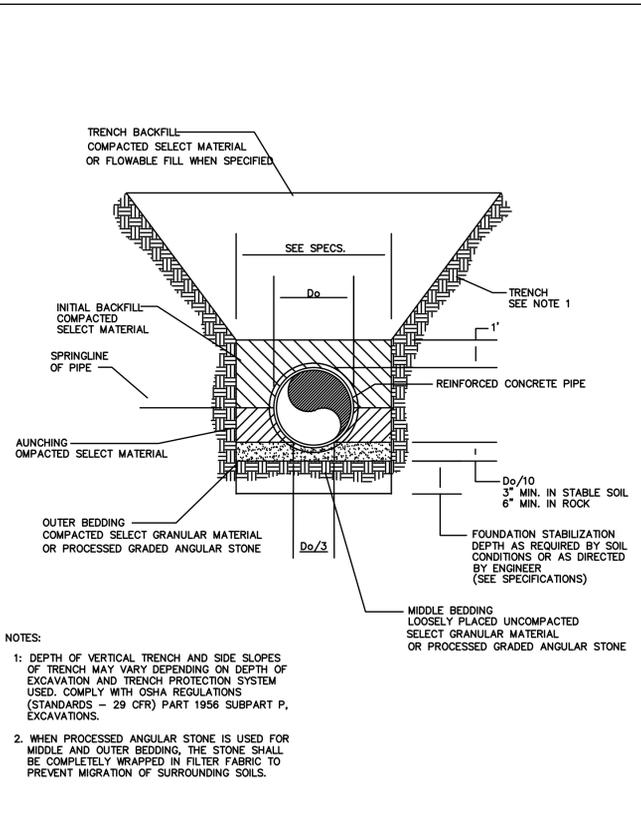


GRATE INLET

**PERMANENT SEEDING - COASTAL**

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
<b>SANDY, DROUGHTY SITES</b>													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICEA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
ATLANTIC COASTAL PANICGRASS	15 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS (ALAMO)	8 LBS/AC												
LITTLE BLUESTEM	4 LBS/AC												
SERICEA LESPEDEZA	20 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
WEeping LOVEGRASS	8 LBS/AC												
<b>WELL DRAINED, CLAYEY/LOAMEY SITES</b>													
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
RYE, GRAIN	10 LBS/AC												
BAHIAGRASS	40 LBS/AC												
CLOVER, CRIMSON (ANNUAL)	5 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	30 LBS/AC												
SERICEA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BERMUDA, COMMON	10 LBS/AC												
KOBE LESPEDEZA (ANNUAL)	10 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
BAHIAGRASS	20 LBS/AC												
BERMUDA, COMMON	6 LBS/AC												
SERICEA LESPEDEZA	40 LBS/AC												
BROWNTOP MILLET	10 LBS/AC												
SWITCHGRASS	8 LBS/AC												
LITTLE BLUESTEM	3 LBS/AC												
INDIANGRASS	3 LBS/AC												

PS PERMANENT SEEDING - COASTAL



EMBEDMENT DETAIL FOR REINFORCED CONCRETE PIPE

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL./ACRE)
ANIONIC ASPHALT EMULSION	7:1*	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1*	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1*	FINE SPRAY	300

\*USE MANUFACTURER'S RECOMMENDATIONS WHEN AVAILABLE.

**MAINTENANCE:**

- PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
- SUPPLEMENT SURFACE COVERING AS NEEDED.

**INSTALLATION:**

- APPLY ACCORDING TO APPROVED PLAN.
- MULCH DISTURBED AREAS AND TACKIFY WITH RESINS SUCH AS ASPHALT, CURASOL OR TERRATAK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION.
- IRRIGATE DISTURBED AREAS UNTIL SURFACE IS WET.
- COVER SURFACES WITH CRUSHED STONE OR GRAVEL.
- APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST.
- APPLY SPRAY-ON ADHESIVES TO MINERAL SOILS (NOT MUCK SOILS) AS DESCRIBED IN TABLE 1.

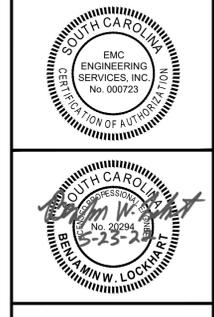
DC DUST CONTROL ON DISTURBED AREAS

**TEMPORARY SEEDING - COASTAL**

SPECIES	LBS/AC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
<b>SANDY, DROUGHTY SITES</b>													
BROWNTOP MILLET	40 LBS/AC												
RYE, GRAIN	56 LBS/AC												
RYEGRASS	50 LBS/AC												
<b>WELL DRAINED, CLAYEY/LOAMEY SITES</b>													
BROWNTOP MILLET	40 LBS/AC												
JAPANESE MILLET	40 LBS/AC												
RYE, GRAIN OR OATS	56 LBS/AC												
RYEGRASS	75 LBS/AC												
RYEGRASS	50 LBS/AC												

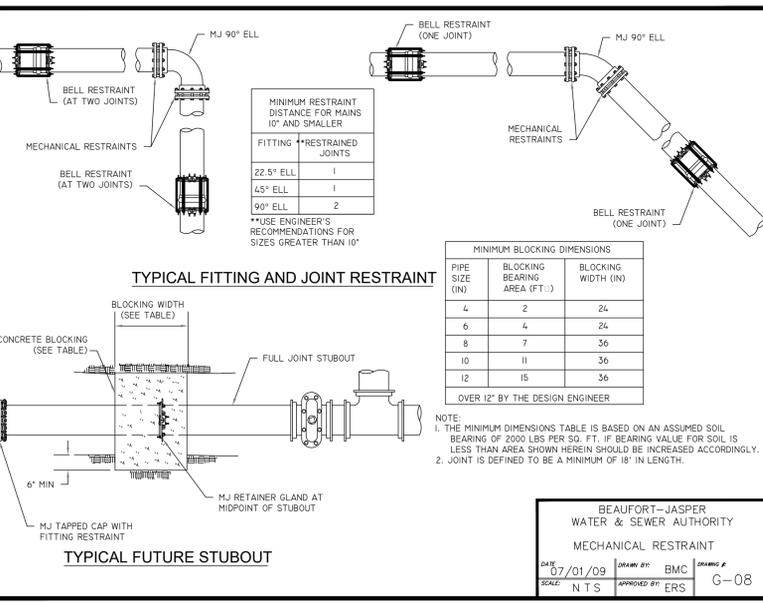
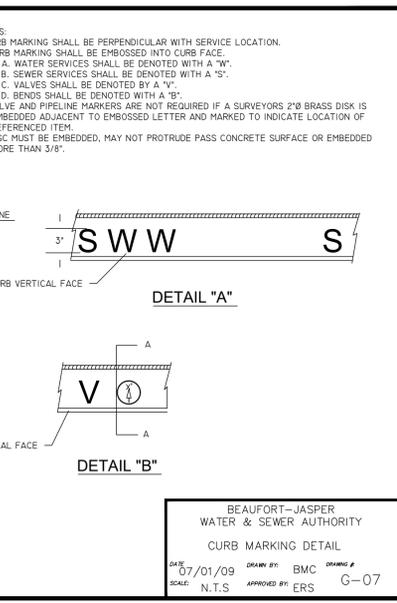
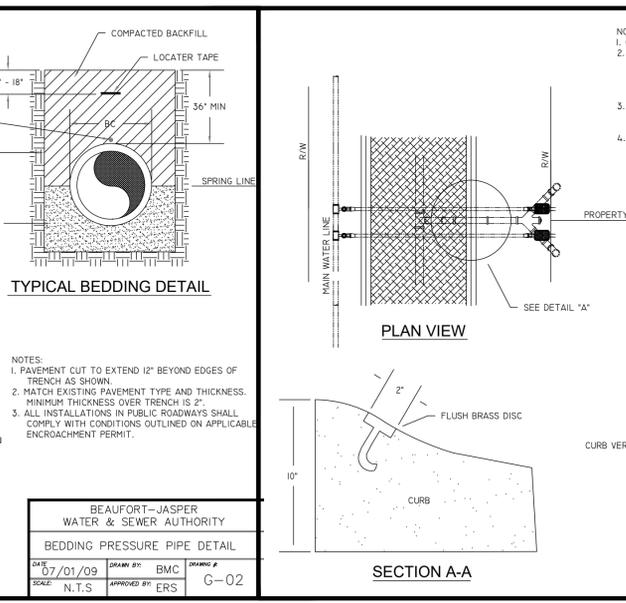
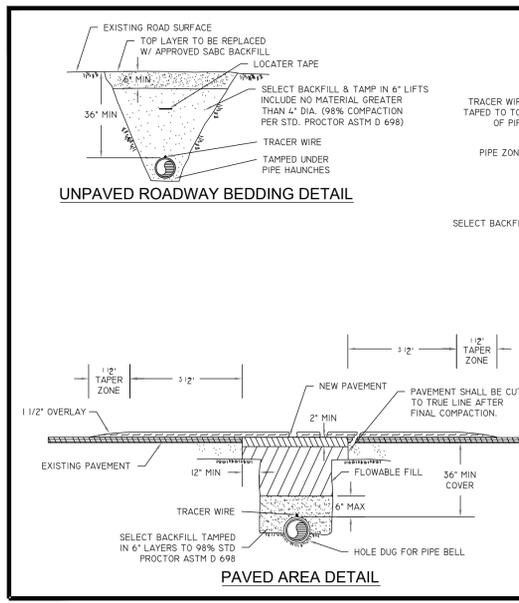
TS TEMPORARY SEEDING - COASTAL

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CIVIL MARINE ENVIRONMENTAL  
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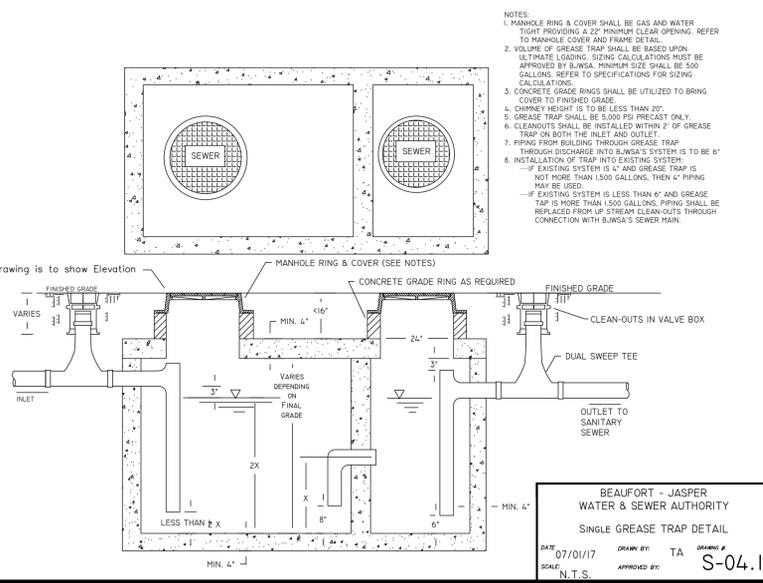
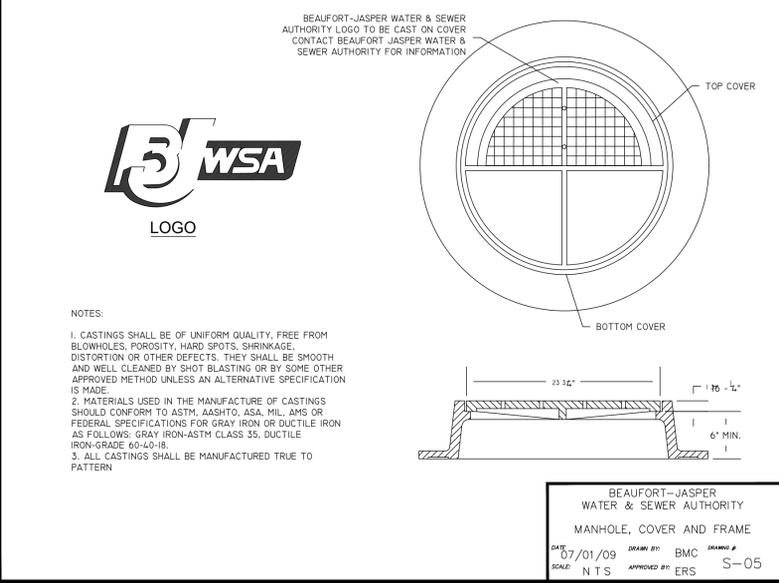
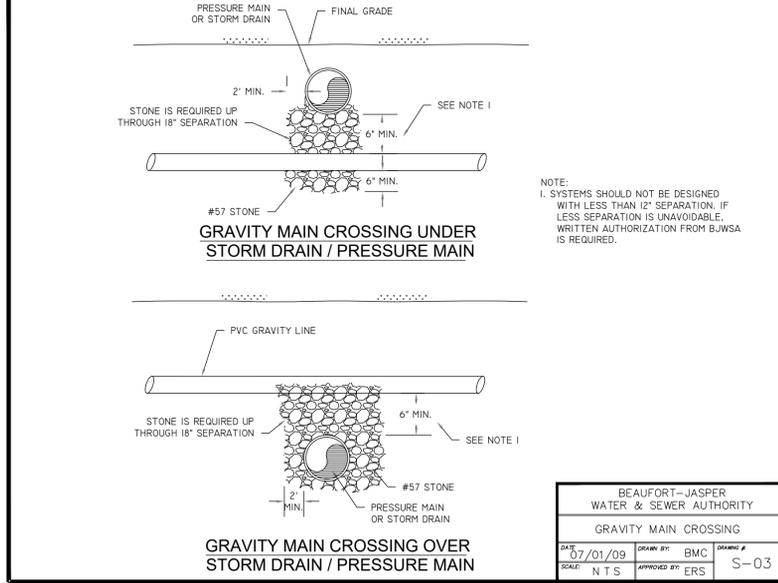
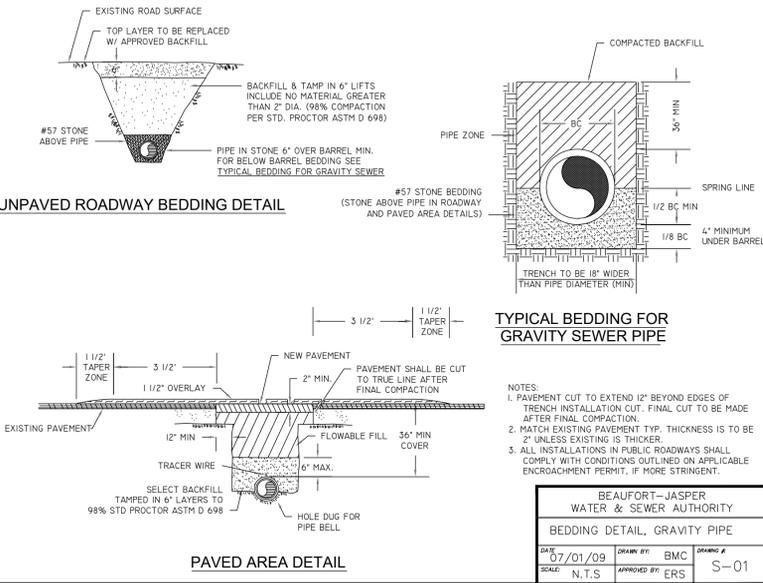
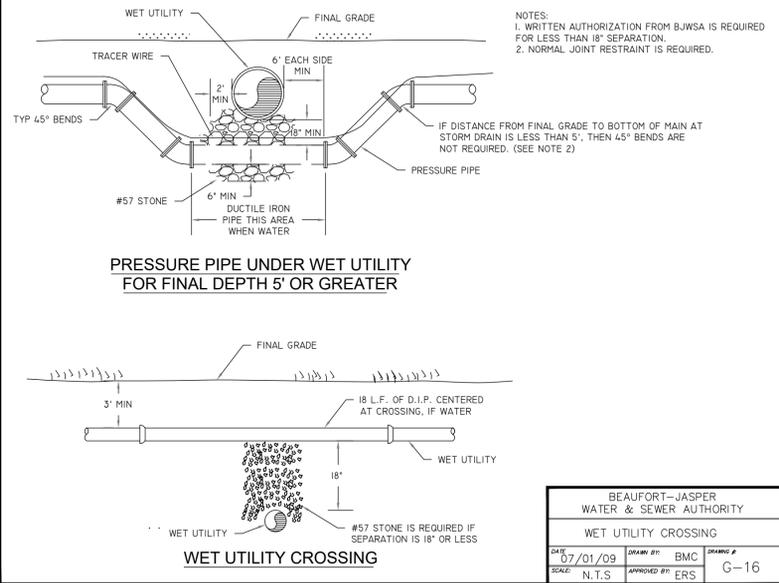
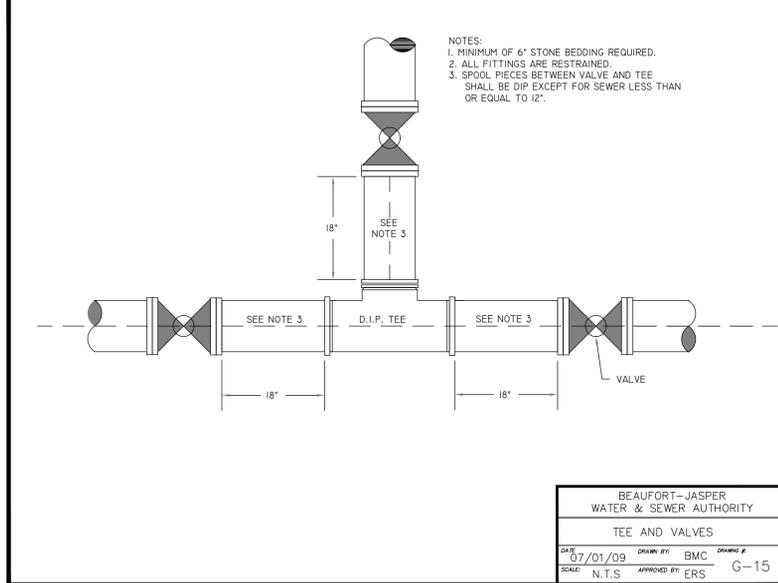
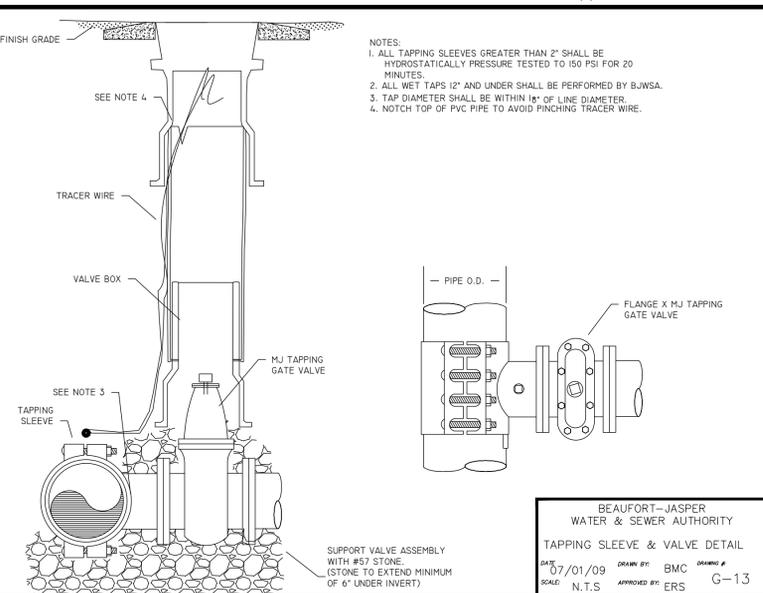
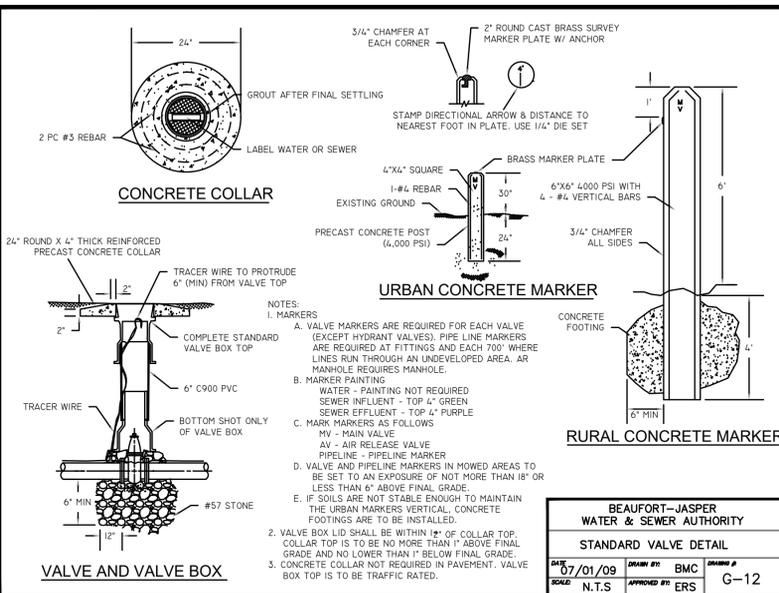
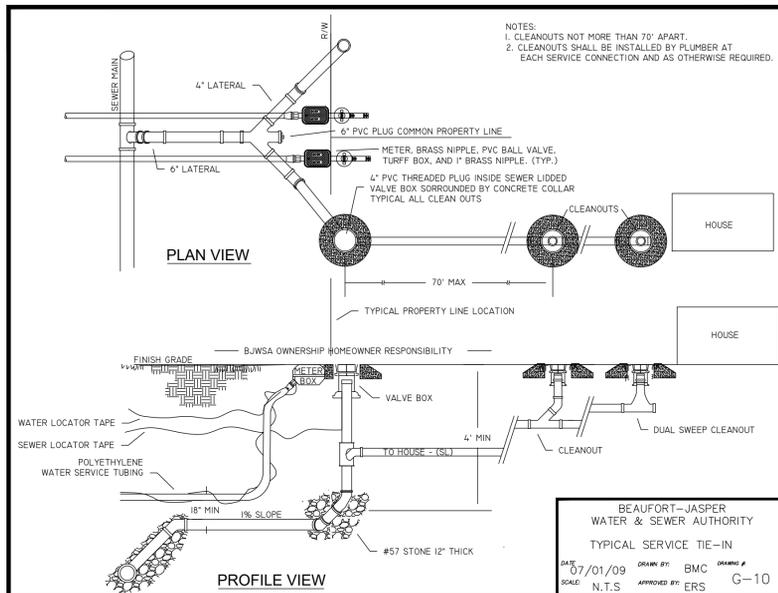
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BEAUFORT-JASPER WATER & SEWER AUTHORITY  
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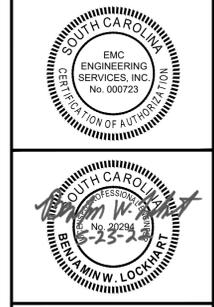
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 MECHANICAL RESTRAINT  
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CONSTRUCTION DETAILS  
**DESAI HOTEL**  
 3670 TRASK PARKWAY  
 BEAUFORT, SOUTH CAROLINA  
 Prepared for:  
**HD COMPANIES**

PROJECT NO.: 20-0074  
 DRAWN BY: CPR  
 DESIGNED BY: CPR  
 SURVEYED BY: SCG ENG. LLC.  
 SURVEY DATE: 1/21/2016  
 CHECKED BY: BWL  
 SCALE: N/A  
 DATE: MARCH 2022



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**CIVIL MARINE ENVIRONMENTAL**

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 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA

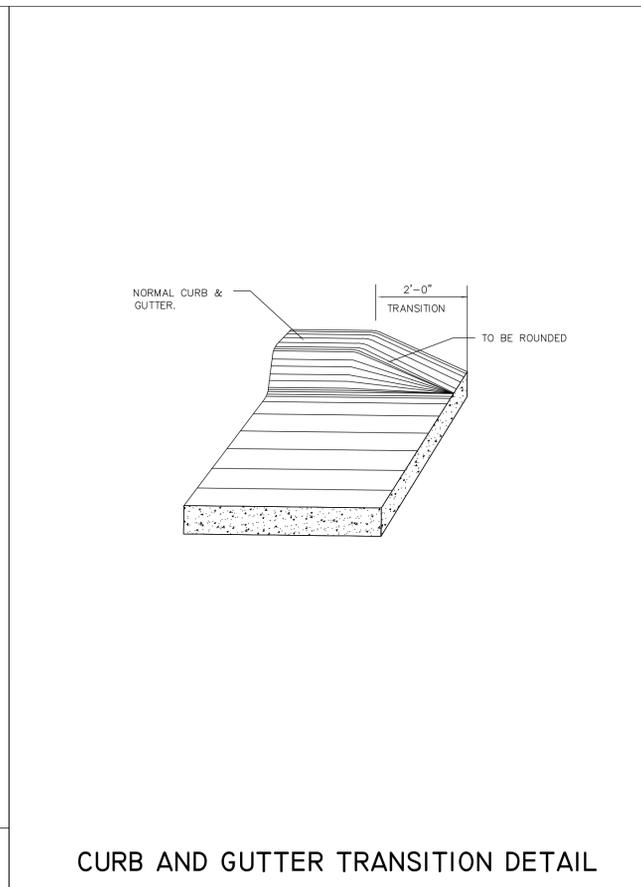
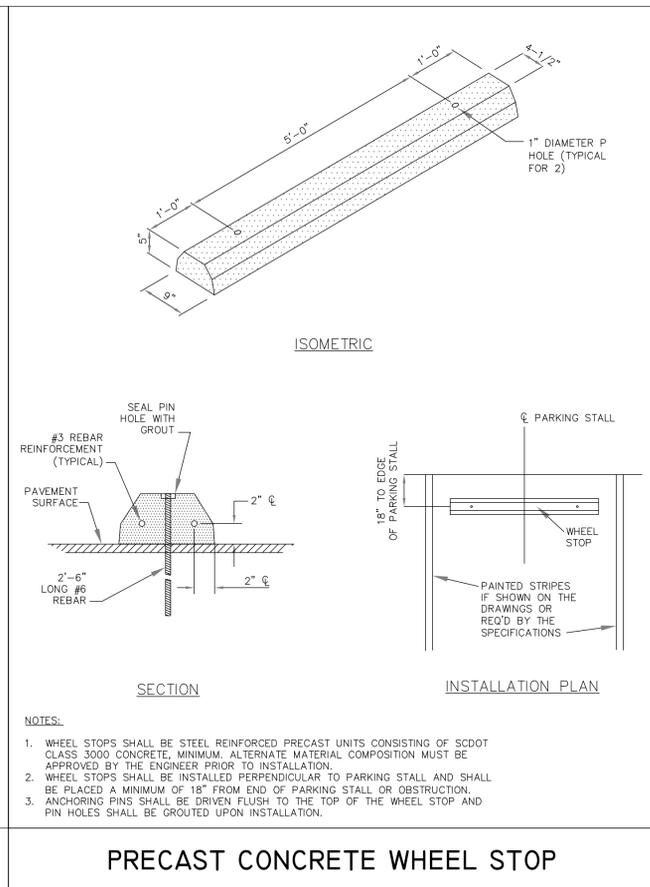
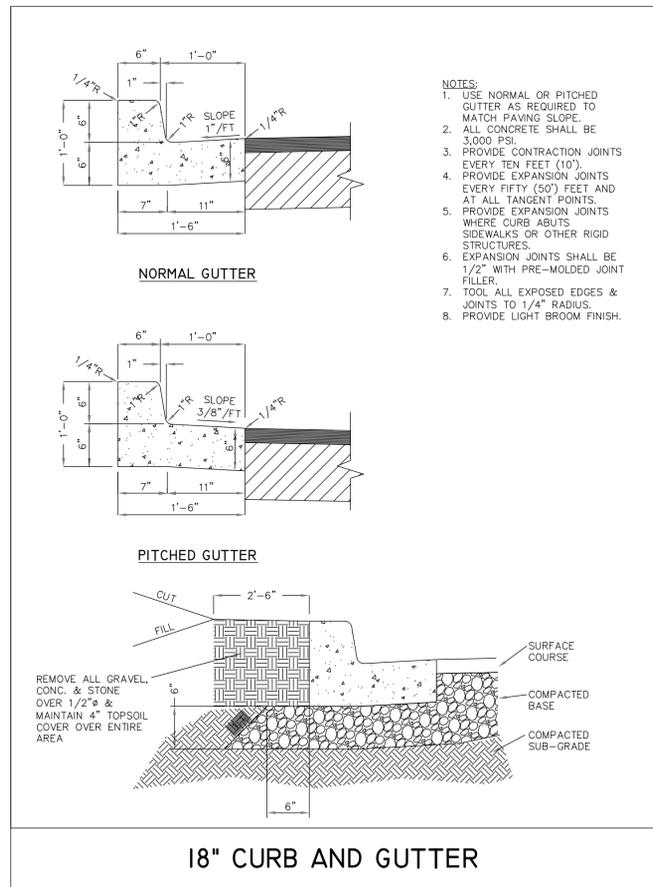
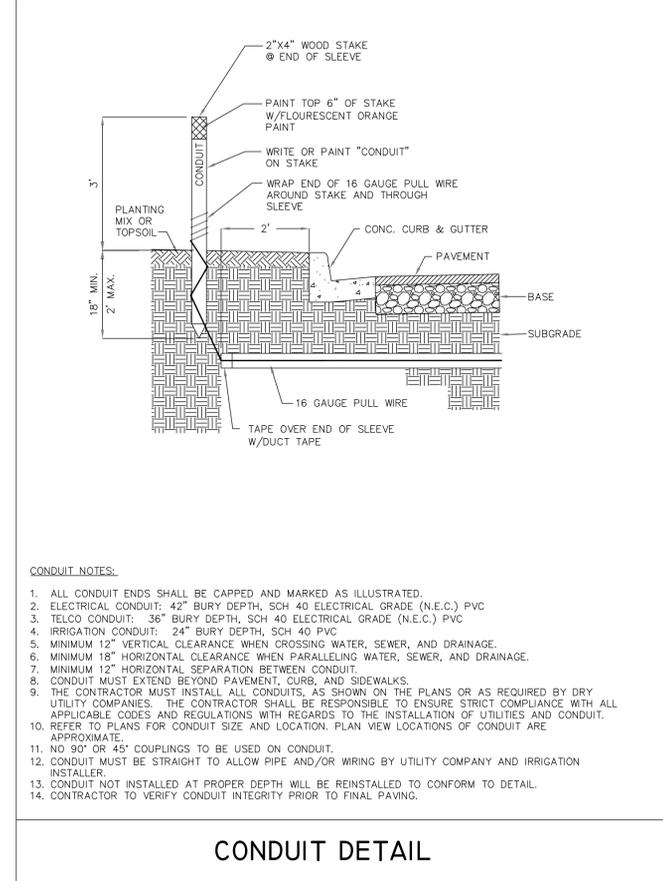
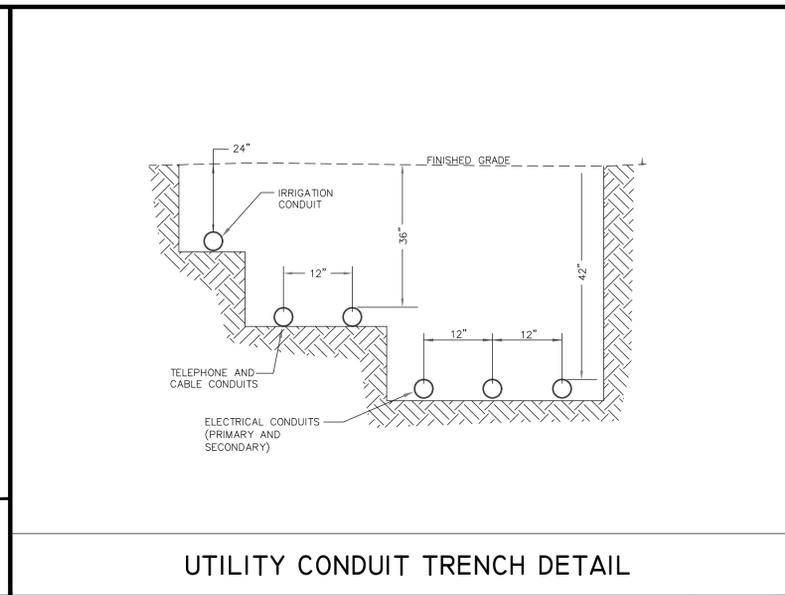
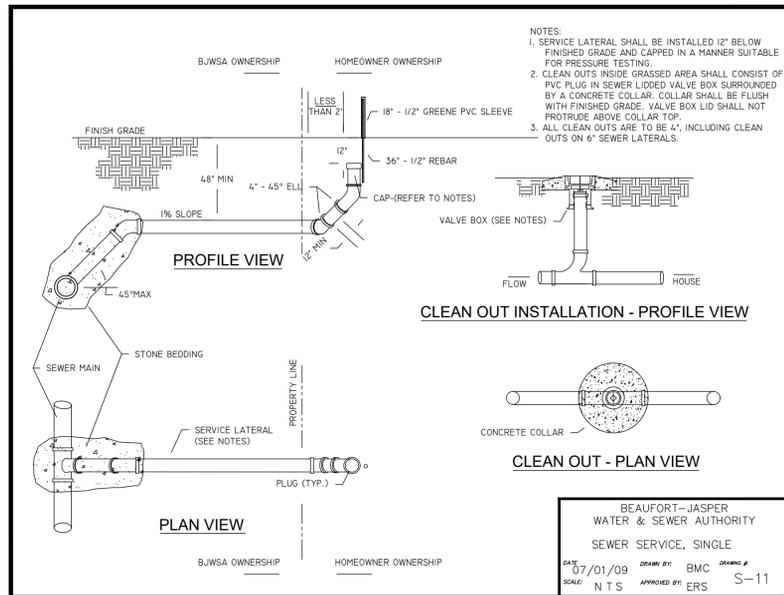
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 3670 TRASK PARKWAY  
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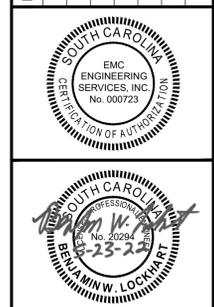
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**W. J. Lockhart**  
PROFESSIONAL ENGINEER  
No. 20294  
2-25-22

