



## AGENDA

The City of Beaufort

### **HISTORIC DISTRICT REVIEW BOARD**

Wednesday, September 9, 2020, 2:00 P.M.

~~City Hall, Planning Conference Room — 1911 Boundary Street, Beaufort, SC~~

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/85258757497?pwd=YmNsdnVYM2UrTFp3U01CbEJMV1grdz09>

Password: 803034

Meeting ID: 852 5875 7497

Call in Phone# 1+929 205 6099

**STATEMENT OF MEDIA NOTIFICATION:** “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

*Note: A project will not be reviewed if the applicant or representative is not present at the meeting.*

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I. Call to Order:

II. Approval of Minutes:

A. August 12, 2020 Meeting

III. Old Business:

A. Rules of Procedure for the conduct of business

B. 1307 Bay Street, Addition

Applicant: Robert Schlau and Janet Clouse (20-32 HRB.1)

The applicant is seeking final approval to add a shed roof over the existing exterior porch to enclose the uncovered porch area.

IV. New Projects:

A. 809 Port Republic Street, New Construction

Applicant: Bill Chambers (20-35 HRB.1)

The applicant is requesting preliminary approval for new construction of a hotel at 809 Port Republic.

**HRB Agenda**  
**September 9, 2020**  
**Page 2 of 2**

**B.**     1107 Bay Street, New Construction

Applicant: Cooter Ramsey, Allison Ramsey Architects, Inc. (20-38 HRB.1)

The applicant is requesting conceptual approval to construct a 3-unit dwelling.

**V.**     Adjournment



# Historic District Review Board Meeting Minutes – August 12, 2020

## 1 CALL TO ORDER

0:20

A meeting of the Historic District Review Board was held via Zoom on Wednesday, August 12, 2020 at 2 pm.

## 2 ATTENDEES

Members in attendance: John Dickerson (Chairman), Bill Allison (Vice-Chair), Katherine Pringle, and Chuck Symes.

Staff in attendance: Jeremy Tate (Meadors Architecture), Heather Spade (City of Beaufort Planning Tech of Community and Economic Development) and David Prichard (City of Beaufort Director of Community and Economic Development).

## 3 APPROVAL OF MINUTES

0:37

**Motion:** Mr. Symes made a motion to approve the July 8, 2020 minutes as submitted; seconded by Ms. Pringle. The motion passed unanimously.

*All Historic District Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at [iburgess@cityofbeaufort.org](mailto:iburgess@cityofbeaufort.org).*

## 4 RULES OF PROCEDURES FOR THE CONDUCT OF BUSINESS

The board members were in agreement to move this item to the end of the meeting, after the projects were reviewed.

## 5 NEW BUSINESS

1:51

- A. 1307 Bay Street, PIN R120 004 000 0766 0000, Alterations, Additions  
Applicant: Robert Schlau & Janet Clouse (20-32 HRB.1)

The applicant requested conceptual approval to add a shed roof over existing exterior porch to enclose uncovered porch area.

**Motion:** Mr. Symes made a motion to grant conceptual approval based on compliance with the staff's recommendations; seconded by Mr. Allison. The motion passed unanimously.

- B. 204 Carteret Street, PIN R120 004 000 0941 0000, Alterations, Additions **16:54**  
Applicant: Adam Biery, Beaufort Design Build, LLC (20-37 HRB.1)

The applicant requested final approval for renovations to existing Fordham Warehouse.

**Motion:** Ms. Pringle made a motion to grant final approval based on staff's notes in particular raising the cornice at least three brick heights and the awning instead of being 4' in depth be 5'; seconded by Mr. Allison. The motion passed unanimously.

- C. 1013 Duke Street, PIN R120 004 000 0393 0000, Alterations, Additions **28:41**  
Applicant: Moon Longo, Longo Construction, LLC (20-31 HRB.1)

The applicant requested approval for exterior alterations to existing residence.

**Motion:** Mr. Symes made a motion recommending final based on staff's comments and the vertical underpinning boards be vertical opposed to horizontal; lighting final approval be from staff when the owner has final lighting fixtures identified; windows on side of fireplace, when it's opened up, if it does not show an historic opening that they come back to the board for permission to put new windows in; the window over toilet be a double hung window as the owner as proposed.

Mr. Dickerson asked if Mr. Symes would consider amending his motion so staff can work with the applicant to determine (1) if it is an historic window or not and (2) if it's not an historic window, then the applicant can go ahead and do it as proposed.

Mr. Symes said he agreed to amend his motion. Ms. Pringle seconded the motion. The motion passed unanimously.

- D. 510 Craven Street, PIN R120 004 000 0890 0000, Alterations, Additions **1:02:40**  
Applicant: Ansley H. Manuel (20-34 HRB.1)

The applicant requested final approval for a re-roof and change of exterior colors the main residence.

**Motion:** Mr. Dickerson made a motion approve for final with the changes in color palette to Borrowed Light and Banacha and hand crimp seam on the new roof; seconded by Ms. Pringle. The motion passed unanimously.

- E. 510 Craven Street, PIN R120 004 000 0890 0000, Alterations, Additions **1:51:18**  
Applicant: Ansley H. Manuel (20-33 HRB.1)

The applicant requested preliminary approval for renovations to the carriage house.

**Motion:** Mr. Symes made a motion to defer the decision on the carriage house at 510 craven street; seconded by Mr. Dickerson. The motion passed unanimously.

- F. 1308 Washington Street, PIN R120 004 000 0350 0000, New Construction **2:17:10**  
Applicant: Paradise Point Construction (20-36 HRB.1)

The applicant requested final approval to construct a new single-family dwelling.

**Motion:** Mr. Allison made a motion to grant final along with staff's comments; seconded by Mr. Symes. The motion passed unanimously.

## **6 RULES OF PROCEDURE FOR THE CONDUCT OF BUSINESS**

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Board and staff discussed the Rules and Procedure for the Conduct of Business. **2:33:27**

## **7 ADJOURNMENT**

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Mr. Allison made a motion to adjourn the meeting; seconded by Mr. Symes. The motion passed unanimously. The meeting ended at 5:30 p.m.

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Chair

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Date of approval

DRAFT

# Guidelines for Approval of Conceptual Review Projects (Historic District)

Conceptual Review is the assessment of the height, scale, mass and 3-dimensional form of a building, or addition, and the general architectural direction as it relates to its site, its neighborhood, and the Historic District of the City of Beaufort, SC.

The following five areas identify the main areas of concern in the approval of a Conceptual Review Project.

**SITE PLAN:** New construction should be considerate of the primary attributes of the site and the dominant setback lines of the surrounding existing construction. New construction should be oriented in the same direction as the rest of the buildings on the street.

**MASS:** Massing refers to the relationship between solids (exterior walls) and voids (windows and doors) of a building. The overall relationship between these two areas, combined with the three-dimensional aspects of projecting bays and overhangs defines the mass of a building.

**SCALE:** The scale of a building is its harmonious relationship with the size and proportions of both the human body and adjacent construction. The following factors affect a buildings scale: eave height, elevation of the first floor (relationship to grade), floor to floor height, and proportions of principal facade elements.

**HEIGHT:** When the scale of neighborhood buildings or those of the entire community are relatively consistent, new construction should be not drastically alter these relationships.

**CHARACTER/CONTEXT:** How does the new building or addition fit into the feel and character of the block and neighborhood? No building is insulated from its surroundings and will have a positive, negative, or neutral impact. New construction should integrally coexist with the dominant proportions of the styles in its immediate neighborhood.



Historic District Review Board
RULES OF PROCEDURE FOR THE CONDUCT OF BUSINESS

Proposed New Document 7.27.2020

These Rules of Procedure are adopted by the City of Beaufort Historic Design Review Board in accordance with the provisions of S.C. Code 6-29-870 and section 10.7.4.D.1 of The Beaufort Code, The City of Beaufort, SC, adopted June 27, 2017, amended July 10, 2018.

Section 1. - Rules of Order

Robert's Rules of Order shall govern the conduct of meetings except as otherwise provided by these Rules of Procedure.

Section 2. - Conduct of Hearing

The normal order of hearing, subject to modification by the Chairman, shall be:

- A. Statement of matter to be heard - project address and applicant request, i.e.: conceptual, preliminary, or final approval (Chairman);
B. Staff introduction of the project, providing the context and historic background (5 minutes);
C. Response Statement by the applicant, or in the case of an appeal, the administrative officer (5 minutes);
D. Public comment (7-minute limit total, or as determined by the Chairman),
E. Public comments closed;
F. Applicant responses to the board regarding public comment (3 minutes);
G. Staff recommendation to Board;
H. Applicant points of clarification to the board in response to the staff recommendation (3 minutes);
I. Full Board discussion, no public or applicant comment. Board Members may ask an applicant direct questions. Applicant may respond to specific questions, but this is not an opportunity for applicant to make additional points; (All board members are given the opportunity to speak before any individual members speaks twice) ref. RR.LO obtaining and assigning the floor
J. Board action, no public or applicant comment. Board must take action.

Commented [DP1]: Public comment should not devolve into a debate with the applicant.

Commented [DP2]: Motions should be clear and specific. Interpretation of board decisions are based on the content of seconded motions and are not based on perceived intent of any individual board member, garnered from his/her previous statements. The intent of the board must be stated and voted upon.

Section 3. Adoption.

These rules and regulations were adopted by vote of a majority of the members of the HRB at a regular public meeting on \_\_\_\_\_.

## Historic District Review Board

# RULES OF PROCEDURE FOR THE CONDUCT OF BUSINESS

Proposed New Document 7.27.2020

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Rules of Procedure.

### Section 2. – Conduct of Hearing

The normal order of hearing, subject to modification by the Chairman, shall be:

**Chairman will identify who is watching for FaceBook comments and ensure they are relayed to the Board.**

A. Statement of matter to be heard – project address and applicant request, i.e.: conceptual, preliminary, or final approval (Chairman);

B. Staff introduction of the project, providing the context and historic background (5 minutes);

C. ~~Response~~ **Comments** by the applicant, ~~or in the case of an appeal, the administrative officer~~ (5 minutes);

D. Public comment (~~7-minute limit total,~~ **Approximately 2 minutes per person** or as determined by the Chairman),

E. Applicant responses to public comment (**Approximately** 3 minutes);

F. Public comments closed;

G. Staff recommendation to Board;

H. Applicant points of clarification in response to the staff recommendation (**Approximately** 3 minutes);

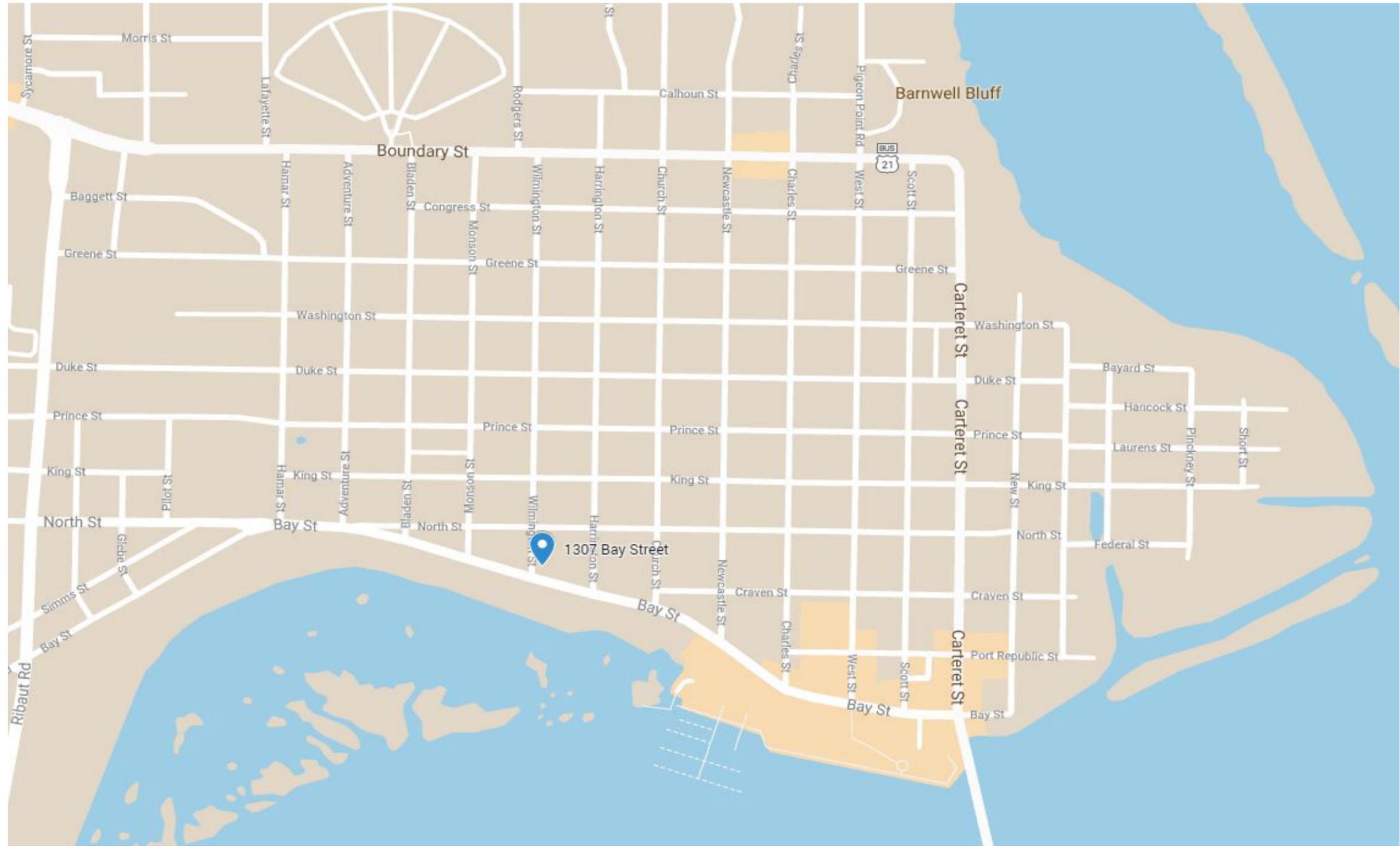
I. Full Board discussion, no public or applicant comment. Board Members may ask an applicant direct questions. Applicant may respond to specific questions, but this is not an opportunity for applicant to make additional points; ~~(All board members are given the opportunity to speak~~ **by the Chairman. Board members may ask for technical advice/clarification from Staff or other experts.**

~~before any individual members speaks twice) ref. RR.LO obtaining and assigning the floor~~

J. Board action, no public or applicant comment. Board must take action.

Section 3. Adoption.

These rules and regulations were adopted by vote of a majority of the members of the HRB at a regular public meeting on \_\_\_\_\_.



PROJECT LOCATION - 1307 BAY STREET









DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

*Application Fee:*  
*see attached schedule*

**OFFICE USE ONLY:** Date Filed: \_\_\_\_\_ Application #: \_\_\_\_\_ Zoning District: \_\_\_\_\_  
**BCAGHS Survey:**  Yes  No

**Schedule:** The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
*\*Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

**Applicant Name:** ROBERT SCHLAU & JANET CLOUSE

**Applicant Address:** 1307 BAY STREET  
nate@allenpattersonresidential.com (843) 470-0400

**Applicant E-mail:** \_\_\_\_\_ **Applicant Phone Number:** \_\_\_\_\_

**Applicant Title:**  Homeowner  Tenant  Architect  Engineer  Developer

**Owner (if other than the Applicant):** \_\_\_\_\_

**Owner Address:** \_\_\_\_\_

**Project Name:** \_\_\_\_\_

**Property Address:** 1307 BAY STREET

**Property Identification Number (Tax Map & Parcel Number):** R120 004 000 0766 0000

**Date Submitted:** \_\_\_\_\_

**Certification of Correctness:** I/we certify that the information in this application is correct.

**Applicant's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Owner's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_



**BEAUFORT COUNTY  
HISTORIC SITES SURVEY - 1997**

INTENSIVE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form  
State Historic Preservation Office  
South Carolina Department of Archives and History  
Columbia, SC

Site Number: U- 13 - 1192  
Access County Site #

USGS Quad: 025 Beaufort  
Doc. Level: Intensive Level-Building

Historic name(s): William Ritchie House Map Ref.: BFT 09 (BL) Tax Number: R120.004.000.0766.0000  
Common name(s): \_\_\_\_\_ City Block Ref.: 107 .05 Island: Port Royal Is.  
Address/location: 1307 Bay St. City/Vicinity of (vic.): Beaufort  
Date: 1883 ca. Alteration date: \_\_\_\_\_  
Ownership:  1. private  2. city  3. county  4. state  5. federal  6. unknown  
Category:  1. building  2. site  3. structure  4. object  
Historic use(s): single dwelling Current uses: single dwelling

National Register Status: \_\_\_\_\_ Date: \_\_\_\_\_ Listing Name: \_\_\_\_\_ NRIS # \_\_\_\_\_  
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: \_\_\_\_\_ Name: \_\_\_\_\_

Previous Survey: \_\_\_\_\_ Reference: \_\_\_\_\_ Notes: \_\_\_\_\_  
 H.A.B.S.  Other \_\_\_\_\_  
 Feiss-Wright (1969) \_\_\_\_\_  
 Historic Resources of the Lowcountry (1979) 38 BU 1047 The Bay  
 Milner Historic District Inventory (1979) 107 (766)-4 Vol. 04; full form  
 A Guide to Historic Beaufort (1995 ed.) 23

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 9-20-97  
Recorder: C. Brooker, Brooker Arch. Cons.

Roll # Neg. View of:  
B-20 35 S facade, fac. N

Style: Folk: gable front Commercial Form: \_\_\_\_\_

Core Shape: L-rear-right Stories: 2 stories Construction: frame

Roof: Shape: gable (end to front) Material: pressed metal shingle  
cross gable

Chimney: Type: exterior Material: brick

Exterior Walls: weatherboard

Windows: single Type: double hung Pane 1/1  
Config.: Prairie/bungalow/craftsm  
an geometric

Doors: single Foundation: brick  
transom

Porch Height: 1 story Porch Width: entrance bay only Porch Roof Shape: pedimented gable

Porch Details: columns Decorative Elements: \_\_\_\_\_

Outbuildings: Interior Features: \_\_\_\_\_

Number of Related Resources: \_\_\_\_\_

Surroundings: residential Acreage: Less than one Quadrangle: Beaufort

Alterations: Alteration date: \_\_\_\_\_ Integrity: good Condition: good

Description: 2 story framed dwelling facing Beaufort River to S. Main facade incorporates 3 bays with entrance right. Entrance has transom and is protected by Neoclassical style stoop with pedimented gable and paired support columns east and west. Windows double hung, the upper sash with geometric prairie inspired pane division, the lower pane undivided.

Historical Data: Lot owned prior to Civil War by Ann B. Elliot formerly Ann Habersham. Present house said to have been built by William Ritchie, a soldier from Connecticut c. 1883.

Sketch:



Site Number: U - 13 - 1192

Informant/Bibliography: Historic Resources of the Low Country, 1979 where designated 38BU1047. National Archives, RG 58 Direct Tax Claims.

## Meredith Jacobs

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**From:** W. Nathaniel Schoen <nate@allenpattersonresidential.com>  
**Sent:** Monday, August 17, 2020 10:48 AM  
**To:** nate@allenpattersonresidential.com; Meredith Jacobs; Jeremy Tate  
**Cc:** 'Heather Spade'; 'Julie Bachety'; dprichard@cityofbeaufort.org  
**Subject:** 1307 Bay Street  
**Attachments:** Schlau Porch REVISED FOR HRB AUG 2020.pdf; 1307 BAY STREET PORCH HRB FINAL AUG 2020.pdf; Velux Fixed Skylight.pdf; Marvin Signature Patio Door.pdf

Please let me know if we need to bring you hard copies of the attached. The Schlau's would like to get started as soon as possible, so anything to expedite this approval would be very appreciated....

1. We will align the new Shed Roof Fascia with the existing Gable Fascia (same plane) to the East Side. Kitchen Gable will remain proud of the addition.
2. We will start at the existing main house ridge and work backwards to the Porch Beam – setting the Shed Roof Pitch at ~3/12, but working it out so the Fascia of the New Shed and Existing Master Gable Align as described above.
3. All Materials to Match Existing.
4. Velux Skylights (fixed). Marvin Signature Patio Doors & one Window as Shown on Rear Elevation.

***\*If there are any additional items you all recommend, please note on the Plans and we will build it as you all describe.***

Thanks,

Nate

**Nate Schoen**  
*Allen Patterson Residential*

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**From:** W. Nathaniel Schoen <nate@allenpattersonresidential.com>  
**Sent:** Monday, August 17, 2020 8:46 AM  
**To:** 'Meredith Jacobs' <meredith@meadorsinc.com>; 'Jeremy Tate' <jeremy@meadorsinc.com>  
**Cc:** 'Heather Spade' <hspade@cityofbeaufort.org>; 'Julie Bachety' <jbachety@cityofbeaufort.org>; dprichard@cityofbeaufort.org  
**Subject:** RE: Schlau

Here is the change requested. We will just pull the shed roof back so the Gable End above the Kitchen remains proud of the porch. There was a question of roof pitch – the answer there is it will be what it is. We will start at the main ridge of the house (or below – we do not want to change the look of the main ridge), then we will build a shed roof out over the porch – the approximate pitch will be 3/12, but in reality it will likely be less than that.

Let me know if this works or if there is anything else you all would like to add.

Thanks,

Nate

**Nate Schoen**  
*Allen Patterson Residential*

### **1307 BAY STREET PORCH DESCRIPTION**

We will align the new Shed Roof Fascia with the existing Gable Fascia (same plane) to the East Side. Kitchen Gable will remain proud of the addition.

We will start at the existing main house ridge and work backwards to the Porch Beam – setting the Shed Roof Pitch at ~3/12, but working it out so the Fascia of the New Shed and Existing Master Gable Align as described above.

All Materials to Match Existing.

Velux Skylights (fixed). Marvin Signature Patio Doors & one Window as Shown on Rear Elevation.

**CONSTRUCTION DOCUMENT NOTES**

BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND/OR LOCAL COUNTY BUILDING CODE (LOCAL CODE TO TAKE PRECEDENCE OVER ANY NOTES IN THESE PLANS). THESE PLANS ARE TO BE VERIFIED BY A STRUCTURAL ENGINEER. ENGINEER'S DRAWINGS SHALL TAKE PRECEDENCE OVER ANY NOTES IN THESE PLANS. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL TAKE PRECEDENCE OVER NOTES IN THESE PLANS.

**BUILDING PLANNING NOTES**

SITE ADDRESS SHALL BE PROVIDED IN A POSITION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM STREET FRONTING THE PROPERTY.

CONSTRUCTION, PROJECTIONS, OPENINGS AND PENETRATION OF EXTERIOR WALLS SHALL COMPLY WITH TABLE R302.1(1) - REVIEW FIRE RESISTANT CONSTRUCTION IF LESS THAN 5' SEPARATION BETWEEN STRUCTURES.

ALL HABITABLE ROOMS SHALL HAVE EXTERIOR GLAZING NOT LESS THAN 8% OF THEIR FLOOR AREA TO PROVIDE NATURAL LIGHT, OR THEY SHALL BE PROVIDED WITH ARTIFICIAL LIGHT.

ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION THROUGH OPENINGS TO THE OUTDOOR AIR IN ACCORDANCE WITH SECTION R303, OR THEY SHALL BE PROVIDED WITH MECHANICAL VENTILATION.

LIGHT & VENTILATION FOR BATHROOMS, KITCHENS AND SIMILAR ROOMS SHALL COMPLY WITH SECTION R303.3 OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED AT LEAST 10' FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT.

OUTSIDE EXHAUST OPENINGS SHALL BE LOCATED SO AS TO NOT CREATE A NUISANCE AND SHALL NOT BE DIRECTED ONTO WALKWAYS NOR PORCHES.

DWELLING SHALL BE PROVIDED WITH HEATING FACILITIES THAT WILL MAINTAIN A TEMPERATURE OF 65°F AT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.

THE MIN. CEILING HEIGHT FOR HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, KITCHENS, LAUNDRY ROOMS & BASEMENTS SHALL NOT BE LESS THAN 7'.

SANITATION, TOILET, BATH & SHOWER SPACES PER SECTIONS R306 & R307 - 21" CLEARANCE IN FRONT OF FIXTURES.

SAFETY GLAZING SHALL BE IN ACCORDANCE WITH SECTION R306.

PERMITTED OPENINGS BETWEEN THE GARAGE AND THE DWELLING SHALL BE EQUIPPED WITH 1 3/4" THICK SOLID WOOD DOORS, HONEYCOMB CORE STEEL DOORS, OR 20 MINUTE FIRE-RATED DOORS.

ANY GARAGE SHALL BE SEPARATED FROM THE DWELLING & ATTIC AREA IN ACCORDANCE WITH SECTION R304.

GARAGE FLOOR SURFACES SHALL BE SLOPED TO A DRAIN TOWARD THE VEHICLE ENTRY POINT.

EVERY SLEEPING ROOM SHALL HAVE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENINGS PER SECTION R311.

ALL EMERGENCY AND RESCUE OPENINGS SHALL HAVE A MIN. CLEAR OPENING OF 5.7sqft WITH A MIN. NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20" - NO HIGHER THAN 44" AFF.

STAIRWAYS SHALL HAVE A MIN. HEADROOM HEIGHT OF 80".

STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 31 1/2" AT AND BELOW THE HANDRAIL WHERE ONLY ONE HANDRAIL IS PROVIDED OR 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

A FLIGHT OF STAIRS SHALL HAVE NO MORE THAN 14" OF VERTICAL RISE BETWEEN FLOORS OR LANDINGS.

STAIRWELL TREADS SHALL BE AT LEAST 10" DEEP AND SHALL NOT EXCEED MORE THAN 3/8" VARIATION FROM LARGEST TO SMALLEST TREAD; RISERS SHALL BE NOT GREATER THAN 7-3/4" IN HEIGHT AND SHALL NOT EXCEED 3/8" IN ANY FLIGHT OF STAIRS - SEE R311.1.

A CONTINUOUS HANDRAIL SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRWAY - THE TOP OF THE HANDRAILS SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREADS.

GUARDS AT LEAST 36" IN HEIGHT SHALL BE PROVIDED WHERE PORCHES, BALCONIES OR RAISED FLOOR SURFACES ARE GREATER THAN 30" - GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.

SMOKE ALARMS SHALL BE INSTALLED PER SECTION R314 IN THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS

SMOKE ALARMS SHALL BE INTERCONNECTED AS INDICATED IN SECTION R314.4.

THE POWER SOURCES FOR SMOKE ALARMS SHALL COMPLY WITH SECTION R314.6.

PROTECTION OF WOOD FROM DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED:

- WOOD JOISTS OR FLOORS LESS THAN 18" OR WOOD GIRDERS LESS THAN 12" FROM EXPOSED GROUND
- FLOOR FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR WALLS AND ARE LESS THAN 8" FROM EXPOSED GROUND
- SILL AND SLEEPERS ON A CONCRETE OR MASONRY SLAB UNLESS SEPARATED BY SUCH A SLAB BY AN IMPERVIOUS MOISTURE BARRIER
- WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING LESS THAN 6" FROM THE GROUND

AREAS SUBJECT TO TERMITE INFESTATION SHALL COMPLY WITH SECTION R310.

A ROUGH-FRAMED OPENING NOT LESS THAN 22"x30" w/30" MIN. HEADROOM SHALL BE PROVIDED TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30" OR GREATER (MEASURED TO THE BOTTOM OF ROOF FRAMING MEMBERS) OVER AN AREA GREATER THAN 305SQFT.

MECHANICAL EQUIPMENT IN ATTICS SHALL BE PROVIDED WITH ACCESS PER SECTION M1305.1.3.

**FLOOR JOIST SPAN REFERENCE**

2018 IRC - R502.3.1(2) - SOUTHERN PINE #2  
40psf LIVE LOAD - 20psf DEAD LOAD  
L/360 DEFLECTION

SIZE	SPACING	SPAN
2 x 6	12" o/c	10' - 3"
	16" o/c	9' - 4"
2 x 8	12" o/c	13' - 6"
	16" o/c	11' - 10"
2 x 10	12" o/c	16' - 2"
	16" o/c	14' - 0"
2 x 12	12" o/c	19' - 1"
	16" o/c	16' - 6"

\*SPANS OVER 19' - 1" = ENGINEERED TRUSS or JOIST

**WINDOW, DOOR & GARAGE DOOR HEADER SELECTION TABLE**

SOUTHERN PINE #2 SUPPORTING ROOF, WALL AND FLOOR LIVE LOADS UP TO 20psf - 1.25 LOAD DURATION - 1/8" SPAN OF SUPPORTED ROOF & FLOOR FRAMING

CLEAR OPENING	MIN. HEADER SIZE
4' - 0"	(1) 2 x 10
6' - 0"	(2) 2 x 10
8' - 0"	(3) 2 x 10
10' - 0"	3-1/2" x 9-1/4"
12' - 0"	3-1/2" x 11-7/8"
16' - 0"	5-1/2" x 14"
OVER 16'	ENGINEERED

**WALL & HEADER STUD SELECTION TABLE**

W/ECT. TABLE 3.22F SOUTHERN PINE #2

UNSUPPORTED WALL HEIGHT	STUD SPACING	MAX. HEADER SPAN					
		NUMBER OF JACK STUDS					
		1	2	3	4	5	6
10' OR LESS	12" o/c	2	2	3	3	3	3
	16" o/c	2	2	3	3	3	3
GREATER THAN 10'	12" o/c	2	2	3	4	5	5
	16" o/c	2	2	3	3	4	4

**CEILING JOIST SPAN REFERENCE**

R502.4 (2) - SOUTHERN PINE #2  
20psf LIVE LOAD - 10psf DEAD LOAD  
LIMITED STORAGE - L/240 DEFLECTION

SIZE	SPACING	SPAN
2 x 4	12" o/c	9' - 3"
	16" o/c	8' - 0"
2 x 6	12" o/c	13' - 11"
	16" o/c	12' - 0"
2 x 8	12" o/c	17' - 7"
	16" o/c	15' - 3"
2 x 10	12" o/c	20' - 11"
	16" o/c	18' - 1"

**ROOF RAFTER SPAN REFERENCE**

R502.5.1(2) - SOUTHERN PINE #2  
20psf LIVE LOAD - L/240 DEFLECTION  
CEILING ATTACHED TO RAFTERS

SIZE	SPACING	SPAN
2 x 6	12" o/c	13' - 6"
	16" o/c	11' - 8"
2 x 8	12" o/c	17' - 1"
	16" o/c	14' - 9"
2 x 10	12" o/c	20' - 3"
	16" o/c	17' - 6"
2 x 12	12" o/c	23' - 10"
	16" o/c	20' - 8"

**REVISIONS**

DATE	DESCRIPTION
9/12/2019	
9/26/2019	
11/17/2020	
4/3/2020	
6/2/2020	
6/5/2020	
8/17/2020	

**SHEET INDEX**

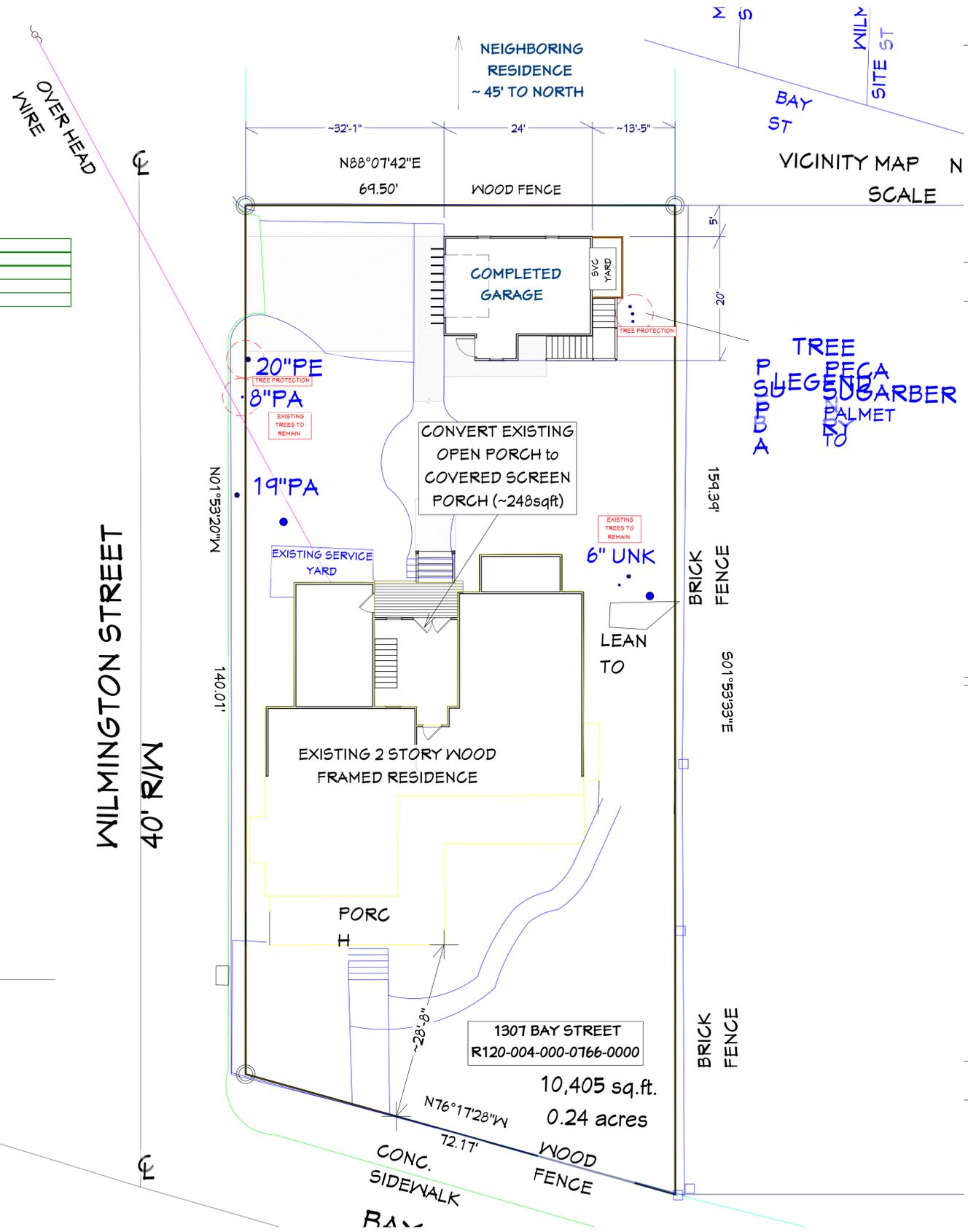
LABEL	TITLE	DESCRIPTION
PORCH	PROJECT RENDERINGS	

**CLIMATIC & GEOGRAPHIC DESIGN CRITERIA - NOTE: STRUCTURAL ENGINEER TO VERIFY**

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			WEATHERING	FROST LINE	TERMITE					
5	130mph	CLASS D	MODERATE	<6"	V. HEAVY	21°F	NO	see SURVEY	20°F	65.1°F

**SITE PLAN**  
SCALE 1" = 10'

**STRUCTURE SQUARE FOOTAGE:**  
CONVERT EXISTING DECK TO COVERED PORCH 248 SQFT



MEMBER  
**A I B D**  
REGISTERED ARCHITECT & BUILDING DESIGNER

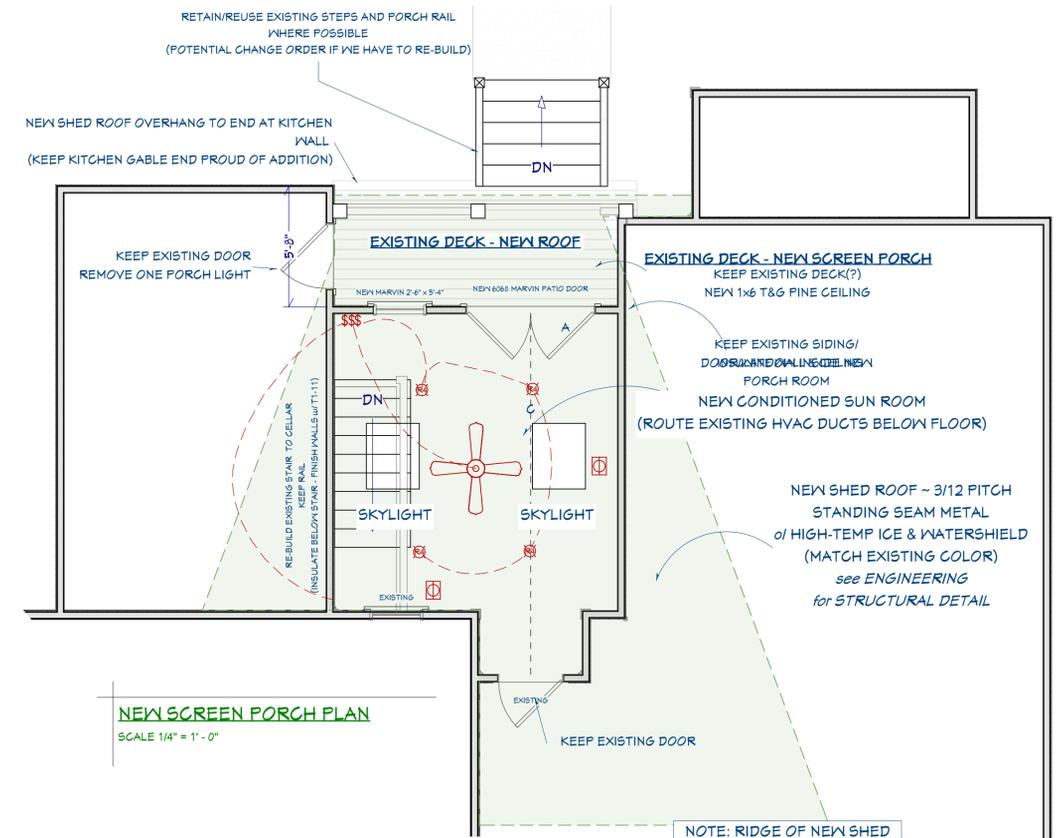
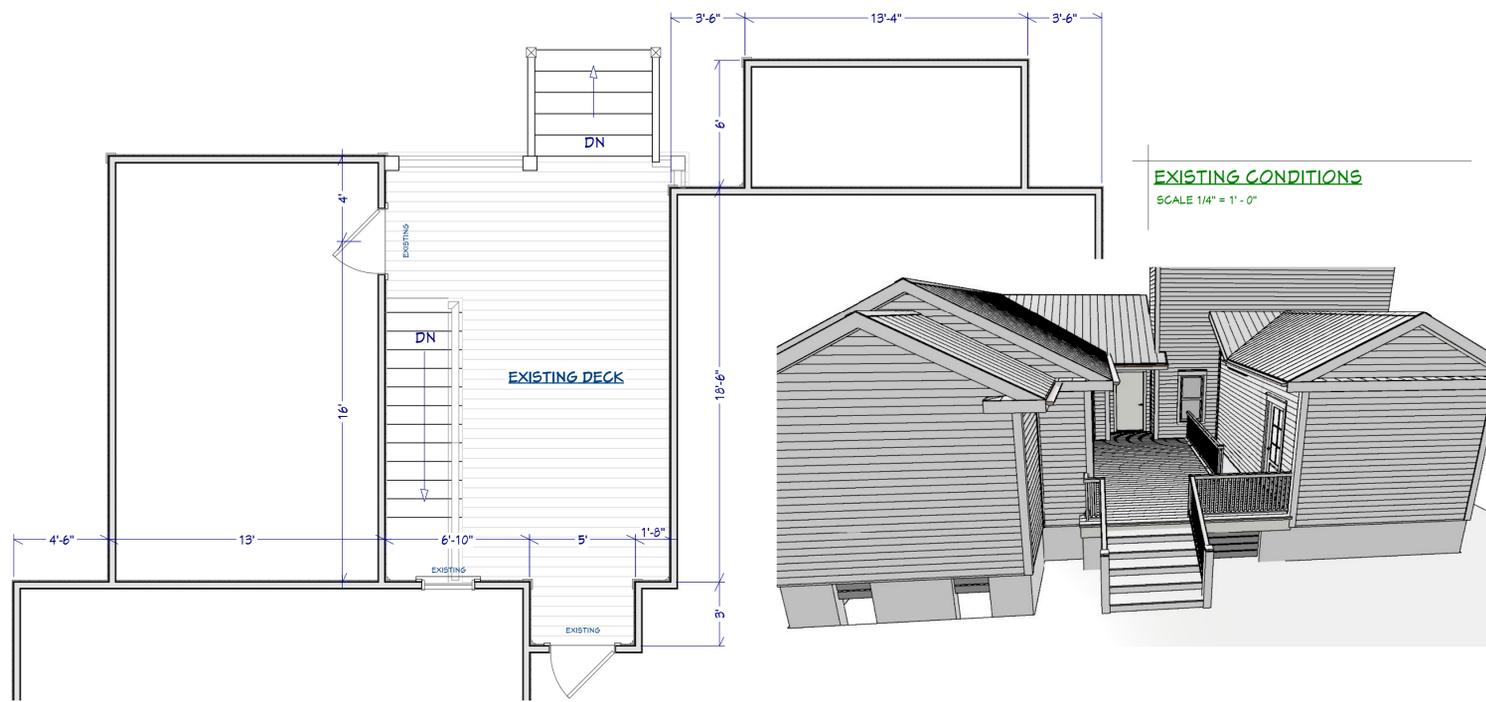
**BRIDGEWATER CONSULTING LLC**  
BEAUFORT, SOUTH CAROLINA  
info@bwater.com | 853-425-7778

RESIDENTIAL LOFT FOR BOB SCHLAU & JAN CLOUSE  
1307 BAY STREET  
BEAUFORT, SOUTH CAROLINA

REVISION DATE  
8/17/2020

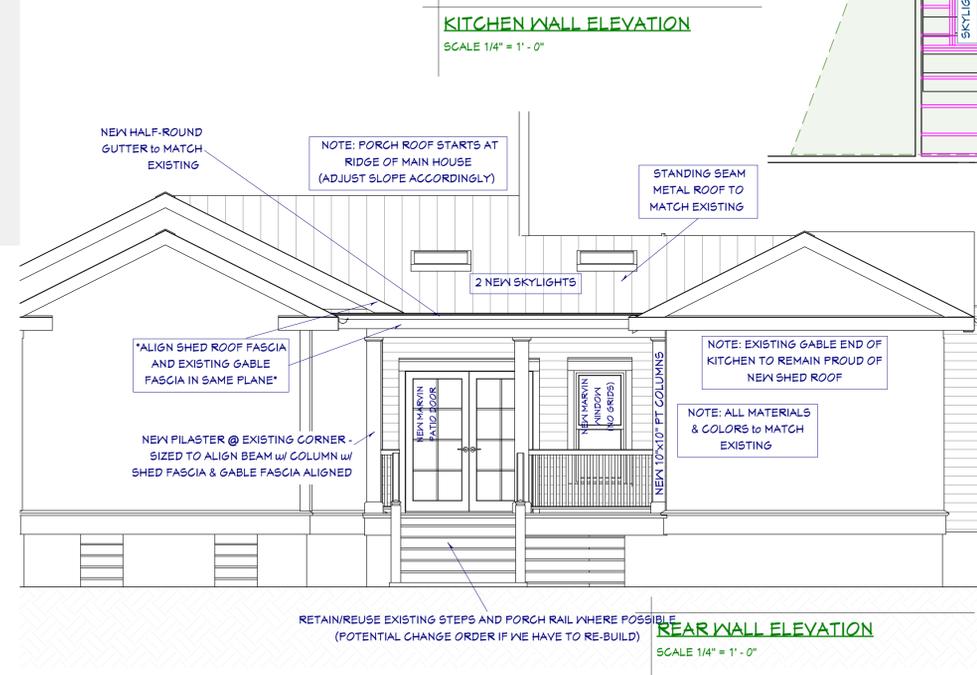
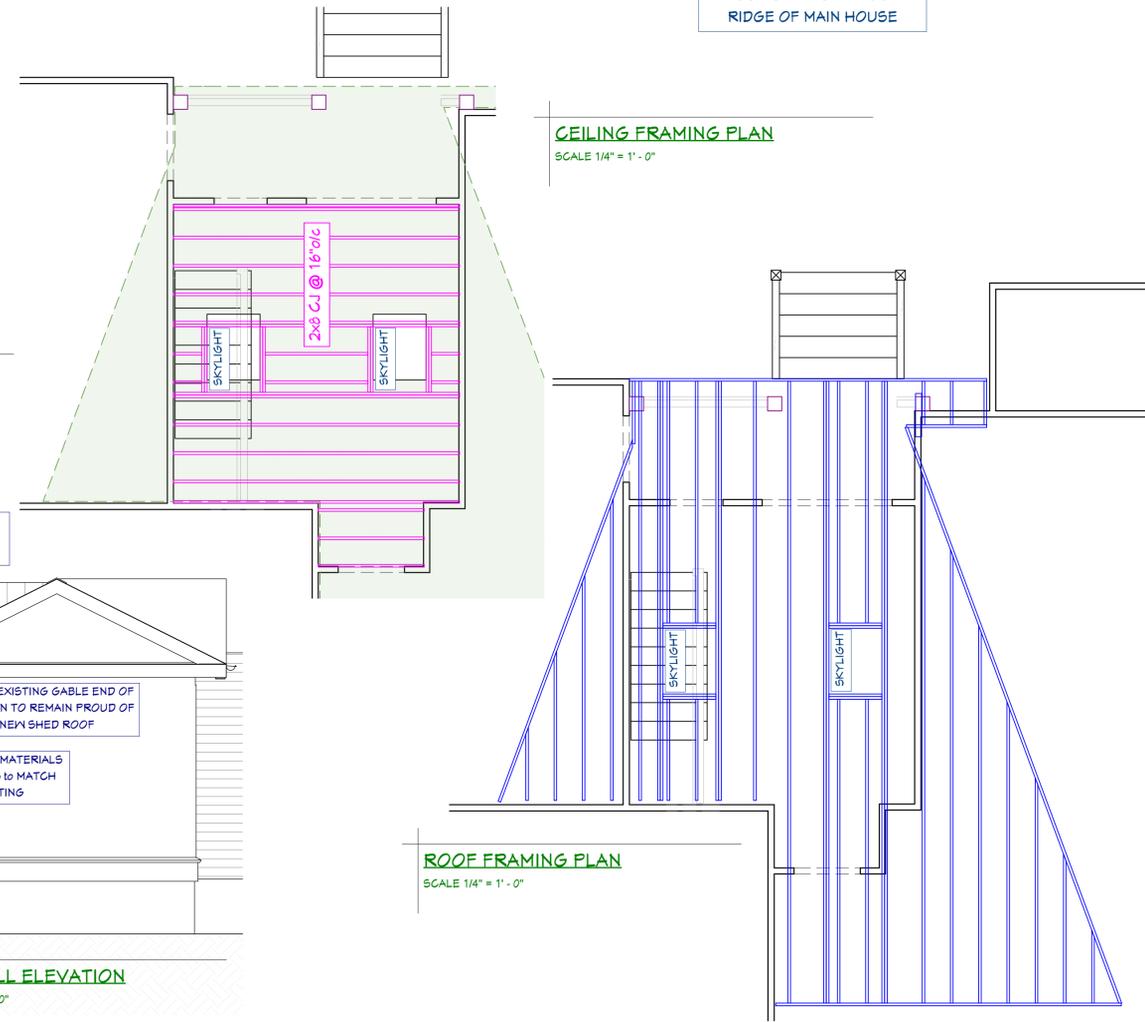
HOMESIGNATURE & DATE OF ACCEPTANCE

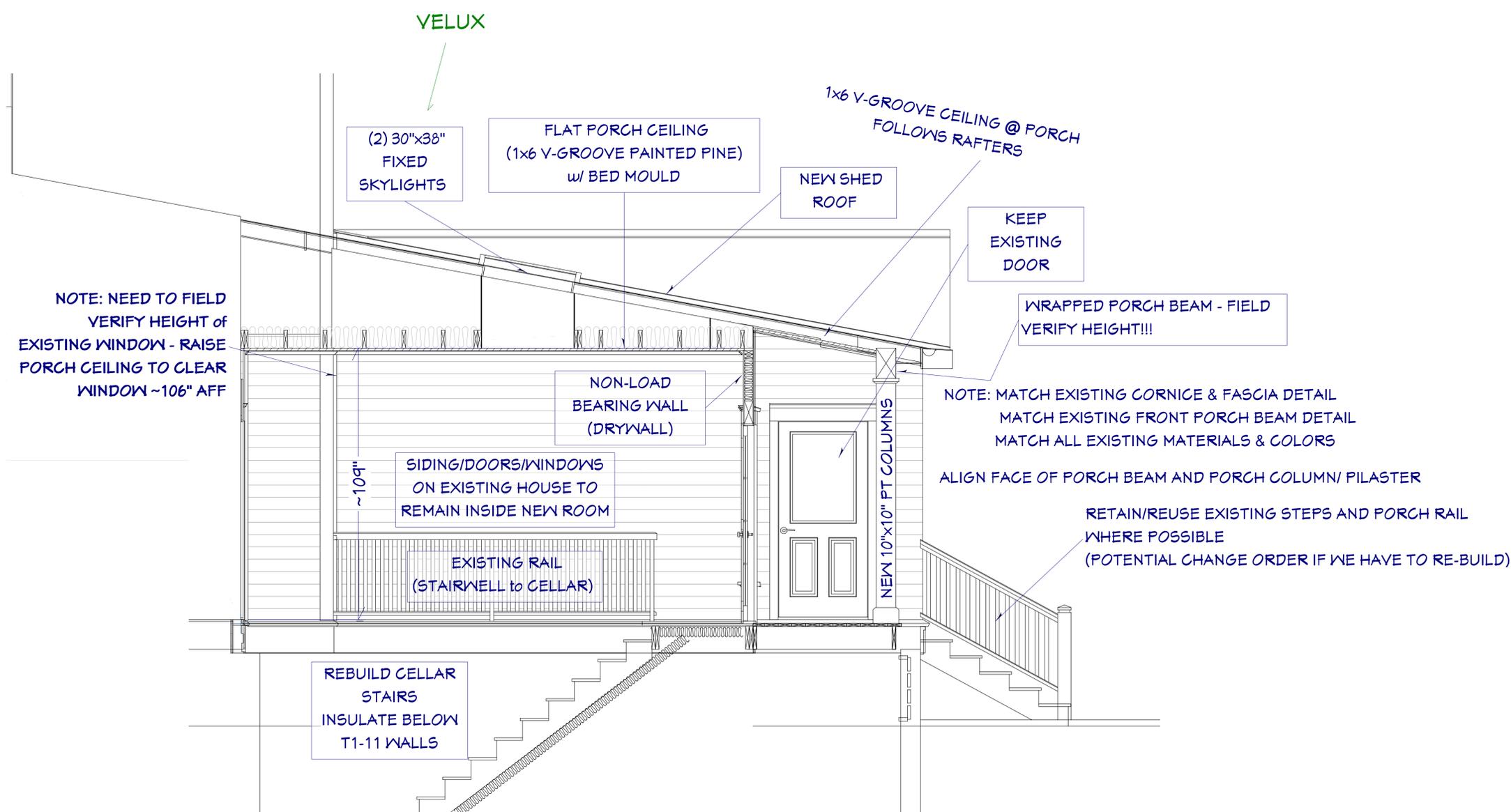
SHEET  
**COVER**



**NOTE: ALL MATERIALS TO MATCH EXISTING**

**NOTE: RIDGE OF NEW SHED ROOF STARTS AT ROOF RIDGE OF MAIN HOUSE**





# Fixed Skylights

Deck-Mounted, Curb-Mounted

**The No Leak Skylight**  
No Leak Promise  
No Worries

**Deck-Mounted - FS**  
Mounts directly to the roof deck

**Curb-Mounted - FCM**  
Mounts directly to a site-built curb



## Benefits

- Pre-finished white wood frame and protective aluminum or copper cladding.
- Streamlined exterior profile does not obstruct your roofline.
- Streamlined exterior profile does not obstruct your roofline.
- Pre-mounted Pick&Click!™ system brackets make the installation of sunscreen blinds a snap.