CIVIL  
MARINE  
ENVIRONMENTAL

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SAVANNAH • STATESBORO • THOMASTON • VALDOSTA

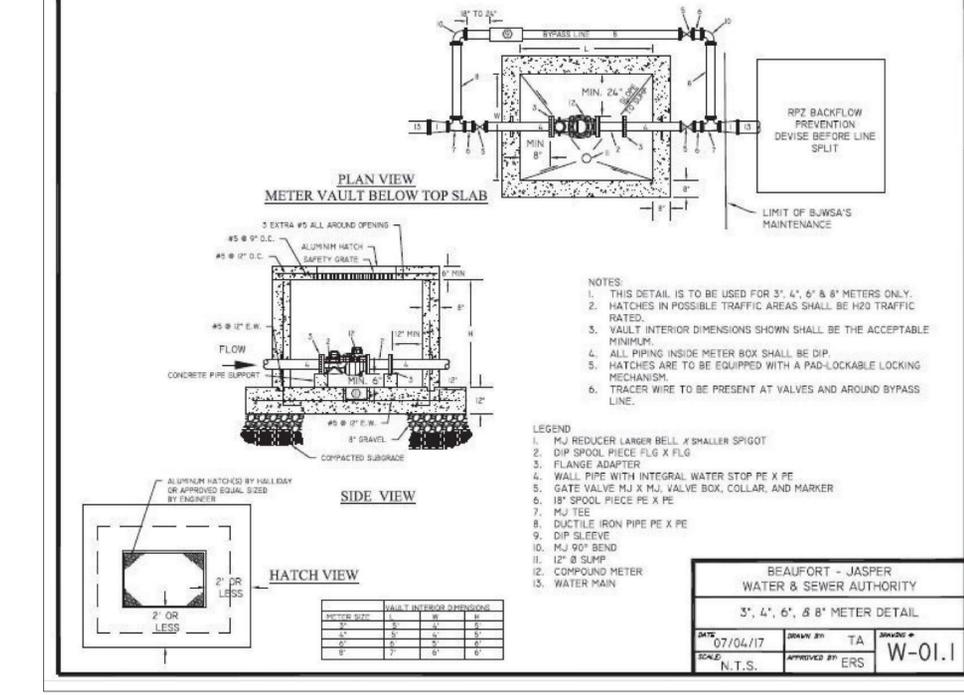
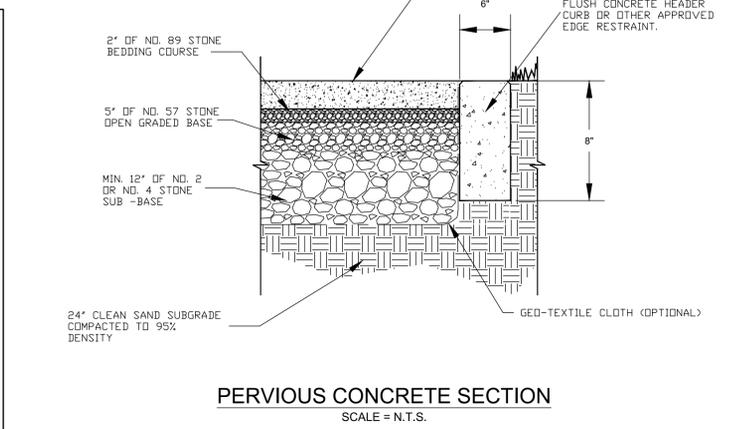
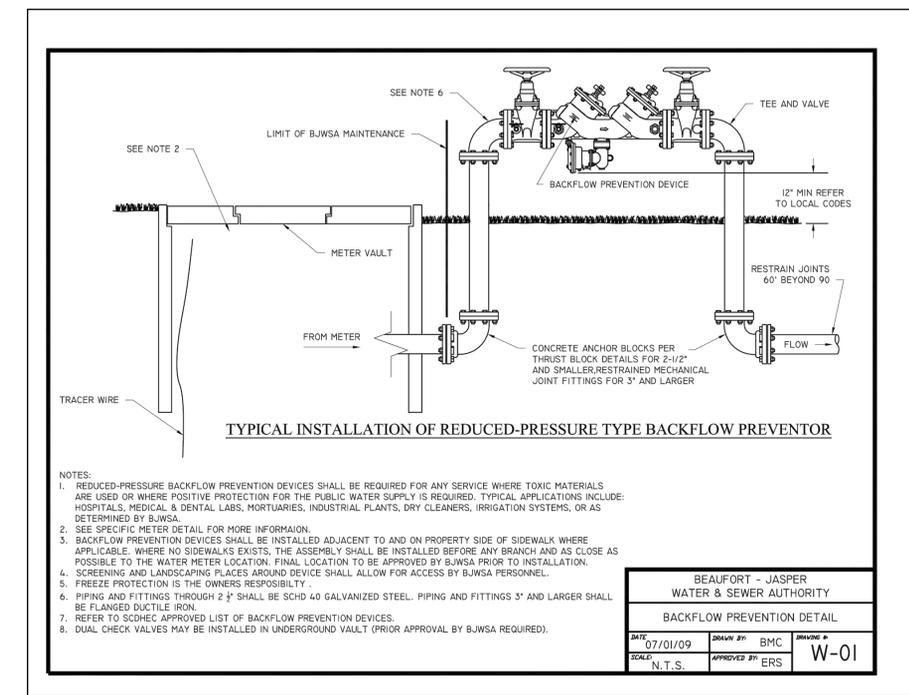
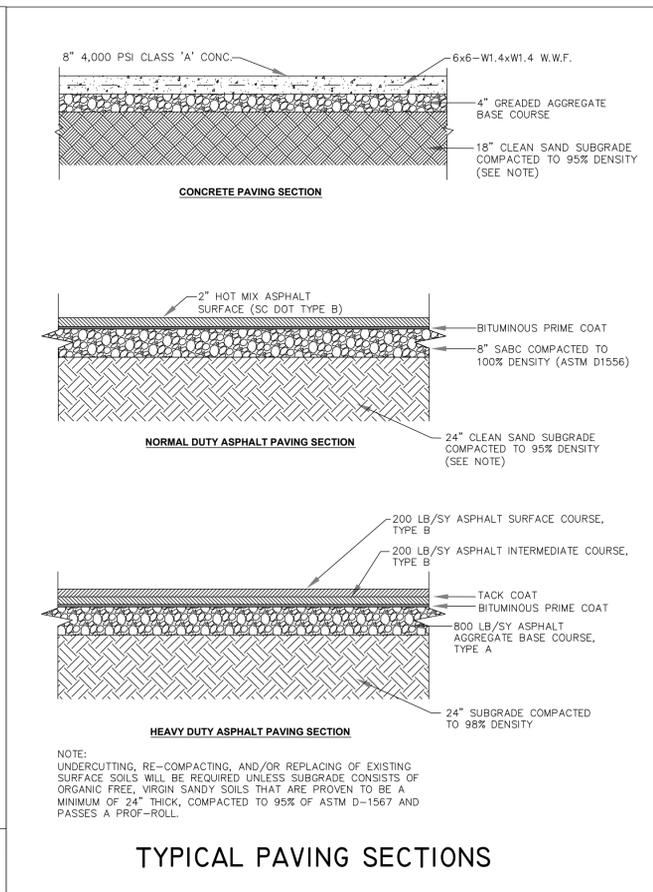
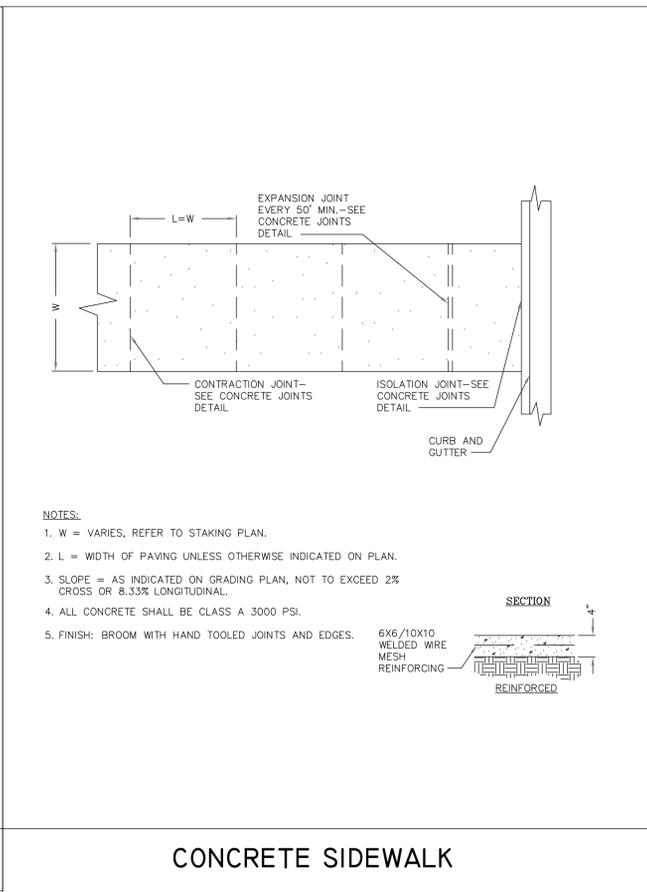
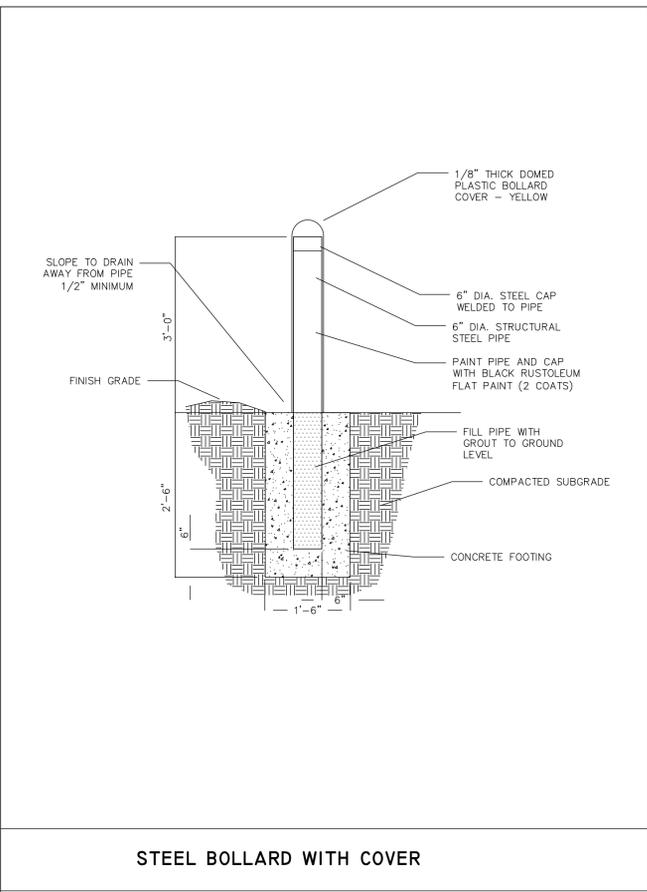
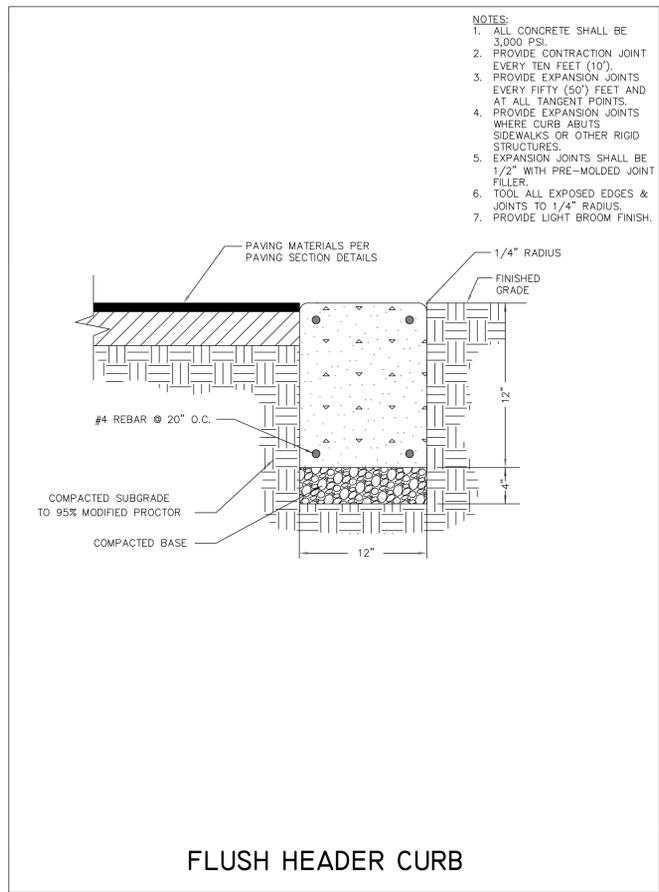
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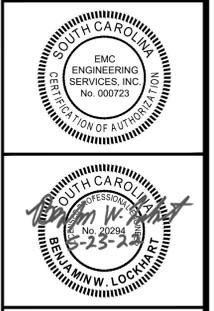
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**CONSTRUCTION DETAILS**

**DESAI HOTEL**

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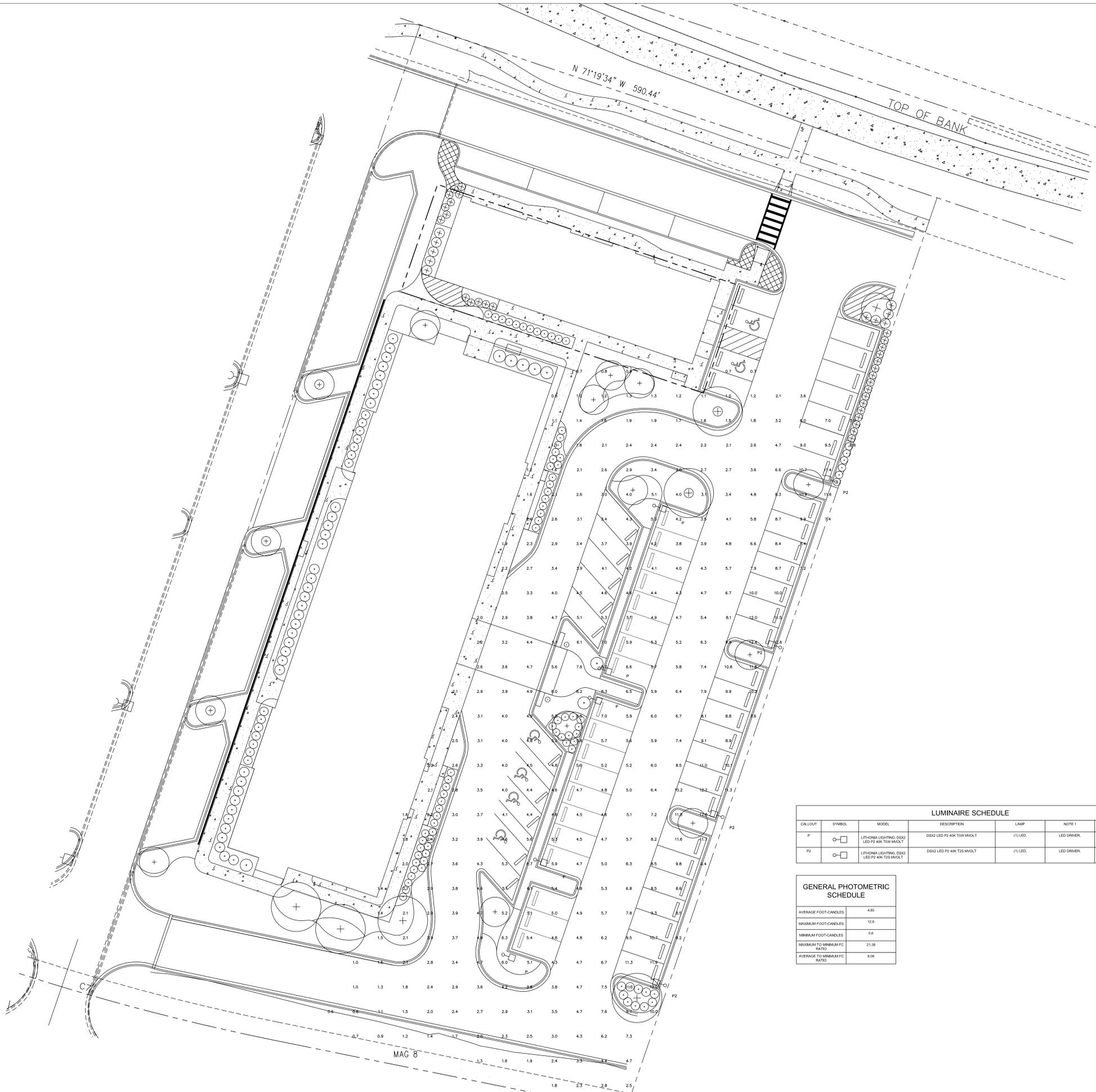
SURVEYED BY: SCG ENG. LLC.

SURVEY DATE: 1/21/2016

CHECKED BY: BWL

SCALE: N/A

DATE: MARCH 2022



LUMINAIRE SCHEDULE							
CALLOUT	SYMBOL	MODEL	DESCRIPTION	LAMP	NOTE 1	INPUT WATTS	VOLTS
P	○	LITHONIA LIGHTING, DSD2 LED P2 4K T26 MVOLT	DSD2 LED P2 4K T26 MVOLT	(1) LED	LED DRIVER	185	120
P2	○	LITHONIA LIGHTING, DSD2 LED P2 4K T26 MVOLT	DSD2 LED P2 4K T26 MVOLT	(1) LED	LED DRIVER	185	120

GENERAL PHOTOMETRIC SCHEDULE	
AVERAGE FOOT-CANDLES	4.85
MAXIMUM FOOT-CANDLES	12.8
MINIMUM FOOT-CANDLES	0.8
MAXIMUM TO MINIMUM FC RATIO	21.38
AVERAGE TO MINIMUM FC RATIO	6.06

## **MATERIALS**

12 County Shed Road  
Desai Hotel



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

ISSUE / REVISION:

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SCALE DRAWINGS. ORIGINAL SHEET SIZE: 30x42

DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT: 20-012  
SHEET TITLE:

**MATERIALS /  
COLORS**



# THIN BRICK



## **FREEDOM OF EXPRESSION**

The freedom to add brick where previously thought impossible or impractical, Endicott thin brick clears the way for innovative, visually stunning solutions that are easy to install, affordable and hard to ignore.

12 County Shed 54 of 150

WITH ENDICOTT  
THIN BRICK,  
LESS IS MORE.

**Endicott**

DISCOVER NEW WAYS TO ACHIEVE YOUR UNIQUE ARCHITECTURAL VISION WITH ENDICOTT THIN BRICK. SUITED TO YEAR-ROUND COMMERCIAL, RESIDENTIAL AND REMODELING APPLICATIONS, ENDICOTT THIN BRICK IS THE IDEAL CHOICE FOR PRECAST, TILT-UP, PREFABRICATED WALL, AND JOB-APPLIED PROJECTS.

Brick Color: Manganese Ironspot

*Augsburg University, Hagfors Center – Minneapolis, MN*

# BOSTON COLLEGE FISH FIELD HOUSE



CHESTNUT HILL  
MASSACHUSETTS



## PROJECT DETAILS

### COLOR

Desert Ironspot Dark  
Coppertone

### SIZE

Modular

### TEXTURE

Velour

# 800 FULTON MARKET



CHICAGO  
ILLINOIS



## PROJECT DETAILS

### COLOR

Burgundy Blend  
Red Blend  
Rose Blend  
Ruby Red

### SIZE

2-1/4" Meridian

### TEXTURE

Velour

# DC WEST ELEMENTARY SCHOOL



VALLEY  
NEBRASKA



## PROJECT DETAILS

### COLOR

Dark Sandstone

### SIZE

Modular

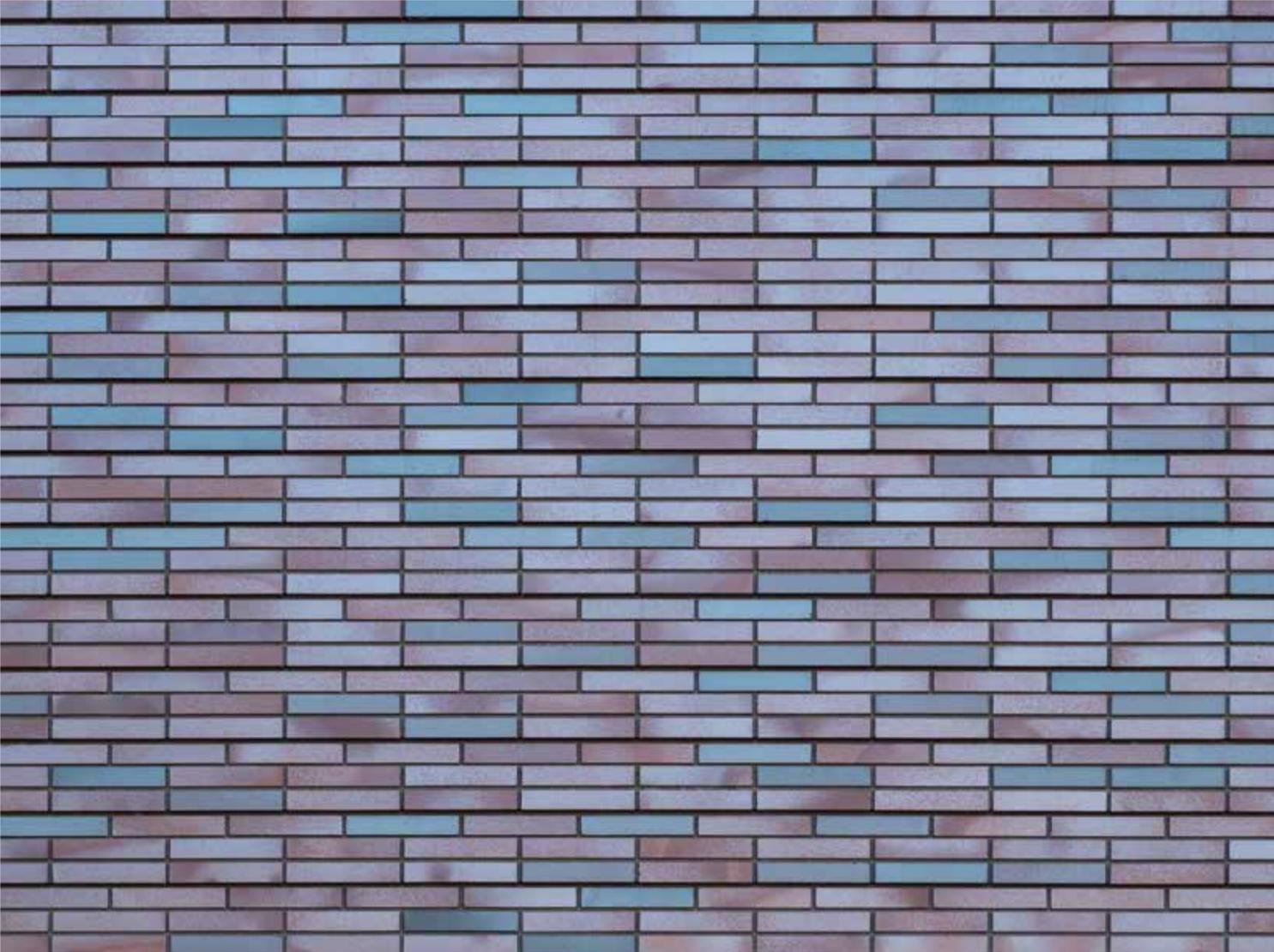
### TEXTURE

Artisan

# AUGSBURG UNIVERSITY, HAGFORS CENTER



MINNEAPOLIS  
MINNESOTA



## PROJECT DETAILS

COLOR

- Medium Ironspot #46
- Manganese Ironspot
- Dark Ironspot

SIZE

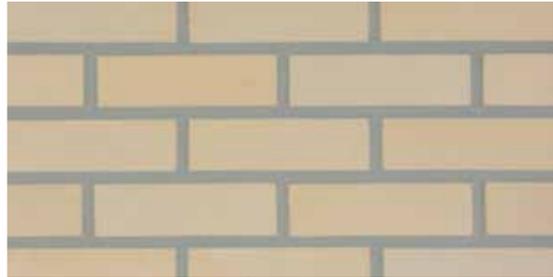
Norman

TEXTURE

Smooth

# COLORS

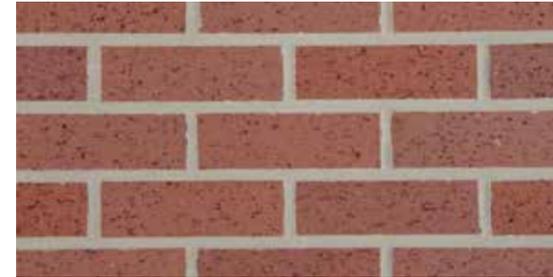
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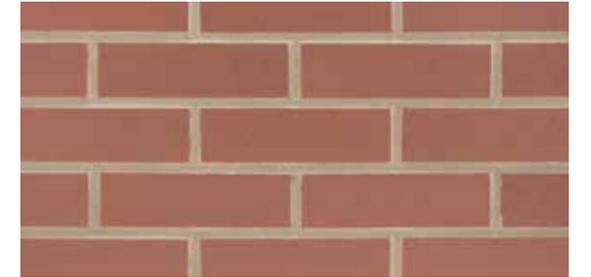
Ivory Blend



Golden Buff



Red Blend



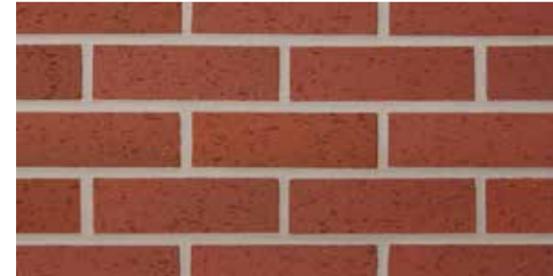
Burgundy Blend



Light Grey Blend



Grey Blend



Ruby Red



Red Ironspot



Light Sandstone



Dark Sandstone



Desert Ironspot Light



Desert Ironspot Dark



Buff Blend



Rose Blend



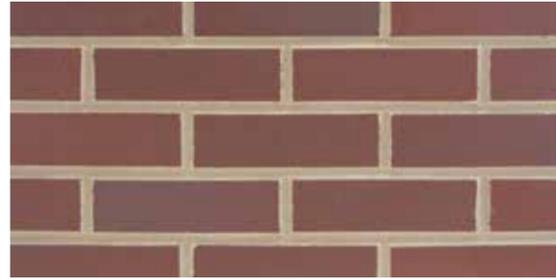
Coppertone



Copper Canyon

# COLORS

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Bordeaux Blend



Manganese Brown



Grey Sands



Merlot Sands



Executive Ironspot



Sienna Ironspot



Burgundy Sands



Sahara Sands



Medium Ironspot #77



Medium Ironspot #46



Autumn Sands



Dark Ironspot



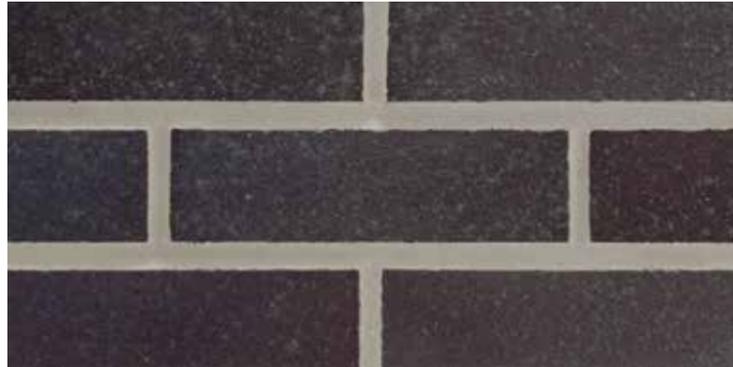
Manganese Ironspot



Orleans Sands

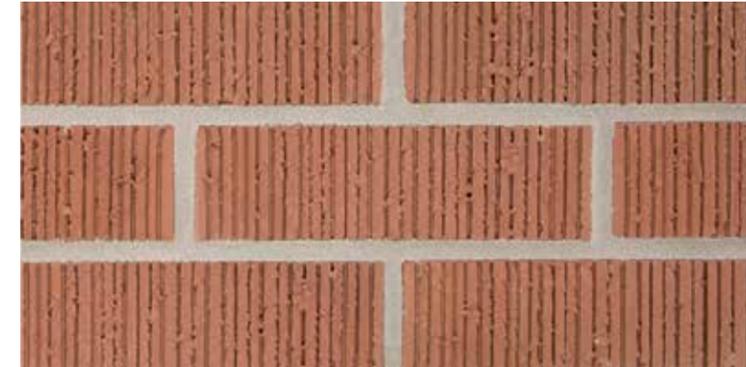
# TEXTURES

---



Smooth

Available in 1/2", 5/8" and 1" thick.