FS Model Size	A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
Rough Opening (W-in. x H-in.)	14 1/2 x 45 3/4	21 x 26 7/8	21 x 37 7/8	21 x 45 3/4	21 x 54 7/8	21 x 70 1/4	22 1/2 x 22 15/16	22 1/2 x 45 3/4	30 1/16 x 30	30 1/16 x 37 7/8	30 1/16 x 45 3/4	30 1/16 x 54 7/8	44 1/4 x 26 7/8	44 1/4 x 45 3/4

*Model FS sizes D26 and D06 fit perfectly between roof trusses.*

FCM Model Size	1430	1446	2222	2230	2234	2246	2270	3030	3046	3434	3446	4646
Outside Curb (W-in. x H-in.)	17 1/2 x 33 1/2	17 1/2 x 49 1/2	25 1/2 x 25 1/2	25 1/2 x 33 1/2	25 1/2 x 37 1/2	25 1/2 x 49 1/2	25 1/2 x 73 1/2	33 1/2 x 33 1/2	33 1/2 x 49 1/2	37 1/2 x 37 1/2	37 1/2 x 49 1/2	49 1/2 x 49 1/2



## Safest Glass to Live Under

Clean, Quiet & Safe

When selecting a VELUX Fixed Skylight rest assured your skylight comes with our most-recommended, top-rated glass: Clean, Quiet & Safe. Named for its three biggest benefits, this glass comes with state-of-the-art, energy-conserving LowE glass, designed to keep your home warmer in the winter and cooler in the summer.

**Clean:** Skylights stay cleaner longer with Neat® glass coating.

**Quiet:** Reduces unwanted outside noise by up to 25% compared to a standard double pane glass and up to 50% compared to a plastic skylight.

**Safe:** Unlike tempered, this glass does not shatter into pieces when cracked.



**ENERGY STAR certified products are the most straightforward way to help meet energy codes.**

Most VELUX residential products are ENERGY STAR certified in all 50 states. By specifying or using ENERGY STAR certified products, architects and builders can use windows and skylights to bring much needed daylight and fresh air inside, creating more attractive buildings and livable spaces while still meeting the local energy codes.

## 3 Layers of Protection

The No Leak Skylight

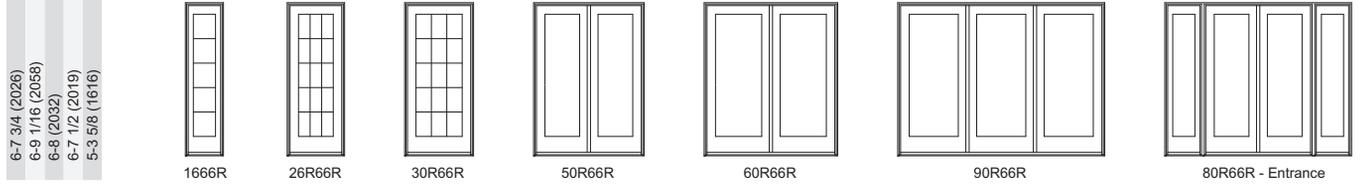
- 1 Pre-attached Seal**  
Pre-attached deck seal (deck-mounted) or gasket (curb-mounted) provides a tight seal for leak-proof installation.
- 2 Adhesive Underlayment**  
Adhesive underlayment for secondary water protection against the harshest weather conditions.
- 3 Engineered Flashing**  
Engineered flashing for easy installation and primary water protection.



# 1 3/4" INSWING / OUTSWING FRENCH DOOR

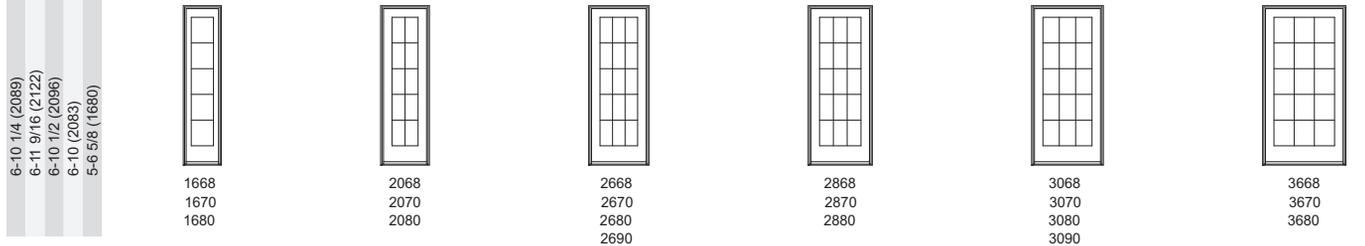
## 6-6R HEIGHT

<b>Clad MO (mm)</b>	1-8 11/32 (517)	2-7 1/8 (791)	3-1 1/8 (943)	4-11 1/2 (1511)	5-11 1/2 (1816)	8-9 7/8 (2689)	7-10 11/16 (2405)
<b>Wood MO (mm)</b>	1-10 31/32 (583)	2-9 3/4 (857)	3-3 3/4 (1010)	5-2 1/8 (1578)	6-2 1/8 (1883)	9-0 1/2 (2756)	8-1 5/16 (2472)
<b>RO (mm)</b>	1-8 27/32 (529)	2-7 5/8 (803)	3-1 5/8 (956)	5-0 (1524)	6-0 (1829)	8-10 3/8 (2702)	7-11 3/16 (2418)
<b>FS (mm)</b>	1-7 27/32 (504)	2-6 5/8 (778)	3-0 5/8 (930)	4-11 (1499)	5-11 (1803)	8-9 3/8 (2677)	7-10 3/16 (2392)
<b>DLO (mm)</b>	0-11 1/2 (292)	1-6 25/32 (477)	2-0 25/32(629)	1-6 25/32 (477)	2-0 25/32 (629)	2-0 25/32 (629)	0-1 1/2 (292) / 1-625/32 (477)

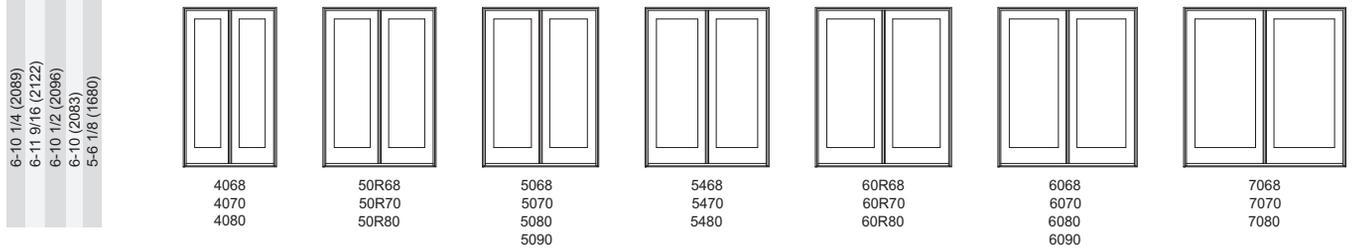


## 6-8 HEIGHT (7-0, 8-0 AND 9-0 HEIGHTS SEE BELOW)

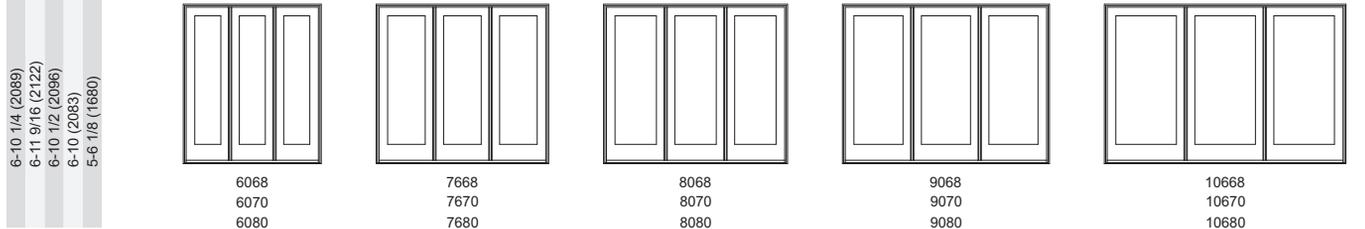
<b>Clad MO (mm)</b>	1-8 11/32 (517)	2-1 15/16 (659)	2-7 15/16 (811)	2-9 15/16 (862)	3-1 15/16 (946)	3-7 15/16 (1116)
<b>Wood MO (mm)</b>	1-10 31/32 (583)	2-4 9/16 (726)	2-10 9/16 (878)	3-0 9/16 (929)	3-4 9/16 (1030)	3-10 9/16 (1183)
<b>RO (mm)</b>	1-8 27/32 (529)	2-2 7/16 (672)	2-8 7/16 (824)	2-10 7/16 (875)	3-2 7/16 (976)	3-8 7/16 (1129)
<b>FS (mm)</b>	1-7 27/32 (504)	2-1 7/16 (646)	2-7 7/16 (799)	2-9 7/16 (849)	3-1 7/16 (951)	3-7 7/16 (1103)
<b>DLO (mm)</b>	0-11 1/2 (292)	11-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (548)	2-1 19/32 (650)	2-7 19/32 (802)



<b>Clad MO (mm)</b>	4-1 1/8 (1248)	4-11 1/2 (1511)	5-1 1/8 (1553)	5-5 1/8 (1654)	5-11 1/2 (1816)	6-1 1/8 (1857)	7-1 1/8 (2162)
<b>Wood MO (mm)</b>	4-3 3/4 (1314)	5-2 1/8 (1578)	5-3 3/4 (1619)	5-7 3/4 (1721)	6-2 1/8 (1883)	6-3 3/4 (1924)	7-3 3/4 (2229)
<b>RO (mm)</b>	4-1 5/8 (1260)	5-0 (1524)	5-1 5/8 (1565)	5-5 5/8 (1667)	6-0 (1829)	6-1 5/8 (1870)	7-1 5/8 (2175)
<b>FS (mm)</b>	4-0 5/8 (1235)	4-11 (1499)	5-0 5/8 (1540)	5-4 5/8 (1641)	5-11 (1803)	6-0 5/8 (1845)	7-0 5/8 (2149)
<b>DLO (mm)</b>	1-1 19/32 (345)	1-6 25/32 (477)	1-7 19/32 (498)	1-9 19/32 (548)	2-0 25/32 (629)	2-1 19/32 (650)	2-7 19/32 (802)



<b>Clad MO (mm)</b>	6-0 5/16 (1837)	7-6 5/16 (2294)	8-0 5/16 (2446)	9-0 5/16 (2751)	10-6 5/16 (3208)
<b>Wood MO (mm)</b>	6-2 15/16 (1903)	7-8 15/16 (2361)	8-2 15/16 (2513)	9-2 15/16 (2818)	10-8 15/16 (3275)
<b>RO (mm)</b>	6-0 13/16 (1849)	7-6 13/16 (2307)	8-0 13/16 (2459)	9-0 13/16 (2764)	10-6 13/16 (3221)
<b>FS (mm)</b>	5-11 13/16 (1824)	7-5 13/16 (2281)	7-11 13/16 (2434)	8-11 13/16 (2738)	10-5 13/16 (3196)
<b>DLO (mm)</b>	1-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (582)	2-1 19/32 (650)	2-7 19/32 (802)



Ultimate Inswing French Door: UIFD  
 Ultimate Outswing French Door: UOFD  
 Ultimate Wood Inswing French Door: UWIFD  
 Ultimate Wood Outswing French Door: UWOFD

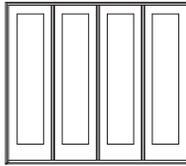
7-0, 8-0 AND 9-0 HEIGHTS:			
	7-0 Height	8-0 Height	9-0 Height
Clad MO (mm)	7-2 1/4 (2191)	7-11 3/4 (2432)	8-11 3/4 (2737)
Wood MO (mm)	7-3 9/16 (2224)	8-1 1/16 (2465)	N/A
RO (mm)	7-2 1/2 (2197)	8-0 (2438)	9-0 (2743)
FS (mm)	7-2 (2184)	7-11 1/2 (2426)	8-11 1/2 (2731)
DLO (mm)	5-10 1/8 (1781)	6-7 5/8 (2022)	7-7 5/8 (2327)

# 1 3/4" INSWING / OUTSWING FRENCH DOOR

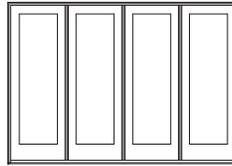
6-8 HEIGHT (7-0 AND 8-0 HEIGHTS SEE BELOW)

<b>Clad MO (mm)</b>	7-11 1/2 (2426)	9-11 1/2 (3035)	10-7 1/2 (3239)
<b>Wood MO (mm)</b>	8-2 1/8 (2492)	10-2 1/8 (3102)	10-10 1/8 (3305)
<b>RO (mm)</b>	8-0 (2438)	10-0 (3048)	10-8 (3251)
<b>FS (mm)</b>	7-11 (2413)	9-11 (3023)	10-7 (3226)
<b>DLO (mm)</b>	1-1 19/32 (345)	1-7 19/32 (498)	1-9 19/32 (548)

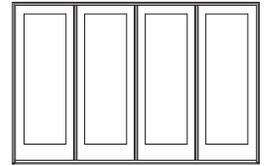
6-10 1/4 (2089)
6-11 9/16 (2122)
6-10 1/2 (2086)
6-10 (2083)
5-6 1/8 (1680)



8068  
8070  
8080



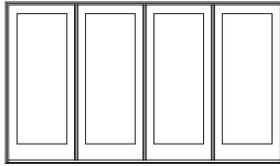
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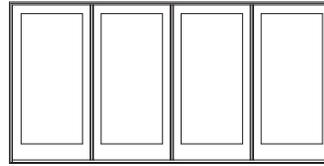
10868  
10870  
10880

<b>Clad MO (mm)</b>	11-11 1/2 (3645)	13-11 1/2 (4255)
<b>Wood MO (mm)</b>	12-2 1/8 (3712)	14-2 1/8 (4321)
<b>RO (mm)</b>	12-0 (3658)	14-0 (4267)
<b>FS (mm)</b>	11-11 (3632)	13-11 (4242)
<b>DLO (mm)</b>	2-1 19/32 (650)	2-7 19/32 (802)

6-10 1/4 (2089)
6-11 9/16 (2122)
6-10 1/2 (2086)
6-10 (2083)
6-7 7/16 (1713)



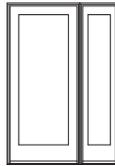
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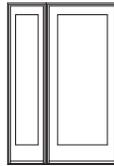
14068  
14070  
14080

<b>Clad MO (mm)</b>	4-7 9/16 (1411)	4-7 9/16 (1411)	6-1 1/8 (1857)	9-0 5/16 (2751)
<b>Wood MO (mm)</b>	4-10 3/16 (1478)	4-10 3/16 (1478)	6-3 3/4 (1924)	9-2 5/16 (2802)
<b>RO (mm)</b>	4-8 1/16 (1424)	4-8 1/16 (1424)	6-1 5/8 (1870)	9-0 13/16 (2764)
<b>FS (mm)</b>	4-7 1/16 (1399)	4-7 1/16 (1399)	6-0 5/8 (1845)	8-11 13/16 (2739)
<b>DLO (mm)</b>	2-1 19/32 (650) / 0-11 1/2 (292)	0-11 1/2 (292) / 2-1 19/32 (650)	2-1 19/32 (650) / 0-11 1/2 (292) / 2-1 19/32 (650)	0-11 1/2 (292) / 2-1 19/32 (650) / 0-11 1/2 (292)

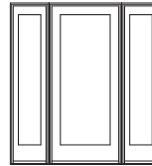
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6-11 9/16 (2122)
6-10 1/2 (2086)
6-10 (2083)
6-7 7/16 (1713)



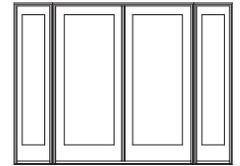
4668 XO - Entrance  
4670 XO - Entrance  
4680 XO - Entrance



4668 OX - Entrance  
4670 OX - Entrance  
4680 OX - Entrance



6268 - Entrance  
6270 - Entrance  
6280 - Entrance



9268 - Entrance  
9270 - Entrance  
9280 - Entrance

Details and Elevations not to scale.

R = Retro Size

- Lite patterns shown are for standard, SDL and ADL in 6-6, 6-8, and 7-0 heights. The standard pattern for 8-0 heights is a 6 high lite cut. Standard lite cut for 9-0 height is a 7 high lite cut.
- All glass is tempered.
- Elevations as viewed from the exterior.
- CN 9-0 heights are limited to 1 and 2 wide configurations using CN2-6 and 3-0 panels.

Please consult your local Marvin representative for masonry openings that include casings and subsills.

For further details and drawings visit the 'Tools and Documents' section at Marvin.com.

## Meredith Jacobs

---

**From:** Schoen, Nate <nate@allenpattersonresidential.com>  
**Sent:** Friday, August 28, 2020 7:22 AM  
**To:** Meredith Jacobs  
**Cc:** Jeremy Tate; Heather Spade; Julie Bachety; dprichard@cityofbeaufort.org  
**Subject:** Re: 1307 Bay Street

Marvin Signature Windows were used on the Garage Studio detached structure we just completed.

On Thu, Aug 27, 2020 at 5:26 PM Meredith Jacobs <[meredith@meadorsinc.com](mailto:meredith@meadorsinc.com)> wrote:

Hi Nate,

We are reviewing 1307 Bay Street and remember that you noted that Marvin Signature windows are already used on the property in a previous addition. Is this correct, or was it that they were used on a neighbor's house?

Thank you!

Meredith Jacobs

**Meadors Architecture**

2811 Azalea Drive

Charleston, SC 29405

Cell: 843.729.0172

Office: 843.723.8585

[www.meadorsinc.com](http://www.meadorsinc.com)

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**From:** Meredith Jacobs  
**Sent:** Thursday, August 20, 2020 9:43 AM



# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
09 September 2020

## 1 SUMMARY OF REQUEST

---

The applicants, Robert Schlau & Janet Clouse, are seeking Final approval to add a shed roof over the existing exterior porch to enclose the uncovered porch area.

The applicant has stated that all materials are to match existing.

## 2 BACKGROUND:

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This is a contributing structure in the Historic Preservation Neighborhood.

This project was reviewed for conceptual approval during the August meeting. The board granted conceptual approval with conditions recommended by Staff. Staff's primary concerns involved the intersection of the new roof with the existing gable roofs as well as a confirmation of existing conditions.

## 3 FACTS

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<b>Property Address:</b>	1307 Bay Street
<b>Parcel ID:</b>	R120 004 000 0766 0000
<b>Case Number:</b>	20-32 HRB.1
<b>Applicant:</b>	<b>Robert Schlau &amp; Janet Clouse</b>
<b>Zoning:</b>	T4-HN
<b>Use:</b>	Residential

### District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
  - *Front – Average prevailing setback on lot.*
  - *Rear setback – 15' min.*
  - *Side Corner/Alley – 5' min.*
  - *Side Interior – 6' min.*
- **Frontage Build out:** 75% max.
- **Impervious Surface Coverage:** 55% maximum for rooftops, additional 10% allowed



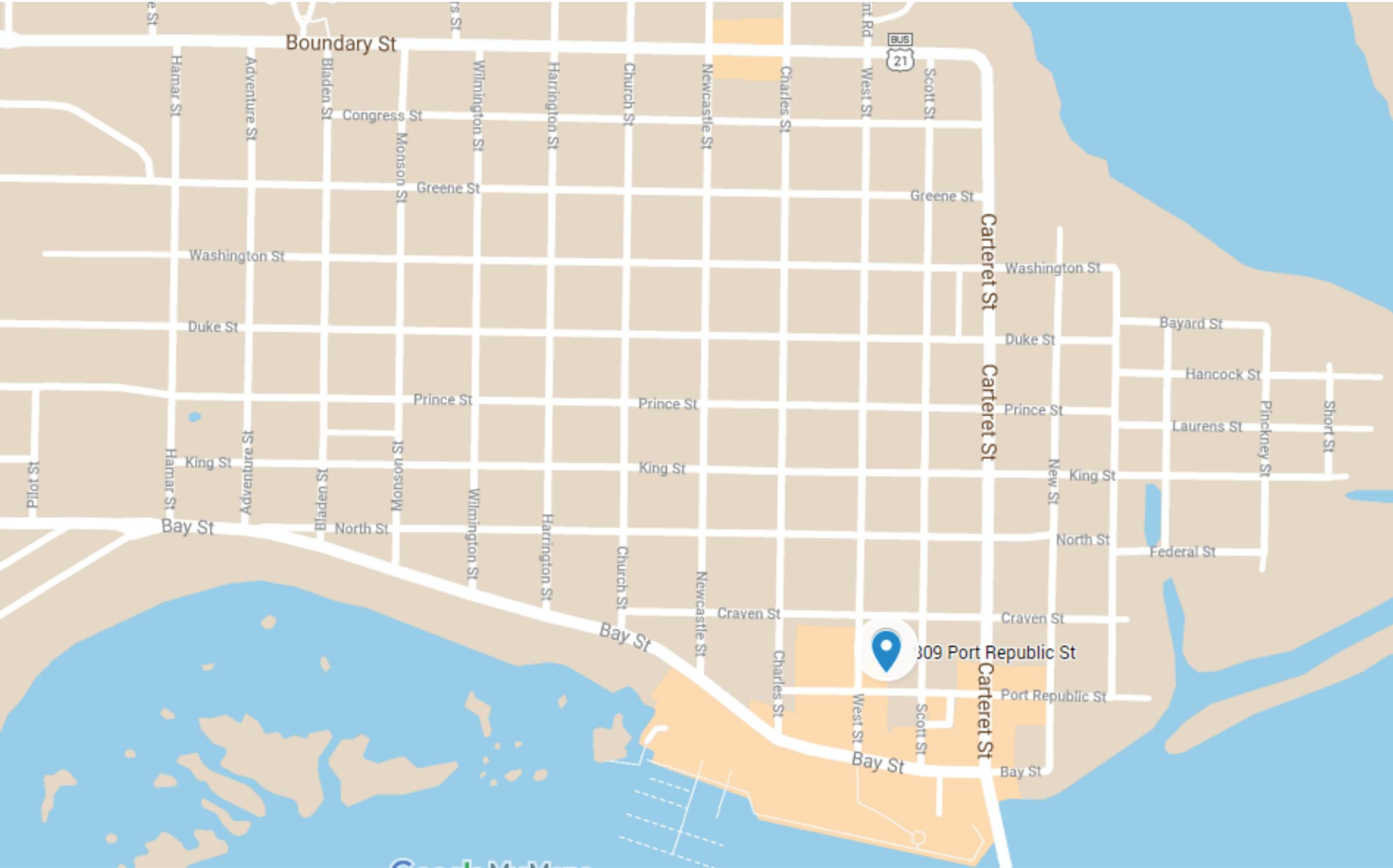
## 4 STAFF COMMENTS/ RECOMMENDATIONS

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1. The applicant met with staff to review the project in depth before submitting for final review.
2. The applicant has aligned the new shed roof fascia board with the existing gable fascia on the east side so that they are in the same plane. The kitchen gable will remain proud of the addition. Staff believes this is a positive solution for this area given that the two existing gables do not currently align.
3. The applicant has clarified that the new shed roof pitch will be set at 3"/12", but will be worked out so that the fascia board of the new shed and the existing master gable aligns as noted in the comment above. Staff finds this approach to be acceptable.
4. Staff is in favor of the submitted Velux skylights and Marvin Signature patio doors and window shown on the rear elevation. The applicant has noted that a matching Marvin Signature window was used on the garage studio detached structure that was recently completed on the property.
5. The applicant has clarified that the historic and non-historic windows, siding, and doors within the proposed enclosure will not be removed. Staff supports this approach as it maintains and preserves the existing historic fabric and also continues the story of previous additions onto the main structure.