Vertical Score

Available in:  
• 5/8" thick  
• Modular and Closure



Velour

Available in 1/2" and 1" thick.



Artisan

Available in:  
• 5/8" thick  
• Modular and Closure



Matt

Available in:  
• 5/8" thick  
• Modular and Closure



Heritage

Available in 5/8" and 1" thick.

# TEXTURES



Square Edge no Texture

Available in 1/2" thick.



## KEYBACK DESIGN

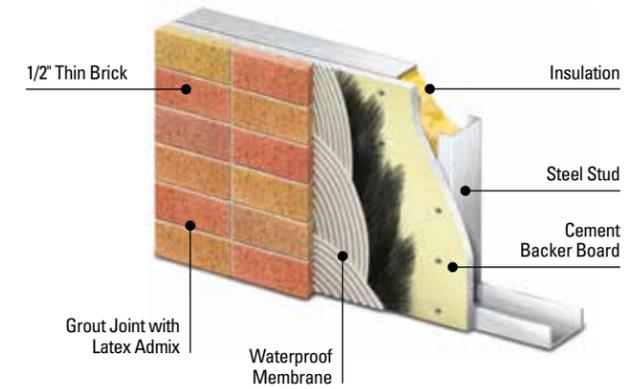
To enhance in-place installation, Endicott thin brick features a keyback design, which provides a mechanical lock into the concrete for maximum durability and permanence.

It also provides advantages of increased shear values and pull-out strengths.

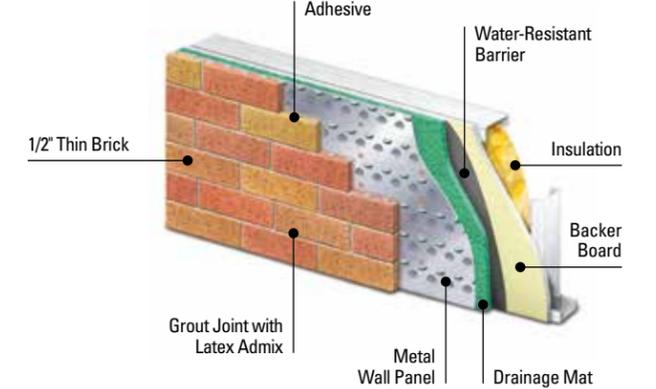
# APPLICATIONS

Some of the more common application processes for thin brick include:

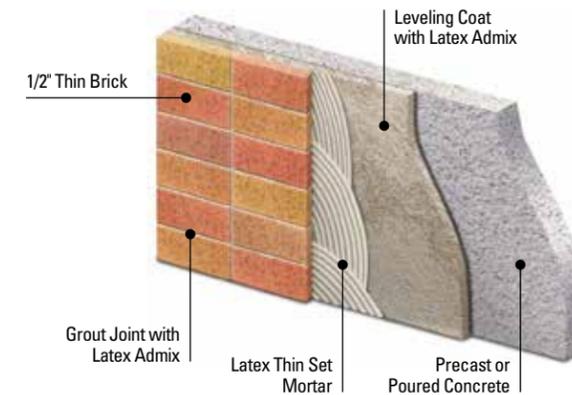
### PANEL SYSTEM Prefabricated or On-Site Panelization



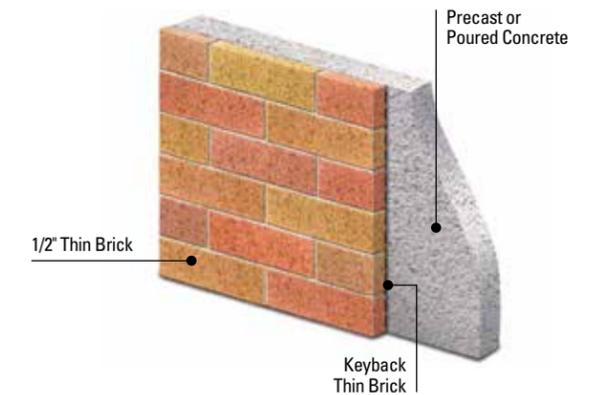
### METAL PANEL WALL SYSTEM Prefabricated or On-Site Panelization



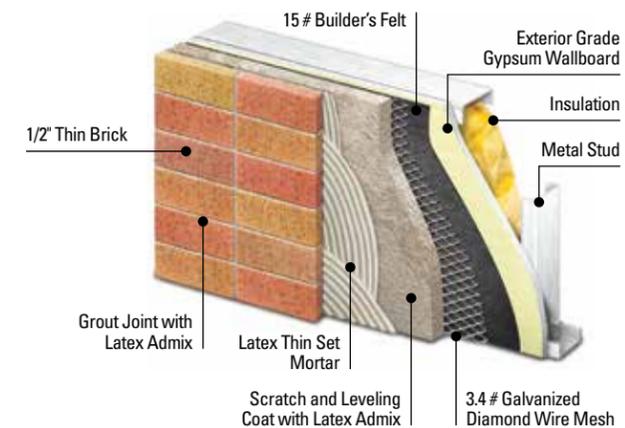
### THIN BED SYSTEM WITH LEVELING COAT Job Applied Over Precast or Poured in Place Concrete



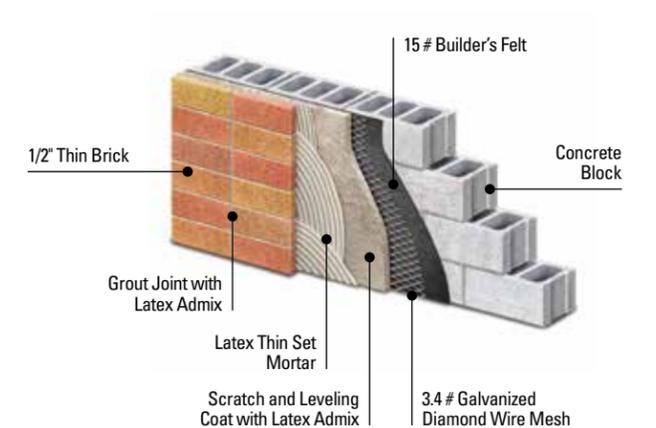
### THIN BRICK SYSTEM Embedded in Precast Concrete



### MORTAR BED SYSTEM Prefabricated or On-Site Panelization



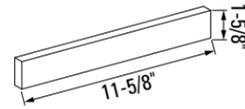
### MORTAR BED SYSTEM Concrete Block Infill Wall or Existing Masonry



# SIZES

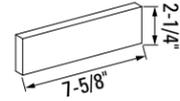
## ROMAN

1-5/8" x 11-5/8"



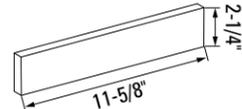
## MODULAR

2-1/4" x 7-5/8"



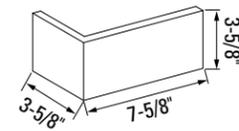
## NORMAN

2-1/4" x 11-5/8"



## BC448

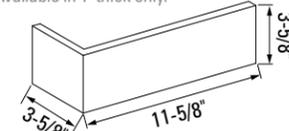
3-5/8" x 7-5/8" x 3-5/8"



## BC4412

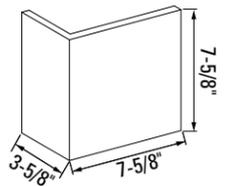
3-5/8" x 11-5/8" x 3-5/8"

NOTE: Available in 1" thick only.



## BC848

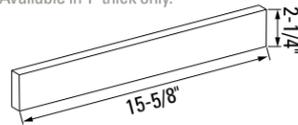
3-5/8" x 7-5/8" x 7-5/8"



## 2-1/4" MERIDIAN

2-1/4" x 15-5/8"

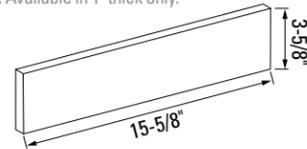
NOTE: Available in 1" thick only.



## 3-5/8" MERIDIAN

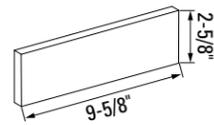
3-5/8" x 15-5/8"

NOTE: Available in 1" thick only.



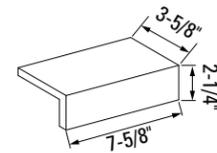
## KINGSIZE

2-5/8" x 9-5/8"



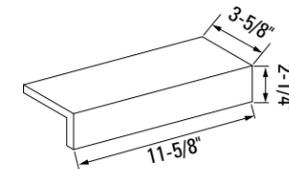
## EDGE CAP A

3-5/8" x 7-5/8" x 2-1/4"



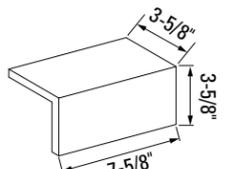
## EDGE CAP B

3-5/8" x 11-5/8" x 2-1/4"



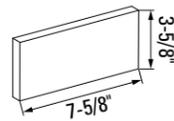
## EDGE CAP C

3-5/8" x 7-5/8" x 3-5/8"



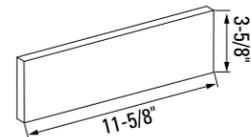
## CLOSURE

3-5/8" x 7-5/8"



## UTILITY

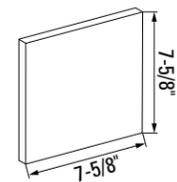
3-5/8" x 11-5/8"



## TRIPLE

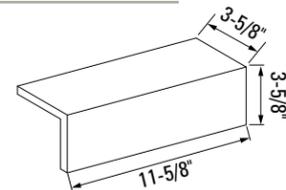
7-5/8" x 7-5/8"

NOTE: Available in 1/2" and 5/8" thick only.



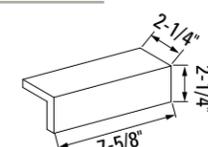
## EDGE CAP D

3-5/8" x 11-5/8" x 3-5/8"



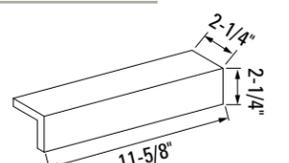
## EDGE CAP E

2-1/4" x 7-5/8" x 2-1/4"



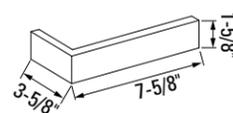
## EDGE CAP F

2-1/4" x 11-5/8" x 2-1/4"



## BC1-5/8" 48

3-5/8" x 7-5/8" x 1-5/8"



## BC1-5/8" 412

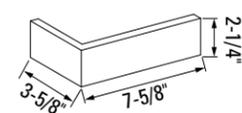
3-5/8" x 11-5/8" x 1-5/8"

NOTE: Available in 1" thick only.



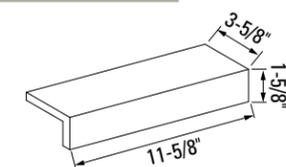
## BC2-1/4" 48

3-5/8" x 7-5/8" x 2-1/4"



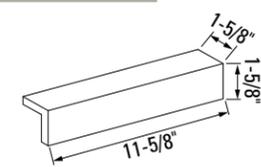
## EDGE CAP G

3-5/8" x 11-5/8" x 1-5/8"



## EDGE CAP H

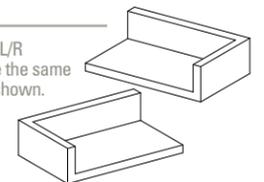
1-5/8" x 11-5/8" x 1-5/8"



## EDGE CAP CORNERS

Left/Right

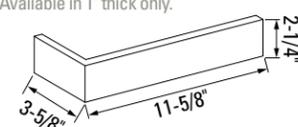
NOTE: 3-Sided L/R dimensions are the same as Edge Caps shown.



## BC2-1/4" 412

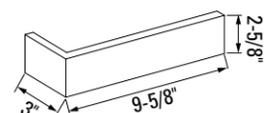
3-5/8" x 11-5/8" x 2-1/4"

NOTE: Available in 1" thick only.



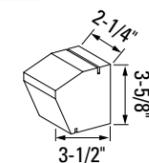
## BC2-5/8" 310

3" x 9-5/8" x 2-5/8"



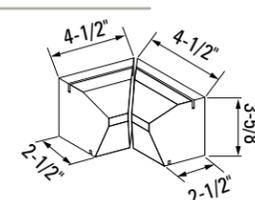
## ROLOK SILL

2-1/4" x 3-1/2" x 3-5/8"



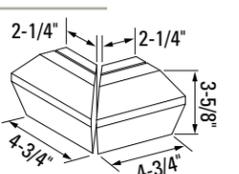
## ROLOK SILL INTERNAL CORNER

4-1/2" x 2-1/2" x 3-5/8"



## ROLOK SILL EXTERNAL CORNER

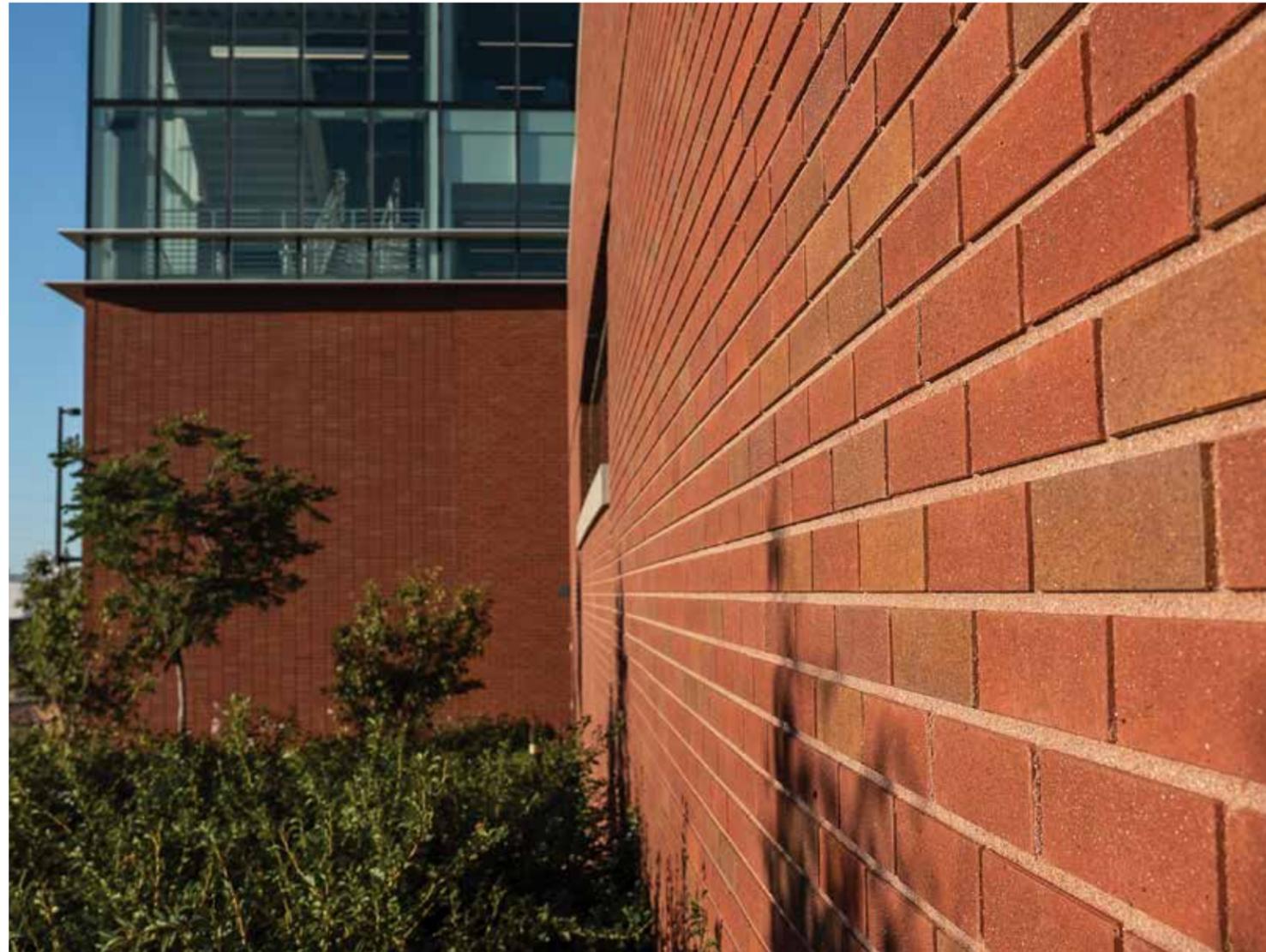
2-1/4" x 4-3/4" x 3-5/8"



# CREIGHTON UNIVERSITY SCHOOL OF DENTISTRY



OMAHA  
NEBRASKA



## PROJECT DETAILS

### COLOR

Burgundy Sands No Black  
Autumn Sands No Black

### SIZE

Modular

### TEXTURE

Square Edge

# HONOR CREDIT UNION OPERATION CENTER

---



BERRIEN SPRINGS  
MICHIGAN



## PROJECT DETAILS

COLOR

Manganese Ironspot

SIZE

Modular

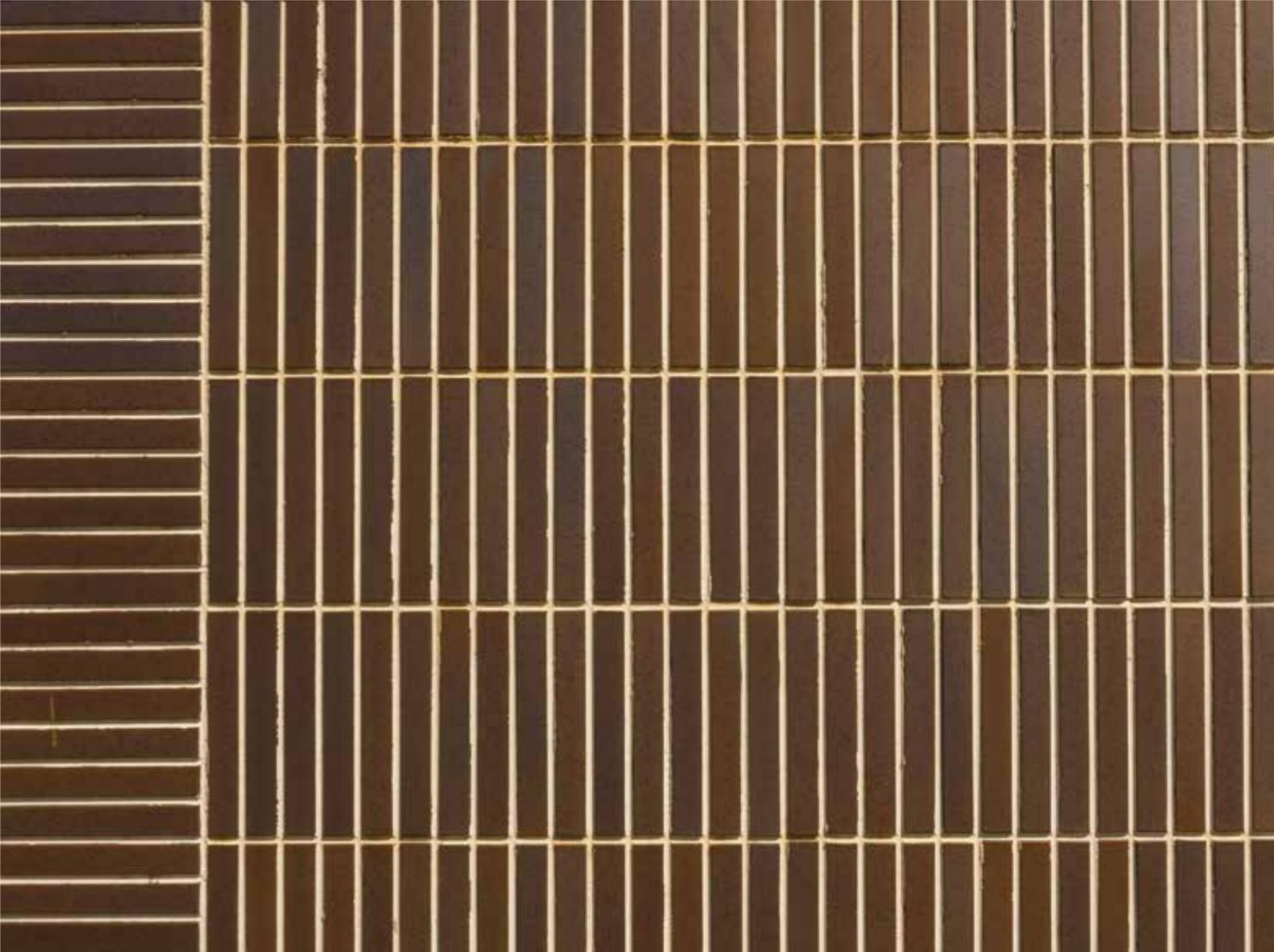
TEXTURE

Velour

# HEART MINISTRY CENTER



OMAHA  
NEBRASKA



## PROJECT DETAILS

COLOR

Sienna Ironspot

SIZE

Roman

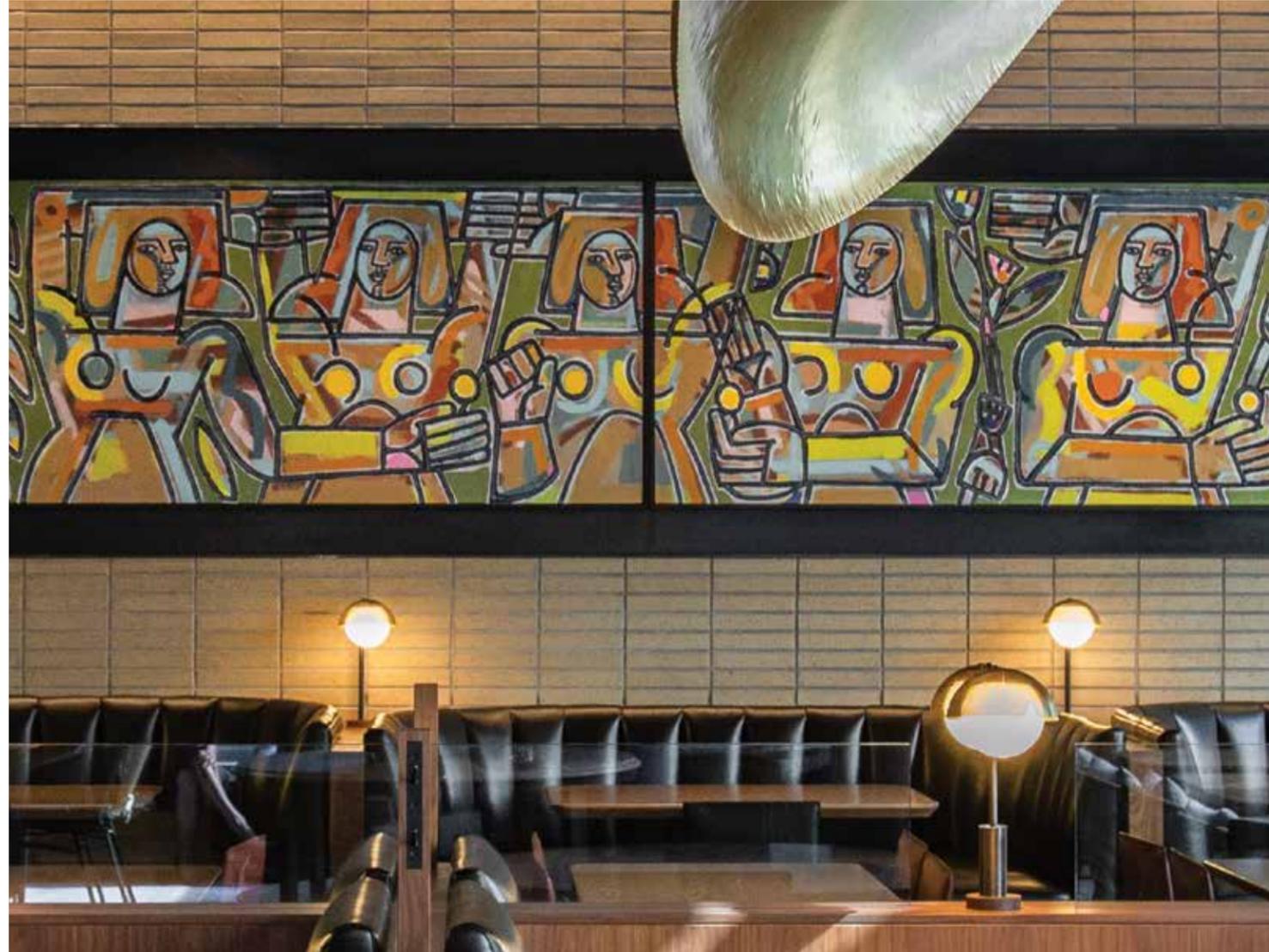
TEXTURE

Smooth

# JOEY DTLA RESTAURANT



LOS ANGELES  
CALIFORNIA



## PROJECT DETAILS

COLOR

Ivory Blend

SIZE

Norman

TEXTURE

Velour

# GLAZED SERIES

---



SN-1



SN-2



VC-1



VC-2



SN-3



SN-4



VC-3



VC-4



SN-5



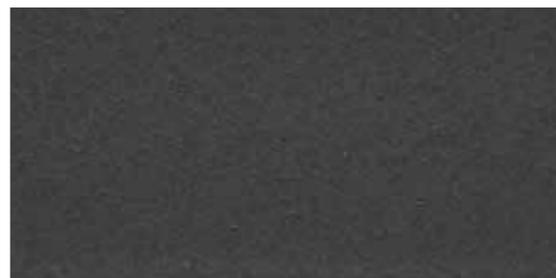
SN-6



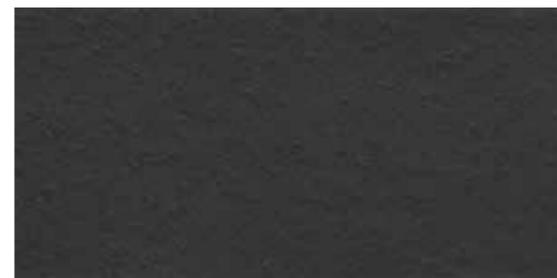
VC-5



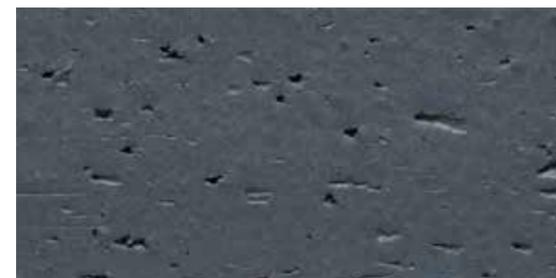
VC-6



SN-7



SN-8



VC-7



VC-8



**Endicott Thin Brick & Tile, LLC**  
P.O. Box 645 Fairbury, Nebraska USA 68352  
P 402.729.3323 F 402.729.5804  
[endicott.com](http://endicott.com)





**M700 Series  
AW-70  
3 1/4" Frame Depth  
Picture Window (Fixed)**

## M700 SERIES PICTURE WINDOW (FIXED)

The Quaker M700 Series Fixed Picture Window is ideal for a variety of applications requiring Impact rated products.