**Staff recommendation:** Final Approval

**STANDARD NOTE: STAFF COMMENTS ARE SHARED IN ADVANCE OF THE MEETING ONLY TO ALERT BOARD MEMBERS, APPLICANT, AND PUBLIC TO STAFF'S POSITION AHEAD OF MEETING. THESE COMMENTS ARE NOT INTENDED TO CAUSE THE APPLICANT TO REVISE THEIR SUBMISSION. ANY NEW INFORMATION CREATED AS A RESULT OF THESE COMMENTS WILL NOT BE REVIEWED AT SCHEDULED BOARD MEETING BECAUSE STAFF, BOARD, AND PUBLIC WILL NOT HAVE TIME TO FULLY REVIEW.**



PROJECT LOCATION - 809 PORT REPUBLIC STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval\* Change After Certification
\*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Bill Chambers

Applicant Address: Po Box 1181 Beaufort SC 29901

Applicant E-mail: rwchambersarchitect@icloud.com Applicant Phone Number: 843-812-9666

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): 303 Associates

Owner Address: 2015 Boundary Street

Project Name: 809 Port Republic Street

Property Address: 809 Port Republic Street

Property Identification Number (Tax Map & Parcel Number):

Date Submitted: 7-13-2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Courtney Worrell Date: 7-13-2020 8-21-2020

Owner's Signature: Courtney Worrell, Beaufort Inn Date: 8-21-2020

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: 809 Port Republic Street

Property Size in Acres: n/a

Proposed Building Use: R1

Nature of Work (check all that apply):

- New Construction, Primary Structure     New Construction, Primary Structure     Alterations / Additions
- Demolition\*     Relocation\*    *\*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

This is a re-certification of and existing approved application that has expired.

Minor changes for this application:

The garden on the north side is to remain, therefore additions to this will not occur in the future and the porches are added to view the garden. One porch on West Street is removed.

Moved the ramp off West Street, added a porch on Port Republic on first floor, deleted ground floor porch on West street, added additional landscaping on West Street, raised first floor level to EL. 14.0 ' . Minor window and door configurations on South and North elevations.

Demolition of 305 West Street is included.

**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

# BEAUFORT COUNTY HISTORIC SITES SURVEY - 1997

INTENSIVE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form  
State Historic Preservation Office  
South Carolina Department of Archives and History  
Columbia, SC

Site Number: U- 13 - 965  
Access County Site #

USGS Quad: 025 Beaufort  
Doc. Level: Intensive Level-Building

Historic name(s): \_\_\_\_\_ Map Ref.: BET 09 (BR) Tax Number: R120 004 000 0868 0000  
Common name(s): Beaufort Inn City Block Ref.: 59 .10 Island: Port Royal Is.  
Address/location: 809 Port Republic St. City/Vicinity of (vic.): Beaufort  
Date: 1895 ca. Alteration date: 1930's ; 1990's  
Ownership:  1. private  2. city  3. county  4. state  5. federal  6. unknown  
Category:  1. building  2. site  3. structure  4. object  
Historic use(s): commercial Current uses: hotel/inn

National Register Status: \_\_\_\_\_ Date: \_\_\_\_\_ Listing Name: \_\_\_\_\_ NRIS # \_\_\_\_\_  
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Does not contribute to listed district Name: Beaufort Historic District

Consultant Recommendation: \_\_\_\_\_ Name: \_\_\_\_\_

Previous Survey: Reference: Notes:  
 H.A.B.S.  Other \_\_\_\_\_  
 Feiss-Wright (1969) \_\_\_\_\_  
 Historic Resources of the Lowcountry (1979) \_\_\_\_\_  
 Milner Historic District Inventory (1979) 059 (868) -9 Vol. 17; full form  
 A Guide to Historic Beaufort (1995 ed.) \_\_\_\_\_

Photograph:



Photographs:  
 prints  
 slides  
 negatives

Date: 9/15/97  
Recorder: C. Brooker, Brooker Arch. Cons.

Roll # Neg. View of:  
B-18 12 S facade & W elev., fac. NE  
B-18 14 W elev., fac. E

Style: Queen Anne Commercial Form: \_\_\_\_\_

Core Shape: rectangular Stories: 2.5 stories Construction: frame

Roof: Shape: gable (end to front) Material: V crimp metal  
cross gable

Chimney: Type: exterior Material: brick

Exterior Walls: weatherboard

Windows: single Type: \_\_\_\_\_ Pane 2/2  
 Config.: \_\_\_\_\_

Doors: single Foundation: brick piers  
transom  
sidelights

Porch Height: 2 or more stories Porch Width: full facade Porch Roof Shape: shed

Porch Details: turned posts Decorative Elements: wood  
turned balusters brick

Outbuildings: Interior Features: \_\_\_\_\_

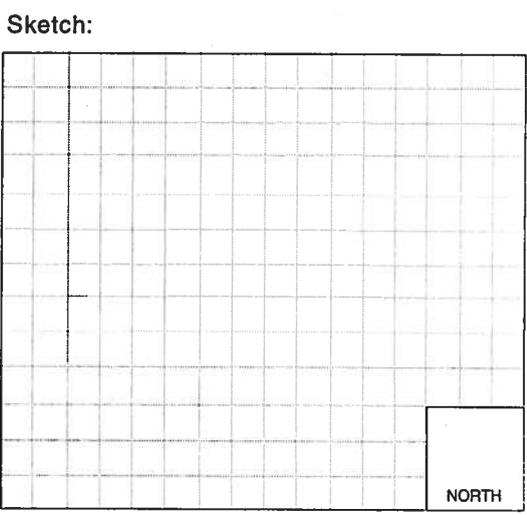
Number of Related Resources: \_\_\_\_\_

Surroundings: commercial, urban Acreage: Less than one Quadrangle: Beaufort

Alterations: Alteration date: 1930's ; 1990's Integrity: \_\_\_\_\_ Condition: \_\_\_\_\_

Description:

**Historical Data:** Local tradition suggests this house was built circa 1895 for Sydney Smith, an attorney from Hampton, SC, as a summer house for his family. His daughter Phoebe Wallace Smith inherited the property upon his death in 1913. In the 1920s, the Smiths sold the property and it was later used as a boarding house. Mrs. Gordon Black purchased the property in the early 1930s and renovated it into a small guest hotel, known as the Beaufort Inn, which opened in 1933. The house was extensively renovated, altered and enlarged by Scott Williams during the late 1980's and early 1990's and continues to be used as a hotel under the name Beaufort Inn.



Site Number: U - 13 - 965

Informant/ Bibliography: Historic Beaufort Foundation historic sites survey files. Downtown Beaufort as a Classroom, Lady's Island Middle School, 1995.

Thank you for making application to the Historic Review Board. This email confirms receipt of your HRB application for approval of new construction at 809 Port Republic Street.

We have performed an initial review of your project for completeness per the HRB Checklist and have noted that the following items are missing from your application. **Please provide the following by end of day on Friday, August 21<sup>st</sup> in a complete, revised application** to remain on the agenda for the September meeting. If you are able to provide the items listed for Final review by Friday, we will certainly review the project for Final approval, but as the application currently stands, we are planning to review for preliminary approval if the requested information for conceptual review below is provided by end of day on Friday. Please note that any information submitted after Friday, August 21<sup>st</sup>, will not be reviewed for the September meeting.

1. Since this application involves a previously approved application, we ask that you clarify the following in your revised submission:
  - Please be consistent when labeling current proposed drawings. All drawings that are part of the current proposal must be clearly indicated as “Updated Proposed” or “Current Proposed”, and all previously approved drawings should be clearly indicated as “Previously Approved”. **Drawings updated to include the works Previously” and “Updated”**
  - As discussed, please add keynotes to the “previously approved” vs “current proposed” elevation pages so that reviewers can clearly understand exactly what has changed. **Keynotes NOT added due to time. Narrative on these drawings should be clear for board and I can clarify during meeting.**
  - It would be helpful to see a “previously approved” site plan next to a “current proposed” site plan so that we can understand the changes that have been made to setbacks and landscaping that are difficult to identify on elevation drawings. Please use keynotes in these plans as well. **Added scanned pdf of previously approved site plan**
  - Please include your application form with the revised submission. **Application included**
  
2. For Conceptual Review:
  - Please provide color photographs of the existing lot and adjacent structures. **photos included page 01**
  - Please clearly note property lines and setbacks on the proposed site plan. **Beaufort Inn owns entire block. Core Commercial has (0) setbacks. See 01 Cover Sheet.**
  - Please clarify how parking will work for this property. If a parking agreement is in place, please provide this with your application. **See 01- Beaufort Inn owns parking lot across West Street.**
  - Please indicate if any trees currently exist on the property, list their circumference at DBH, and indicate whether or not they will be kept or removed. **No trees are removed, only one shrub.**
  
3. Preliminary Application Requirements have been met with the exception of the above items.
  
4. For Final Review (in addition to the above requirements for conceptual review):
  - A typical wall section has been provided that portrays a brick wall, but the 3d views and elevation indicate that several typical wall conditions exist. Please include a typical wall section for each typical wall condition. Please also include typical details for all porch conditions (single and multi-story), for canopies, ramp, railings, stairs, parapets, and all window conditions. **new detail is added showing porch conditions and porch roof condition.**
  - Please clarify if the final materials list included with the 2008 submission is still correct, or if any changes to materials have been made. If changes have been made, please provide a complete, updated list in your application. **Material list on drawing 16**
  - Please include a landscaping plan that includes a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with any trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.
  - Please provide cut sheets for windows, lighting, building materials, doors, shutters, foundation material, brick, storefront, etc. **Cut sheets on drawing 16**
  
5. Although a final design review has not been performed for this application, we did note the following during our initial review that should be addressed by Friday if possible. If these cannot be addressed, please note that these comments will be included with our final comments:
  - The ADA ramp shown on the East elevation currently does not include handrails. Handrails must be provided per code, and details of these handrails must be submitted for final review. **Model of ramp is shown.**
  - Staff has concerns about the area on the ground floor below the porches on the West elevation. Currently, the columns terminate in separate column bases instead of at a porch at the first level. Can you clarify the intended use of the first floor interior? Staff recommends using the exterior space below the upper porches as another porch off of the lobby. This will provide a consistent base for the columns as well as another place where the building can engage with the street and sidewalk on the west elevation. **Will address at meeting**

Please let us know of any questions about the items above.

Many thanks,

Meredith Jacobs

**Meadors Architecture**

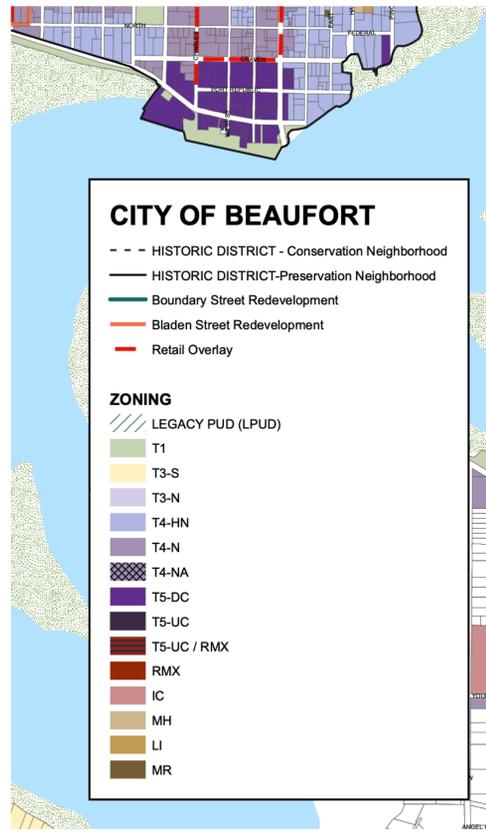
2811 Azalea Drive

Charleston, SC 29405

Cell: 843.729.0172

Office: 843.723.8585

[www.meadorsinc.com](http://www.meadorsinc.com)



# 3.3 Port Republic Street

Sector: 1  
 Project Type: Public | Private  
 Civic Investment Required: Port Republic Festival Street

This plan proposes infill commercial development along Port Republic Street to extend the shopfront environment of Bay Street through downtown. New retail opportunities would be facilitated by a civic investment that transforms Port Republic Street into a festival street that can be easily closed off to vehicular traffic and function as an event space. The new Port Republic Street design would not have a raised curb, but would instead utilize consistent decorative paving from building face to building face with intermittent bollards to separate pedestrians from vehicular circulation. This mix of pedestrian and vehicular environments at an intimate scale would slow traffic speeds and better serves the retail character of the area.



## BUILDING INFORMATION:

TYPE 2 CONSTRUCTION  
 3 STORIES  
 R-1 OCCUPANCY  
 FULLY SPRINKLERED

## SQUARE FOOTAGE:

SITE FOOTPRINT: 5157 S.F. (all nonpervious)

FIRST FLOOR: 3668 HEATED  
 1094 PORCHES

SECOND FLOOR 3668 HEATED  
 886 PORCHES

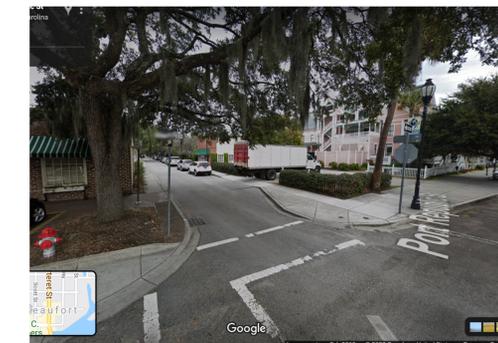
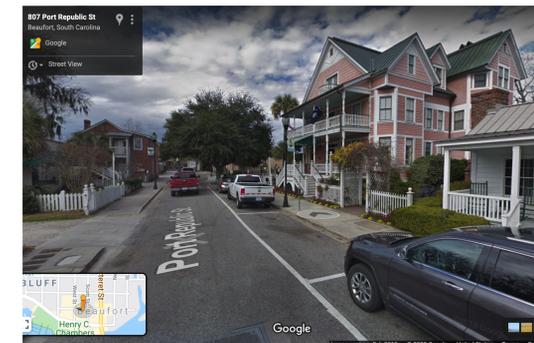
THIRD FLOOR 3668 HEATED  
 886 PORCHES

ZONING: CORE COMMERCIAL

SETBACKS: 0

PARKING: EXISTING BEAUFORT INN

NO EXISTING TREES TO BE REMOVED



DISTRICT	T3-S	T3-N	T4-HN	T4-N	T5-DC	T5-UC
<b>A. LOT CONFIGURATION</b>						
1. Lot Width at Front Setback	75 ft min; for waterfront lots see Section 2.5.4	40 ft min, 60 ft min in the Hundred Pines neighborhood	40 ft min, 60 ft min in The Point	n/a	n/a	n/a
2. Lot Size	9,000 sf min; for waterfront lots see Section 2.5.4	4,000 sf min; 3,000 sf min for alley-served lots	4,000 sf min; 6,000 sf min in The Point	n/a	n/a	n/a
3. Maximum Lot Coverage <sup>1</sup>	30% of lot area	45% of lot area	55% of lot area	70% of lot area	100%	100%
4. Frontage Build-Out <sup>2</sup>	n/a	n/a	75% max	60% min; 85% max	75% min	60% min
<b>B. PRIMARY BUILDING PLACEMENT</b>						
1. Front Setback; for infill lots also see Section 2.5.2	20 ft min No max	15 ft min 30 ft max <sup>3</sup>	average Prevailing Setback on block	0 ft min 15 ft max	0 ft min max. Prevailing Setback on block	0 ft min 15 ft max
2. Side Setback - Corner / Alley	15 ft min No max	6 ft min No max	5 ft min No max	0 ft min 10 ft max	0 ft min 15 ft max	0 ft min 15 ft max
3. Side Setback - Interior	10 ft min	6 ft min	6 ft min, 10 ft min in The Point	5 ft min, or 0 ft if attached	0 ft min	0 ft min
4. Rear Setback <sup>4</sup>	15 ft min	15 ft min	15 ft min	10 ft min	0 ft min	5 ft min
5. Rear Setback from Alley <sup>4</sup>	n/a	0 ft	0 ft	0 ft	0 ft	0 ft
6. Attached Garage/Carport Setback (from front facade) <sup>5,6</sup>	5 ft min	5 ft min	attached garages shall only be accessed via an alley; garage doors shall not face the street			
<b>C. ACCESSORY BUILDING PLACEMENT</b> - see section 3.11 for additional requirements						
1. Front Setback	accessory structures shall be located behind the front facade of the primary structure, except as provided for in Section 2.5.4 (Waterfront Lots) and Section 4.5.3 (Carriage House); see item 6 below for setback for detached garage doors					
2. Side Setback - Corner / Alley <sup>5</sup>	5 ft min	5 ft min	5 ft min	3 ft min	0 ft min	0 ft min
3. Side Setback - Interior	5 ft min	5 ft min	5 ft min	5 ft min	0 ft min	0 ft min
4. Rear Setback <sup>4</sup>	5 ft min	5 ft min	5 ft min	5 ft min	0 ft min	0 ft min
5. Rear Setback from Alley <sup>4</sup>	3 ft min	3 ft min	3 ft min	3 ft min	3 ft min	3 ft min
6. Detached Garage Door/Carport Setback (from front facade) <sup>5</sup>	5 ft min	20 ft min	20 ft min	20 ft min	shall be located behind primary building and accessed via alley or side street <sup>7</sup>	
<b>D. BUILDING FORM</b>						
1. Primary Building Height - see Section 2.6	No min 2.5 stories max	No min 2.5 stories max	No min 3 stories max	2 stories min <sup>11</sup> 4 stories max; 3.5 stories max in & fronting Historic District & interior lots along Allison Rd.	2 stories min 3 stories max at property line, see 2.6.1.G	2 stories min <sup>11</sup> 5 stories max; 3.5 stories max in & fronting Historic District
2. Accessory Building Height	2 stories or 30 ft max	2 stories or 30 ft max	2 stories or 30 ft max	2 stories or 30 ft max	2 stories max	2 stories max
3. Building Width at Frontage	n/a	n/a	n/a	100 ft max	100 ft max <sup>12</sup>	160 ft max <sup>12</sup>
<b>E. PARKING PAD LOCATION</b> - there are no interior side setbacks for parking unless buffers are required per Section 5.5. See Section 2.5.8 for additional provisions						
1. Front Setback	n/a	n/a	40 ft min	40 ft min	40 ft min	40 ft min
2. Side Setback - Corner	n/a	n/a	5 ft min	15 ft min	5 ft min	5 ft min
3. Rear Setback	n/a	n/a	5 ft min	5 ft min	0 ft min	0 ft min

### D. Specific to T5 Zones:

- The finished ground floor height for residential structures shall be elevated a minimum of 3 feet above the average adjacent sidewalk grade. Apartment Houses are permitted to be a minimum of 18" above grade, per Section 4.5.7.
- The ground floor height of residential structures shall be a minimum of 10 feet from finished floor to ceiling.
- The ground floor height of single-story commercial buildings shall be a minimum of 14 feet from finished floor to ceiling.
- The ground floor height of multi-story commercial buildings shall be a minimum of 12 feet from finished floor to ceiling.
- In T5-DC, the Historic Review Board may permit deviations from the minimum height requirements listed above if doing so would allow a structure to be more compatible with the surrounding context.
- Each full story above the ground floor shall be a minimum of 8 feet from floor to ceiling.



809 PORT REPUBLIC  
 Port Republic Street  
 Beaufort,  
 S.C. 29902

BEAUFORT INN

CONSULTANTS

R.W. CHAMBERS  
 ARCHITECT

P.O. Box 1181  
 Beaufort, South Carolina  
 843-379-1000

HRB 8/01/20

MARK DATE DESCRIPTION

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Cover Sheet

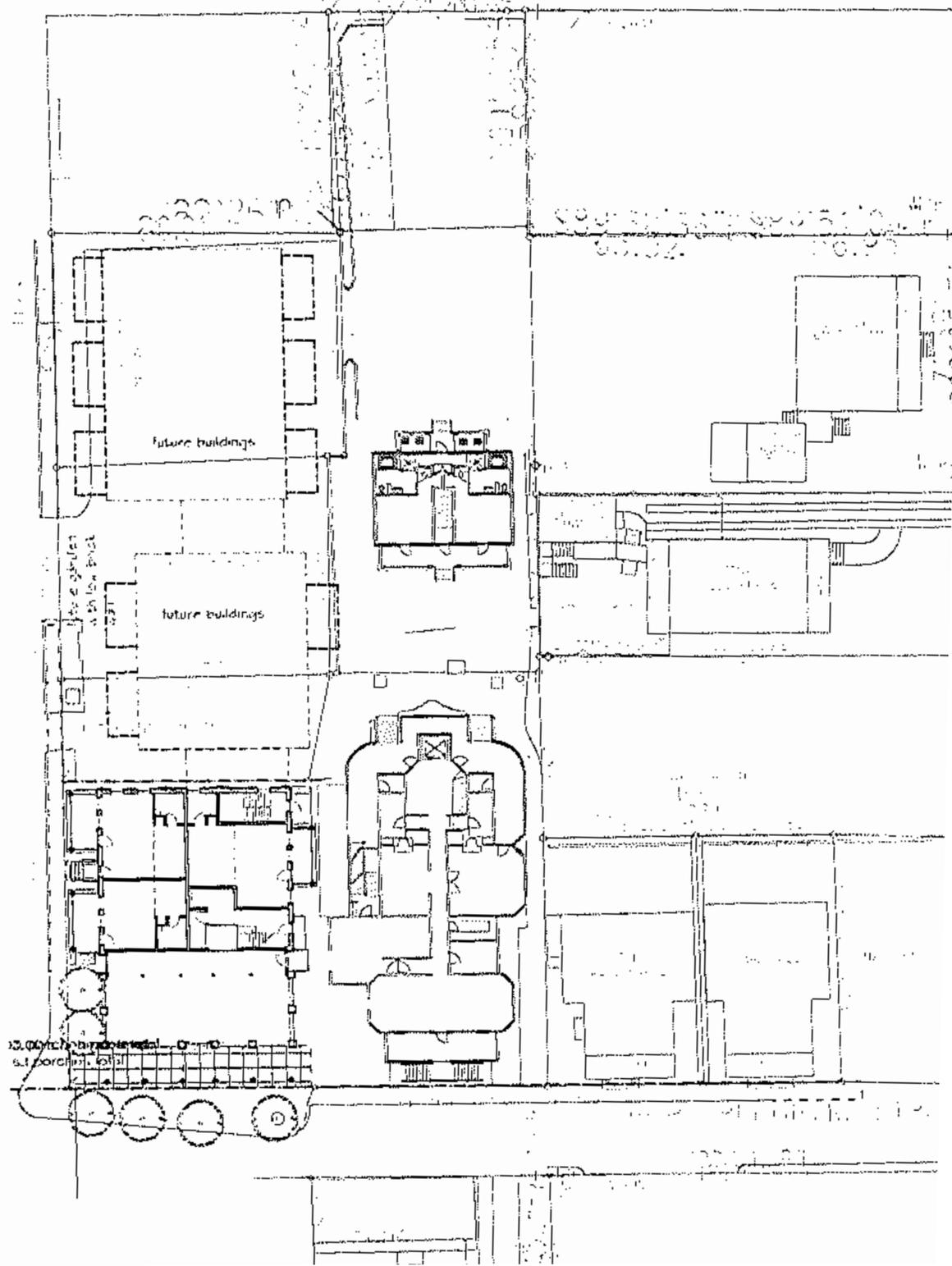
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SHEET 1