### FEATURES

- ◇ **Commercial Framing System**
  - 3 1/4" main frame
  - Sealable corner keys
  - Crimp/Screw connections
  - 0.094" wall thickness of interior and exterior walls, 0.070" wall thickness elsewhere
- ◇ **Enhanced Design**
  - Azo-braided channel receives Azon pour and debridge thermal break which is 1/2" wide in all main frame and vent rail extrusions
  - Clean squared edges
  - 1 7/8" narrow sitalines
- ◇ **Glazing**
  - Impact rated insulated glass

### OPTIONS

- ◇ **Available Configurations**
  - Wire frame capabilities
- ◇ **Muntin Choices**
  - Internal or simulated divided lites available
- ◇ **Nailing Fin**
- ◇ **Glazing**
  - Multiple Low-E and argon glazing choices
  - Capillary tubes
  - Wide variety of glazing, tinting and thickness options
- ◇ **Panning & Trim Choices**
  - Wide variety of panning, receptor and trim available
  - Jamb filler
- ◇ **Mulling**
  - Wide variety of structural mulls

### BENEFITS

- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings
- ◇ Modern appearance merged with superior structural integrity

### PERFORMANCE

- ◇ Structural & Thermal

Model	Picture Window (Fixed)
Test Size	96" x 60"
NAFS Rating	AW-PG70-F
Structural Load P.S.F.	105.26
Air at 50 MPH (cfm/ft <sup>2</sup> )	<0.01
Water (No Penetration) P.S.F.	12.11
CR (Condensation Resistance)	48-58
U-Value (ranges based on multiple Low-E/Argon combinations)	0.18-0.31
SHGC (ranges based on multiple Low-E/Argon combinations)	0.13-0.54
Missile Level	Level D
Wind Zone	4



Our products are tested to the standards of and certified by some of the foremost organizations in the fenestration industry.

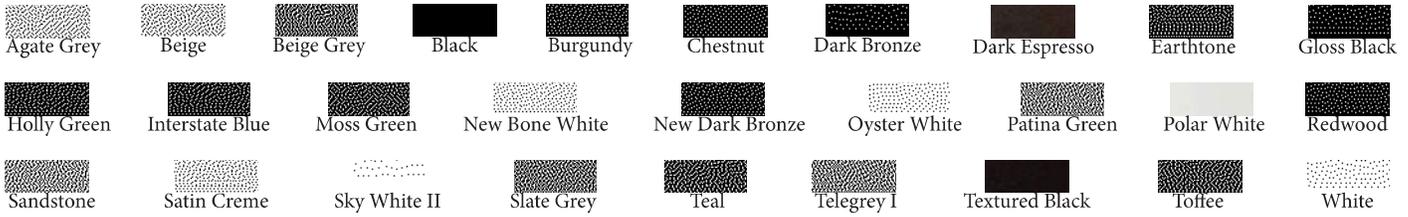


**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

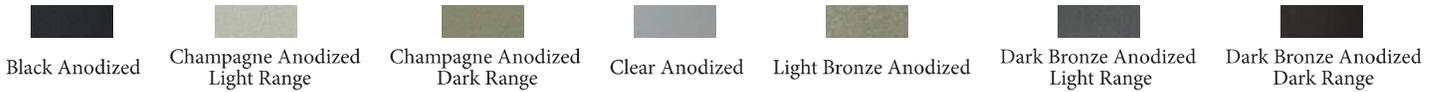
# ARCHITECTURAL PAINT COATINGS AND FINISHES

◇ Baked on powder coat finish meets AAMA 2604 (an FGIA specification) and is available in unlimited colors

- Quaker Impressive Palette of Colors



- 7 Resemble Colors (painted finish resembling anodized)



- Unlimited Custom Colors

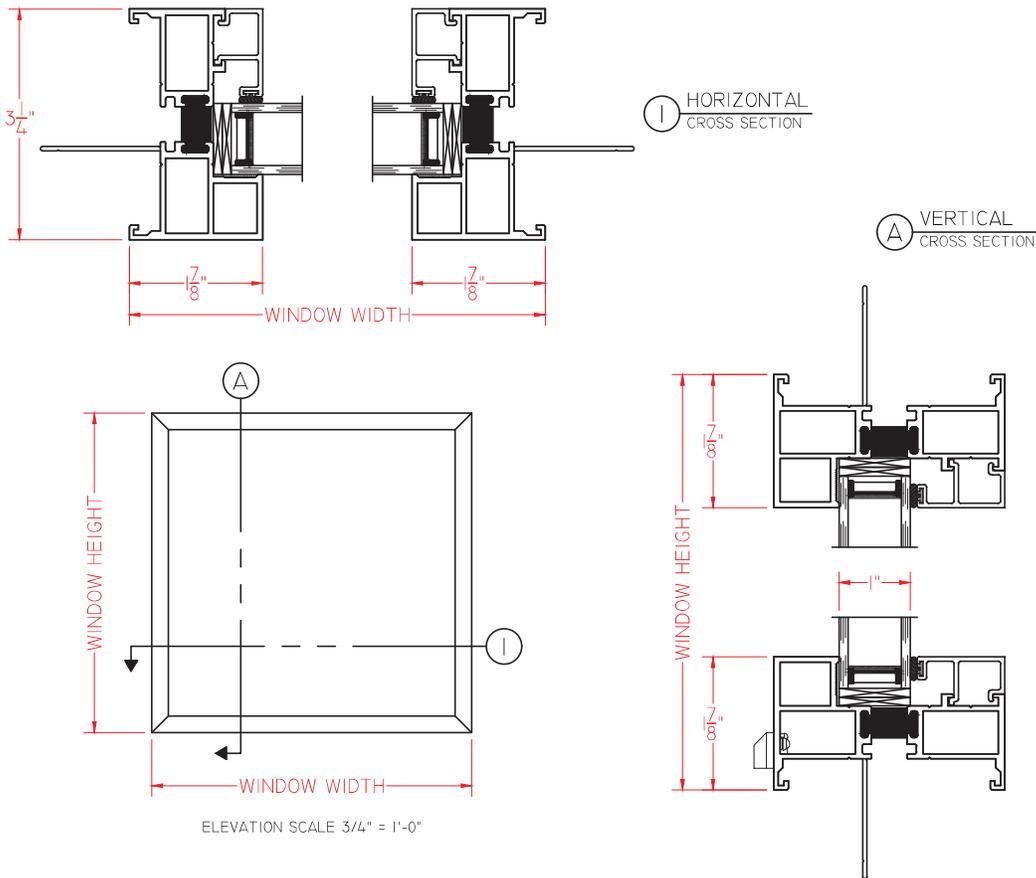
◇ AAMA 2605 (an FGIA specification) powder coat finishes (not available for all colors shown)

◇ SolarLE Paint Finish (available with Textured Black and Dark Espresso colors only)

◇ AAMA 611-98 Class I (an FGIA specification) clear and tinted anodized finishes

\* Printed colors shown here may not accurately depict actual painted colors. Color samples are available upon request.

## M700 SERIES PICTURE WINDOW (FIXED)



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**QUAKER**  
 COMMERCIAL WINDOWS AND DOORS



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

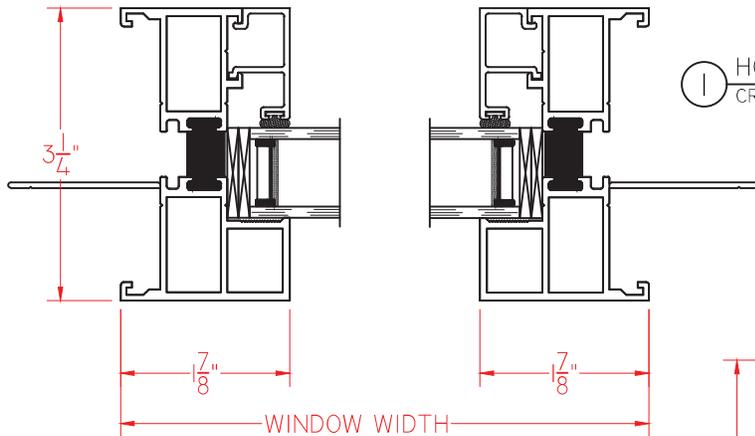


**M700 Series  
AW-70  
3 1/4" Frame Depth  
Picture Window (Fixed)**

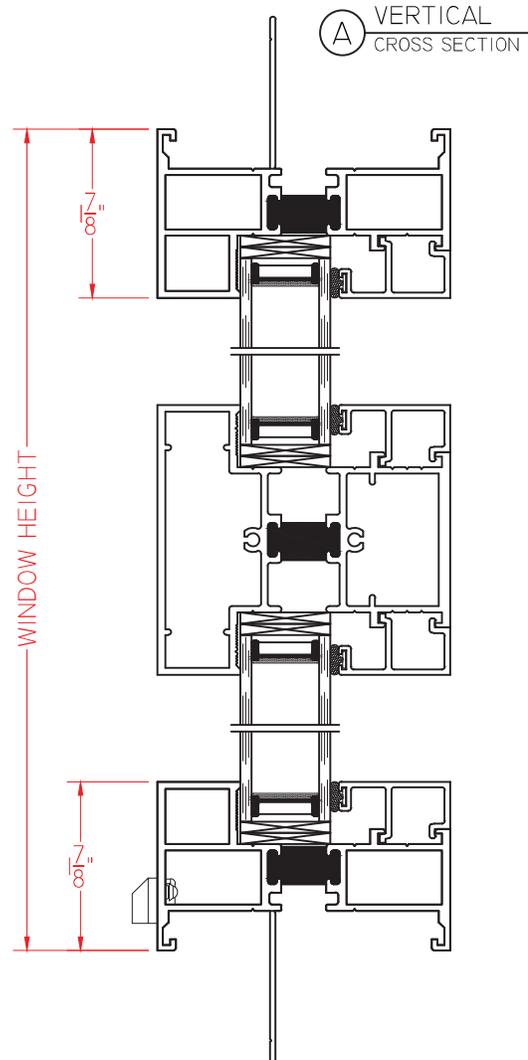
**M700 SERIES PICTURE WINDOW (FIXED/FIXED)**

**DOUBLE JAMB - STACKED**

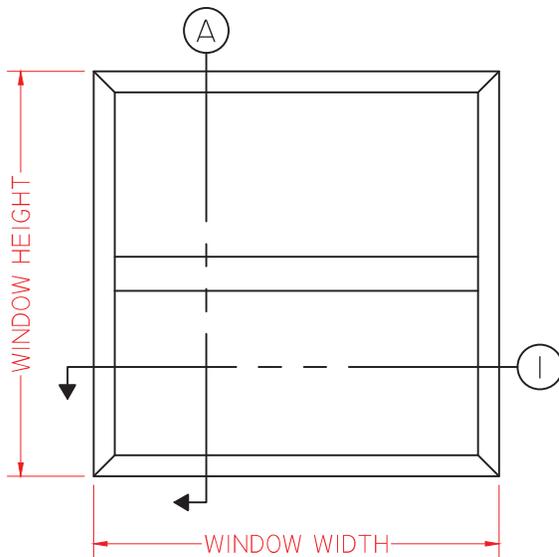
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① HORIZONTAL CROSS SECTION



Ⓐ VERTICAL CROSS SECTION



ELEVATION SCALE 3/4" = 1'-0"

SCALE 1:2

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**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

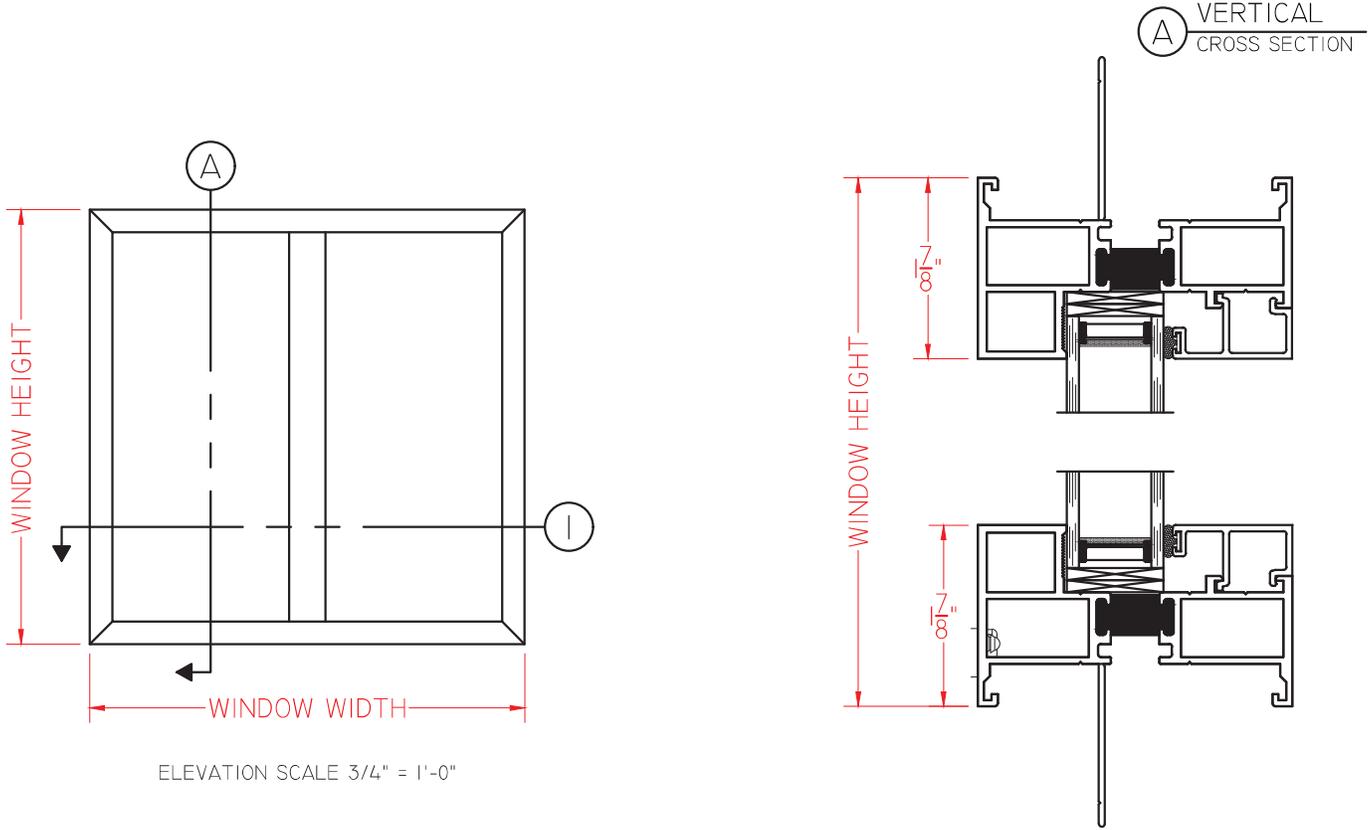
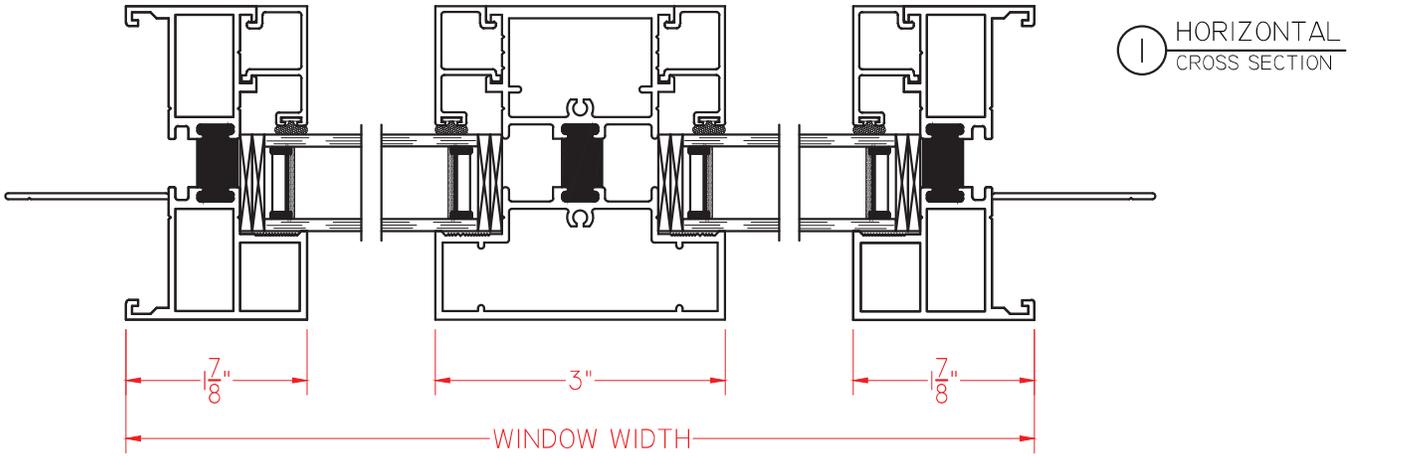


**M700 Series  
AW-PG70  
3 1/4" Frame Depth  
Picture Window (Fixed)**

**M700 SERIES PICTURE WINDOW (FIXED/FIXED)**

**DOUBLE JAMB - SIDE BY SIDE**

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SCALE 1:2

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**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

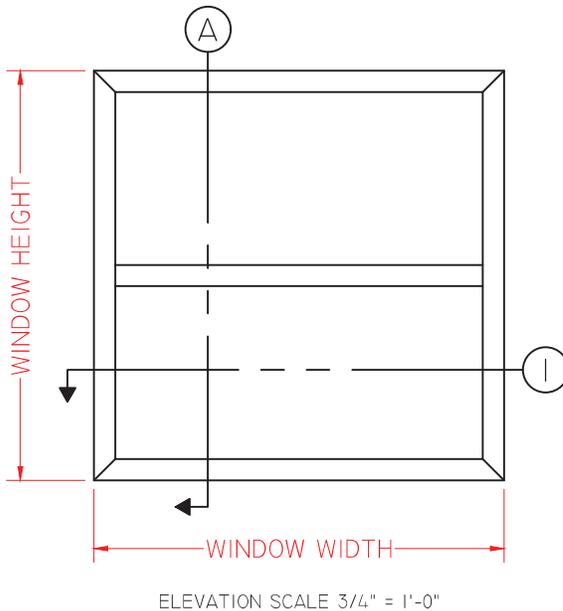
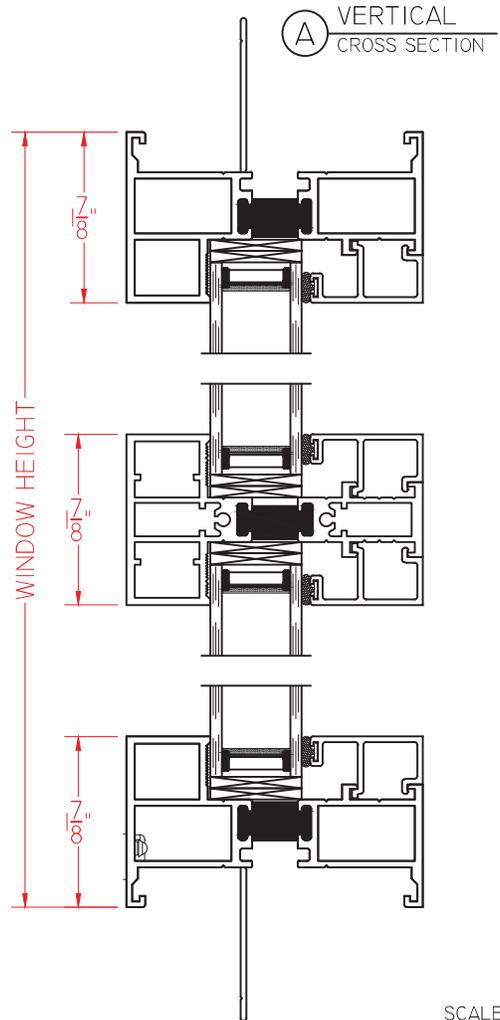
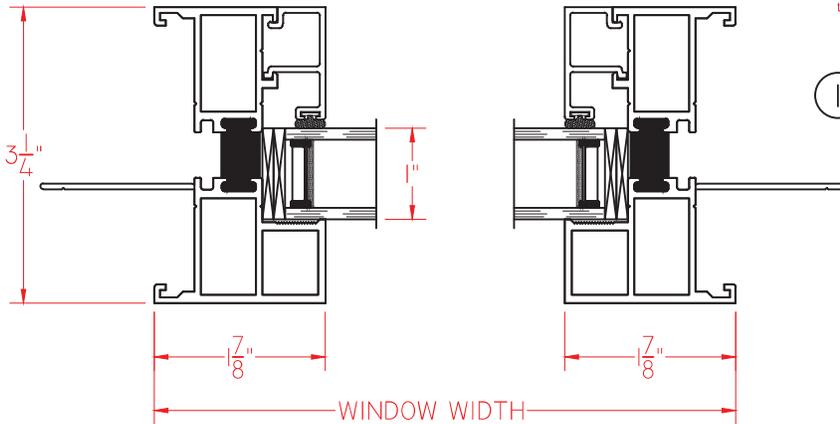


**M700 Series  
AW-703 1/4" Frame Depth  
Picture Window (Fixed)**

**M700 SERIES PICTURE WINDOW (FIXED/FIXED)**

**DOUBLE JAMB WITH NARROW 1 7/8" SIGHTLINE -  
SIDE BY SIDE**

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SCALE 1:2

Our products are tested to the standards of and certified by some of the foremost organizations in the fenestration industry.



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS



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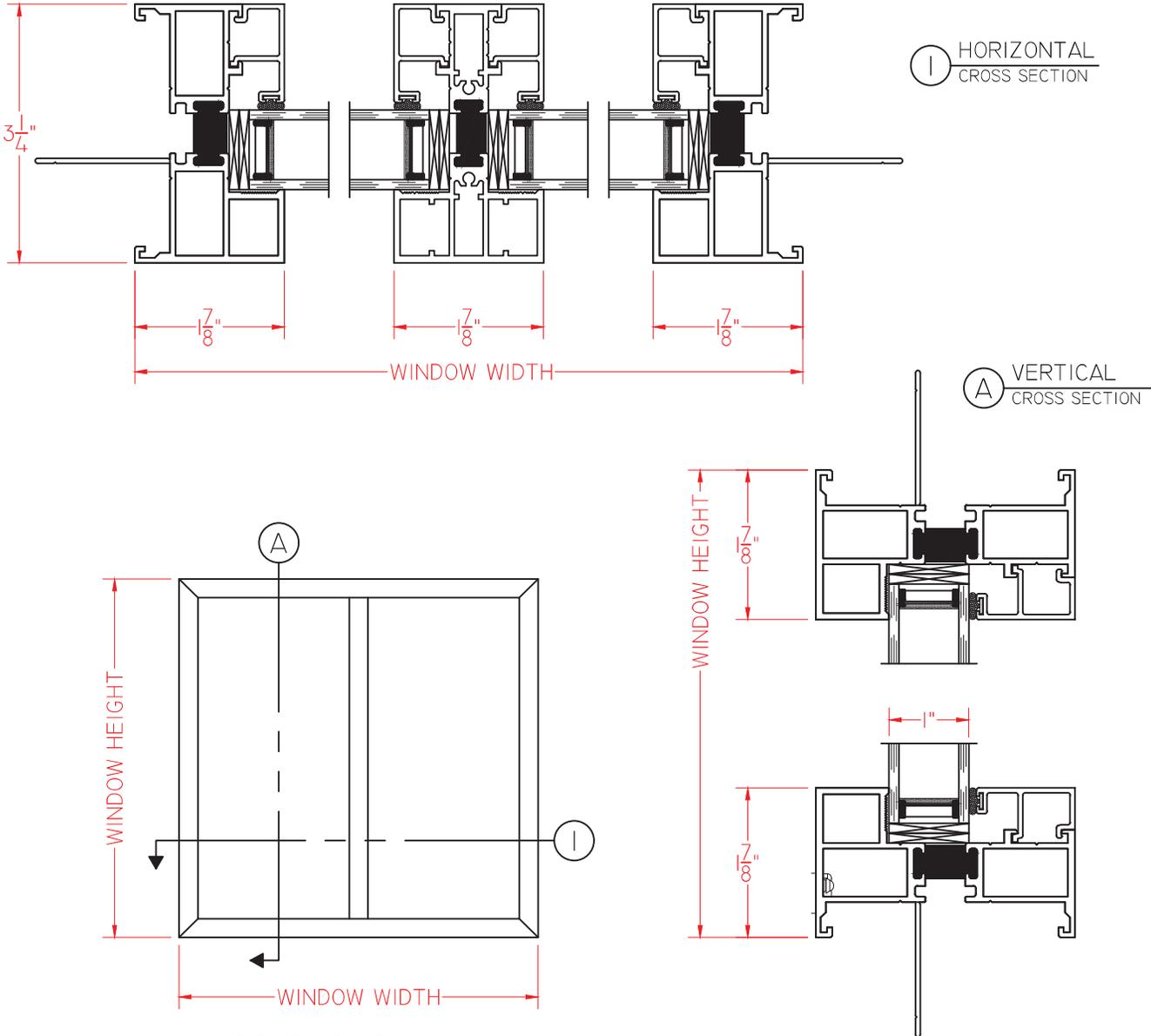


**M700 Series  
AW-PG70  
3 1/4" Frame Depth  
Picture Window (Fixed)**

**M700 SERIES PICTURE WINDOW (FIXED/FIXED)**

**DOUBLE JAMB WITH NARROW 1 7/8" SIGHTLINE -  
SIDE BY SIDE**

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ELEVATION SCALE 3/4" = 1'-0"

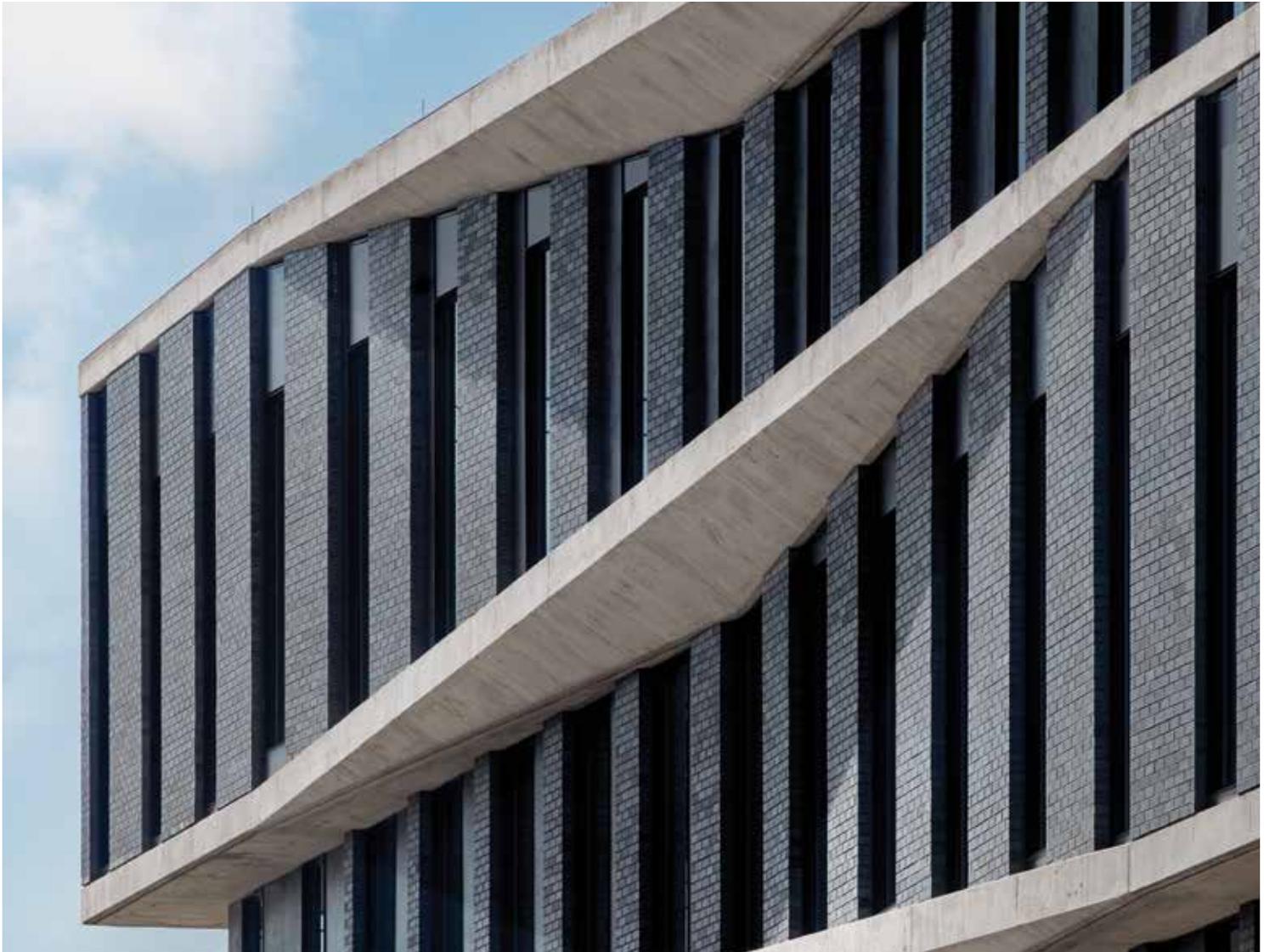
SCALE 1:2

Our products are tested to the standards of and certified by some of the foremost organizations in the fenestration industry.



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

# FACE BRICK



## **BUILD YOUR LEGACY**

The essence of beauty and design begins with the natural elegance and strength of brick. Formed from iron-rich clays, the unique character, sheen and colors of Endicott face brick help you tell a story and define your legacy.

# LAYING THE FOUNDATION FOR GREATNESS.

**ENDICOTT**

THE WARM AESTHETIC APPEAL AND TRUE PERMANENCE OF ENDICOTT FACE BRICK PROVIDE A SOLID FOUNDATION FOR DESIGNING AND BUILDING GREAT SPACES THAT STAND THE TEST OF TIME. FORMED FROM ABUNDANT IRON-RICH MATERIALS, ENDICOTT FACE BRICK HAVE BEEN HELPING VISIONARIES BUILD LEGACIES FROM THE GROUND UP MORE THAN 100 YEARS.

Brick Color: Manganese Ironspot

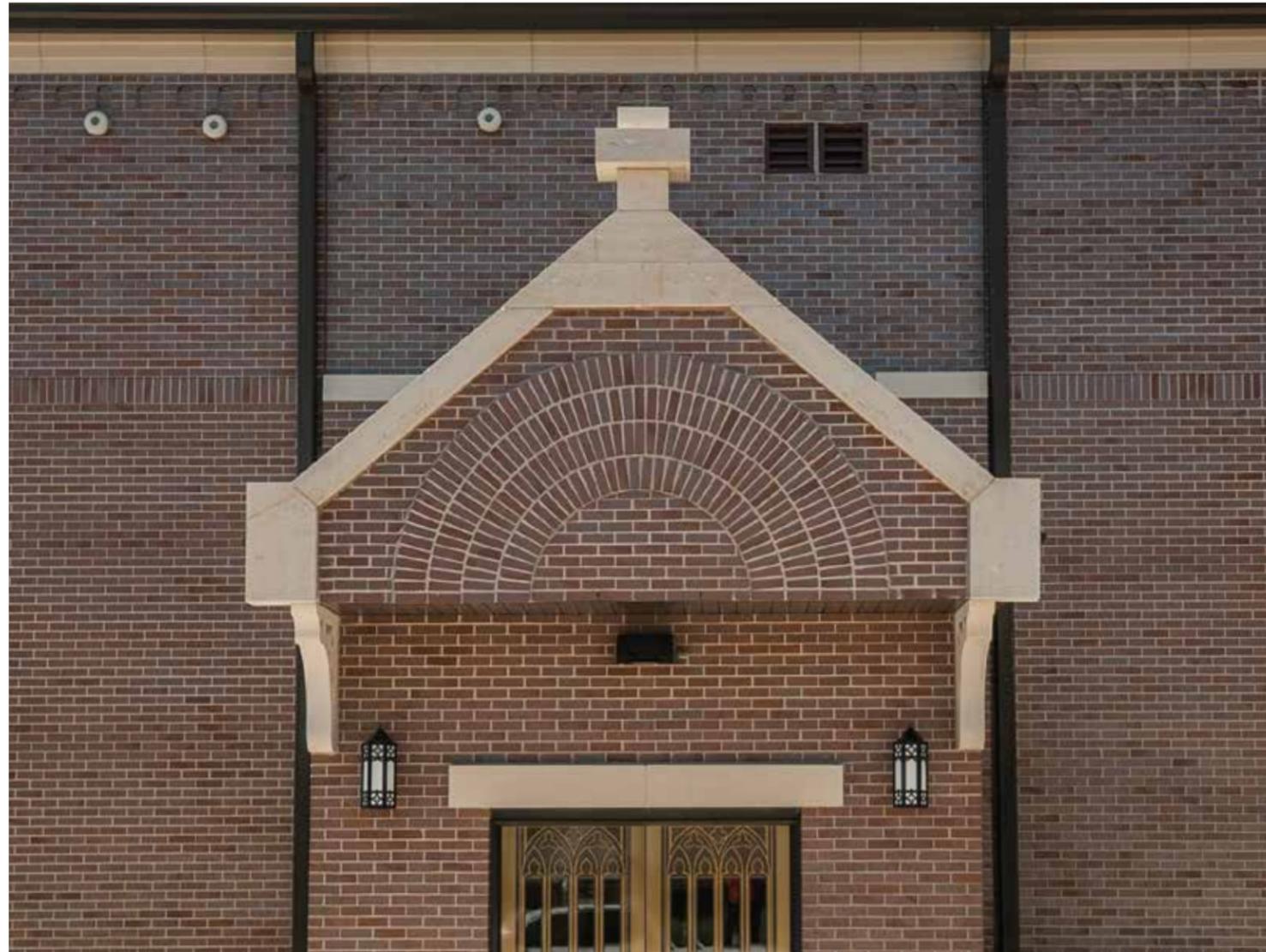
Arrive Hotel – Austin, TX

12 County Shed 78 of 150

# ST. GREGORY THE GREAT CATHOLIC CHURCH



MARYSVILLE  
KANSAS



## PROJECT DETAILS

### COLOR

Medium Ironspot #46

### SIZE

Modular  
Shapes

### TEXTURE

Velour

# DEBRUCE HALL KC ART INSTITUTE



KANSAS CITY  
MISSOURI



## PROJECT DETAILS

### COLOR

Manganese Ironspot

### SIZE

Modular  
Shapes

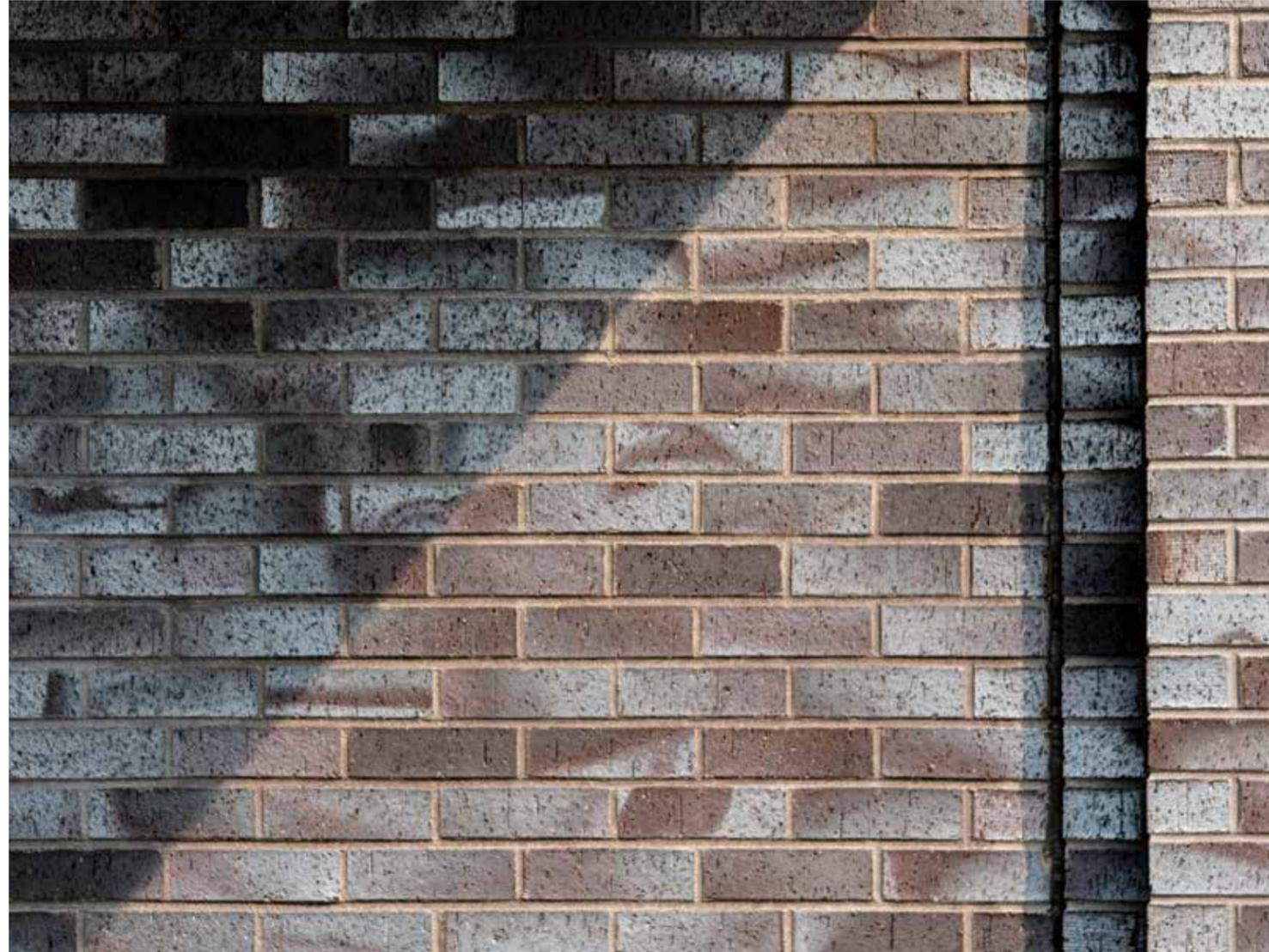
### TEXTURE

Velour

# PEABODY WALK LOFTS



BALTIMORE  
MARYLAND



## PROJECT DETAILS

### COLOR

Ravenswood Ironspot

### SIZE

Modular  
Shapes

### TEXTURE

Velour

# EAST PRAIRIE ELEMENTARY



CHICAGO  
ILLINOIS



## PROJECT DETAILS

### COLOR

Desert Ironspot Light  
Medium Ironspot #77

### SIZE

Utility

### TEXTURE

Smooth  
Artisan

# NORM ASBJORNSON HALL



BOZEMAN  
MONTANA



## PROJECT DETAILS

COLOR

Manganese Ironspot

SIZE

Norman

TEXTURE

Smooth

# ARCHITECTURAL SERIES

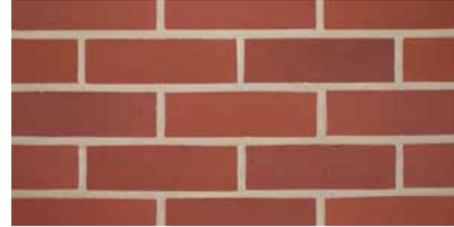
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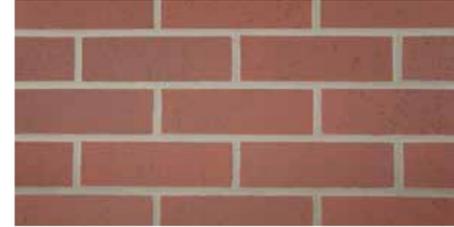
Golden Buff



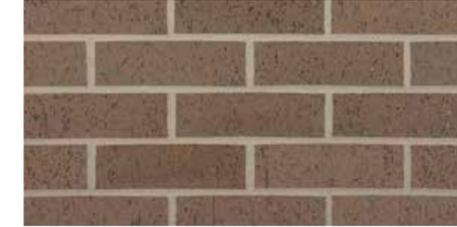
Light Grey Blend



Ruby Red



Red Ironspot



Executive Ironspot



Sienna Ironspot



Grey Blend



Light Sandstone



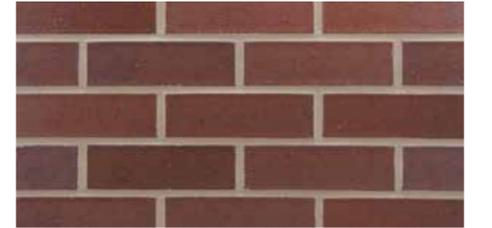
Desert Ironspot Light



Desert Ironspot Dark



Medium Ironspot #77



Medium Ironspot #46



Dark Sandstone



Rose Blend



Coppertone



Copper Canyon



Dark Ironspot



Ravenswood Ironspot



Red Blend



Burgundy Blend



Bordeaux Blend



Manganese Brown



Manganese Ironspot

# RESIDENTIAL SERIES



Grey Sands



Adobe Sands Heritage



Autumn Sands Heritage



Heritage #46 no Yellow



Copper Sands Heritage



Grey Heritage with Black



Heritage #46



Sahara Sands Heritage\*



Orleans Sands Heritage



Burgundy Sands Heritage\*



Merlot Sands Antique



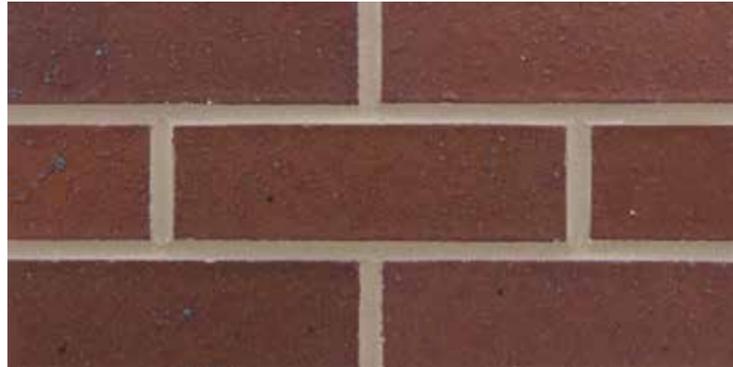
Brick Color: Burgundy Sands

Residence – Omaha, NE

\* Can be done in square edge/no texture.

# TEXTURES

---



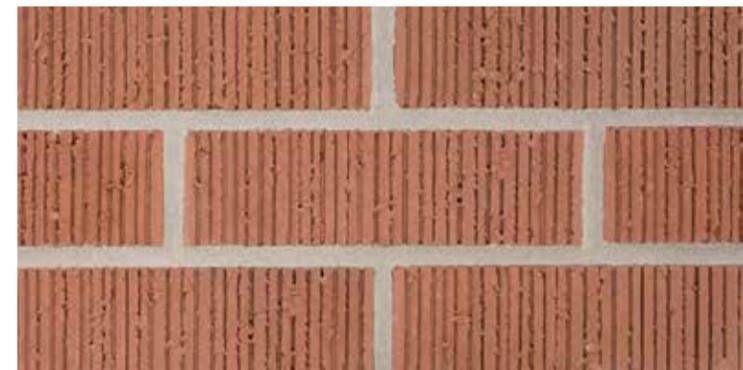
Smooth



Velvetex



Velour



Vertical Score



Matt



Artisan

# TEXTURES



Heritage

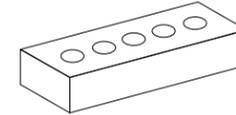


Antique

# SIZES

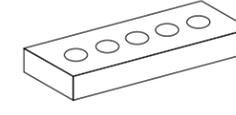
## **NORMAN**

3-5/8" x 2-1/4" x 11-5/8"



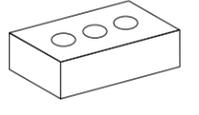
## **ROMAN**

3-5/8" x 1-5/8" x 11-5/8"



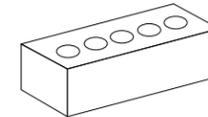
## **MODULAR**

3-5/8" x 2-1/4" x 7-5/8"



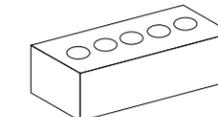
## **SLIM KINGSIZE**

2-5/8" x 2-5/8" x 9-5/8"



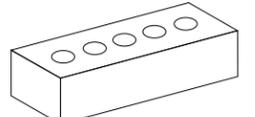
## **KINGSIZE**

3" x 2-5/8" x 9-5/8"



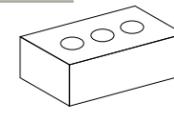
## **NORWEGIAN**

3-5/8" x 2-13/16" x 11-5/8"



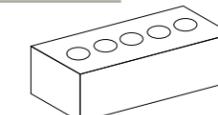
## **ENGINEER MODULAR**

3-5/8" x 2-13/16" x 7-5/8"



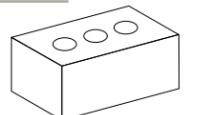
## **ENGINEER KINGSIZE**

3" x 2-13/16" x 9-5/8"



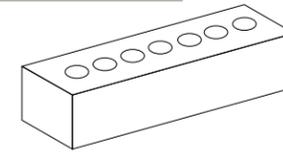
## **CLOSURE**

3-5/8" x 3-5/8" x 7-5/8"



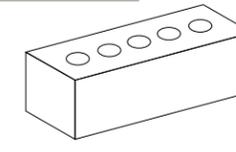
## **MERIDIAN**

3-5/8" x 3-5/8" x 15-5/8"



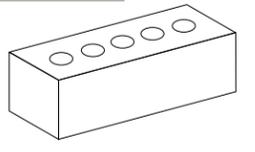
## **3" UTILITY**

3" x 3-5/8" x 11-5/8"



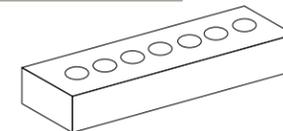
## **UTILITY**

3-5/8" x 3-5/8" x 11-5/8"



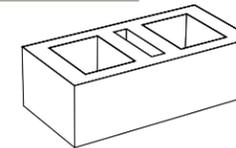
## **2-1/4" MERIDIAN**

3-5/8" x 2-1/4" x 15-5/8"



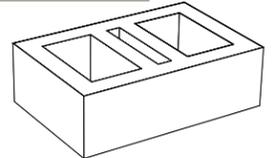
## **6" THRU THE WALL**

5-5/8" x 3-5/8" x 11-5/8"



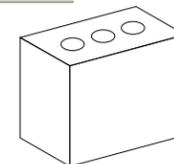
## **8" THRU THE WALL**

7-5/8" x 3-5/8" x 11-5/8"



## **TRIPLE BRICK**

3-5/8" x 7-5/8" x 7-5/8"



# ST. MARY'S CHAPEL



LIVONIA  
MICHIGAN



## PROJECT DETAILS

### COLOR

Dark Ironspot

### SIZE

Modular  
Shapes

### TEXTURE

Smooth

# FOUR51 MARLBOROUGH



BOSTON  
MASSACHUSETTS



## PROJECT DETAILS

COLOR

Medium Ironspot #46

SIZE

- Shapes
- Utility
- Roman
- Modular

TEXTURE

Smooth

# ARRIVE HOTEL



AUSTIN  
TEXAS



## PROJECT DETAILS

COLOR

Manganese Ironspot

SIZE

Modular

TEXTURE

Smooth

# THE KNOLLS



LINCOLN  
NEBRASKA



## PROJECT DETAILS

COLOR

Sienna Ironspot

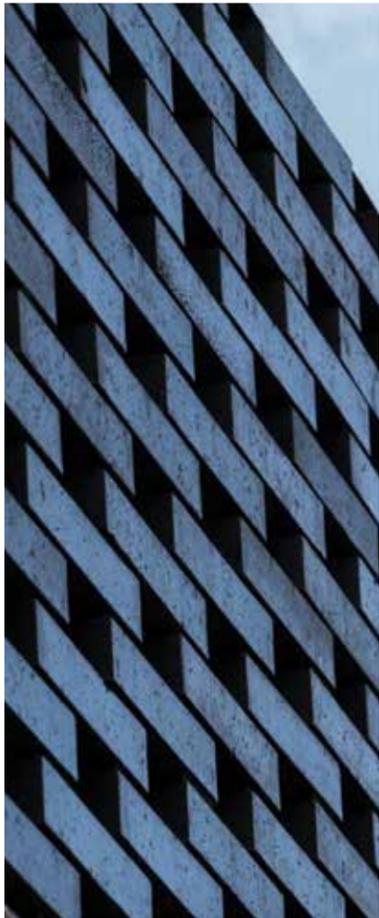
SIZE

Meridian

TEXTURE

Velour

# MOODY CENTER FOR THE ARTS RICE UNIVERSITY



HOUSTON  
TEXAS



### PROJECT DETAILS

COLOR

Manganese Ironspot

SIZE

Norman

TEXTURE

Smooth



**Endicott Clay Products Company**

P.O. Box 17 Fairbury, Nebraska USA 68352

P 402.729.3315 F 402.729.5804

[endicott.com](http://endicott.com)



# CLADDING

**PARKLEX PRODEMA**

12 County Shed 94 of 150

# CLADDING

**PARKLEX PRODEMA**



NATURCLAD-W is a laminated wood board for exteriors that requires zero maintenance.

The panels combine the virtues of wood, its natural warmth and beauty, with technical requirements to ensure optimum performance on exteriors over time.

NATURCLAD-W can be installed as a ventilated façade by way of louvres or overlapping slats, on false ceilings and on curved walls.



## Zero maintenance wood

The surface composition of the NATURCLAD-W boards protects the wood from the most extreme weather conditions, removing any need for subsequent treatment.

## Weather resistance

The EN 438-6:2005 European standard specifies that compact exterior cladding such as NATURCLAD-W must offer a certain resistance to weather according to the Resistance to Artificial Weathering Test. After 3000 hours of exposure, the material should have a rating variation of  $\geq 4$  in appearance, and a rating of  $\geq 3$  in contrast. NATURCLAD-W attains these values following exposure of up to 5 times greater than regulatory requirements.

## Fire safety

The basic safety requirements reduce the risk of damage caused by accidental fire due to the characteristics of the project, construction, use and maintenance of the building to acceptable limits. NATURCLAD-W has achieved the best possible result for organic materials under regulations EN 13501 and US ASTM/NFPA for reaction to fire, which means that our products are approved all over the world.

## Installation versatility

NATURCLAD-W can be installed as a ventilated façade by way of louvres or overlapping slats, on false ceilings and on curved walls. It has four different installation systems, which makes them easily adaptable to any kind of architectural requirement.

Product: NATURCLAD-W / Wood: Rustik  
Paleen View Residence, by Workshop AD  
(Anchorage, AK, USA)





12 County Shed 99 of 150



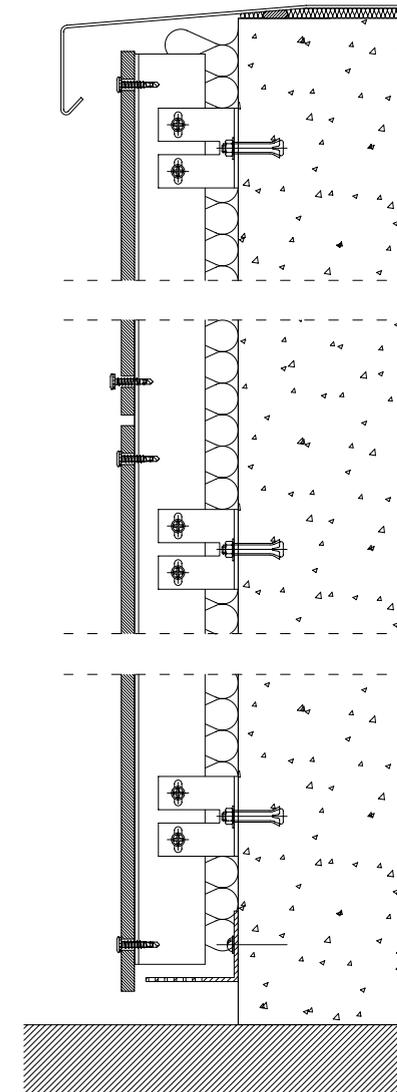
Product: NATURCLAD-W / Woods (from left to right): Pale, Onix, Rustik  
Residences in Pacific City, by MVE Architects (Huntington Beach, CA, USA)





Product: NATURCLAD-W / Wood: Rustik  
Residences in Pacific City, by MVE Architects  
(Huntington Beach, CA, USA)

12 County Shed 101 of 150



The ventilated façade is an efficient bioclimatic architecture solution that provides thermal insulation. In other words, it reduces heat dissipation in the cold months and heat absorption in the warmer months, resulting in a marked improvement in comfort inside the building.



Product: NATURCLAD-W / Wood: Onix  
Manning Toronto, by Richard Wengle Architects Inc. (Toronto, ON, Canada)





Product: NATURCLAD-W / Wood: Rustik  
Lazaridis Hall, Wilfrid Laurier University, by Diamond Schmitt Architects  
with David Thompson Architect Ltd. (Waterloo, Ontario, Canada)



Product: NATURCLAD-W / Wood: Quartz  
Turnagain Beach House Anchorage, by KPB Architects (Alaska, AK, USA)





Product: NATURCLAD-W / Wood: Rustik  
The Point, Tadley Community Centre, by Ayre Chamberlain  
Gaunt Architects (Hampshire, UK)



Product: NATURCLAD-W / Wood: Rustik  
Residence in Varese, by Franzetti Primi Architetti Associati (Varese, Italy)







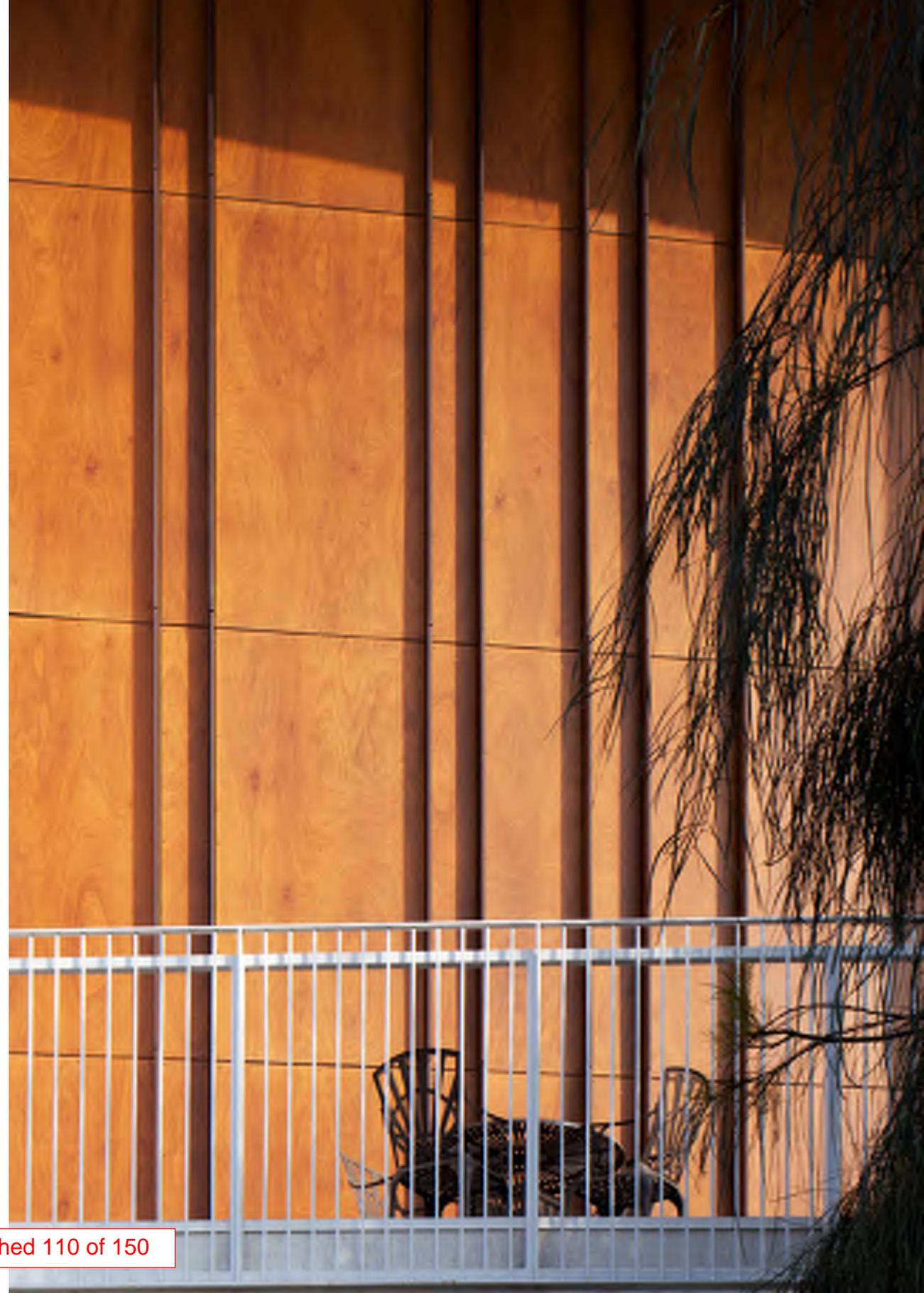
Product: NATURCLAD-W / Wood: Rustik  
Residences in Rue des Orteaux, by Bob361 Architectes (Paris, France)







Product: NATURCLAD-W / Woods: Rustik and Antra  
Gateway Apartments, by Brooks+Scarpa Architects (Marina Del Rey, CA, USA)



The NATURCLAD-W panels are available in nine shades that are obtained through ayous or okume veneer, which we get from forests that respect controlled felling.



**AMBAR**



**ANTRA**



**NUX**

Due to the fact that wood is a natural product, each veneer must be considered as unique. The presence of slight differences in colour and structure is normal. Peculiarities such as knots or resin inclusions are not considered to be defects, but as part of the decoration. Depending on the species and the source of the wood, differences in performance may be observed, as regards the colour's light fastness. For this reason, no claims will be admitted on the basis of changes in tone between the sample and the end product.