OF 16

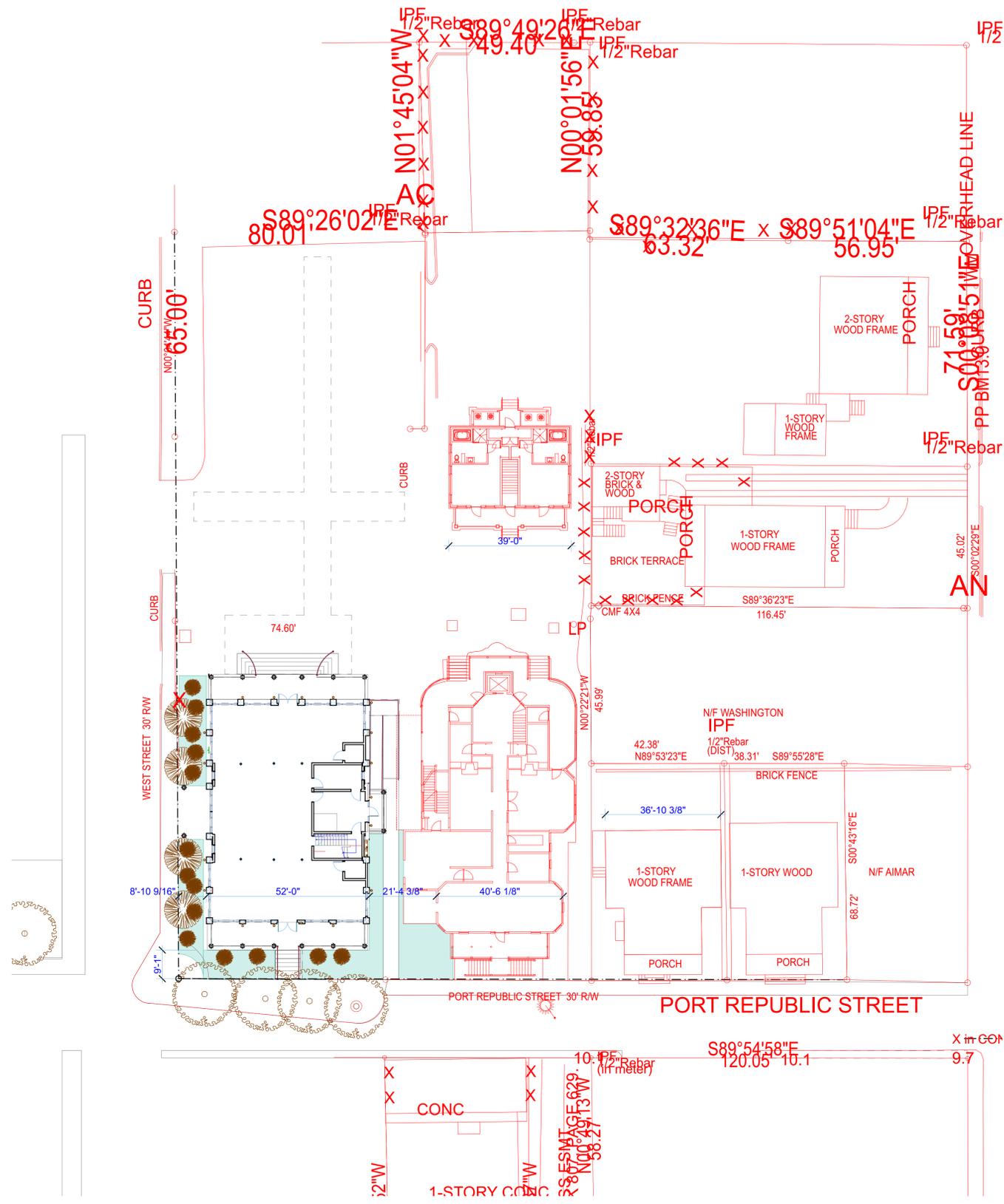


CRAVEN STREET 60' R/W



Previously Approved Site Plan-no scale

CRAVEN STREET 60' R/W



Updated Site Plan  
SCALE: 1" = 20'

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Port Republic Street  
Beaufort,  
S.C. 29902

**BEAUFORT INN**

CONSULTANTS

**R.W. CHAMBERS**  
ARCHITECT

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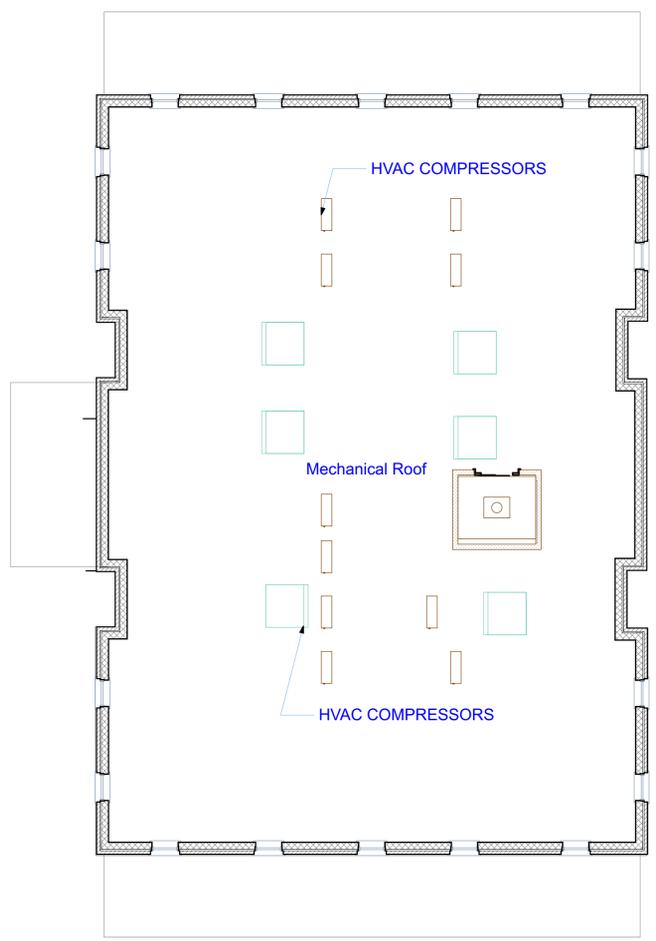
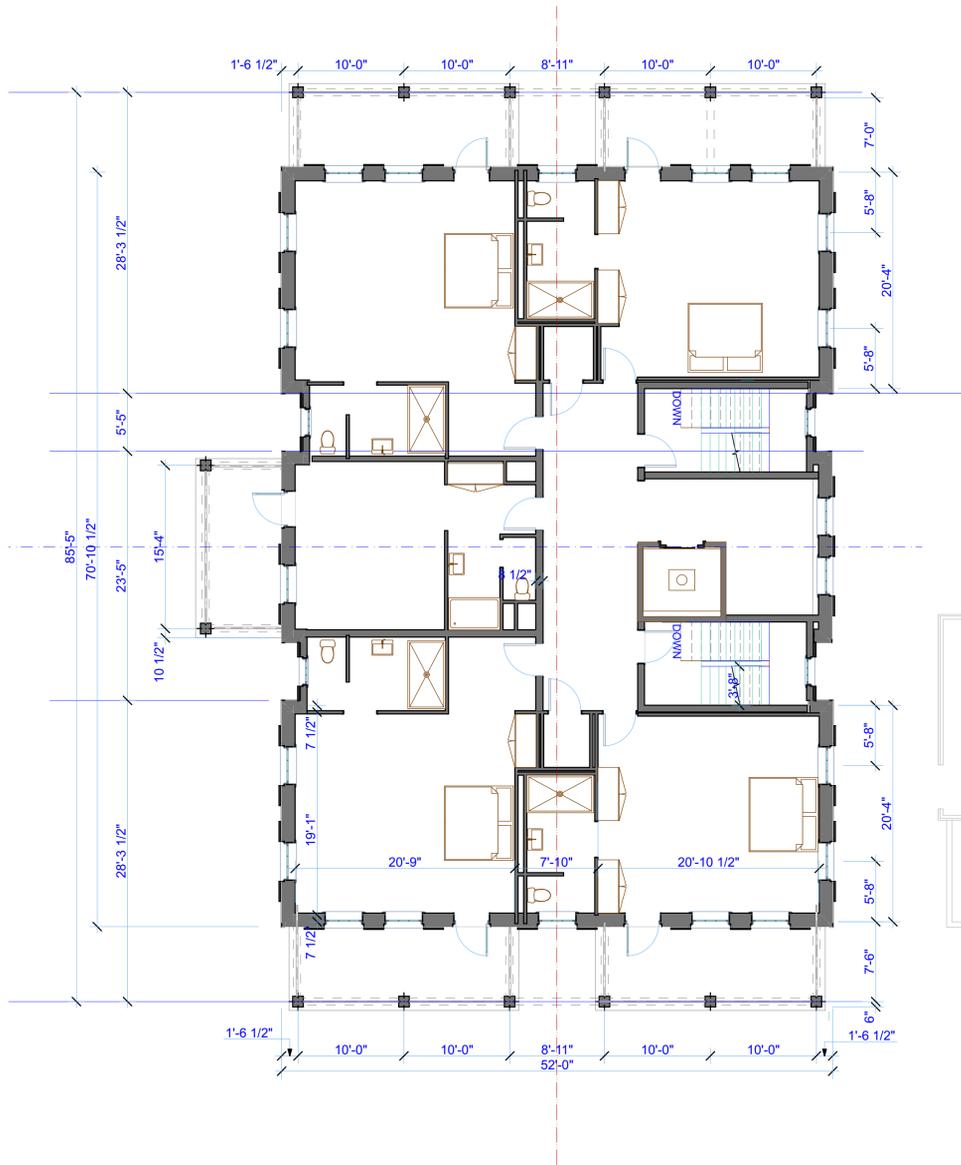
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SHEET TITLE

Site Plan

03





1  
05 Updated 3rd Floor Plan  
SCALE: 1/8" = 1'-0"

2  
05 Updated 4th Roof  
SCALE: 1/8" = 1'-0"

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Port Republic Street  
Beaufort,  
S.C. 29902

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Updated Floor Plans

05



1 Updated South Elevation  
06 SCALE: 1/8" = 1'-0"



2 Updated West Elevation  
06 SCALE: 1/8" = 1'-0"

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Port Republic Street  
Beaufort,  
S.C. 29902

BEAUFORT INN

CONSULTANTS

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SHEET TITLE  
Updated Elevations

06





2  
08 Previously Approved South Elevation  
SCALE: 1/8" = 1'-0"

1. PROVIDED FULL SOUTH PORCH ON MAIN FLOOR.
2. RAISED MAIN FLOOR FORM EL 13.0 TO 14.0'
3. INCREASED SETBACK ON PORT REPUBLIC STREET TO ALIGN WITH BEAUFORT INN.
4. PROVIDED CURB AND LANDSCAPED FILL ON GROUND PLANE TO REDUCED MASS. APPROVED WAS HARD-SCAPED.
6. ENTRANCE IS OFF PORCH MAIN LEVEL.



1  
08 Updated South Elevation  
SCALE: 1/8" = 1'-0"

1. ADDED NORTH PORCHES TO ADDRESS THE GARDEN.
2. PROVIDED SYMMETRY
3. REMOVED CURTAIN GLASS WALLS ON WEST SIDE.
4. LARGER AWNINGS ARE ADDED.
5. RAISED MAIN FLOOR FORM EL 13.0 TO 14.0'
6. REDUCED LENGTH ON BUILDING MASS.
7. INCREASED SETBACK ON PORT REPUBLIC STREET TO ALIGN WITH BEAUFORT INN.
8. INCREASED WEST SIDE LANDSCAPING AREA.



3  
08 Previously Approved West Elevation  
SCALE: 1/8" = 1'-0"



4  
08 Updated West Elevation  
SCALE: 1/8" = 1'-0"

**809 PORT REPUBLIC**  
Port Republic Street  
Beaufort,  
S.C. 29902

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CONSULTANTS

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Comparison Elevations

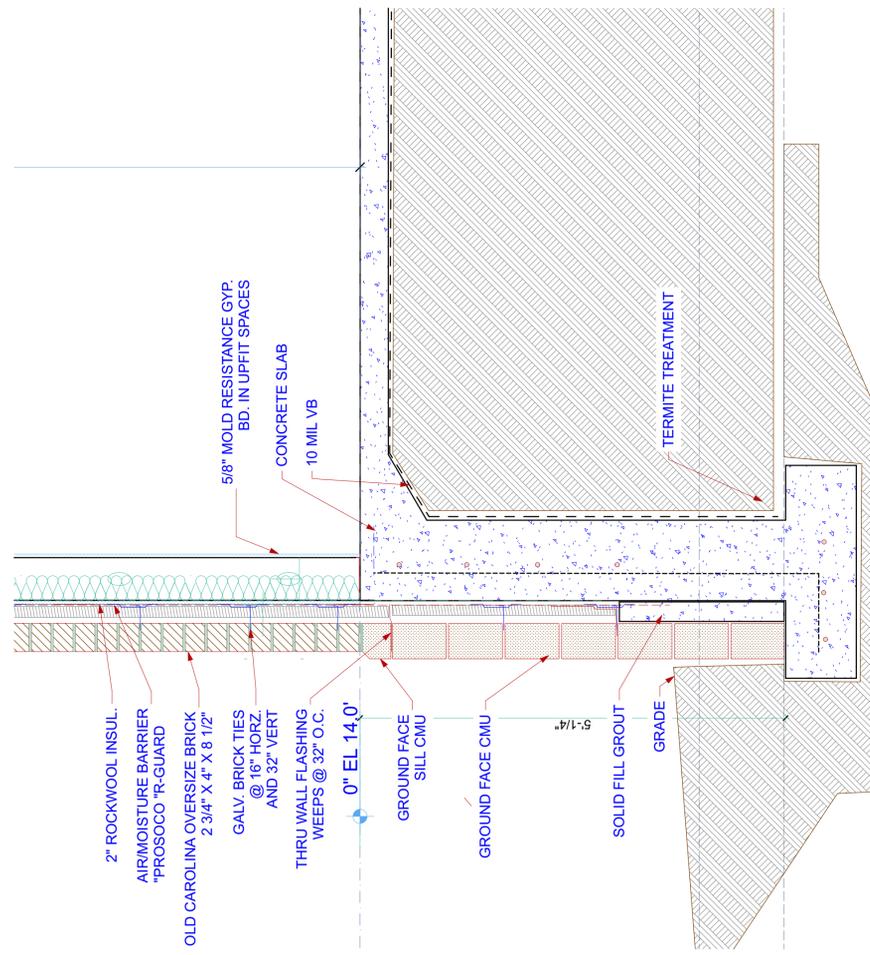
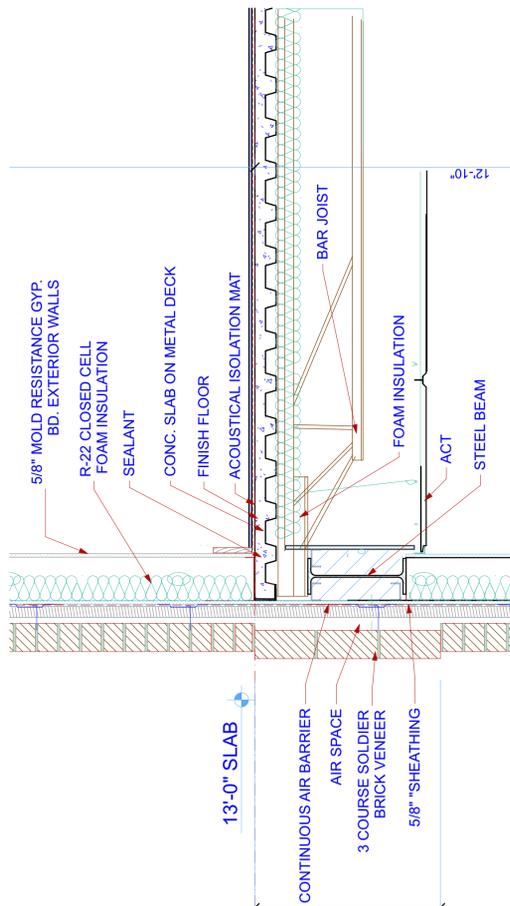
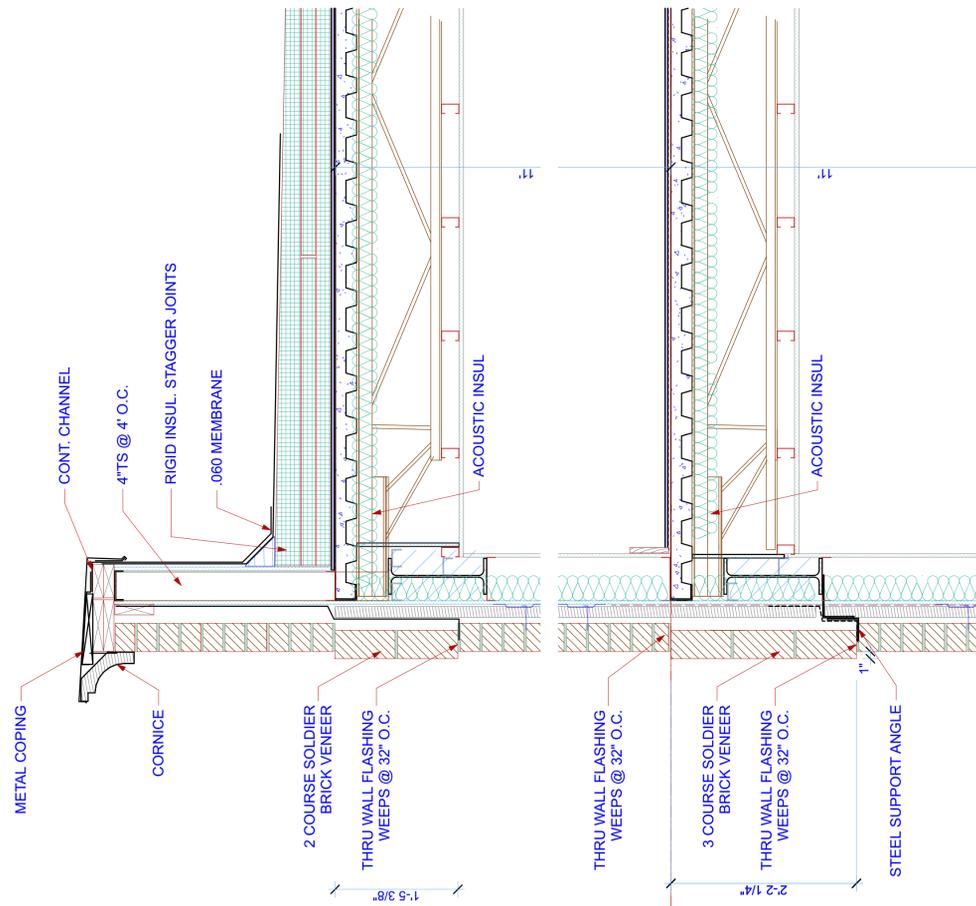
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SHEET 8

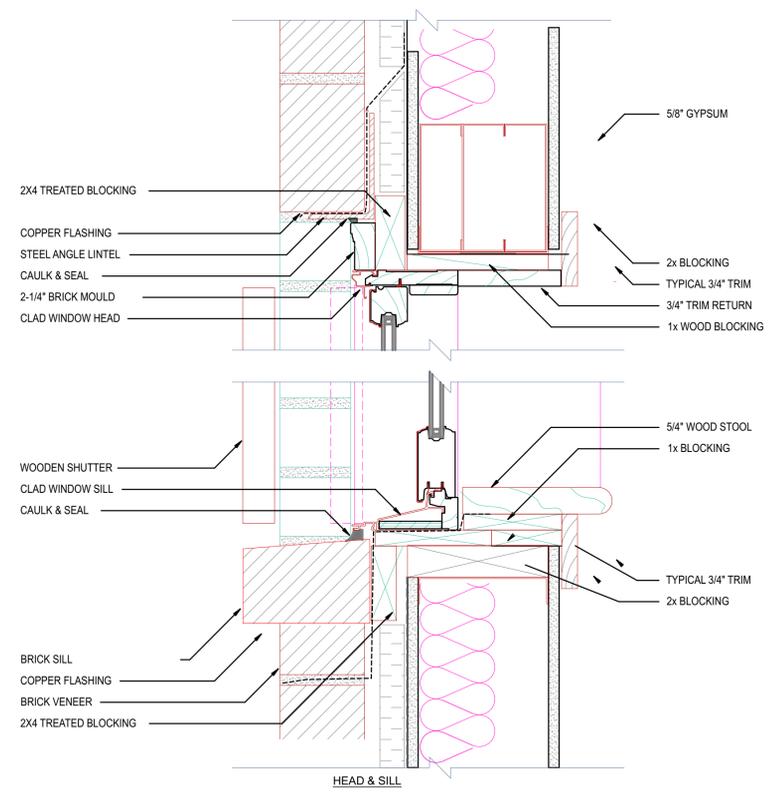
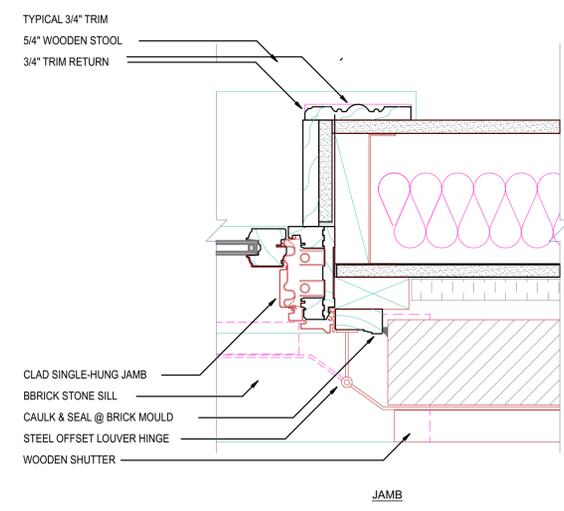
OF 16







W-03 Window Detail/doors Similar  
11 SCALE: 3" = 1'-0"



DETAIL D01 11 SCALE: 1" = 1'-0"

809 PORT REPUBLIC  
Port Republic Street  
Beaufort, S.C. 29902

BEAUFORT INN

CONSULTANTS

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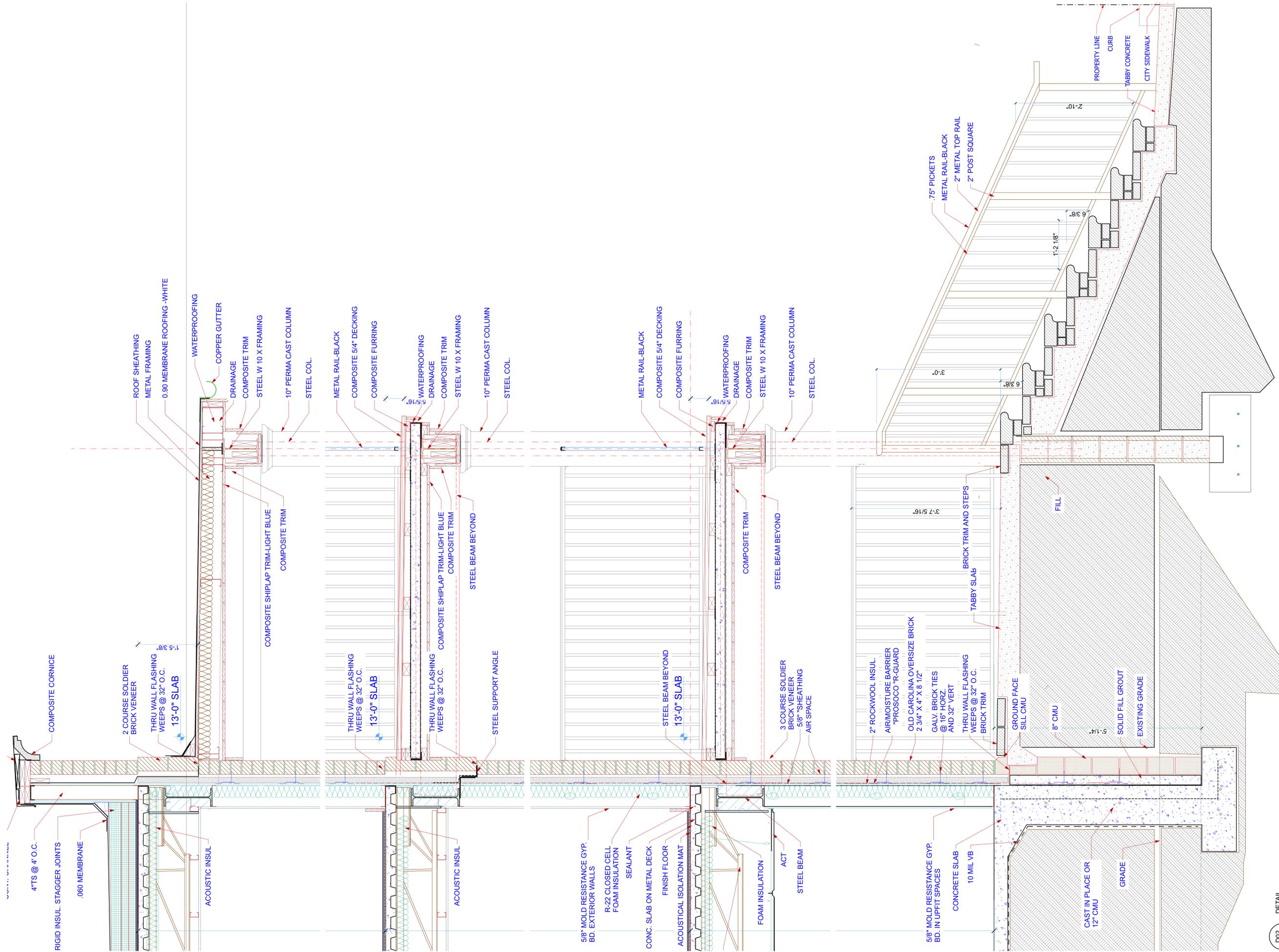
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SHEET TITLE

Updated Wall Section



DETAIL  
12  
SCALE: 1" = 1'-0"

# 809 PORT REPUBLIC

Port Republic Street  
Beaufort,  
S.C. 29902

## BEAUFORT INN

CONSULTANTS

R.W. CHAMBERS  
ARCHITECT

P.O. Box 1181  
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HRB	8/01/20	

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SHEET TITLE

Updated Wall Section







# The Pro Series

Atlantic's ProSeries Shutters are hand-assembled from exterior-grade composite wood components that will not rot, crack or split. ProSeries Shutters come ready to be painted with any high-quality exterior paint of your choice.