**RUSTIK**



**QUARTZ**



**PALE**



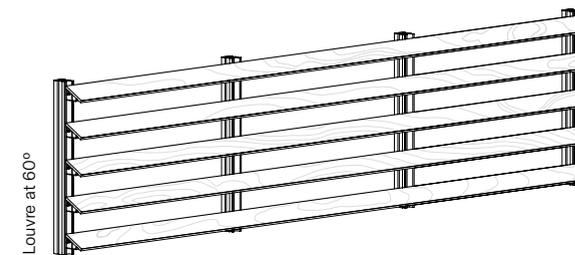
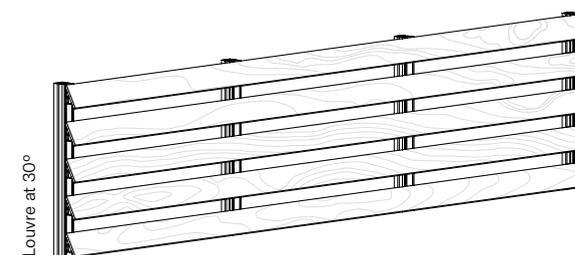
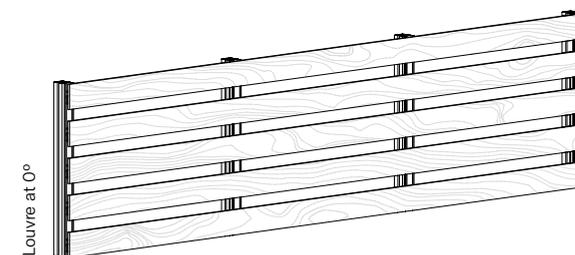
**RUBI**



**ONIX**



**SILVER**

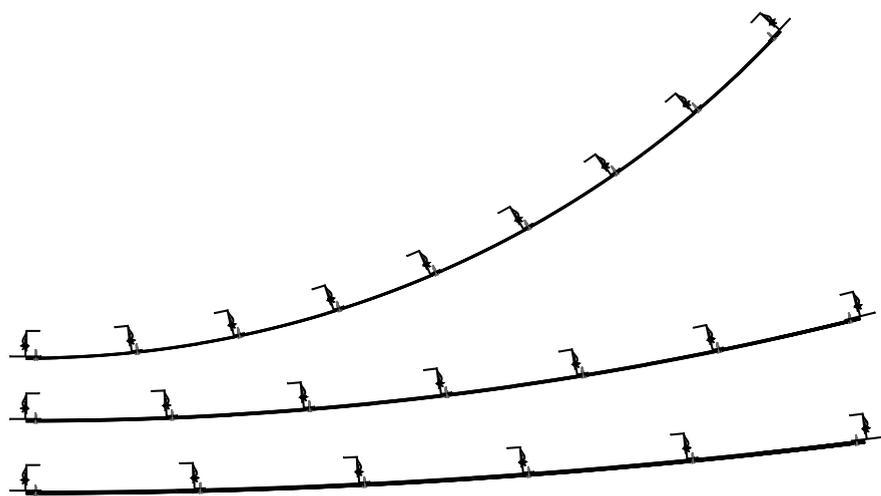


The NATURCLAD-W installation system in fixed louvre mode enables slats to be installed at 0°, 30° and 60°, both horizontally and vertically.

Valid for boards with a thickness of  $\geq 10$  mm. Parklex Prodema supplies the slats in three different widths: 86, 94 and 114 mm, with a maximum slat length of 2440 mm.



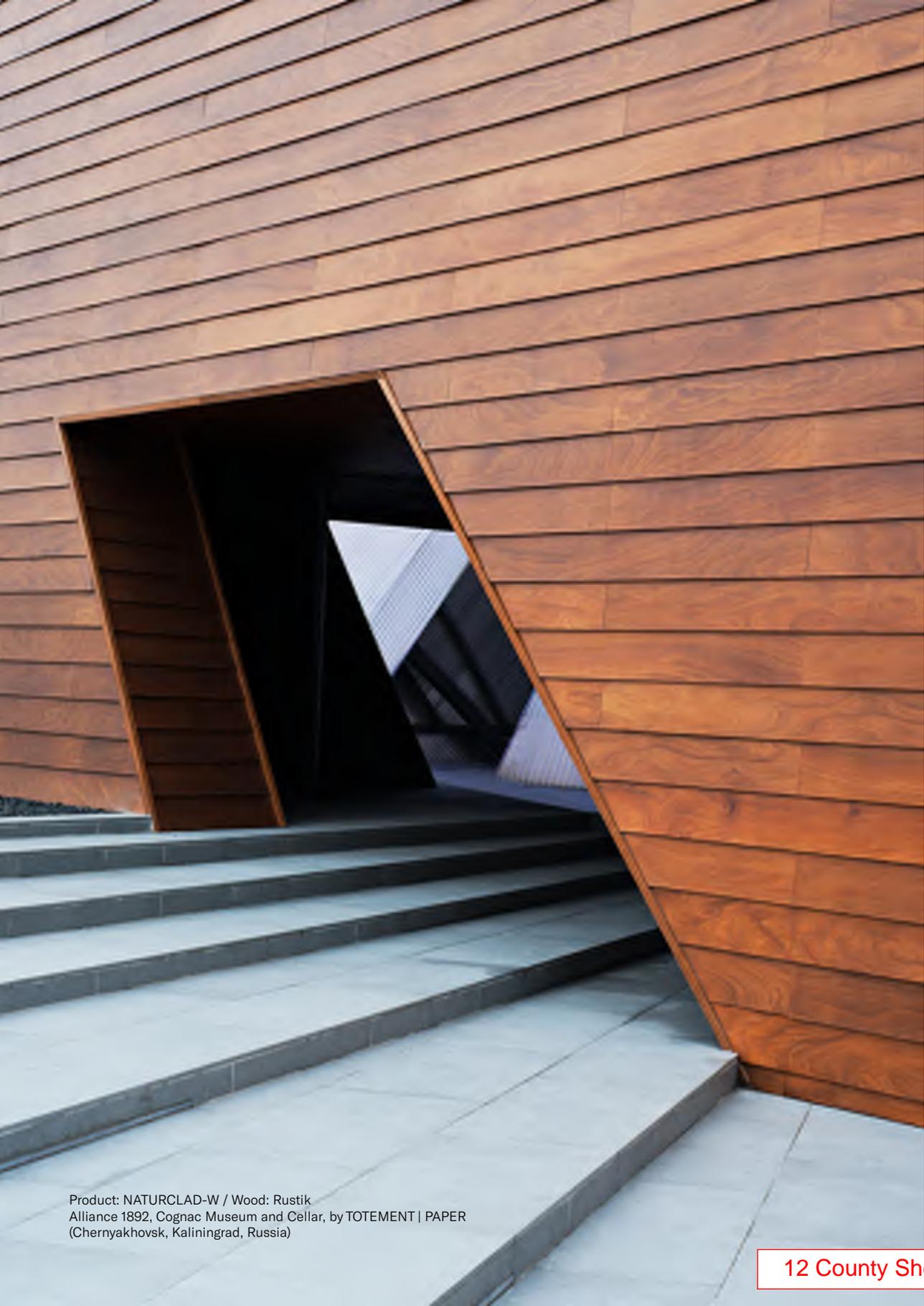
Product: NATURCLAD-W, NATURPANEL-W / Wood: Rustik  
Le Monastère des Augustines, by ABCP Architecture  
(Quebec, Canada)



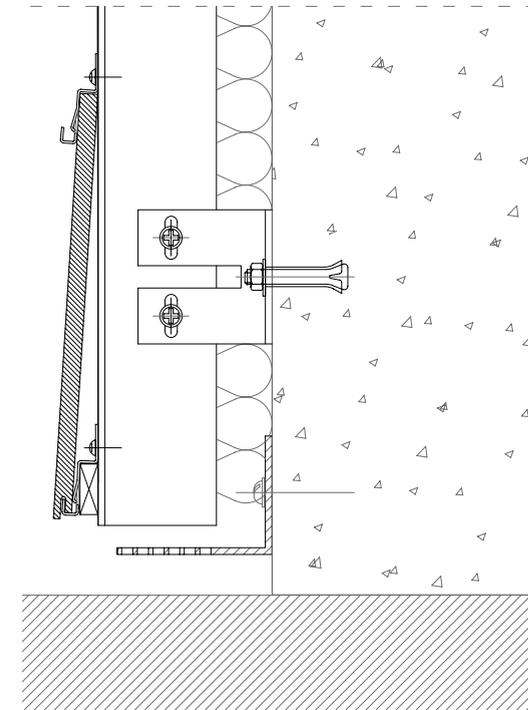
The flexibility of the wood fibres allows NATURCLAD-W panels to adapt to certain radii of curvature, whether concave or convex.

Parklex Prodema offers two different solutions for projects that require NATURCLAD-W to be installed as a curved façade cladding: either standard panels, if radii above 3 m are required; or pre-bent panels, if smaller radii are required.



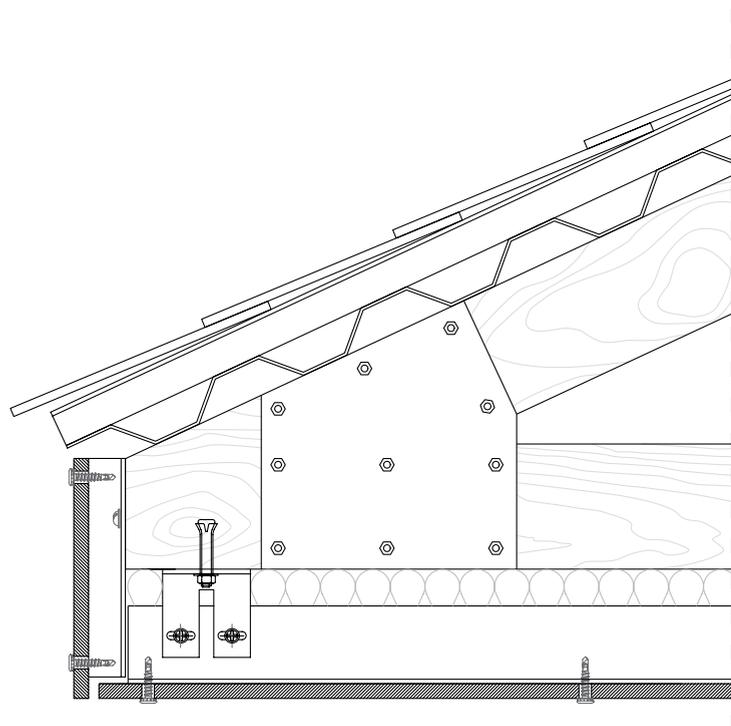


Product: NATURCLAD-W / Wood: Rustik  
Alliance 1892, Cognac Museum and Cellar, by TOTEMENT | PAPER  
(Chernyakhovsk, Kaliningrad, Russia)



The overlapping slats system enables a range of assembly procedures without needing to change the position of the parts' profiles.

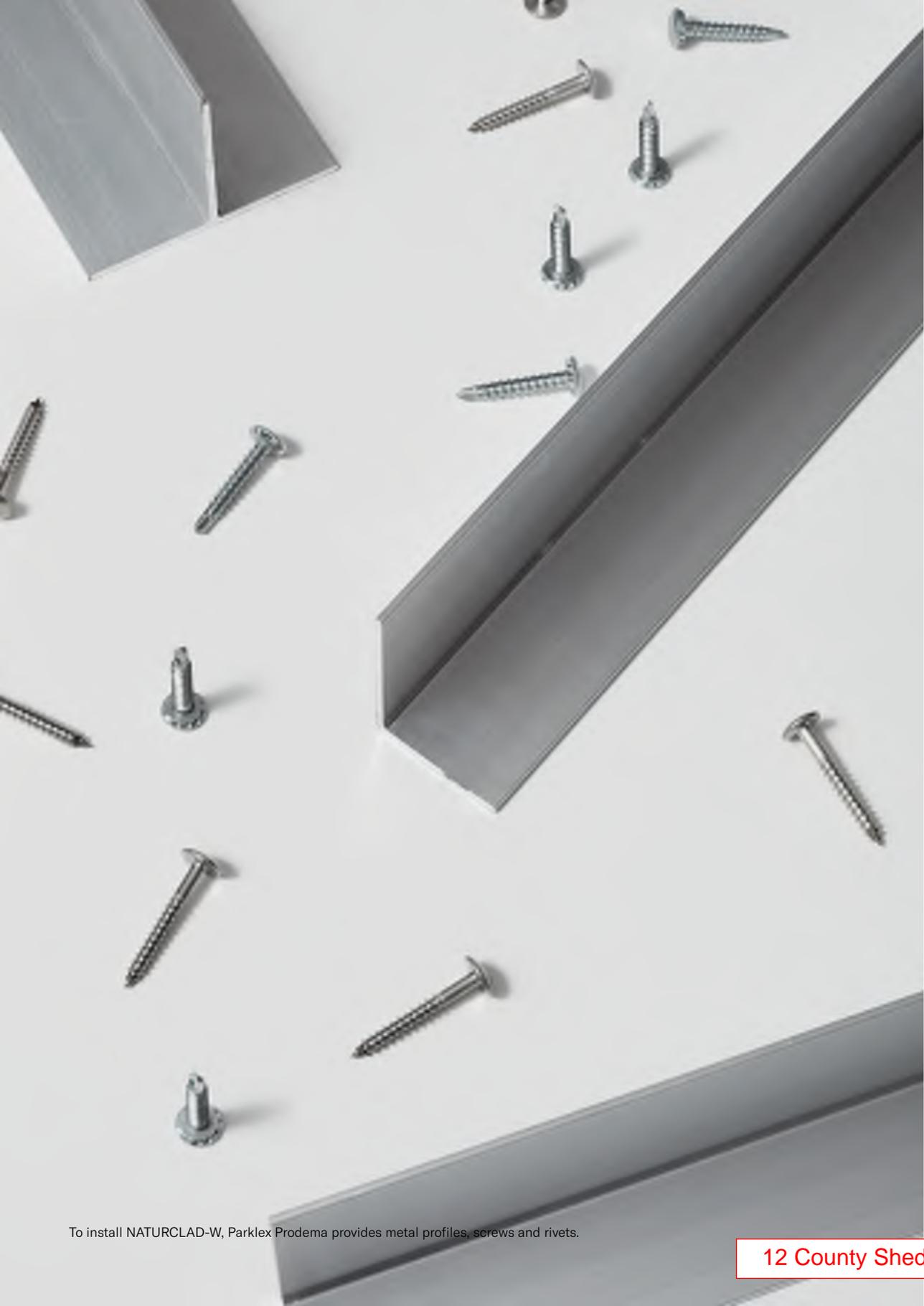
Two different slat widths are supplied: 190 and 290 mm, both with a maximum length of 2440 mm. This concealed fixing system is only valid for thicknesses of 8 mm.



NATURCLAD-W boards can be installed on false ceilings by means of exposed or concealed fixing systems.

In the case of false ceilings, a minimum perimeter space of 20 mm must be left to enable ventilation through the chamber.





To install NATURCLAD-W, Parklex Prodema provides metal profiles, screws and rivets.

Tests	Standard	Property or attribute	Measurement unit	Result	
				Parklex Prodema NATURCLAD-W S (Standard) Rev: 10 (03.2017)	Parklex Prodema NATURCLAD-W F (Fireproof) Rev: 12 (02.2018)
<b>1. Inspection requirements</b>					
Colour, pattern and surface finish	EN 438-8 Part 5.2.2.3	Due to the fact that wood is a natural product, each veneer may be considered as unique. Colour and structure differences are considered as normal. Singularities such as knots or resin inclusions are not considered as defects, but as a part of the décor. There are differences in light fastness performances depending on the wood species and the source of the wood.			
<b>2. Dimensional tolerances</b>					
Thickness (t)	EN 438-2 Part 5	8.0 ≤ t < 12.0 12.0 ≤ t < 16.0 16.0 ≤ t < 20.0 20.0 ≤ t < 25.0	mm	± 0.50 ± 0.60 ± 0.70 ± 0.80	
Flatness (f)	EN 438-2 Part 9	8.0 ≤ t < 10.0 10.0 ≤ t	mm/m	5 3	
Length and width	EN 438-2 Part 6	-	mm	+10 / -0	
Edge straightness	EN 438-2 Part 7	-	mm/m	1.5	
Edge squareness	EN 438-2 Part 8	-	mm/m	1.5	
<b>3. Physical properties</b>					
Dimensional stability at elevated temperatures	EN 438.2 Part 17	Cumulative dimensional change (t ≥ 8 mm)	% max. longgrain % max. crossgrain	0.3 0.6	
Resistance to impact with large diameter ball	EN 438-2 Part 21	Maximum height for which no visible surface cracking or imprint greater than 10 mm (t ≥ 8 mm)	mm	≥ 1,800	
Determination of graffiti resistance	ASTM D 6578:2000	Cleanability level	Permanent blue marker Red spray paint Black wax crayon Black water-based marker	3 4 2 1	
<b>4. Weather resistance requirements</b>					
Resistance to UV light	EN 438-2 Part 28 Rating according to EN 20105 – A02	Contrast	Grey scale rating	≥ 3	
		Aspect	Rating	≥ 4	
Resistance to artificial weathering (including light fastness)	EN 438-2 Part 29 Rating according to EN 20105 – A02	Contrast	Grey scale rating	≥ 3	
		Appearance	Rating	≥ 4	
<b>5. CE Safety requirements</b>					
Water vapour permeability	EN 438-7 Part 4.4	Wet cup method Dry cup method	μ	110 250	
Resistance to fixings	EN 438-7 Part 4.5	Screw holding value t ≥ 8 mm Screw holding value t ≥ 10 mm	N	≥ 3,000 ≥ 4,000	
Flexural strength	EN ISO 178	Longrain Crossgrain	MPa	≥ 80 ≥ 80	
Flexural modulus	EN ISO 178	Longrain Crossgrain	MPa	≥ 9,000 ≥ 9,000	
Thermal resistance/conductivity	EN 12664	Thermal conductivity (λ)	W/m K	0.266	0.22
Resistance to climatic shock	EN 438.2 Part 19	Appearance Flexural strength Flexural modulus	Rating Ds rating Dm rating	≥ 4 ≥ 0.80 ≥ 0.80	
Density	EN ISO 1.183	Density	g/cm <sup>3</sup>	≥ 1.35	
Resistance to wet conditions	EN 438-2 Part 15	Moisture absorbed Appearance	% Rating	≤ 5	≤ 8
<b>6. CE Safety requirements - Reaction to fire</b>					
Reaction to fire	EN 13.501-1	Euroclass t ≥ 8 mm	Classification	C-s1,d0	B-s1,d0
Provided that the laminates are stored in the manner and conditions recommended by the manufacturer.					
<b>Board measurements</b>					
Length (grain direction) x width	2440 x 1220 mm	Thickness*	8, 10, 12, 14, 18, 20 and 22 mm		

EDITING & PRODUCTION  
PARKLEX PRODEMA

ART DIRECTION  
JAUME RAMÍREZ STUDIO

TEXT  
CHESCA GUIM

CORPORATE PHOTOGRAPHY  
MARÇAL VAQUER  
YOSIGO

PROJECT PHOTOGRAPHY  
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KEVIN G. SMITH

PRINTED IN BARCELONA  
BY AGPOGRAF



[WWW.PARKLEXPROMA.COM](http://WWW.PARKLEXPROMA.COM)

12 County Shed 120 of 150

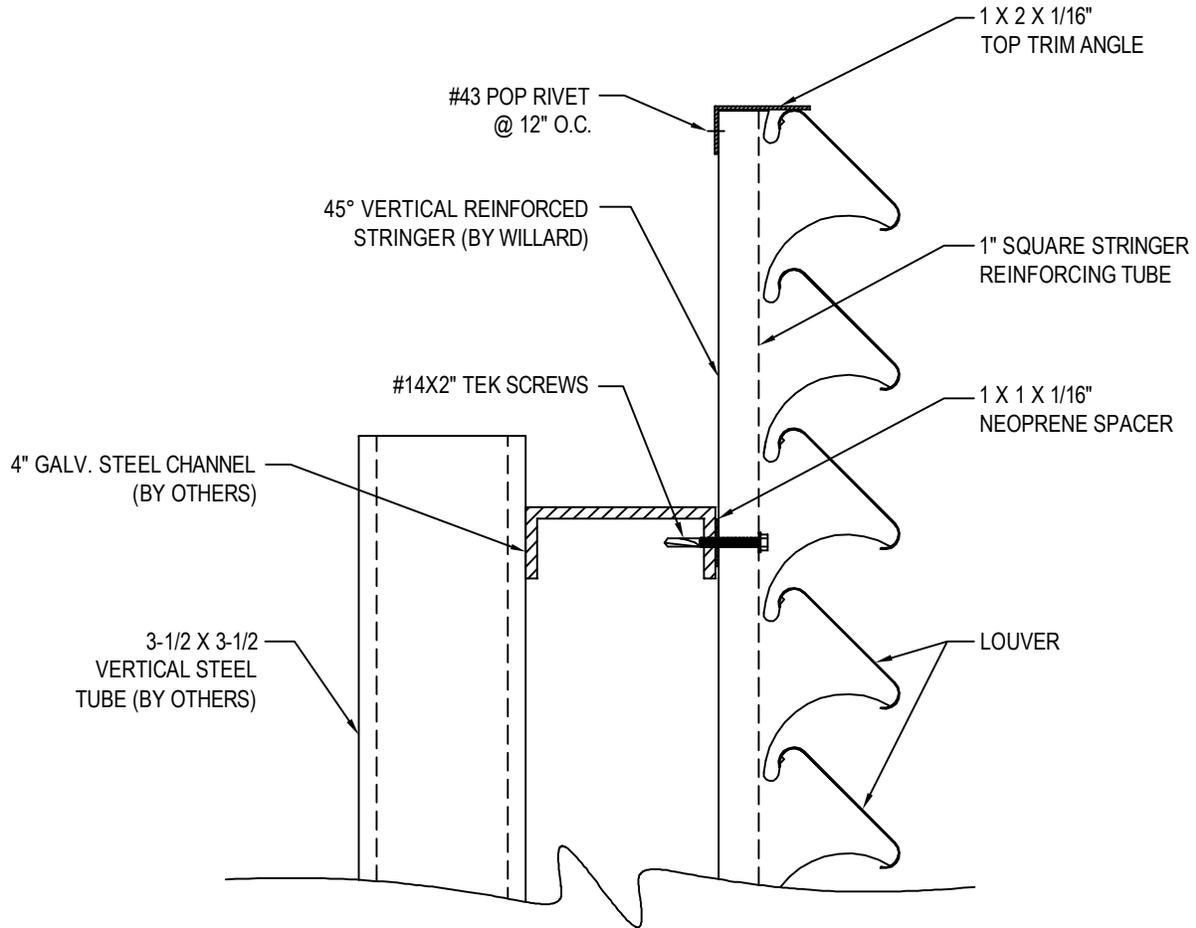


## REVEAL PANEL WITH RECESS TRIM

Craft cleaner facades for an ultra-contemporary aesthetic. The hidden trim blends discreetly with the Reveal Panel, accentuating its smooth look while creating clean shadow lines. Reveal Recess trim is available primed and is compatible with primed Reveal panels.

### Panel Specs

Thickness:	<b>0.438"</b>
Weight:	<b>3.1 LBS./SQ. FT.</b>
Length:	<b>95.5"</b>
<hr/>	
Width:	<b>47.5"</b>
Color:	<b>COMES PRIMED FOR PAINT</b>

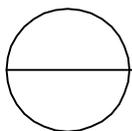


DETAIL C

SEE DRAWING 4936-058 FOR COMPLETE SECTION VIEW

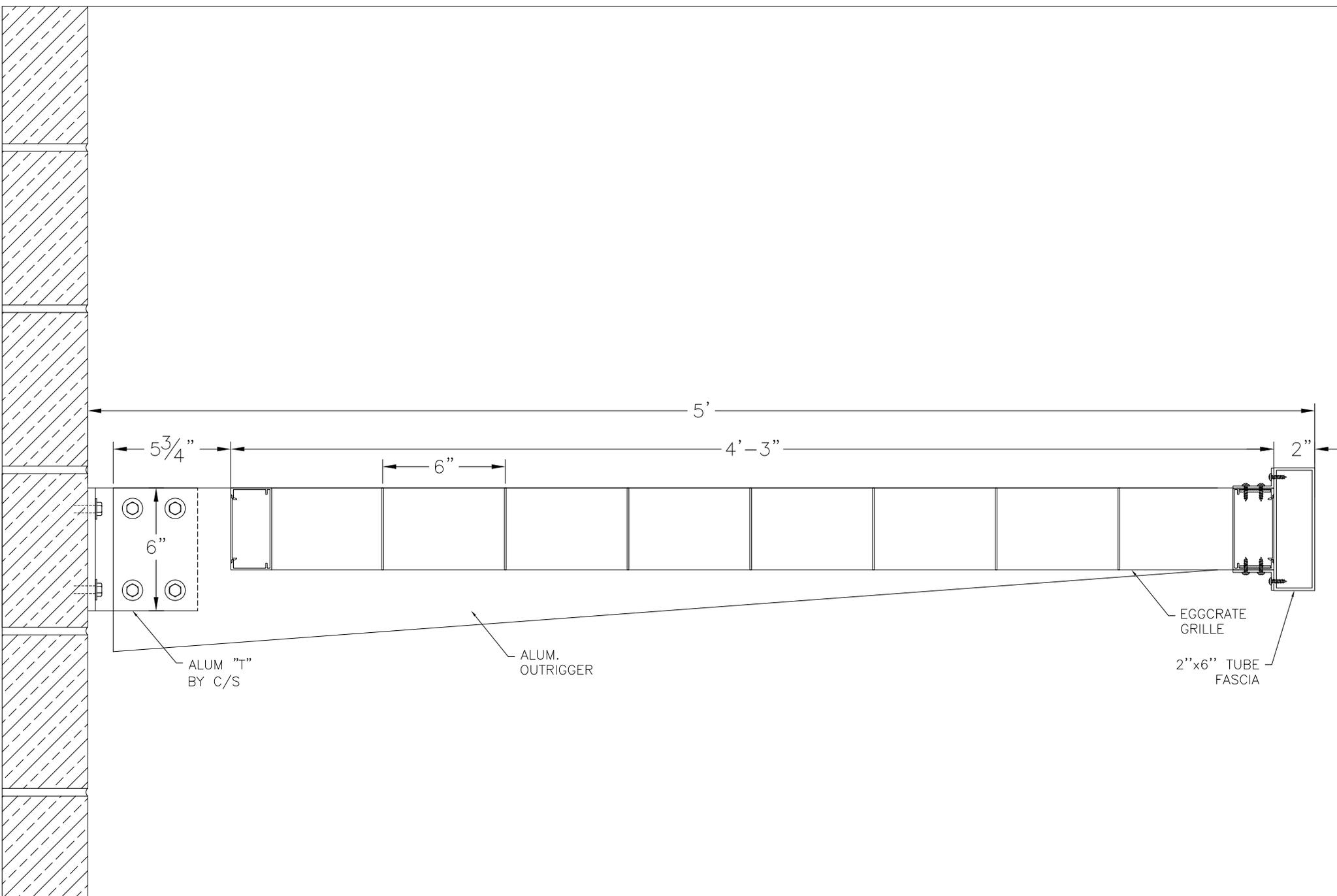
NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 4936-062.



**45 DEGREE LOUVERED SCREEN**

DETAIL C



ALUM "T"  
BY C/S

ALUM.  
OUTRIGGER

EGGCRATE  
GRILLE

2"x6" TUBE  
FASCIA

SECTION



**Construction Specialties™**

49 Meeker Avenue, Cranford, NJ 07016-3198  
Phone (800) 522-2222 • Fax (908) 676-2222

PROJECT: SHADOWLINE SUNSHADE  
REVISION:  
SCALE: N/A

TITLE: ASSEMBLY  
DATE: 11-04-04  
SHEET NO : 1 OF 4  
DRW NO : RD-305-5

12 County Shed 123 of 150

BY: J. BLAKE

## **PREVIOUS SUBMISSIONS**

12 County Shed Road  
Desai Hotel



### Site Design:

The site location is part of the hotel development which includes the Home 2 Suites and the Tru Hotel which is under construction. The hotel is located along a planned and permitted secondary road parallel with the Tru hotel. The site configuration includes a new parking court and drop-off. Along the continued access road along the North of the property, a new 3,600 commercial building will be located and face Trask Parkway and include parking locations for food trucks.

The main vehicular access will be from Trask parkway along the access road which provide access to the parking court and the drop-off area. The parking area for the new development provides an additional 88 parking spaces. This provides an excess of 26 spaces of parking between the three hotels and commercial buildings. Additional parking information is illustrated on the submitted site plan. The site will also include bike racks for the hotel and commercial building. The dumpster location is at the rear of the property along Ice House Road similar to the other hotel buildings.

### Building Design

The new building is a five-story wood structure. The first floor will contain meeting rooms, lobby and hotel check-in, fitness center and hotel back of house services. Floors two through five will contain a mix of double and king suites. The building will be constructed with a fire suppression system and provide a location for installation of a mobile emergency generator.

### Tree Preservation

The majority of the trees were previously cleared from site, the following additional trees will need to be removed for the new development: 25 Magnolia, 15 Magnolia, 14 Magnolia, 15 Magnolia, 10 Magnolia, 16 Magnolia, 24 Holly, 14 Palm, 10 Palm. Mitigation for removal of these trees will be addressed at final submittal with our landscape plans.

### Wetlands

The proposed parcel does not contain any wetlands.

### Fire Protection & Emergency Access

Access to the new building via vehicle is provided for 100% of the building sides from the parking lot and existing adjacent roads. The new building will be sprinkled. The site will be served by proposed fire hydrants connected to the BJWSA water system. A new fire department connection will be provided for the building.

### Utilities

Existing offsite water and sewer, owned and maintained by BJSWA, will be confirmed and utilized for the subject property development. The new water line will contain domestic service for the new building, fire service for the new building, a new hydrant, and irrigation services for the lot. The new sewer main will provide services to the new building along with a service for the grease interceptor.

Electrical service will be provided by South Carolina Electric and Gas. A new transformer will likely be required onsite to serve the subject property.

Telephone and Cable services will be provided by Hargray Communications.

### Stormwater Drainage

The subject property is a portion of a larger planned tract. The subject parcel will drain to this treatment area designed to meet or exceed SCDHEC/OCRM and City of Beaufort standards. On-

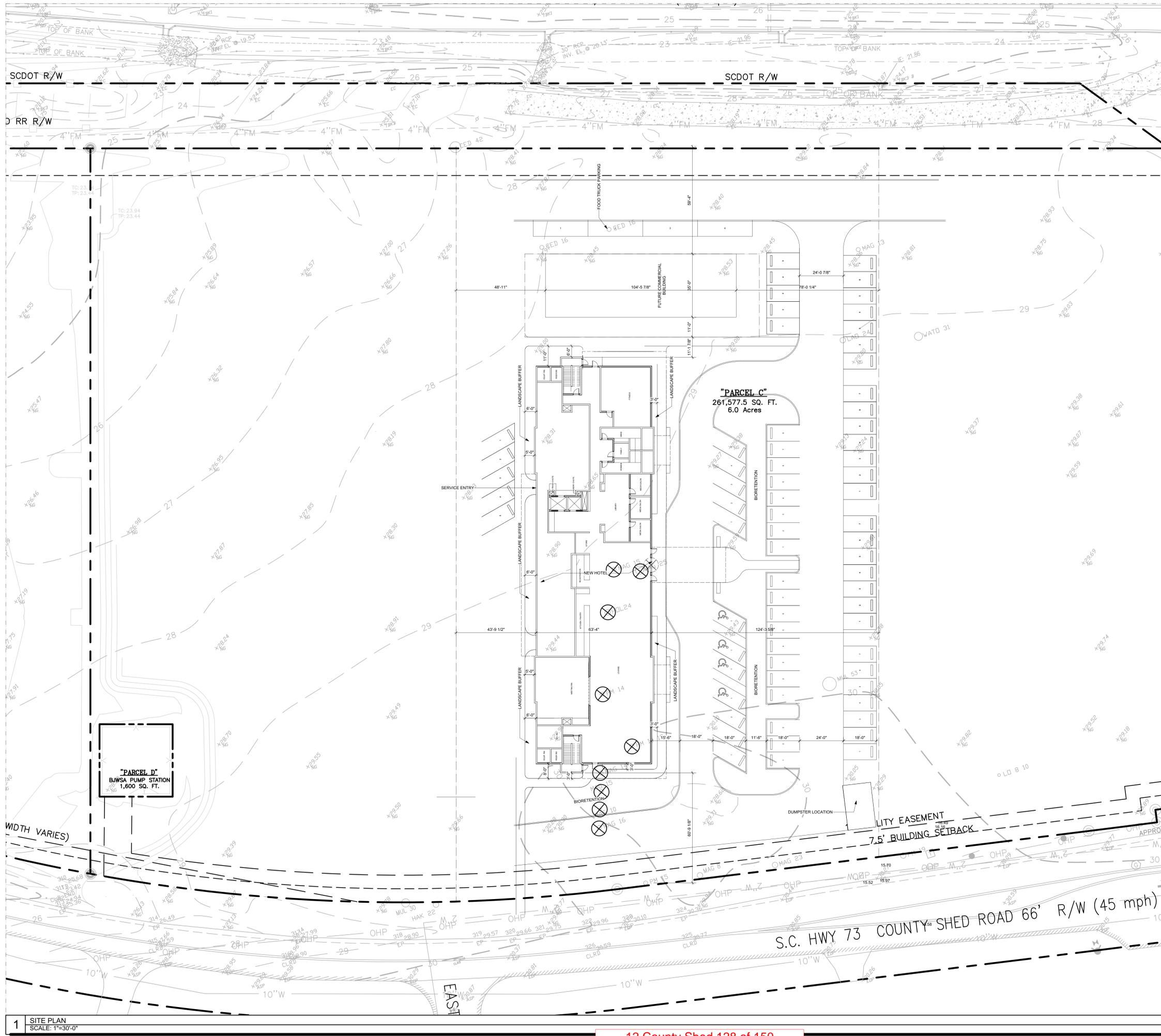
site runoff will be collected in a series of grate inlets and bioretention and conveyed directly into the master drainage pipe/ditch conveyance network located internal to the property.

Maintenance Responsibilities

The owner will be responsible for maintaining the development in accordance with all City requirements and guidelines.

Dedicated Improvements

All proposed improvements, outside of water and sewer services, will be owned and maintained as described above.



**PARKING INFORMATION**

**EXISTING HOTEL DEVELOPMENT**

PARKING REQUIRED  
HOTELS (1 PER ROOM AT  
191 ROOMS)  
COMMERCIAL (1 PER 400  
GROSS AT 1,500)  
20% REDUCTION  
PARKING PROVIDED  
EXCESS PARKING

191  
4  
(39)  
194  
38

**NEW DEVELOPMENT**

REQUIRED PARKING  
HOTEL (1 PER ROOM AT  
116 ROOMS)  
COMMERCIAL (1 PER 400  
GROSS AT 3,600)  
20% REDUCTION  
TOTAL PARKING REQUIRED  
PARKING PROVIDED  
PARKING DEFICIENCY  
EXCESS FROM HOTELS  
TOTAL PARKING EXCESS

116  
9  
(25)  
100  
88  
(12)  
38  
26

NOTE: PARKING CALCULATIONS DO NOT  
INCLUDE SPACES DESIGNATED FOR FOOD  
TRUCK PARKING

**IMPERVIOUS AREA**

SITE: 4.04 ACRES  
IMPERVIOUS: 1.08 ACRES - 27%



architecture + planning

SM7 DESIGN LLC  
1011 BAY STREET, STE 314  
BEAUFORT SC 29002

PROJECT:  
**THE DESAI HOTEL**

ADDRESS:  
**BEAUFORT, SC**

ISSUE / REVISION:

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DRAWING SCALES ARE PROVIDED FOR REFERENCE ONLY. DO NOT  
SCALE DRAWINGS

DRAWN BY: T. MICHAELS  
REVIEWED BY: D. SKLAR  
PROJECT ID: 20-012  
SHEET TITLE:

**OVERALL SITE PLAN  
- TREE REMOVAL**



**A001**



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
\$200/meeting
\$500/special meeting

OFFICE USE ONLY: Date Filed: Application #: Zoning District: Arch. Survey? Y N

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/design-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: [ ] Conceptual [x] Preliminary [ ] Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [ ] Yes [x] No

Applicant, Property, and Project Information

Applicant Name: SM7 DESIGN LLC - THOMAS MICHAELS

Applicant Address: 1011 BAY ST. STE 314 - BEAUFORT, SC

Applicant E-mail: THOMAS@SM7DESIGN.COM Applicant Phone Number: 843-252-2454

Applicant Title: [ ] Homeowner [ ] Tenant [x] Architect [ ] Engineer [ ] Developer

Owner (if other than the Applicant):

Owner Address:

Project Name: DESAI HOTEL

Property Address: 12 COUNTY SHED ROAD - BEAUFORT, SC 29902

Property Identification Number (Tax Map & Parcel Number): R 120 026 000 0160 000

Date Submitted: 7/16/2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 7/16/2020

Owner's Signature: [Signature] Date: 7/16/2020

(The owner's signature is required if the applicant is not the owner.)



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Required Project Information

Project Name: DESAI HOTEL
Property Size in Acres: Proposed Building Use: HOTEL/COMMERCIAL
Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
116 ROOM HOTEL/ 3600 SQ FT COMMERCIAL
# of Parking Spaces Required: SEE SITE # of Parking Spaces Provided: SEE SITE
Is this project a redevelopment project: Y N
Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative and outline any specific questions you would like addressed.

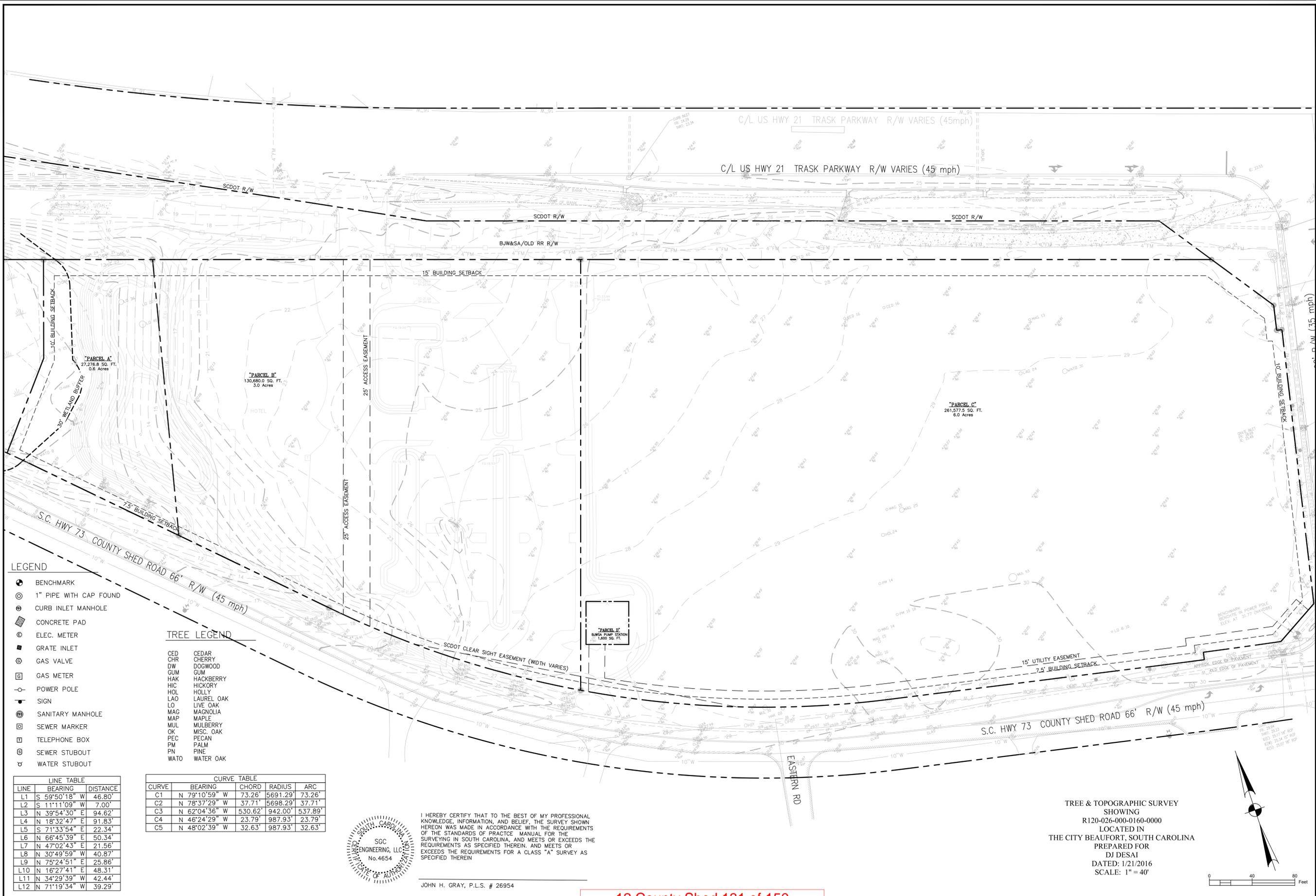
SEE ATTACHED DOCUMENT

Multiple horizontal lines for project narrative input.

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

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- LEGEND**
- ⊕ BENCHMARK
  - ⊙ 1" PIPE WITH CAP FOUND
  - ⊕ CURB INLET MANHOLE
  - ▣ CONCRETE PAD
  - ⊙ ELEC. METER
  - ⊙ GRATE INLET
  - ⊙ GAS VALVE
  - ⊙ GAS METER
  - ⊙ POWER POLE
  - ⊙ SIGN
  - ⊙ SANITARY MANHOLE
  - ⊙ SEWER MARKER
  - ⊙ TELEPHONE BOX
  - ⊙ SEWER STUBOUT
  - ⊙ WATER STUBOUT

- TREE LEGEND**
- |      |            |
|------|------------|
| CED  | CEDAR      |
| CHR  | CHERRY     |
| DW   | DOGWOOD    |
| GUM  | GUM        |
| HAK  | HACKBERRY  |
| HIC  | HICKORY    |
| HOL  | HOLLY      |
| LAO  | LAUREL OAK |
| LO   | LIVE OAK   |
| MAG  | MAGNOLIA   |
| MAP  | MAPLE      |
| MUL  | MULBERRY   |
| OK   | MISC. OAK  |
| PEC  | PECAN      |
| PM   | PALM       |
| PN   | PINE       |
| WATO | WATER OAK  |

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 59°50'18" W	46.80'
L2	S 11°11'09" W	7.00'
L3	N 39°54'30" E	94.62'
L4	N 18°32'47" E	91.83'
L5	S 71°33'54" E	22.34'
L6	N 66°45'39" E	50.34'
L7	N 47°02'43" E	21.56'
L8	N 30°49'59" W	40.87'
L9	N 75°24'51" E	25.86'
L10	N 16°27'41" E	48.31'
L11	N 34°29'39" W	42.44'
L12	N 71°19'34" W	39.29'

**CURVE TABLE**

CURVE	BEARING	CHORD	RADIUS	ARC
C1	N 79°10'59" W	73.26'	5691.29'	73.26'
C2	N 78°37'29" W	37.71'	5698.29'	37.71'
C3	N 62°04'36" W	530.62'	942.00'	537.89'
C4	N 46°24'29" W	23.79'	987.93'	23.79'
C5	N 48°02'39" W	32.63'	987.93'	32.63'

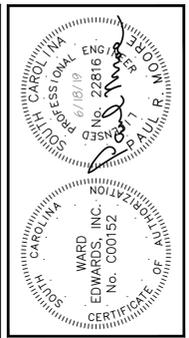
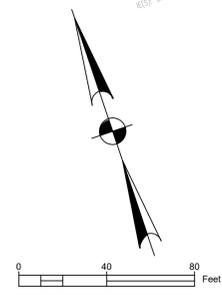


I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR THE SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JOHN H. GRAY, P.L.S. # 26954

12 County Shed 131 of 150

TREE & TOPOGRAPHIC SURVEY  
SHOWING  
R120-026-000-0160-0000  
LOCATED IN  
THE CITY BEAUFORT, SOUTH CAROLINA  
PREPARED FOR  
DJ DESAI  
DATED: 1/21/2016  
SCALE: 1" = 40'



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

**Ward Edwards**  
ENGINEERING

P.O. BOX 381, BLUFFTON, SOUTH CAROLINA 29910  
PH: (803) 837-5555 FAX: (843) 837-2536  
WWW.WARDEDWARDS.COM

**TRU HOTEL**  
CITY OF BEAUFORT, SOUTH CAROLINA  
**HD COMPANIES**  
BEAUFORT, SOUTH CAROLINA  
**EXISTING CONDITIONS PLAN**

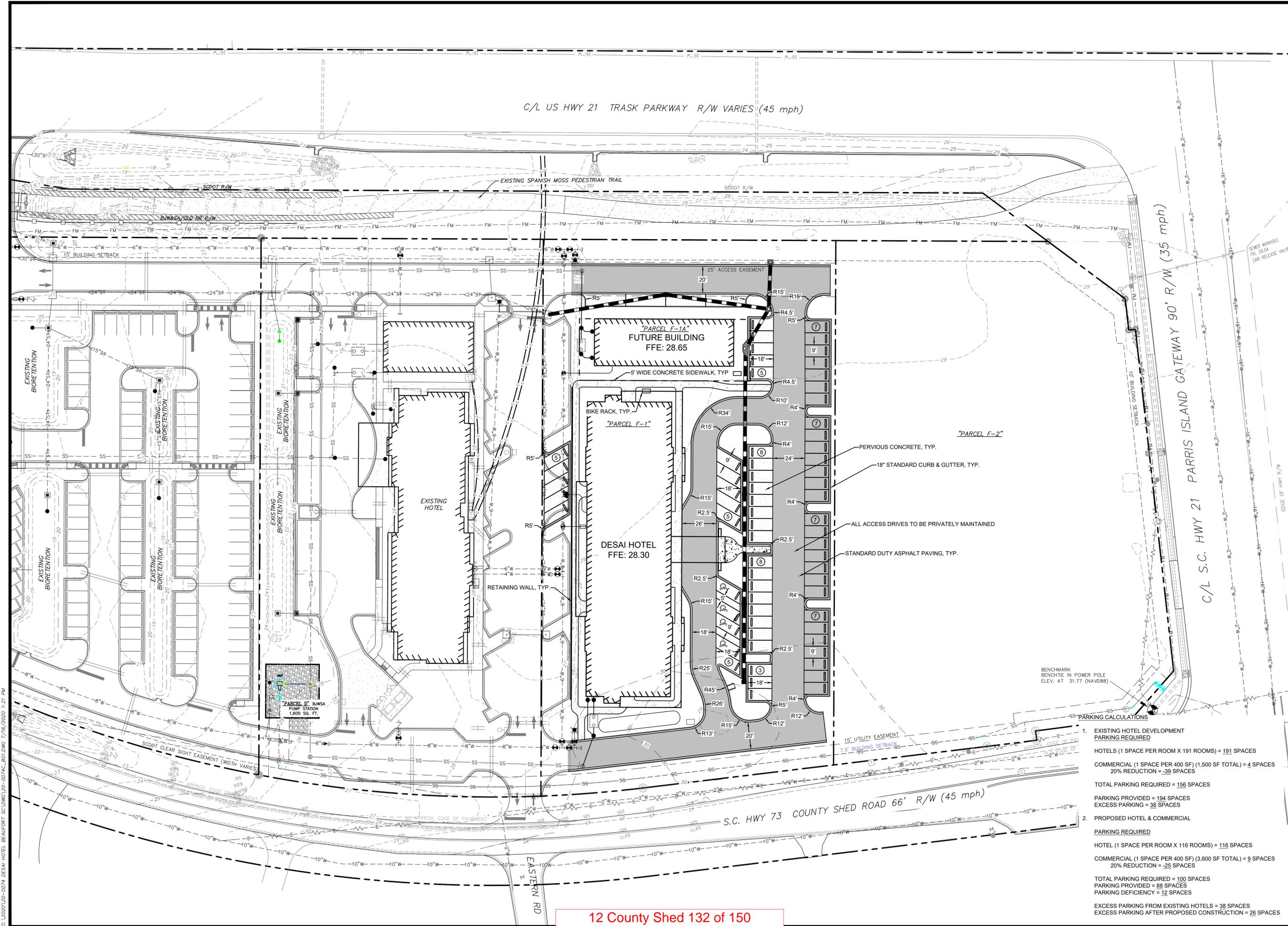
NOT FOR CONSTRUCTION  
 RELEASED FOR CONSTRUCTION

PROJECT #: 140217C  
DATE: 02/12/18  
DESIGNED BY: CAT  
CHECKED BY: PRM  
SCALE: 1"=40'

**SHEET C101**

FOR CONSTRUCTION

IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT, SCALE ACCORDINGLY



C/L US HWY 21 TRASK PARKWAY R/W VARIES (45 mph)

C/L S.C. HWY 21 PARRIS ISLAND GATEWAY 90' R/W (35 mph)

NO.	REVISION DESCRIPTION	DATE



**EMC ENGINEERING SERVICES, INC.**  
 10 Chatham Center South, Suite 100  
 Savannah, GA 31405  
 P: (912) 232-5530  
 F: (912) 232-5530  
 savannah@emc-eng.com  
 www.emc-eng.com

**CIVIL MARINE ENVIRONMENTAL**

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS  
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

**STAKING PLAN**  
**DESAI HOTEL**  
 12 COUNTY SHED ROAD  
 BEAUFORT, SOUTH CAROLINA  
 Prepared for:  
**HD COMPANIES**

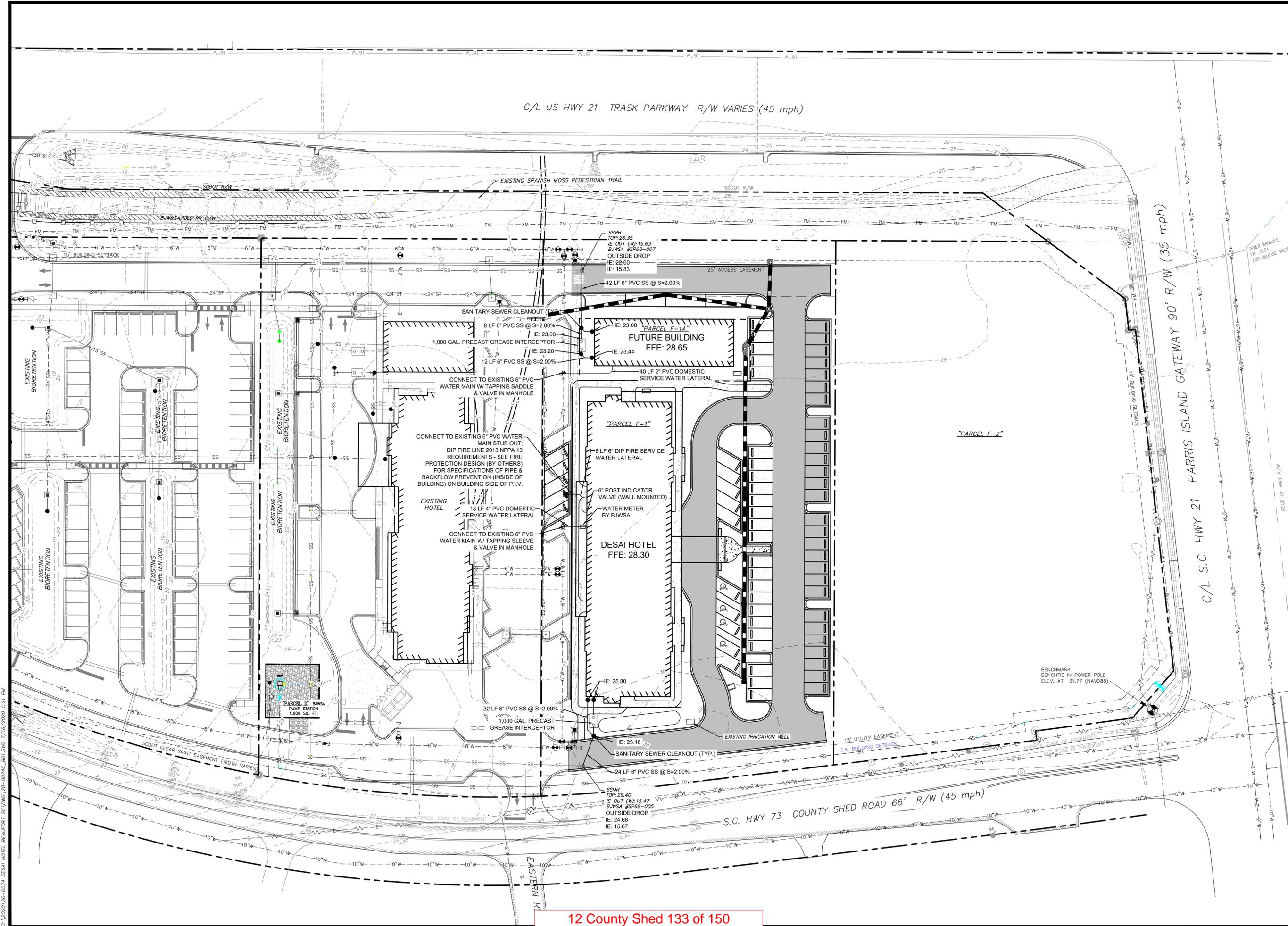
- EXISTING HOTEL DEVELOPMENT  
**PARKING REQUIRED**  
 HOTELS (1 SPACE PER ROOM X 191 ROOMS) = 191 SPACES  
 COMMERCIAL (1 SPACE PER 400 SF) (1,500 SF TOTAL) = 4 SPACES  
 20% REDUCTION = -39 SPACES  
**TOTAL PARKING REQUIRED = 156 SPACES**  
 PARKING PROVIDED = 194 SPACES  
 EXCESS PARKING = 38 SPACES
- PROPOSED HOTEL & COMMERCIAL  
**PARKING REQUIRED**  
 HOTEL (1 SPACE PER ROOM X 116 ROOMS) = 116 SPACES  
 COMMERCIAL (1 SPACE PER 400 SF) (3,600 SF TOTAL) = 9 SPACES  
 20% REDUCTION = -25 SPACES  
**TOTAL PARKING REQUIRED = 100 SPACES**  
 PARKING PROVIDED = 88 SPACES  
 PARKING DEFICIENCY = 12 SPACES  
 EXCESS PARKING FROM EXISTING HOTELS = 38 SPACES  
 EXCESS PARKING AFTER PROPOSED CONSTRUCTION = 26 SPACES

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	WARD EDWARDS
SURVEY DATE:	2016
CHECKED BY:	BWL
SCALE:	1" = 30'
DATE:	JUNE 2020

SHEET  
**5**  
 OF X

12 County Shed 132 of 150

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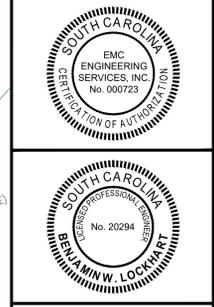


C/L US HWY 21 TRASK PARKWAY R/W VARIES (45 mph)

C/L S.C. HWY 21 PARRIS ISLAND GATEWAY 90' R/W (35 mph)

S.C. HWY 73 COUNTY SHED ROAD 66' R/W (45 mph)

NO.	REVISION DESCRIPTION	DATE



**EMC ENGINEERING SERVICES, INC.**  
 10 Chatham Center South, Suite 100  
 Savannah, GA 31405  
 P: (912) 232-5530  
 F: (912) 232-5530  
 savannah@emc-eng.com  
 www.emc-eng.com

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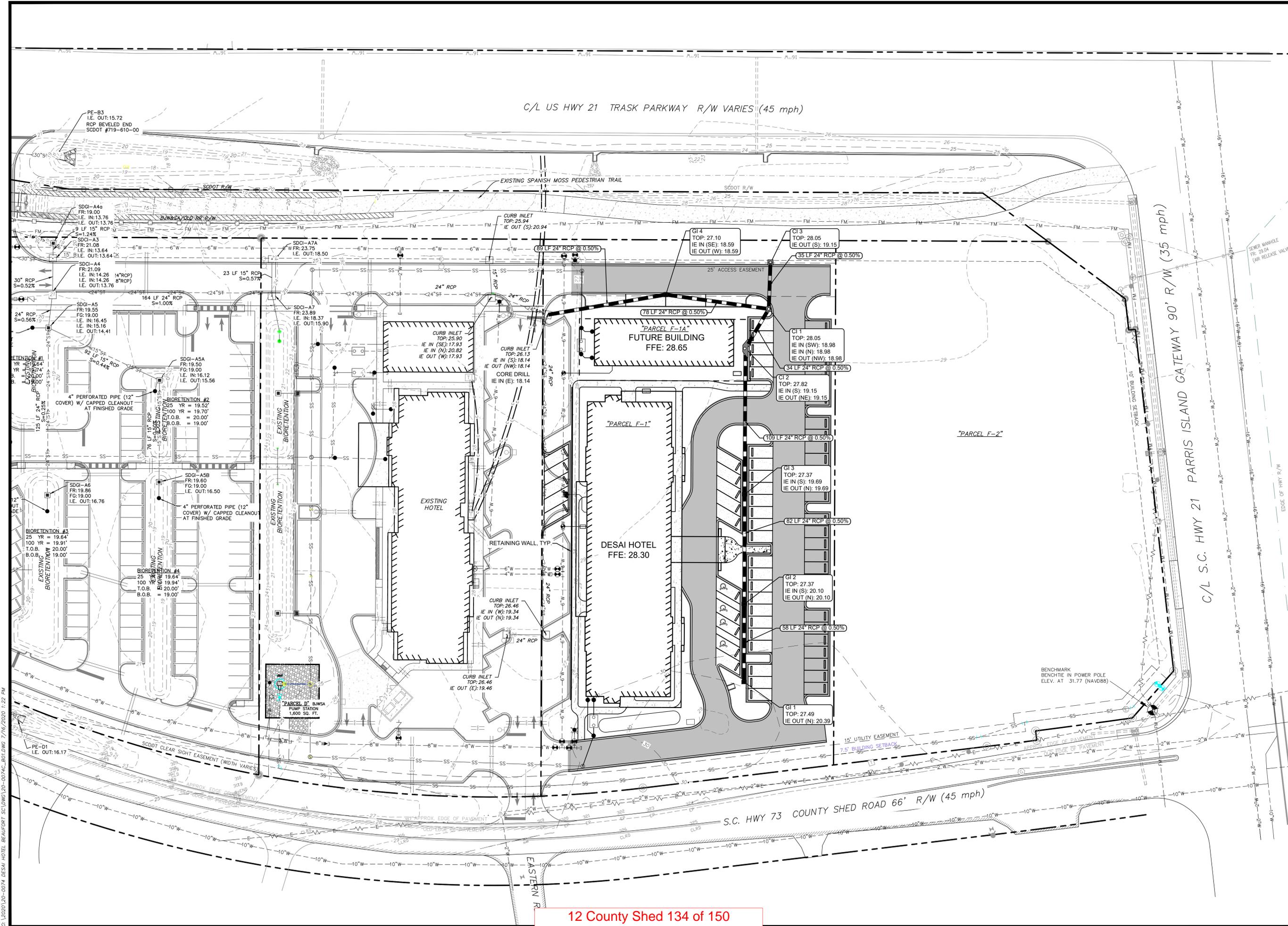
**UTILITY PLAN**

**DESAI HOTEL**  
 12 COUNTY SHED ROAD  
 BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	WARD EDWARDS
CHECKED BY:	BWL
SCALE:	1" = 30'
DATE:	JUNE 2020