Louver

Raised Panel

16 Atalatic Louver Shutter- color Black



INTERIOR

EXTERIOR

16 Marvin Clad- Color White

## Features of the Ultimate Double Hung G2 Window

- Available in heights up to 10.5 feet or widths up to 5.5 feet
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy
- Retractable screen option is nearly invisible when the screen is not in use
- Available with the same features in a single hung style, with optional Lift Lock
- Additional configurations include round top, stationary transom or picture window
- Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked
- Available with I23 coastal/hurricane certification
- Available with Commercial Windows Performance certification
- CE certified



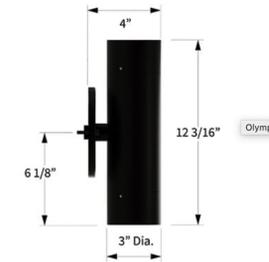
16 Rainier Fabric Awning Gray



16 Accent Brick in Recess- Old Carolina-Color Bessemer Gray



16 Main Body Brick - Old Carolina- Color Georgetown



Olympus

### Downloads:

- Specifications Data Sheet
- Installation Instructions
- Photometry Reports
- CAD Files

Lumens: ≤ 450 Watts: 7W Input: 12V  
 CCT: ● 2700K ● 3000K ● 4000K ● Amber  
 Materials: ● Aluminum ● Brass ● Stainless

16 BK EXTERIOR LIGHTING

### 1600 Wall System®5 Curtain Wall



ADD TO MY PRODUCT L

## 1600 Wall System®5 Curtain Wall

- 2-1/2" (63.5mm) sightline
- 6" (152.4mm) or 7-1/2" (190.5mm)
- Thermal performance
- Low to high rise application
- Structural silicone glazed (SSG) options



16 HC Ramp

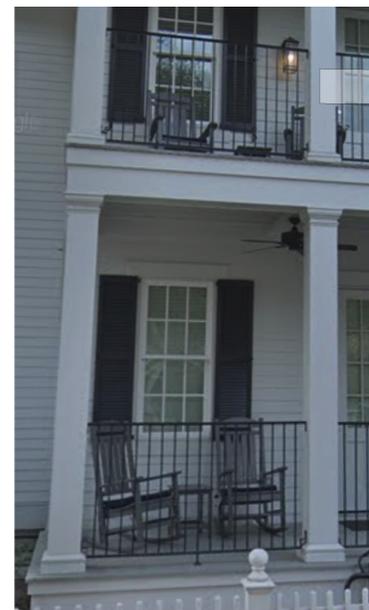
16 Kawneer Storefront 1600 Color Black



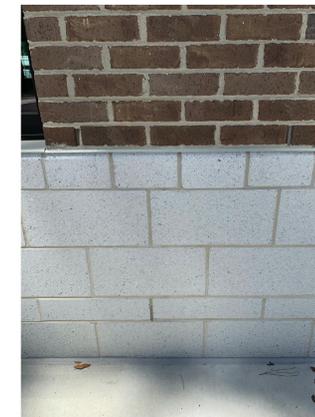
16 Brannon Millwork Entrance Doors



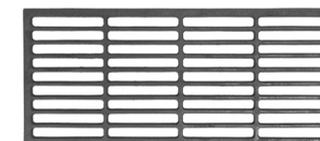
16 Marvin Exterior Doors-Ultimate Clad Color-black



16 Metal Railings-Permacast Columns



16 Ground Face CMU- White / White Grout



16 Metal Grate- Steel Supply- Color Balck

809 PORT REPUBLIC  
 Port Republic Street  
 Beaufort,  
 S.C. 29902

## BEAUFORT INN

### CONSULTANTS

### R.W. CHAMBERS ARCHITECT

P.O. Box 1181  
 Beaufort, South Carolina  
 843-379-1000

MARK	DATE	DESCRIPTION
HRB	8/01/20	
PROJECT NO:		
MODEL FILE:		
DRAWN BY:	RWC	
CHK'D BY:	RWC	
COPYRIGHT		

### SHEET TITLE

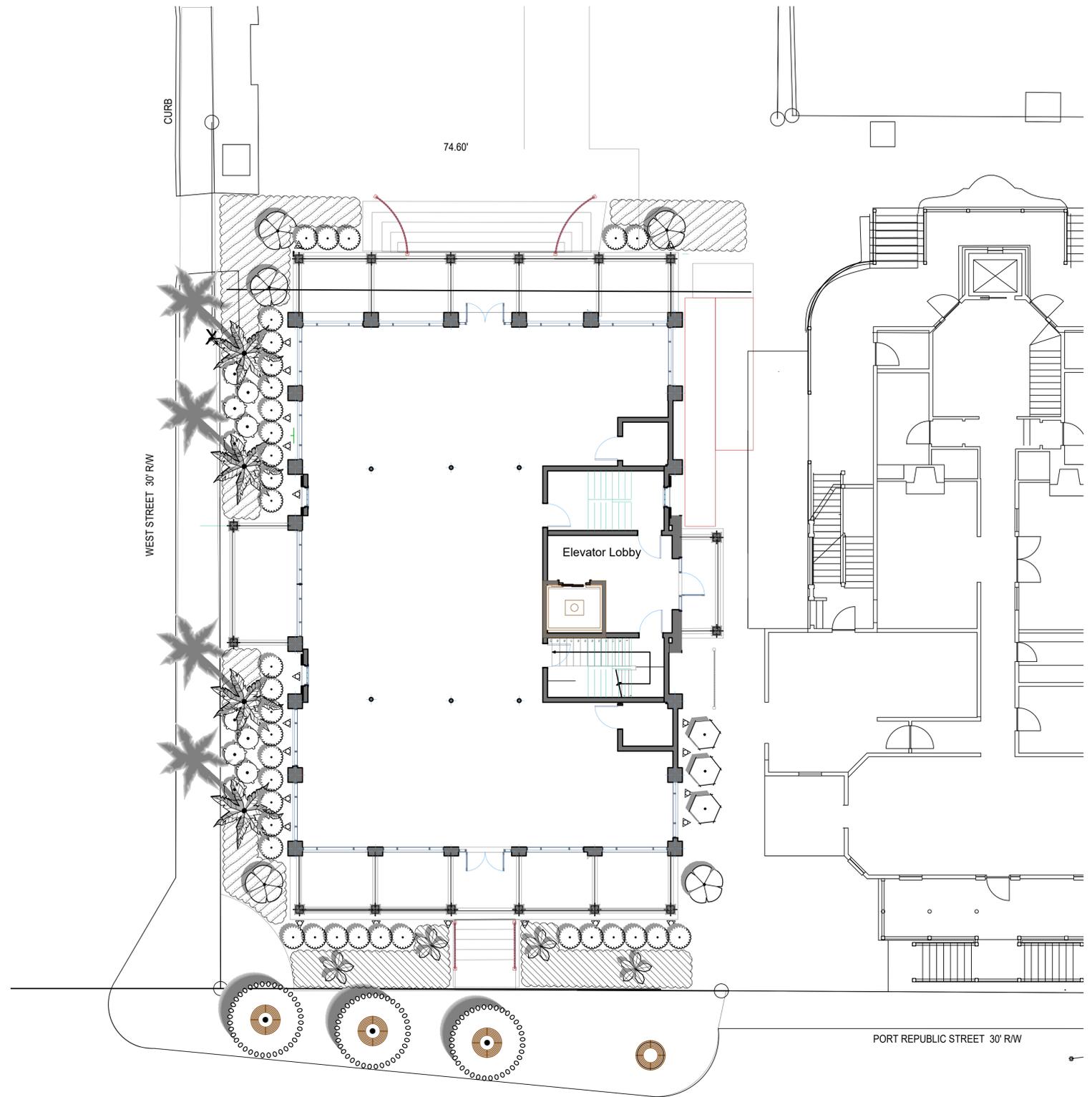
## MATERIAL LISTS COLORS

**PLANT SCHEDULE**

UNDERSTORY TREES	QTY	COMMON / BOTANICAL NAME	CAL	CONT.	HEIGHT/SPREAD	REMARKS	
	4	Cabbage Palmetto / Sabal palmetto	N/A	Bare Root	12-15' H		
	3	Crape Myrtle / Lagerstroemia x 'Natchez'	2" Cal	30 gal	8-10'	Single Trunk	
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT.	HEIGHT/SPREAD	LQP	REMARKS	
	3	Anise Tree / Illicium parviflorum	7 gal	30-36"			
	5	Camellia / Camellia sasanqua 'White Doves'	15 gal	3-4'			
	35	Dwarf Podocarpus / Podocarpus macrophyllus 'Dwarf Pringles'	7 gal	24-30"			
	10	Rose / Rosa x 'Pink Knockout'	3 gal	15-18"			
CYCADS/PALMS	QTY	COMMON / BOTANICAL NAME	CONT.	HEIGHT/SPREAD	LQP	REMARKS	
	4	Sago Palm / Cycas revoluta	15 gal	2-3'			
VINE/ESPALIER	QTY	COMMON / BOTANICAL NAME	CONT.	HEIGHT/SPREAD	LQP	REMARKS	
	22	Creeping Fig / Ficus pumila	1 gal	4-6"			
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT.	HEIGHT/SPREAD	LQP	SPACING	REMARKS
	111	Monroe's White Lilyturf / Liriope muscari 'Monroe's White'	1 gal	8-10"		18" o.c.	
	121	Super Blue Liriope / Liriope muscari 'Super Blue'	1 gal	8-10"		24" o.c.	

**PLANTING NOTES:**

- CONTRACTOR SHALL PROVIDE A SOIL ANALYSIS BY A QUALIFIED SOIL-TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT, AND CLAY CONTENT, CATION EXCHANGE CAPACITY, DELETERIOUS MATERIAL, pH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL. REPORT TO BE PROVIDED TO OWNER'S REPRESENTATIVE. CONTRACTOR TO FURNISH SUITABILITY REPORT OF TOPSOIL FOR LAWN AND PLANT GROWTH. STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHOROUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL. IF ADDITIONAL TOPSOIL IS REQUIRED, CONTRACTOR TO PROVIDE STOCKPILED TOPSOIL OR IMPORTED OR MANUFACTURED TOPSOIL FREE OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEEOUS MATERIALS HARMFUL TO PLANT GROWTH AND HAVING THE APPROPRIATE PERCENTAGES AS RECOMMENDED BY SUITABILITY REPORT.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING AND PROPOSED UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING AND PROPOSED UTILITIES.
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, SPRIG AND PLANTING BEDS. SEE IRRIGATION PLANS FOR INFORMATION.
- MULCH ALL PLANTING BEDS WITH PINE STRAW TO A 4" DEPTH.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED-IN-BURLAP OR CONTAINER. OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- AREAS SHOWN WITH SOD ARE APPROXIMATE. ADDITIONAL SOD MAY BE REQUIRED DURING INSTALLATION.
- ALL TREE SHRUBS, & GROUNDCOVERS ARE TO BE GUARANTEED FOR A PERIOD OF 1 YEAR BEGINNING UPON ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR STAKING ANY PLANT MATERIALS IN HIGH WIND SITUATIONS OR ANY OTHER THAT WOULD REQUIRE STAKING. CONSULT L.A. FOR PROPER STAKING TECHNIQUES.



JACKSON & SMALL ASSOCIATES  
LANDSCAPE ARCHITECTURE

PO Box 1788  
TYBEE ISLAND, GA 31328  
912-704-1118  
MICHAELSMALLASLA@GMAIL.COM

809 PORT REPUBLIC  
PORT REPUBLIC STREET  
BEAUFORT, SC

Correct plan scale is based on a 24x36 sheet. The designs and concepts shown are the sole property of Michael S. Small LLC and may not be used without the prior written consent of Michael S. Small LLC.

Date: August 21, 2020

Project #:

REVISIONS:

No. Date

Drawn By: MSS

Checked By: MSS

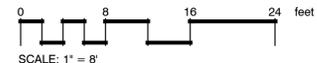
Project #: 0

Drawing Title

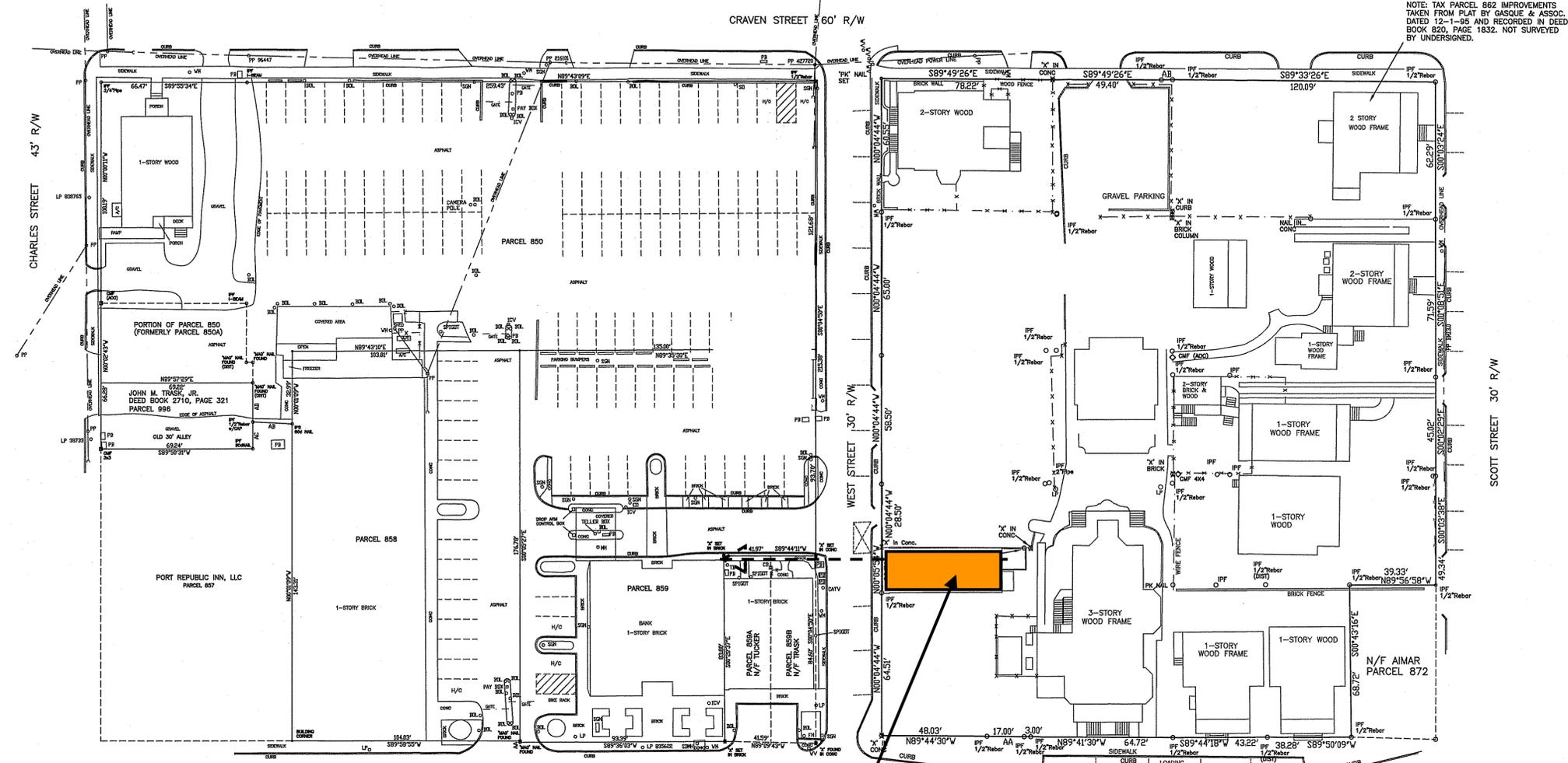
Landscape Plan



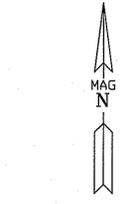
Drawing Number



L1.1



NOTE: TAX PARCEL 862 IMPROVEMENTS TAKEN FROM PLAT BY GASQUE & ASSOC. DATED 12-1-98 AND RECORDED IN DEED BOOK 820, PAGE 1832. NOT SURVEYED BY UNDERSIGNED.



NO.	BEARING	DISTANCE
AA	N89°44'30"W	20.00'
AB	N88°33'30"E	5.10'

NO.	BEARING	DISTANCE
AA	N00°17'59"E	0.61'
AB	N87°22'17"W	18.00'
AC	S00°02'37"E	12.15'
AD	N00°14'20"W	17.80'

PORT REPUBLIC STREET 30' R/W  
**DEMOLITION**  
 of 305 WEST

COMPOSITE PLAT  
 PREPARED FOR  
**BEAUFORT INN, LLC**

PORTION OF BLOCKS 59, 60 & 70, CITY OF BEAUFORT  
 BEAUFORT COUNTY SOUTH CAROLINA

1.666 ACRES IN BLOCK 59  
 1.887 ACRES IN BLOCK 70  
 3.553 ACRES TOTAL

NOT FOR RECORDING

THIS PROPERTY IS LOCATED IN ZONE A-11 (EL 13.0) AS DETERMINED BY FEMA, FIRM COMMUNITY-PANEL NUMBER 450026 0005 D, DATED 9-29-86.

- R121-004-000-1013-0000
- R121-004-000-0850-0000
- R121-004-000-0858-0000
- R121-004-000-0859-0000
- R121-004-000-0996-0000



SCALE 1" = 30'

SEPTEMBER 12, 2013

P15172CS/MMA



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

DAVID S. YOUMANS RLS 9765  
 BEAUFORT SURVEYING, INC.  
 1613 PARIS AVENUE  
 PORT ROYAL, S.C. 29935  
 PHONE (843) 524-3261

Demolition of 307 West Street  
HRB APPLICATION : 809 PORT REPUBLIC STREET DEMOLITION OF 307 WEST STREET.  
JULY 13, 2020

This single story cmu and wood roof construction is not contributing to the historic district and was granted demolition in 2008. The existing parking lot has since become an event garden.





PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

CITY OF BEAUFORT  
HISTORIC DISTRICT REVIEW BOARD  
P. O. DRAWER 1167  
BEAUFORT, SOUTH CAROLINA 29901  
(843) 525-7011  
FAX: (843) 525-7034

**HISTORIC DISTRICT REVIEW BOARD**  
**Certificate of Appropriateness**  
**Final Approval**

June 12, 2008

Mr. R. W. Chambers  
208 B Carieret Street  
Beaufort, South Carolina 29902

**RE: HR08-56                      809 Port Republic Street**

Dear Mr. Chambers:

On June 11, 2008, the City of Beaufort Historic District Review Board met to review your application for a request for Changes After Certification for new construction to be located at 809 Port Republic Street. The Board granted final approval to your application. The Board requested that the base of the first floor posts on the Port Republic Street façade engage with the sidewalk and that the pedestals be removed.

This Certificate of Appropriateness applies only to the requirements of the Beaufort Historic District and does not supersede other City ordinances. Compliance with all other provisions of the City of Beaufort Code of Ordinances is required. Please contact the City Codes Enforcement Office located in the lower level of 701 Craven Street, (843) 525-7040, to apply for the necessary permits. A copy of this letter should be submitted with your application for a permit along with two sets of stamped approved plans.

Be advised that the certificate will expire 12 months from the date of this letter as per Section 3.1.M.1 of the *City of Beaufort Unified Development Ordinance*. If you make any changes in your project that are not part of the approved plan, you will need to submit an application for a Change After Certification.

If you have any questions, feel free to call the Planning Department at (843) 525-7011. Thank you for your patience and cooperation during the review process.

Sincerely,

Libby Anderson  
Planning Director

cc: Mike Wiles, Building Official

PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

CITY OF BEAUFORT  
Historic District Review Board  
Full Board  
Staff Report  
Meeting of June 11, 2008

---

**Case Number:** HR08-56  
**Property Address:** 809 Port Republic Street, Beaufort Inn  
**Applicant:** R. W. Chambers for 303 Associates  
**Type of Request:** New Construction  
**Zoning:** CC Core Commercial Final Review  
**Change After Certification**  
**Preservation Neighborhood**

---

**Historical:** *Beaufort County Historic Sites Survey 1997* lists 809 Port Republic Street, "circa 1895, does not contribute to listed district".  
*Milner Historic Inventory 1979.*

**Background:** The applicant proposes new construction of a three story building in the former location of Tom's Shoe Store. *The Beaufort County Historic Sites Survey 1997* lists 301 West Street, "circa 1910, Tom's Shoe Store, contributes to listed district". A portion of the former building has been relocated to a site within the 809 Port Republic Street boundaries.

**The applicant is requesting final approval of changes after certification of a previously approved building.**

**On April 11, 2008,** the applicant received final approval of previously approved plans for new construction.

**On February 08, 2006,** the applicant received final approval as submitted for new construction.

**On January 11, 2006,** the applicant received preliminary approval with conditions. The board directed the applicant to redesign the connection between the existing Beaufort Inn and the new building to make the connection appear more transparent

**On November 09, 2005,** the applicant presented for conceptual review. The board endorsed the concept but expressed concern with the connection to the Beaufort Inn.

**On June 13, 2005,** Historic Beaufort Foundation received final approval , as submitted, for relocation and demolition of a structure located at 301 West Street, aka Tom's Shoe Store.

PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

On March 09, 2005, the applicant received final approval for changes after certification to include alterations, additions, new construction and demolition to include rehabilitation of 301 West Street (Tom's Shoe Store) as a stand alone building, new construction of a two-story building on Port Republic Street, new construction of two, two-story buildings, adjacent to Tom's Shoe Store on West Street, and demolition of 304 West Street, and a concrete block building located to the north of Tom's Shoe Store (301 West Street), and a one-story non-historic north addition to Tom's Shoe Store (301 West Street).

**Prior Reviews:** July 14, 2004; September 11, 2002; July 10, 2002; May 08, 2002.

**Zoning Issues:** It appears that all requirements have been met.

A Public Hearing for Demolition was held on June 13, 2005.

CC Setbacks:	Front:	None
	Side:	None
	Rear:	None

Codes Review is on file.

An Archeological Impact Assessment Survey, as required by Section 3.12 of *The City of Beaufort Unified Development Ordinance*, has been submitted and accepted.

<b>Design Issues:</b>	Previous Square Footage:	5,181 Sq. Ft. First Floor
		4,933 Sq. Ft. Second Floor
		4,933 Sq. Ft. Third Floor
		<u>972 Sq. Ft. Fourth Floor Terrace</u>
	Total:	16,019 Sq. Ft. Total

First Floor:	Commercial/Retail
Second/Third Floors:	20 Rooms
Height:	40'

**New Square Footage:**

	3,832.90 Sq. Ft. First Floor
	3,832.90 Sq. Ft. Second Floor
	3,832.90 Sq. Ft. Third Floor
	<u>2,331.00 Sq. Ft. (777 Sq. Ft. each level)</u>
Total:	13,829.70 Sq. Ft.

PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

**First Floor:** Retail/Condos  
**Second/Third Floors:** Condos  
**Height:** 34' from flood elevation

Computer models were submitted to show how the new building fits within the context of the historic streetscape and the Beaufort Inn Complex.

A final materials list and samples are on file.

**Changes since last submittal:**

**Site Plan:**

1. There is no connection between the new and existing building. A garden alley is created.
2. The width of the Port Republic Street elevation has changed from 60' to 53 in width.
3. The building mass on Port Republic Street has receded due to the porches on the street. The porches are setback 2' from the property line.
4. The West Street corner is setback 8'-10' extending the plaza from across the Street.
5. The porches on West Street are setback 2' from the property line.
6. There are two entries on West Street.
7. There is central entry on Port Republic Street.

**Height:**

1. The first to second level has been lowered to align the new second level porch with the existing Beaufort Inn porch. -2'-0"
2. The fourth level is eliminated. - *NU requested*
3. The total height has been reduced from 50' to 40'-10".
4. The height on the street is 34'-0" from the flood level and 35'-0" from the ground level floor.

**Building Elevations:**

1. The mass has diminished on Port Republic Street. The first section is 20' in depth with 9'6" porches.

2. There are two porch masses on West Street in lieu of one.
3. The East elevation in mass is similar to the West elevation.
4. There are private entries on the East elevation. The existing ramp on the Inn shall be removed to allow for a larger garden space.

Details:

1. The detailing has been simplified.
2. All materials are the same.

Staff

Recommendation: Approval as submitted.

MU - concern about 315 West Street + how future  
bldgs relate to it  
- DS wanton to & his mind every wk

EVAN - a lot of previous issues have been addressed  
- detached  
- PR entrance  
- more pedestrian relationship  
- height down

mass + scale appropriate - for corner BUT not a precedent  
set for West St.

1<sup>st</sup> fl windows maybe more contemporary

3<sup>rd</sup> fl instead of 9/4 go to 6/6

rusticated foundation should be smooth

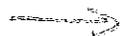
PR colonnade - consider round columns, round masonry  
column straight down to ground  
would make it more traditional/refined

Greg - continue down  
west in front of residences?

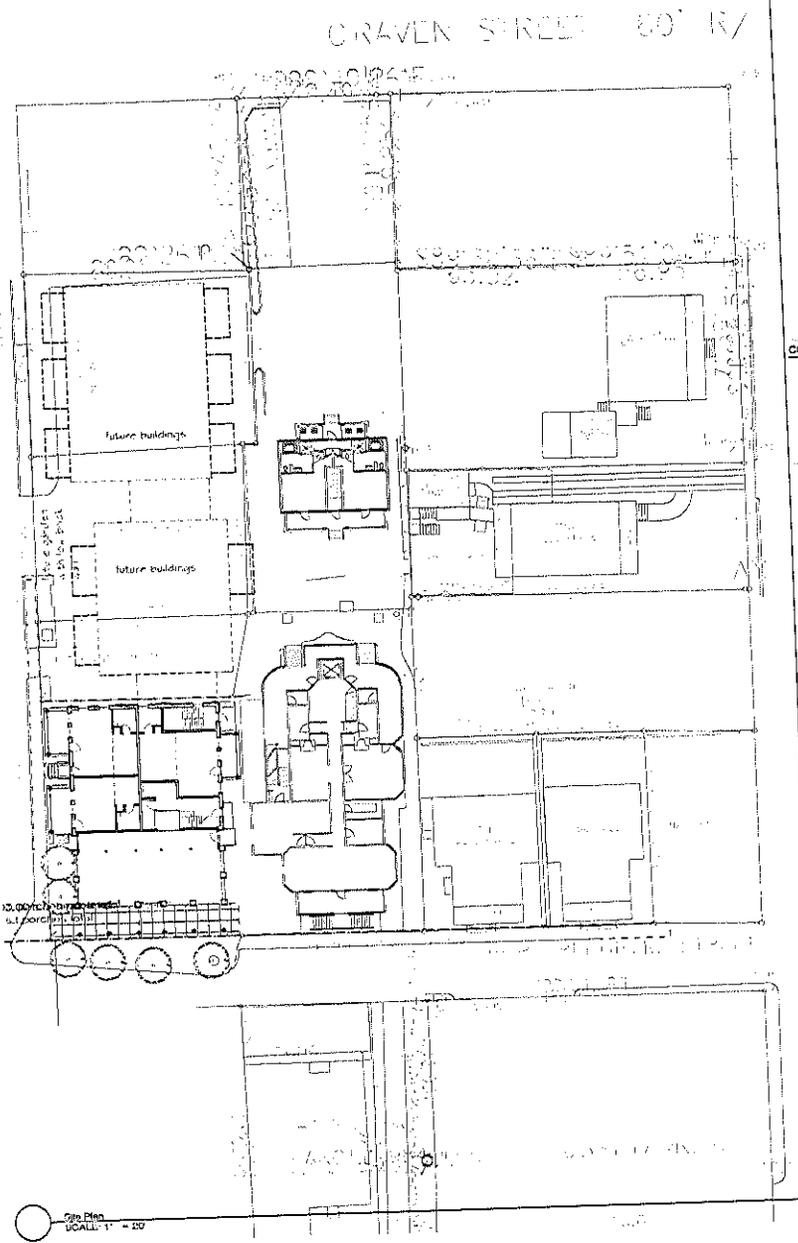
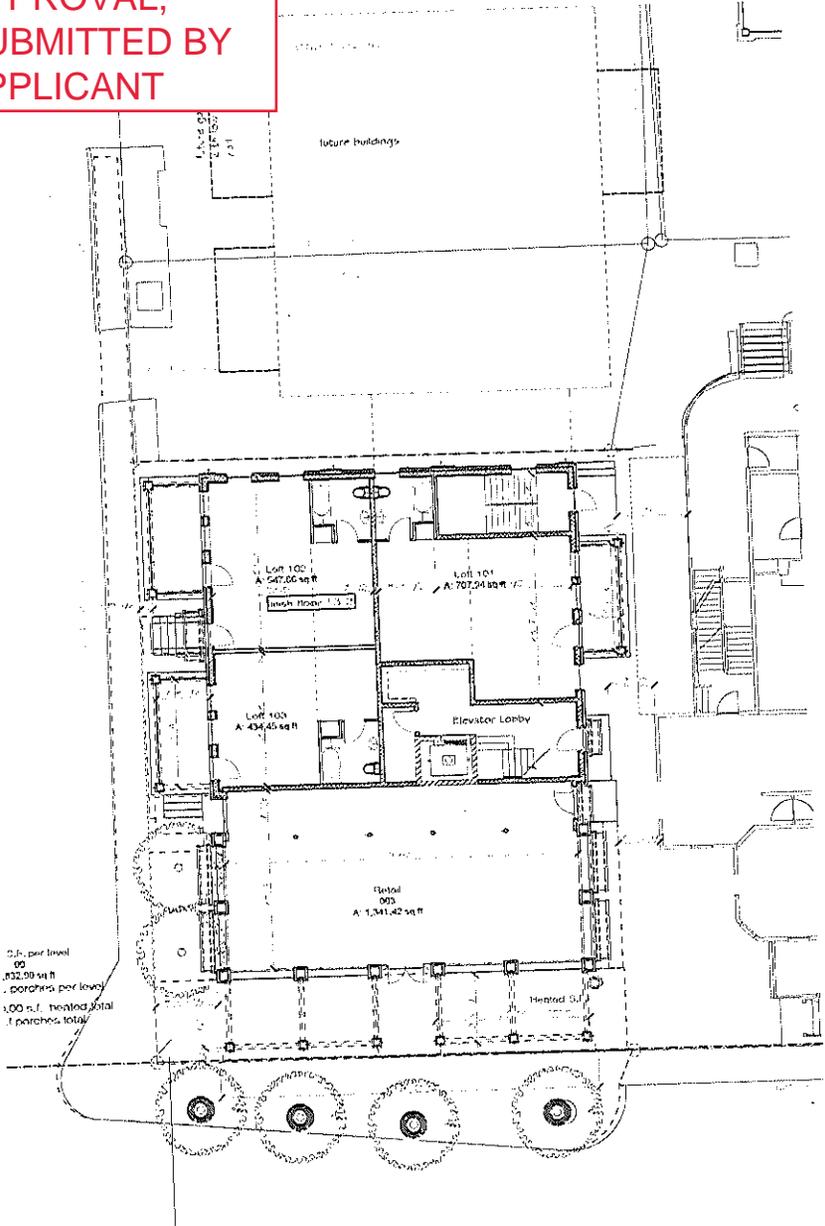
Bill K. - do away w/ square bottom  
stucco base preferred

MU - comparatively speaking  
this is wonderful  
could have saved a lot of time  
solid stucco base  
1<sup>st</sup> level columns a bit larger

Jay - consider permanent columns  
dotted column detail - maybe round  
change soldier course to something less cont.  
... looking at a completely new bldg



PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT



**Beaufort Inn 2**  
Port Republic Street  
Beaufort,  
S.C. 29902

303 Associates  
CONSULTANTS

**R.W. CHAMBERS**  
ARCHITECT  
171 N. 11th  
Beaufort, South Carolina  
29902-1160

PRELIM 3/24/08  
MARK | DATE | DESCRIPTIC

PROJECT NO:  
MODEL FILE:  
DRAWN BY: RWC  
CHKD BY: RWC  
COPYRIGHT

SHEET TITLE  
Layout

01  
SHEET 1 OF 3





PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT



PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT



R. W. CHAMBERS ARCHITECT, LLC

P.O. Box 1181  
Beaufort, South Carolina 29901

5-21-08

Change after Certification  
Beaufort Inn

PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

Changes in project from previous application

Site Plan

1. There is no connection between the new and existing building. A garden alley is created.
2. The width of the Port Republic Street elevation has changed from 60' to 53' in width.
3. The building mass on Port Republic Street has receded due to the porches on the street. The porches are setback 2' from the property line and the porch is 9'-6" in depth.
4. The West street corner is setback 8'-10" extending the plaza from across the street.
5. The porches on West Street are setback 2' from the property line.
6. There are two entries on West Street.
7. There is a central entry on Port Republic Street.

Height

1. The first to second level has lowered to align the new second level porch with the existing Beaufort Inn porch. -2'-0"
2. The forth level is eliminated.
3. The total height is has reduced from 50' to 40'-10".
4. The height on the street is 34'-0" from the flood level and 35'-8" from the ground level floor.

Building Elevations

1. The mass has diminished on Port Republic Street. The first section is 20' in depth with 9'-6" porches.
2. There are two porch masses on West Street in lieu of one.
3. The east elevation is mass is similar to the West Elevation.
4. There are private entries on the East Elevation. The existing ramp on the Inn shall be removed to allow for a larger garden space.

Details

1. The detailing has been simplified.
2. All the materials are the same.



PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

CITY OF BEAUFORT  
HISTORIC DISTRICT REVIEW BOARD  
P. O. DRAWER 1167  
BEAUFORT, SOUTH CAROLINA 29901  
(843) 525-7011  
FAX: (843) 525-7034

**HISTORIC DISTRICT REVIEW BOARD**  
**Certificate of Appropriateness**  
**Final Approval**

April 11, 2008

Mr. R. W. Chambers  
208 Carteret Street  
Beaufort, South Carolina 29902

**RE: HR08-37                      809 Port Republic Street**

Dear Mr. Chambers:

On April 09, 2008, the City of Beaufort Historic District Review Board met to review your application for a request for re-approval of a previously approved application for new construction to be located at 809 Port Republic Street. The Board granted final approval to your application. The Board suggested a re-study of the connector element; the addition of a more prominent doorway on the Port Republic elevation; more continuity in the floor levels between the first and second floors; re-design of the columns and pilasters so that they appear to be continuous; refinement of trim detail of the ground floor windows, and a reconsideration of reduction of the parapet height.

This Certificate of Appropriateness applies only to the requirements of the Beaufort Historic District and does not supersede other City ordinances. Compliance with all other provisions of the City of Beaufort Code of Ordinances is required. Please contact the City Codes Enforcement Office located in the lower level of 701 Craven Street, (843) 525-7040, to apply for the necessary permits. A copy of this letter should be submitted with your application for a permit along with two sets of stamped approved plans.

Be advised that the certificate will expire 12 months from the date of this letter as per Section 3.1.M.1 of the *City of Beaufort Unified Development Ordinance*. If you make any changes in your project that are not part of the approved plan, you will need to submit an application for a Change After Certification.

If you have any questions, feel free to call the Planning Department at (843) 525-7011. Thank you for your patience and cooperation during the review process.

Sincerely,

  
Libby Anderson  
Planning Director

cc: Mike Wiles, Building Official

**CITY OF BEAUFORT**  
**Historic District Review Board**  
**Full Board**  
**Staff Report**  
**Meeting of April 09, 2008**

**PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT**

---

<b>Case Number:</b>	HR08-37
<b>Property Address:</b>	809 Port Republic Street, Beaufort Inn
<b>Applicant:</b>	R. W. Chambers for 303 Associates
<b>Type of Request:</b>	New Construction
<b>Zoning:</b>	CC Core Commercial    Final Review <b>Re-submission</b> <b>Preservation Neighborhood</b>

---

**Historical:**            *Beaufort County Historic Sites Survey 1997* lists 809 Port Republic Street, "circa 1895, does not contribute to listed district".  
*Milner Historic Inventory 1979*

**Background:**        **The applicant proposes new construction of a three story building in the former location of Tom's Shoe Store. *The Beaufort County Historic Sites Survey 1997* lists 301 West Street, "circa 1910, Tom's Shoe Store, contributes to listed district". A portion of the former building has been relocated to a site within the 809 Port Republic Street boundaries.**

**The approval for new construction has expired. The applicant is requesting final approval of previously approved plans for new construction.**

On February 08, 2006, the applicant received final approval as submitted for new construction.

**On January 11, 2006,** the applicant received preliminary approval with conditions. The board directed the applicant to redesign the connection between the existing Beaufort Inn and the new building to make the connection appear more transparent

**On November 09, 2005,** the applicant presented for conceptual review. The board endorsed the concept but expressed concern with the connection to the Beaufort Inn.

**On June 13, 2005,** Historic Beaufort Foundation received final approval , as submitted, for relocation and demolition of a structure located at 301 West Street, aka Tom's Shoe Store.

On March 09, 2005, the applicant received final approval for changes after certification to include alterations, additions, new construction and demolition to include rehabilitation of 301 West Street (Tom's Shoe Store) as a stand alone building, new construction of a two-story building on Port Republic Street, new construction of two, two-story buildings, adjacent to Tom's Shoe Store on West Street, and demolition of 304 West Street, and a concrete block building located to the north of Tom's Shoe Store (301 West Street), and a one-story non-historic north addition to Tom's Shoe Store (301 West Street).

**Prior Reviews:** July 14, 2004; September 11, 2002; July 10, 2002; May 08, 2002.

**Zoning Issues:** It appears that all requirements have been met.

A Public Hearing for Demolition was held on June 13, 2005.

CC Setbacks:	Front:	None
	Side:	None
	Rear:	None

Codes Review is on file.

<b>Design Issues:</b>	Square Footage:	5,181	Sq. Ft.	First Floor
		4,933	Sq. Ft.	Second Floor
		4,933	Sq. Ft.	Third Floor
		<u>972</u>	Sq. Ft.	Fourth Floor Terrace
		16,019	Sq. Ft.	Total

First Floor:	Commercial/Retail
Second/Third Floors:	20 Rooms
Height:	40 +/- to parapet

Computer models were submitted to show how the new building fits within the context of the historic streetscape and the Beaufort Inn Complex.

A final materials list and samples are on file.

**Staff Recommendation:** Approval as submitted.

PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

2/8/2006

BEAUFORT INN

PRIOR 2008  
APPROVAL,  
SUBMITTED BY  
APPLICANT

Material and Color List for Beaufort Inn  
HRB FINAL Approval

Roof: copper, modified bitumen, galvlume  
Walls: stucco (ochre color) brick (brick red), cast stone (limestone color)  
Trim: white paint  
Gutters: copper  
Shutters: dark green-panel shutters (black)  
Stucco: ochre  
Rails: white paint on steel and natural ipe cap  
Louvers: dark green (black)  
Walks: red brick  
Windows: white clad/wood interior  
Storefront: light bronze  
Steps: cast stone – limestone color  
  
Connector: stucco (ochre) columns, beams (permast white), brick foundation

*brick bond - "Red Range"*



# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
09 September 2020

## 1 SUMMARY OF REQUEST

---

The applicant, Bill Chambers, is seeking preliminary approval for new construction of a hotel at 809 Port Republic.

## 2 BACKGROUND

---

This property exists in the historic District – Preservation Neighborhood.

A prior project was approved on June 12, 2008 at this address. The applicant reached out about the recertification process, however, given the time that has transpired and the level of revisions to the previously approved exterior design, staff has recommended that the applicant submit a new application. Staff also asked applicant to include “previously approved” plans, elevations, and site plan within this application as a reference to the previously approved design.

The new application includes the following changes from the previously approved design, as noted on the application form:

1. North garden to remain
2. Porches added to view the garden. No future buildings are to be added in the garden as previously proposed.
3. Porch on west street has been removed.
4. Ramp has been moved off of West Street
5. Porch added to first floor on Port Republic Street
6. Additional landscaping on West Street
7. First floor level raised to EL. 14'
8. “Minor” window and door configurations on south and north elevations.



## 3 FACTS

---

<b>Property Address:</b>	809 Port Republic Street
<b>Parcel ID:</b>	R120 004 000 1013 0000
<b>Case Number:</b>	20-35 HRB.1
<b>Applicant:</b>	Bill Chambers
<b>Zoning:</b>	T5-DC
<b>Use:</b>	Overnight Guest Accommodation: Inn/Motel/Hotel
<b>District Development Standards for T5-DC:</b>	

- **Setback requirements – Primary Structure:**
  - *Front – 0ft. minimum – 15ft. maximum.*
  - *Rear setback – 10ft min.*
  - *Side Corner/Alley – 0ft minimum – 10ft maximum.*
  - *Side Interior – 5ft minimum, or 0ft if attached.*
- **Frontage Build out:** 75% minimum
- **Impervious Surface Coverage:** 100% maximum
- **Height Limitations:** 2 stories minimum – 3 Stories Maximum at property line
- **Building width at frontage:** 100ft max

## 4 STAFF COMMENTS/ RECOMMENDATIONS

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1. This project complies with development standards listed in table 2.4.1 of the Beaufort Code, and the project exhibits a design that is compatible yet distinct from its surrounding historic context. The changes to the previously approved design are positive overall, but staff does have a few concerns about the proportions of column bays and how they align with windows as well as how the first floor bays are treated at the base on the west and east façades.
2. The addition of the porch on Port Republic Street is a positive change for the building in that it provides a stronger base at street level as well as a place for occupants of the building to gather outside and engage with the street.
3. The applicant has revised the cornice of the porch on the third floor so that it is continuous across the south elevation, joining what are otherwise two separate porches. This does not comply with 4.6.1.B of the Beaufort Code in that this approach creates a three-story height single bay in the middle of the elevation. There is no precedent for this proportion of bay in the surrounding context. Staff recommends either joining the porches at every level or separating the two porches as previously designed by not connecting them at the roof level.
4. The addition of a porch and galleries on the north elevation is a great improvement to the North façade and the property as a whole. Staff recommends continuing the porch on the third floor all the way across the elevation to create bays and proportions that are more in keeping with the surrounding context as noted above.
5. Staff recommends restudying fenestration on the north and south facades so that window alignments are spaced appropriately in relation to column bays. Centerlines of windows should not align with centerlines of columns. Page 42 of the Beaufort Preservation Manual and page 14 of the Preservation Manual Supplement state that “Proportions...are largely dictated by the height/width relationships of door openings, window openings, and porch column spacings. These features also divide the building visually into what are commonly termed ‘bays.’” Having windows centered on columns blurs the boundaries of each bay. Windows that are centered between columns create a stronger bay that is easily delineated.
6. Staff is concerned with the curtain wall mullion layout on the first floor on all elevations. The layout should either be divided into smaller grids as previously approved, or the layout can be as applicant is proposing in updated elevations, however, the vertical mullions should purposefully

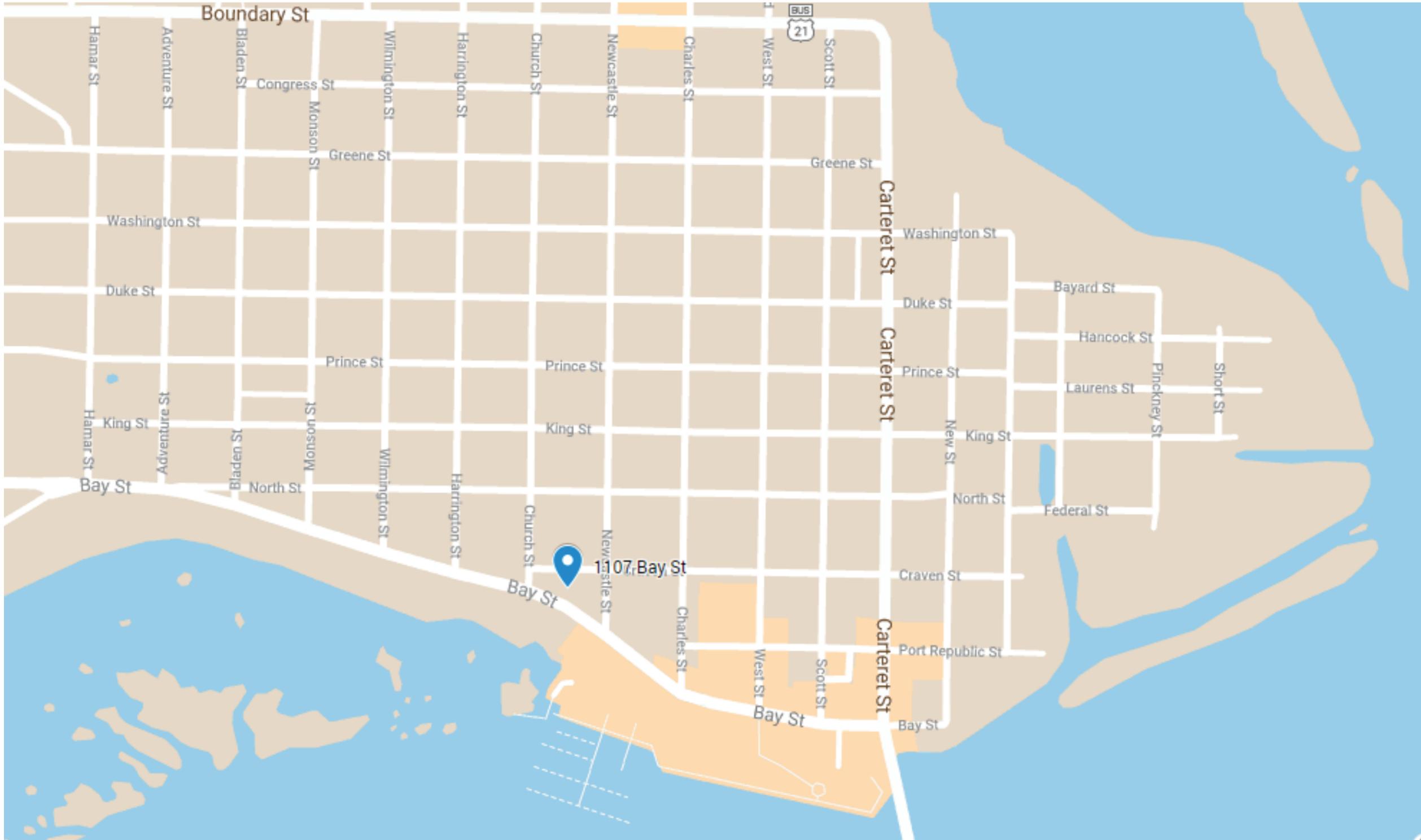
relate to and align with the edges of the windows and doors above. Horizontal mullions should then be adjusted appropriately.

7. On the updated north and south elevations, the transom mull boxes over the first-floor entry doors do not align with the adjacent storefront windows. Staff recommends restudying this so that they align.
8. Staff is concerned about the area on the ground floor below the porches on the west elevation. Currently, the columns terminate in separate column bases instead of at a porch at the first level. Applicant to clarify the intended use of the first-floor interior. Staff recommends creating a porch on the first floor at the lobby. This will provide a proper base for the columns as well as another place where the building can engage with the street and sidewalk on the west elevation.
9. Staff is concerned about the blank walls on the first level of the east elevation. Staff understands that, programmatically, there is no need for windows in this area, however, staff recommends restudying this area to create an alternate solution to a large blank recessed element.
10. Applicant's roof plan does not show a drainage plan. This is not under purview of this board, however this board does have purview over scuppers, collection boxes, downspouts and gutters. Gutters are shown in the porch section detail, but downspout locations and material are not noted in the drawings. Any scuppers, collection boxes, downspouts, or gutters that are to be a part of the project must be submitted to HRB for review.
11. Please note that, per section 4.6.D.1.a, all shutters must be operable and have all appropriate hardware. Applicant to demonstrate compliance with this code section in future submittals. It does not appear that shutters in the inset portions of the east and west elevations have enough space to operate correctly. Staff recommends removing shutters from these windows.
12. Applicant has pushed back building 9' from zero lot line. Staff feels that this is a positive change, as the building now respects the directly adjacent historic building by stepping back from it slightly.
13. The cast stone/ground face CMU proposed for the foundation wall does not comply with section 4.6.3.2 of the Beaufort Code. Staff recommends using brick, stucco, or tabby on the foundation walls.
14. Applicant to provide louver details for foundation walls at ground level. Applicant to note recommendations for concrete masonry infill between porch piers noted on page 80 of the Beaufort Preservation Manual.
15. Applicant illustrates composite trim and decking and a perma-cast column on the porches. All composite material must be smooth.
16. The selected shiplap on the porch ceilings is not consistent with typical porch ceiling material. This material should be v groove or bead board and not shiplap.

17. Columns on porches do not currently have bases. Column bases must be provided.
18. Overall, there are unresolved details within the typical sections that need to be finalized for future submissions.
19. In a future submittal, applicant to submit details on a utility screen and the ADA ramp.
20. The applicant has stated that parking will be provided on a property across West Street that is owned by the Beaufort Inn, however the applicant has not provided detailed information regarding parking count. At least one parking space must be provided per room per Chapter 5 of the Beaufort Code. Applicant to clarify the number of parking that will be provided and if this parking is available on the existing Beaufort Inn property. Applicant must also provide a parking agreement per 5.7.4.D.4 of the Beaufort Code. \*Bicycle parking is required for this project per 5.7.3 of the Beaufort Code.

**Staff recommendation:** Preliminary approval with conditions noted.

**STANDARD NOTE: STAFF COMMENTS ARE SHARED IN ADVANCE OF THE MEETING ONLY TO ALERT BOARD MEMBERS, APPLICANT, AND PUBLIC TO STAFF'S POSITION AHEAD OF MEETING. THESE COMMENTS ARE NOT INTENDED TO CAUSE THE APPLICANT TO REVISE THEIR SUBMISSION. ANY NEW INFORMATION CREATED AS A RESULT OF THESE COMMENTS WILL NOT BE REVIEWED AT SCHEDULED BOARD MEETING BECAUSE STAFF, BOARD, AND PUBLIC WILL NOT HAVE TIME TO FULLY REVIEW.**



PROJECT LOCATION - 1107 BAY STREET



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

**\$ PAID**  
8/4/20 CK

- Staff Review
- Board Review

Application Fee:  
see attached schedule

OFFICE USE ONLY: Date Filed: 8/5 Application #: 20870 Zoning District: 74-N  
BCAGHS Survey:  Yes  No

**Schedule:** The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
*\*Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

Applicant Name: Cooter Ramsey, Allison Ramsey Architects, Inc  
Applicant Address: 1003 Charles Street  
Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant): Hank Hofford

Owner Address: 17 Lockwood Drive, 5th Floor, Charleston SC

Project Name: 1107 Bay Street

Property Address: 1107 Bay Street

Property Identification Number (Tax Map & Parcel Number): r120-004-000-845a-0000

Date Submitted: 8/4/2020

**Certification of Correctness:** I/we certify that the information in this application is correct.

Applicant's Signature: R. Wayne Ramsey Jr. Date: 8/4/2020

Owner's Signature: [Signature] Date: \_\_\_\_\_

(The owner's signature is required if the applicant is not the owner.)

**Required Project Information**



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: 1107 Bay Street

Property Size in Acres: 0.47 acres Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition\*
- Relocation\*
- \*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):  
3 units @ 2,805 s.f. each

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

We are presenting the first phase of a possible 3 phase development for the site adjacent to the anchorage.