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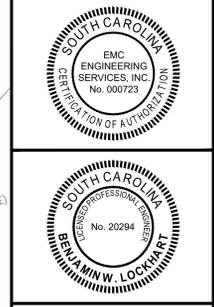


C/L US HWY 21 TRASK PARKWAY R/W VARIES (45 mph)

C/L S.C. HWY 21 PARRIS ISLAND GATEWAY 90' R/W (35 mph)

S.C. HWY 73 COUNTY SHED ROAD 66' R/W (45 mph)

NO.	REVISION DESCRIPTION	DATE



**EMC ENGINEERING SERVICES, INC.**  
 10 Chatham Center South, Suite 100  
 Savannah, GA 31405  
 P: (912) 232-9539  
 F: (912) 232-9539  
 savannah@emc-eng.com  
 www.emc-eng.com

**CIVIL MARINE ENVIRONMENTAL**

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS  
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

**DRAINAGE PLAN**

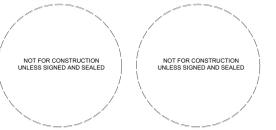
**DESAI HOTEL**  
 12 COUNTY SHED ROAD  
 BEAUFORT, SOUTH CAROLINA

Prepared for:  
**HD COMPANIES**

PROJECT NO.:	20-0074
DRAWN BY:	CPR
DESIGNED BY:	CPR
SURVEYED BY:	WARD EDWARDS
SURVEY DATE:	2016
CHECKED BY:	BWL
SCALE:	1" = 30'
DATE:	JUNE 2020

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PROJECT:  
**TEST PROJECT**  
TITLE

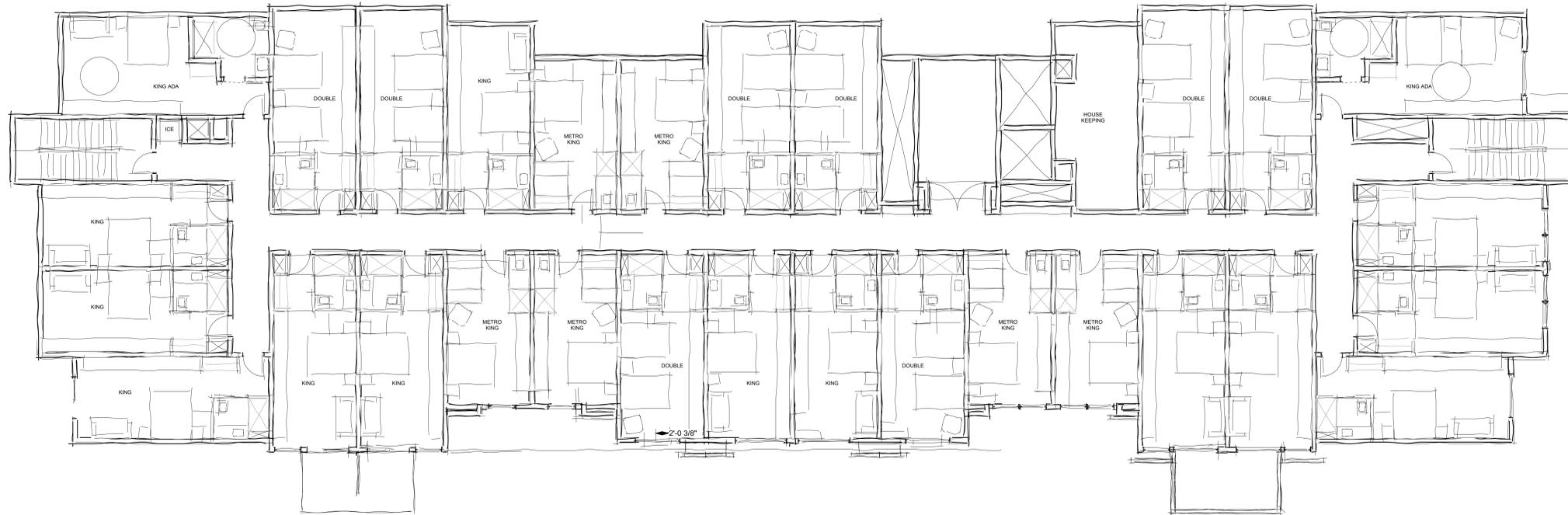
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**TEST PROJECT**  
ADDRESS

ISSUE / REVISION:

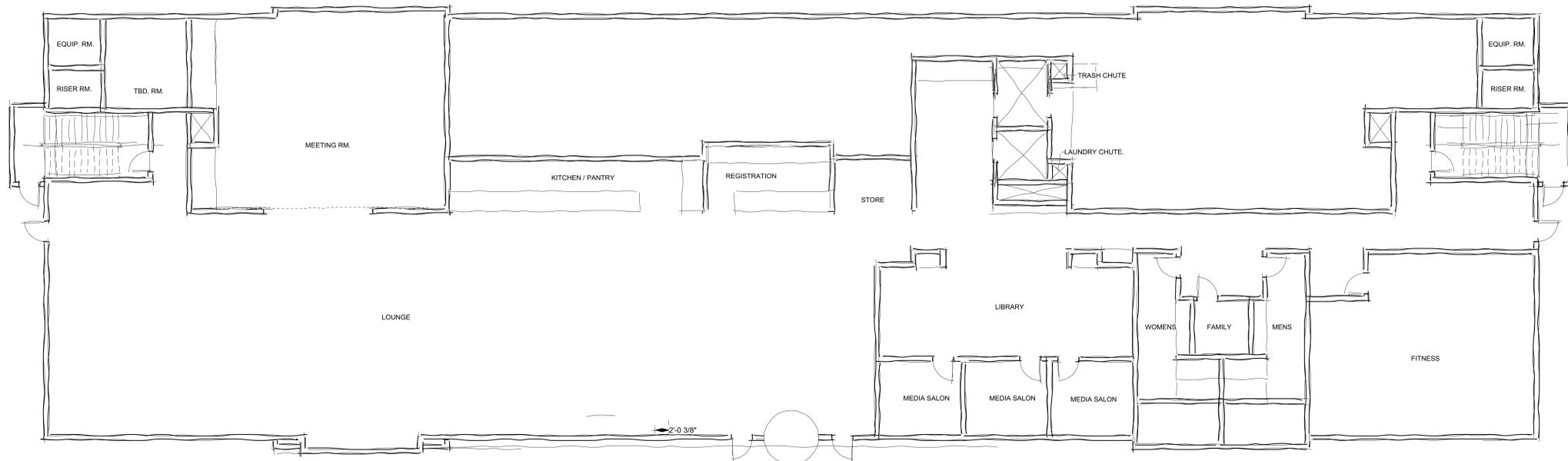
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REVIEWED BY: \_\_\_\_\_  
PROJECT ID: \_\_\_\_\_ PROJECT ID  
SHEET TITLE:

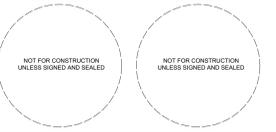
**PLANS**



**2** TYPICAL FLOOR (2-5)  
SCALE: 1/8" = 1'-0"



**1** FIRST FLOOR  
SCALE: 1/8" = 1'-0"



PROJECT:  
TEST PROJECT  
TITLE

ADDRESS:  
TEST PROJECT  
ADDRESS

ISSUE / REVISION:

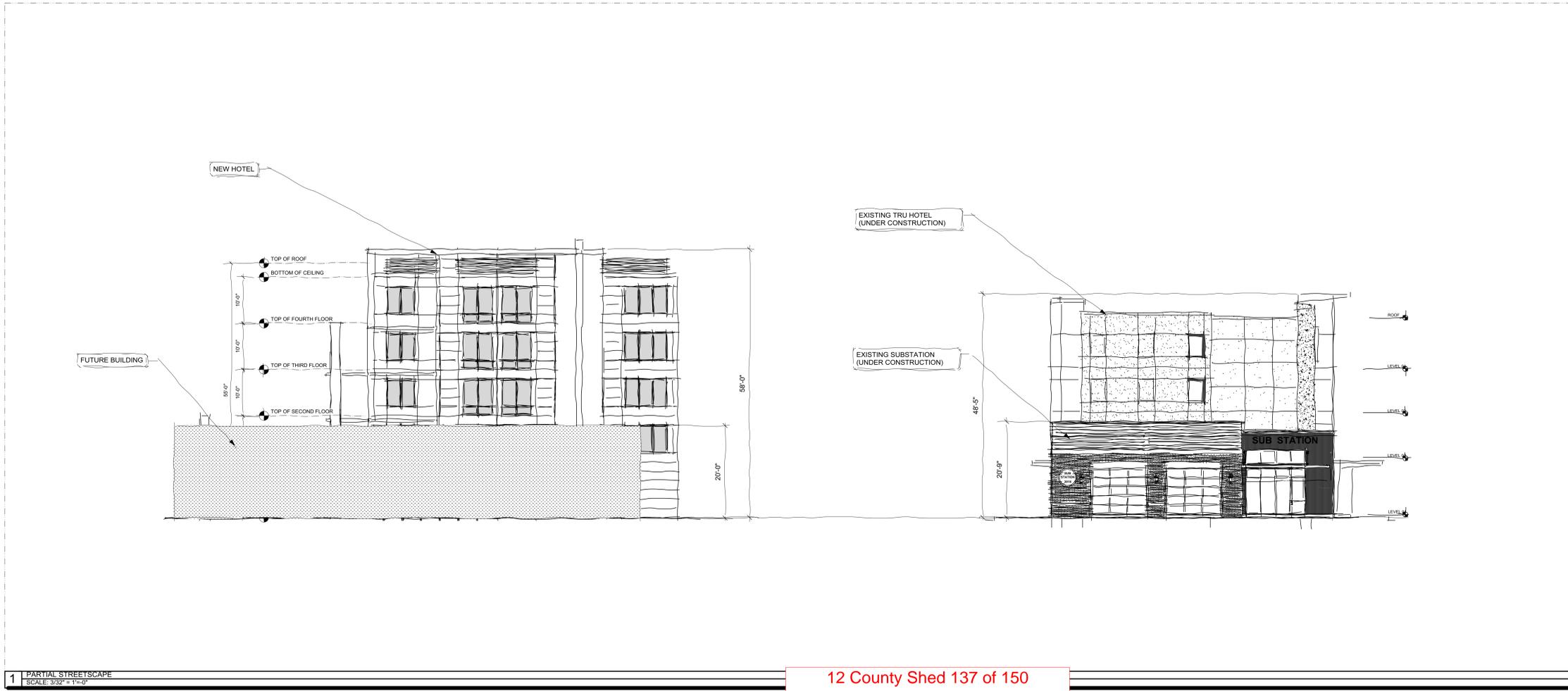
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DRAWN BY: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_  
PROJECT ID: \_\_\_\_\_ PROJECT ID  
SHEET TITLE:

PARTIAL  
STREETSCAPE

A303

ORIGINAL SHEET SIZE: 30x42

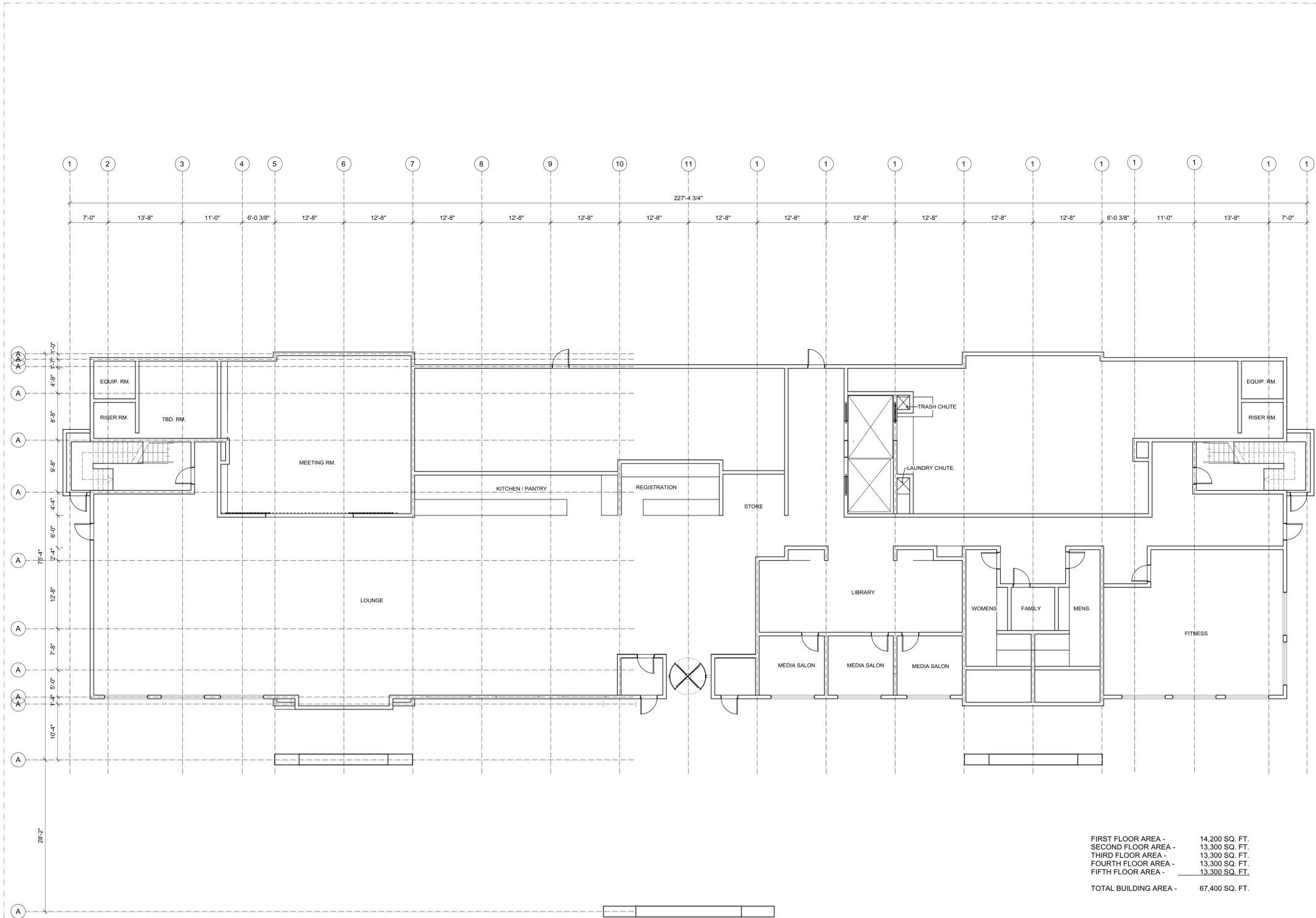




PROJECT:  
**DESAI HOTEL**

ADDRESS:  
**BEAUFORT, SC**

ISSUE / REVISION:



FIRST FLOOR AREA -	14,200 SQ. FT.
SECOND FLOOR AREA -	13,300 SQ. FT.
THIRD FLOOR AREA -	13,300 SQ. FT.
FOURTH FLOOR AREA -	13,300 SQ. FT.
FIFTH FLOOR AREA -	13,300 SQ. FT.
<b>TOTAL BUILDING AREA -</b>	<b>67,400 SQ. FT.</b>

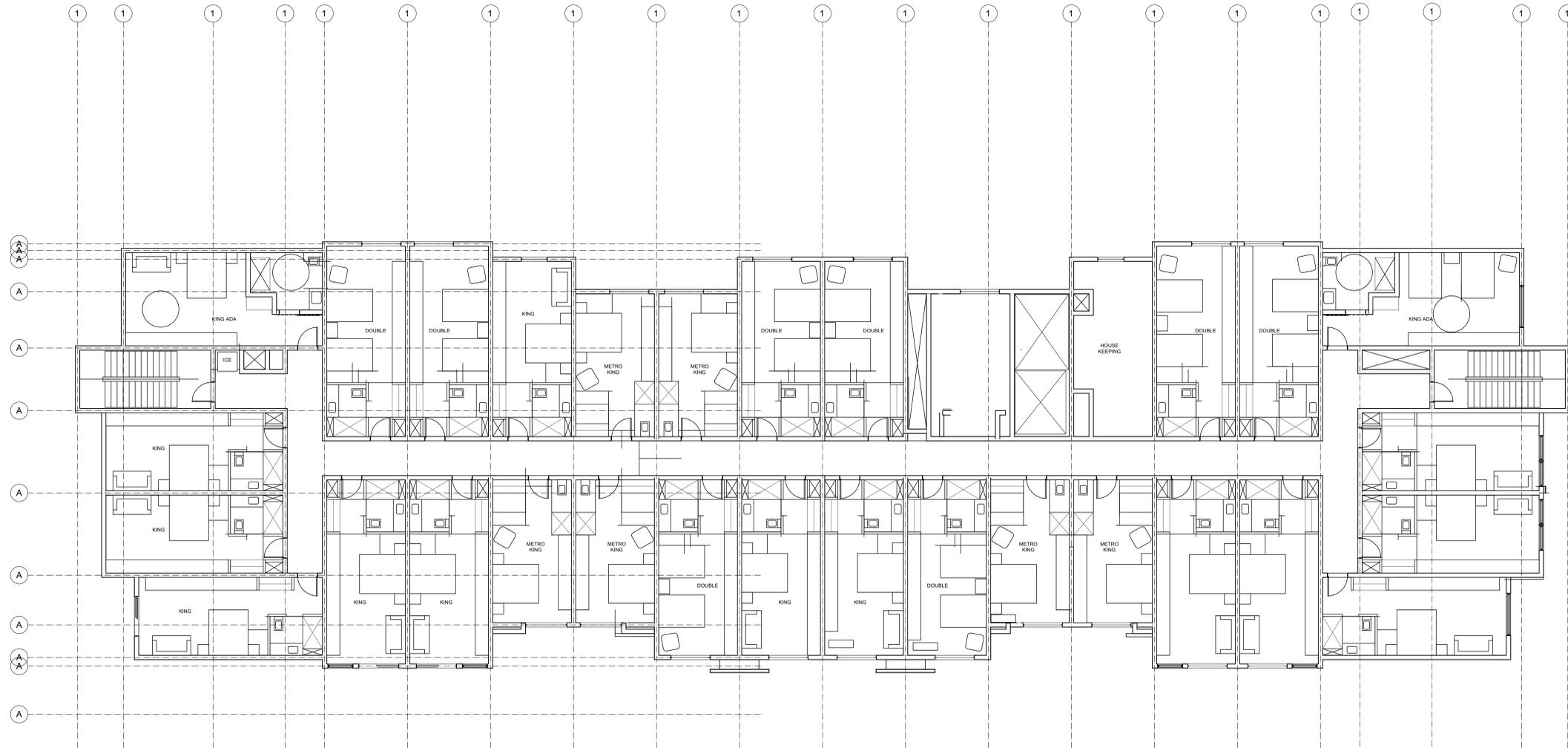




PROJECT:  
**DESAI HOTEL**

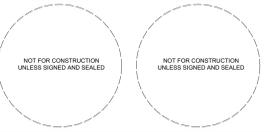
ADDRESS:  
**BEAUFORT, SC**

ISSUE / REVISION:



FIRST FLOOR AREA - 14,200 SQ. FT.  
SECOND FLOOR AREA - 13,300 SQ. FT.  
THIRD FLOOR AREA - 13,300 SQ. FT.  
FOURTH FLOOR AREA - 13,300 SQ. FT.  
FIFTH FLOOR AREA - 13,300 SQ. FT.  
TOTAL BUILDING AREA - 67,400 SQ. FT.





PROJECT:  
TEST PROJECT  
TITLE

ADDRESS:  
TEST PROJECT  
ADDRESS

ISSUE / REVISION:

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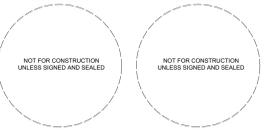
DRAWN BY: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_  
PROJECT ID: \_\_\_\_\_ PROJECT ID  
SHEET TITLE:

ELEVATIONS



2 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



PROJECT:  
**TEST PROJECT**  
TITLE

ADDRESS:  
**TEST PROJECT**  
ADDRESS

ISSUE / REVISION:

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DRAWN BY: \_\_\_\_\_  
REVIEWED BY: \_\_\_\_\_  
PROJECT ID: \_\_\_\_\_ PROJECT ID  
SHEET TITLE:

**ELEVATIONS**

**A302**

ORIGINAL SHEET SIZE: 30x42



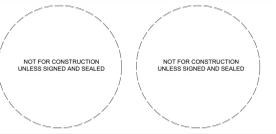
**3** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



**2** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



**1** REAR ELEVATION  
SCALE: 1/8" = 1'-0"



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902

ISSUE / REVISION:

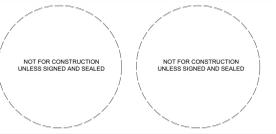


1 FRONT ELEVATION  
Scale: Actual Size

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SCALE DRAWINGS. ORIGINAL SHEET SIZE: 30x42

DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**COLOR RENDERING**



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

ISSUE / REVISION:

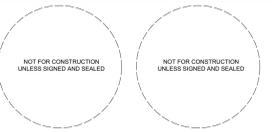


2 REAR ELEVATION  
Scale: 1.25X

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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**COLOR RENDERING  
2**



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

ISSUE / REVISION:



3 SIDE ELEVATION  
Scale: Actual Size

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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**COLOR RENDERING  
3**



PROJECT:  
**DESAI HOTEL -  
BEAUFORT**

ADDRESS:  
**12 COUNTY SHED  
ROAD  
BEAUFORT, SC  
29902**

ISSUE / REVISION:

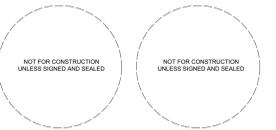


1 [Drawing Title]  
Scale: Actual Size

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DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: 20-012  
SHEET TITLE:

**COLOR RENDERING**



PROJECT:  
DESAI HOTEL

ADDRESS:  
BEAUFORT, SC

ISSUE / REVISION:



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SCALE DRAWINGS. ORIGINAL SHEET SIZE: 30x42

DRAWN BY: T. Michaels  
REVIEWED BY: T. Michaels  
PROJECT ID: PROJECT ID  
SHEET TITLE:

3D IMAGES



# Design Review Board Meeting Staff Report

From the Department of Community and Economic Development  
14 July 2022

## 1 SUMMARY OF REQUEST

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### 12 County Shed Road/Desai Hotel, New Construction

Applicant: Thomas Michaels Jr., Architect

In this application, the applicant requesting final approval for a new five-story, 116-room hotel at 12 County Shed Road. The site configuration includes a new parking lot and drop-off area.

This is proposed new construction of a new hotel on a currently vacant lot.

Background: A previous application for this project received Preliminary Approval with Conditions at the August 13, 2020, Design Review Meeting.

## 2 FACTS

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<b>Property Address:</b>	12 County Shed Road
<b>Parcel ID:</b>	R120 026 000 0160 0000
<b>Case Number:</b>	20-07 DRB.1
<b>Applicant:</b>	<b>Thomas Michaels, Architect</b>
<b>Type of Request:</b>	Preliminary New Construction
<b>Zoning:</b>	T5-UC / RMX
<b>Current Use:</b>	Vacant
<b>Proposed Use:</b>	Hotel

### **District Development Standards for T5-UC:**

- **Setback requirements – Primary Structure:**
  - *Front- 0' min./15 ft. max.*
  - *Rear setback – 5' min.*
  - *Side Corner/Alley – 0' min./15' max.*
  - *Side Interior – 0' min.*
- **Maximum Lot Coverage:** 100%
- **Frontage Buildout:** 60% Min
- **Conditional Uses:** Retail with Drive-Thru Facilities are conditional in T5-UC

### **References:**

- The Beaufort Code

### 3 STAFF COMMENTS

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#### **Staff Acknowledgements:**

- A. This project was last reviewed at a Design Review Board meeting on August 13, 2020, where it was granted preliminary approval with conditions noted.
  
- B. T5-UC allows a maximum of five (5) stories. A habitable/occupiable roof was included by the applicant in the submittal documents. The habitable/occupiable roof counts as a half story per section 2.4.1.D building form diagram on page 16 of the Beaufort Code. Staff communicated with the applicant that the habitable/occupiable roof is not compliant with the code as it takes the structure to 5.5 stories. With the applicant's permission, staff has removed the sections on the drawings related to habitable/occupiable roof.

#### **Staff Conditions:**

- 1. Applicant noted within the project narrative that the overall roof height from ground to roof has increased by 7 feet total to accommodate mechanical equipment within all five floors. Applicant to note that per section 2.6.2.D.4, the ground floor height of multi-story commercial buildings shall be a minimum of 12 feet from finished floor to ceiling. Per section 9.12.1.B, the administrator shall have the authority to authorize modification of up to 10% from any numerical standard set forth in article 2 and article 4 of this Code. To help reduce the height increase of the overall building, the administrator grants a 10% reduction to the 12 feet ground floor height requirement. The ground floor height as measured from finished floor to finished ceiling must be a minimum of 10.8 feet. Applicant to consider lowering the ground floor height accordingly from 12' to 10.8 feet.
  
- 2. Given the applicant's revision to include stair towers and elevator to access the roof (now for servicing mechanical equipment and not an occupied roof) the overall height of the top of building increased from 58 feet (ground to parapet wall) to almost 71 feet (ground to top of stair towers). Note the central aluminum roof canopy feature is not dimensioned in either the preliminary or current proposed elevations. Staff is concerned about the overall height of this structure. Staff recommends the applicant consider reducing the height of the penthouses (stair towers and elevator) and possibly eliminating the elevator penthouse all together.
  
- 3. The applicant is proposing three major cladding materials on the project which is supported by the Beaufort Code Section 4.6.3.A.1. The three materials are brick, cementitious panels, and wood panels. There are minor metal elements used as accent material. Staff offers the following:
  - a. Staff does not support the use of the proposed wood cladding panels on the project. Exposed transparent wood finish on exterior elements is not typical to Beaufort. Staff recommends opaque finished panels such as cementitious panels butted with small reveal between individual panels. Staff further recommends the applicant study the color for such areas.
  
  - b. Staff recommends the applicant extend the brick base up to the second floor rather than terminating at the ground floor windowsills (2 feet high) as currently presented.

Extending the brick to encompass the entire ground floor walls will reduce the horizontal banding effect and visually reduce the scale of the building. The lower brick base can remain as proposed on the vertical white cementitious panel columns (east and west facades) and at the Porte cochere element. As covered in comment 4 below, the current proposed wood panels at the base of the structure is at odds with the Beaufort Code in that visually light material is below and supporting visually heavy material.

- c. Staff recommends the applicant restudy the color of the entry roof accent structure. The dark bronze color seems visually heavy. Staff recommends the applicant provide a detailed section through this roof accent structure to better understand the design and construction of this element.
  - d. Staff supports the use of the Econospan louver in dark bronze at roof level, but the renderings seem to illustrate a browner color more closely matching the wood paneling. Applicant to confirm.
4. Beaufort Code Section 4.6.1.C states, "Heavier materials, such as masonry and stucco, shall be located below lighter materials, such as cement fiber or wood siding. There are numerous places on the proposed building where brick veneer is surrounded by wood cladding panels or cementitious panels. Staff offers suggestions below for cleaning up the architectural language to be more compliant with the Beaufort Code.
  - a. Staff suggests that the south and north ends of the building (at double king rooms) are converted to one material and the banding eliminated.
  - b. Staff suggests that the flanking recesses to the left and right of the main entry mass (east and west elevations) be converted to one material and the banding/framing effect be eliminated.
  - c. Staff recommends that the areas on the east and west façade around the corner king rooms and the ADA double rooms be converted to one material and the banding/framing effect be eliminated.
  - d. Another option for the applicant to consider is to convert all currently proposed cementitious white panels to stucco. Doing so would place similar visually heavy materials together allowing the applicant in those areas to keep the banding around the brick veneer elements. Item 2c above could be eliminated as a comment if the cementitious panels are converted to stucco.
  - e. The architectural language should be restudied on all elevations.
  - f. 3D views illustrating the rear (west façade) should be provided for review given the complexity of the structure and the significant difference between the front and rear facades. This building is visible from all sides given its proximity on the site and size.
5. Staff does not support the blank walls that exist on the east and west facades (corner king rooms). Staff recommends the applicant study the interior layout to accommodate fenestration within these areas, possibly high awing windows to break up the blank wall face. Further, the louvered brise soleil devices, while providing detail and interest to the otherwise blank areas, present a false architectural narrative since there are no windows for which to provide shading.

6. In future submission, applicant to provide section details through the window and door fenestration systems to illustrate the intersection of materials at these locations. Applicant to note compliance with section 4.6.3.C.1 transparency and 4.6.3.C.2.a projecting windowsills and windows shall not be flush with exterior wall treatments.
7. The landscape plan provided shows understory trees (Savannah Holly, crepe myrtle, and sabal palmetto) within most of the landscape peninsulas. Per Section 5.7.8.B.3.b, at least one (1) broad leafed overstory tree shall be provided within each landscaped peninsula. Applicant to demonstrate compliance.
8. Per section 5.7.8.B.3.c.ii, the applicant must comply with section 5.7.8.B.3.d.iii and iv. Applicant to demonstrate compliance with these two sections related to dimension of landscape median widths and that shrub coverage in medians and peninsulas shall be at least 50%.
9. Applicant to provide detail for VTAC exterior grilles.
10. Applicant to provide cut sheets for all site and exterior lighting and circle all options selected for the light. Applicant to demonstrate compliance with Section 5.8 Lighting of the Beaufort Code, specifically light mounting heights and shielding. Lights listed on the photometric plan do not indicate pole height and do not include information about shielding.
11. Applicant to demonstrate compliance with Section 5.7.3 of the Beaufort Code regarding bicycle parking. Applicant to note location of bicycle parking on the site plan, note the quantity of spaces provided, and ensure spaces meet size requirements of the code section.

**STAFF RECOMMENDATION:**

**Deferral** with conditions noted.