The site was the location of a 2 story law office that burnt down several years ago. In this first phase we are

proposing a new building with 3 units. the building is elevated above grade similar to the anchorage.

parking is accessed from an access easement on craven street and is below the main level of the units.

Proposed floor plans and elevations of the units are being presented along with site and elevation studies.

The second and third phase of this project are shown in the 3d model for massing and clarity of future plans

but are not part of this application beyond general massing and site planning studies. They will be developed

further after a general understanding and approval of our plans are presented and approved by the board.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

## Meredith Jacobs

---

**From:** Cooter Ramsey <cooter@allisonramseyarchitect.com>  
**Sent:** Wednesday, August 12, 2020 3:14 PM  
**To:** Meredith Jacobs  
**Subject:** link just in case

<https://sketchfab.com/3d-models/1107-bay-street-1164aea9adb146408764cf23be3b8d74>

**Cooter Ramsey, Architect**

**Allison Ramsey Architects, Inc.**

**Voice: 843-986-0559**

**Fax: 843-986-0719**

**Email: [cooter@allisonramseyarchitect.com](mailto:cooter@allisonramseyarchitect.com)**

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## eSearchWidget

By Shape

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Craven St

Craven-St

Craven St

Features selected: 1

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Bay-St  
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[Class Code: CommV](#)

[Owner Name: 1105 E](#)

[Owner Name \(Contd](#)

[Mailing Address: PO](#)

[City: BEAUFORT](#)

[State: SC](#)

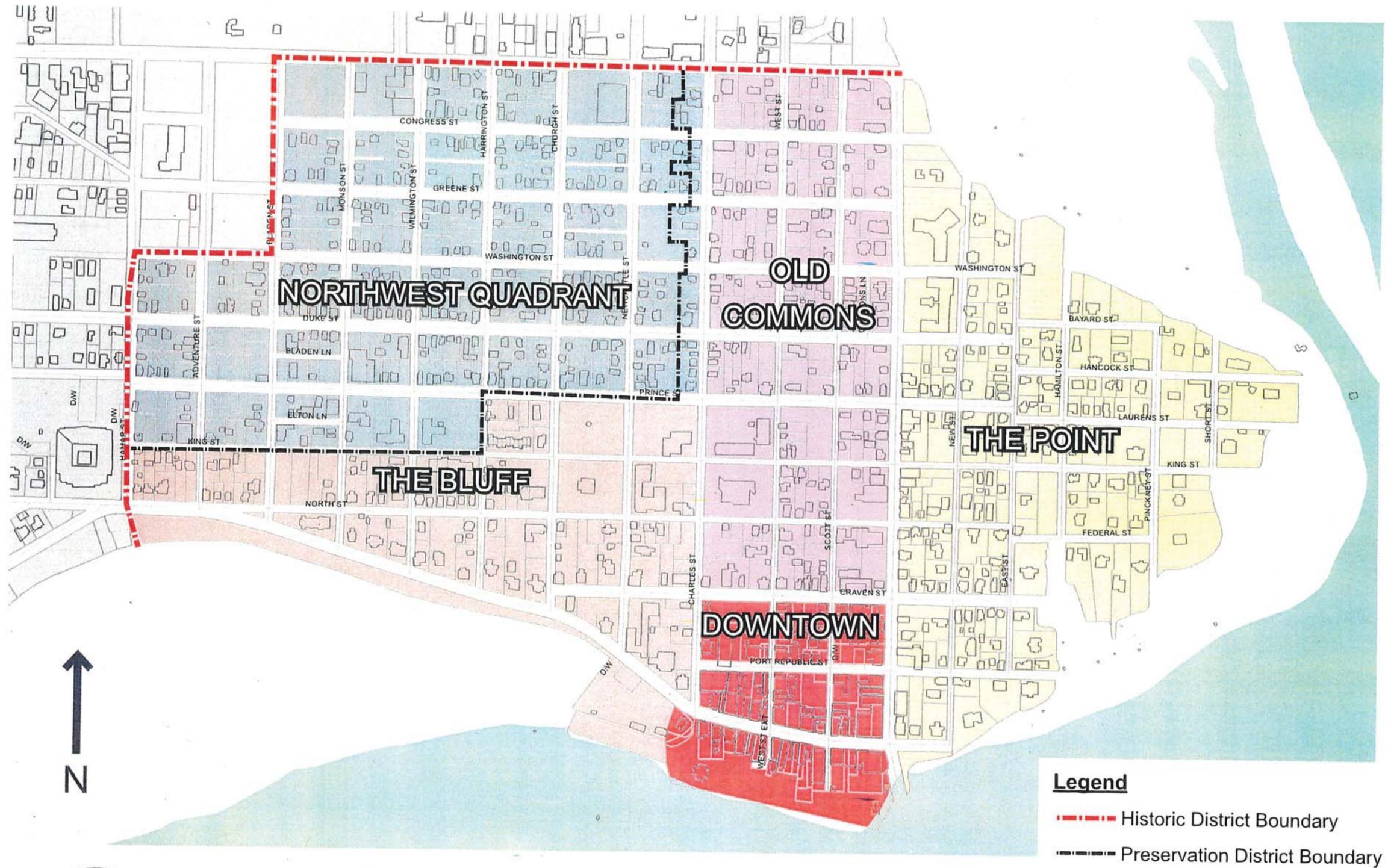
[ZIP: 29901-1027](#)

[Property Max](#)

[Zoning Site](#)

[Elevation and Flood Z](#)





NEIGHBORHOOD MAP  
 NATIONAL HISTORIC LANDMARK DISTRICT

# Untitled Map

Write a description for your map.

## Legend

-  1105 Bay St
-  Dadaab Refugee Camp
-  Feature 1
-  Feature 2
-  Feature 3
-  First Presbyterian Church
-  Inn
-  Re/Max Island Realty:
-  Secession House
-  Wells Fargo Bank

Google Earth

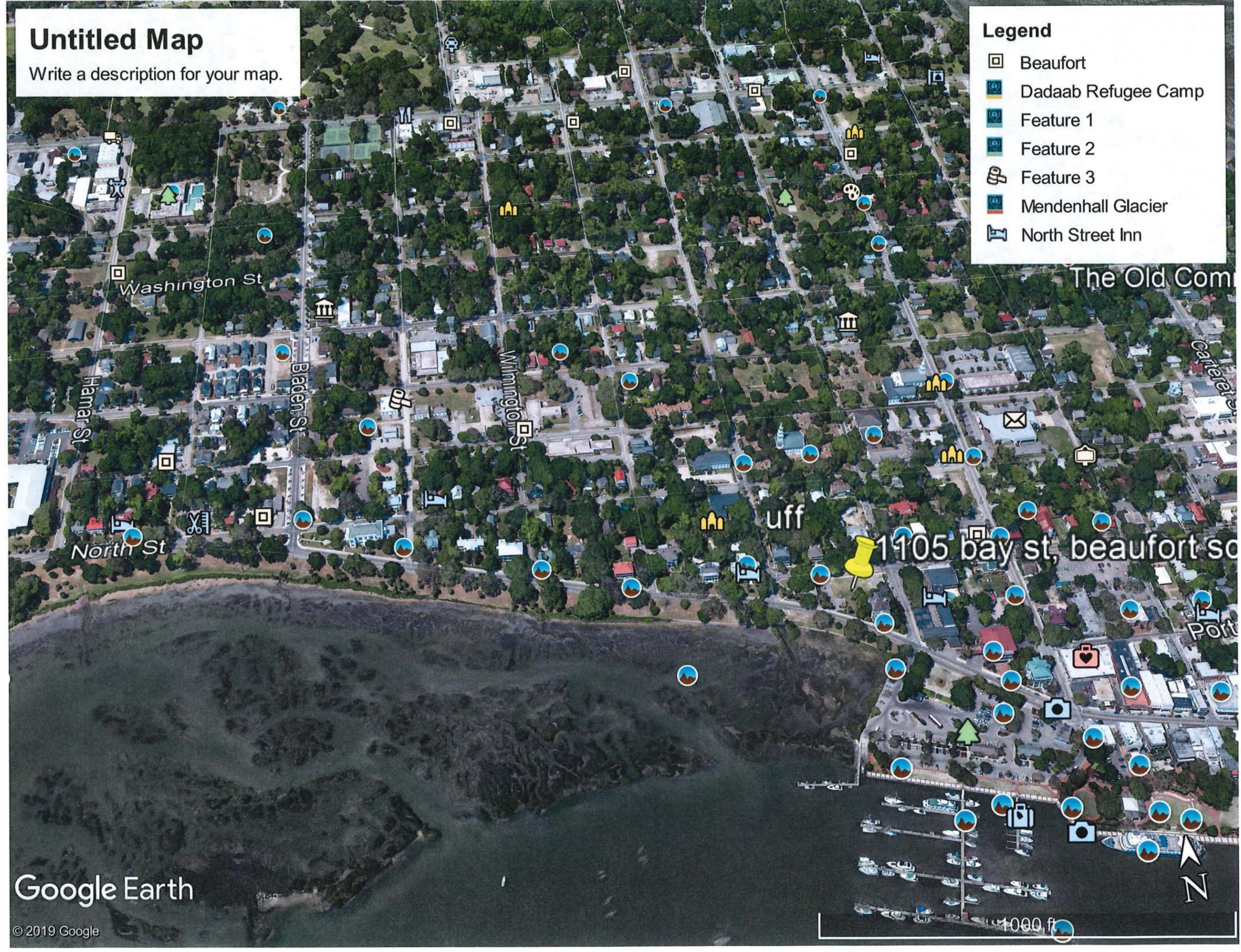
© 2019 Google



100 ft

**Untitled Map**  
Write a description for your map.

- Legend**
- Beaufort
  - Dadaab Refugee Camp
  - Feature 1
  - Feature 2
  - Feature 3
  - Mendenhall Glacier
  - North Street Inn



Google Earth

© 2019 Google

- 1015 Bay Street (Two story eave @ 22' & one story Eave @ 12')
  - From Bay Street



- From Newcastle Street



- From Newcastle & Craven Street



- 1170 Bay Street (Eave @ 40')
  - From Bay Street



- From Craven



- 1111 Bay Street (Eave @ 13')
  - From Bay Street



o From Church Street



o From Craven Street



- 1203 Bay Street (Eave @ 32')
  - From Bay Street



- From Church Street



- 1113 Craven Street (Eave @ 30')
  - From Craven Street



- From Church Street



- 1109 Craven Street (Eave @ 26')



- 1103 Craven Street (Eave @ 25')
  - From Craven Street



- From Newcastle Street



- 109 Craven Street (Eave @ 31')
  - From Newcastle Street

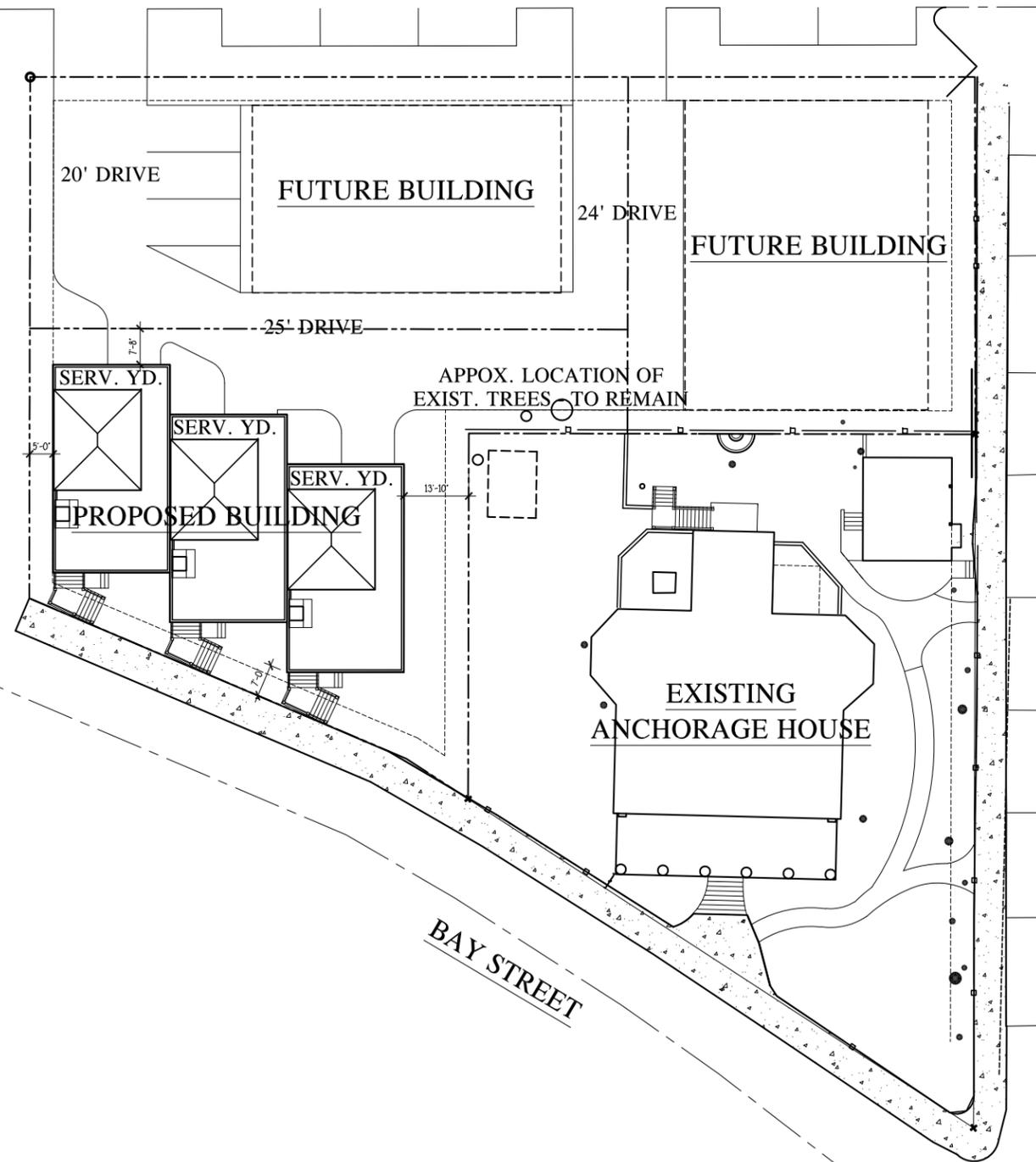


- From Craven Street





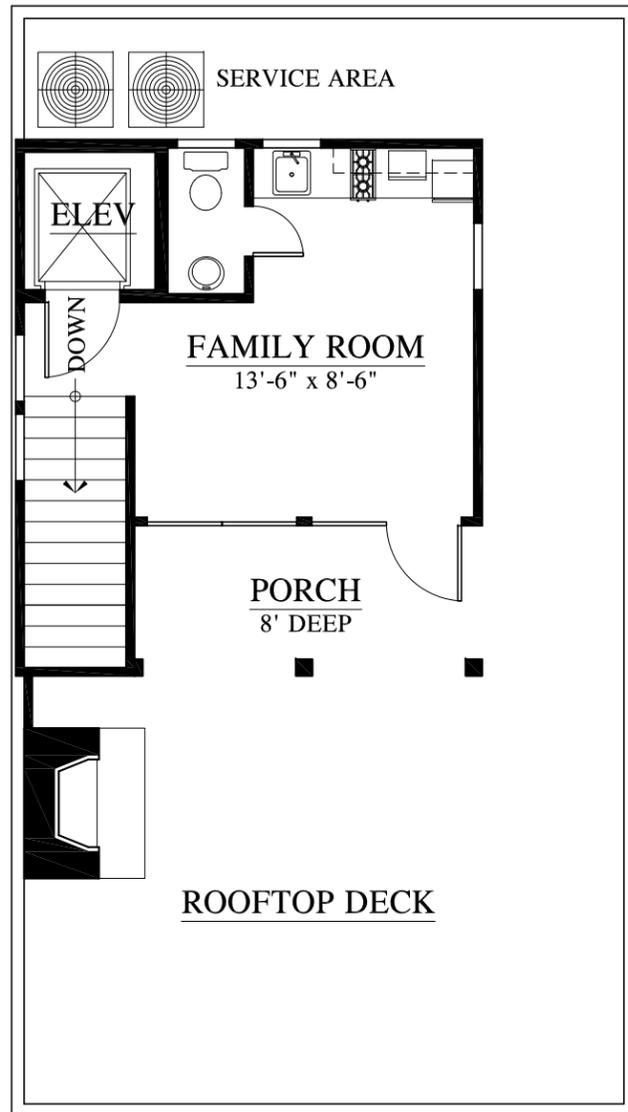
TOTAL SITE AREA - 20,310.33 S.F.  
1ST PHASE TOTAL AREA - 8025.17 S.F.  
1ST PHASE IMPERVIOUS - 3400 S.F.



NEWCASTLE STREET

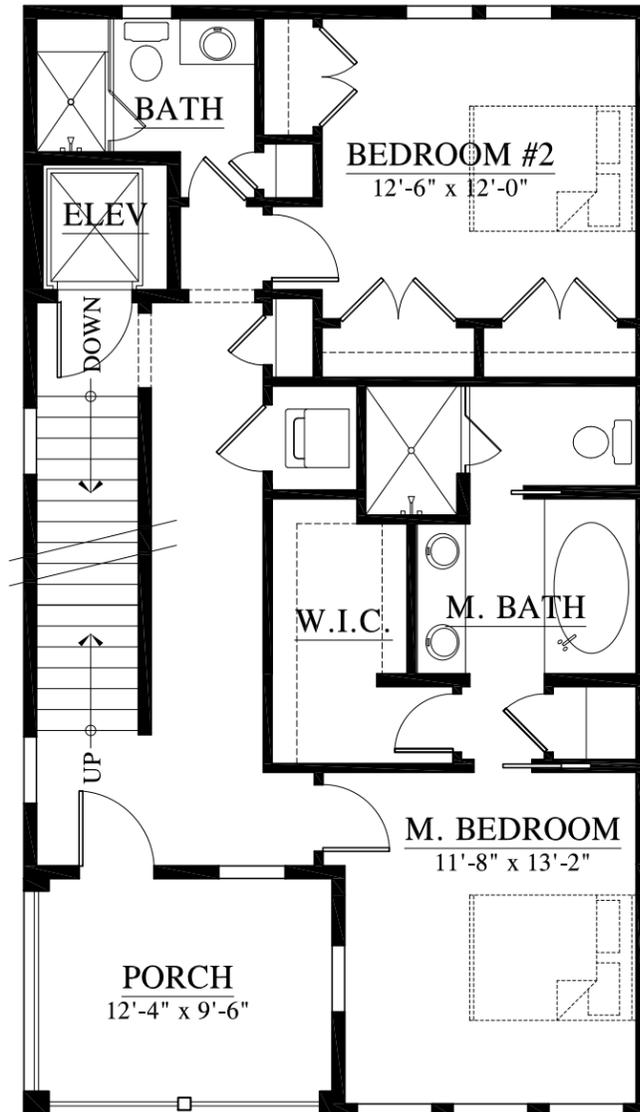


ALLISON RAMSEY  
*Architects Inc.* creating sustainable timeless design



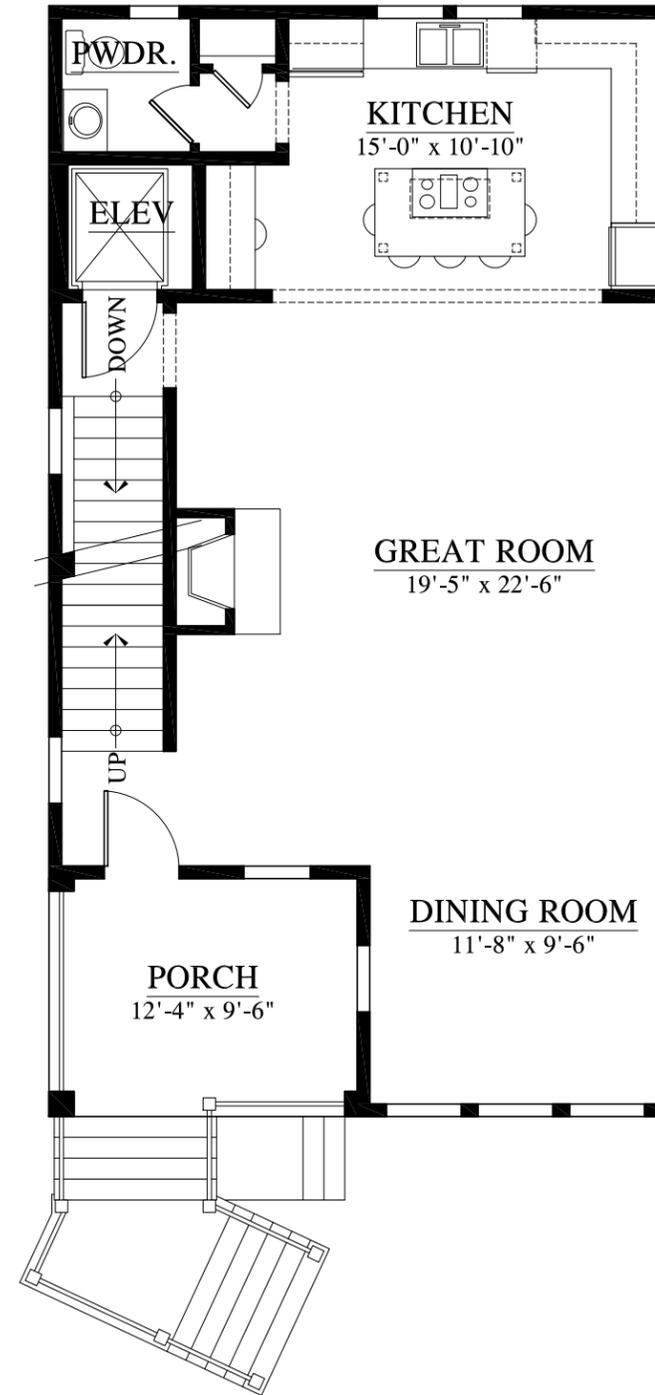
**ROOFTOP DECK**

231 sq. ft. (heated)



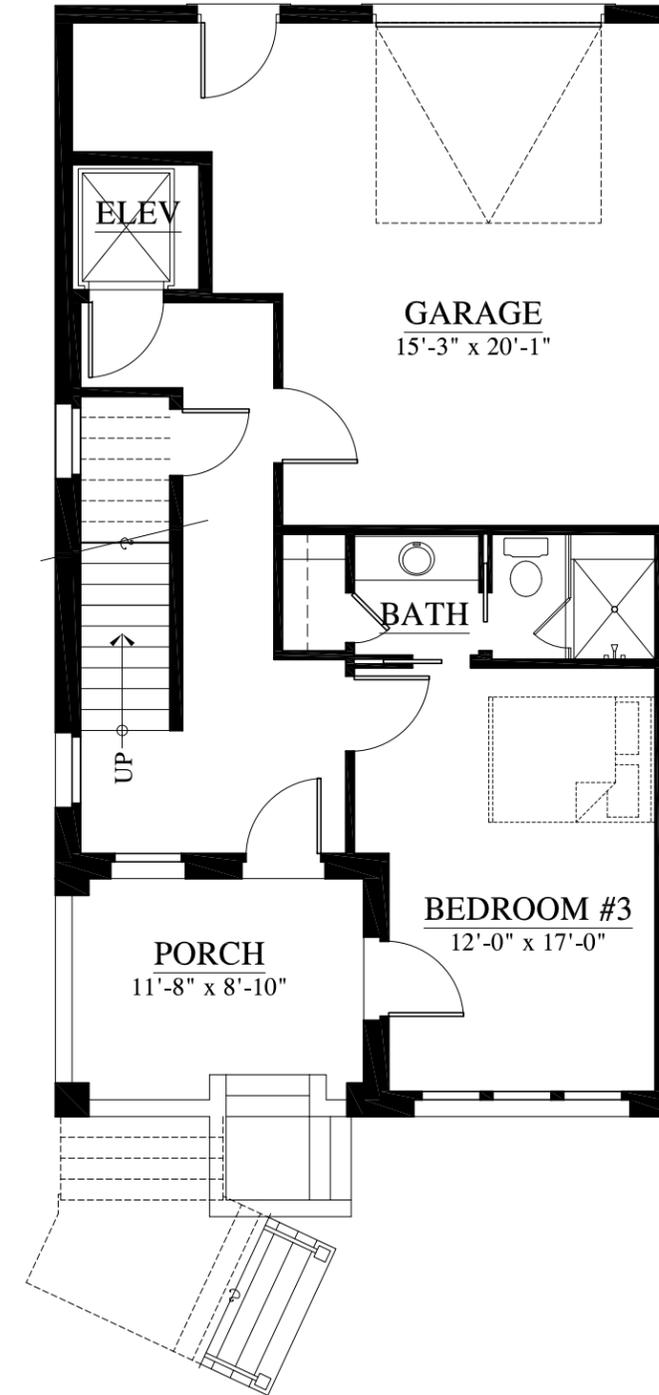
**SECOND FLOOR**

991 sq. ft. (heated)



**FIRST FLOOR**

991 sq. ft. (heated)



**GROUND FLOOR**

592 sq. ft. (heated)



1107 BAY STREET  
CONCEPTUAL PLANS  
8/4/2020



**ALLISON RAMSEY**  
*Architects Inc.* creating sustainable timeless design

[www.allisonramseyarchitect.com](http://www.allisonramseyarchitect.com)

PROJECT #

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ALLISON RAMSEY  
*Architects Inc.* creating sustainable timeless design



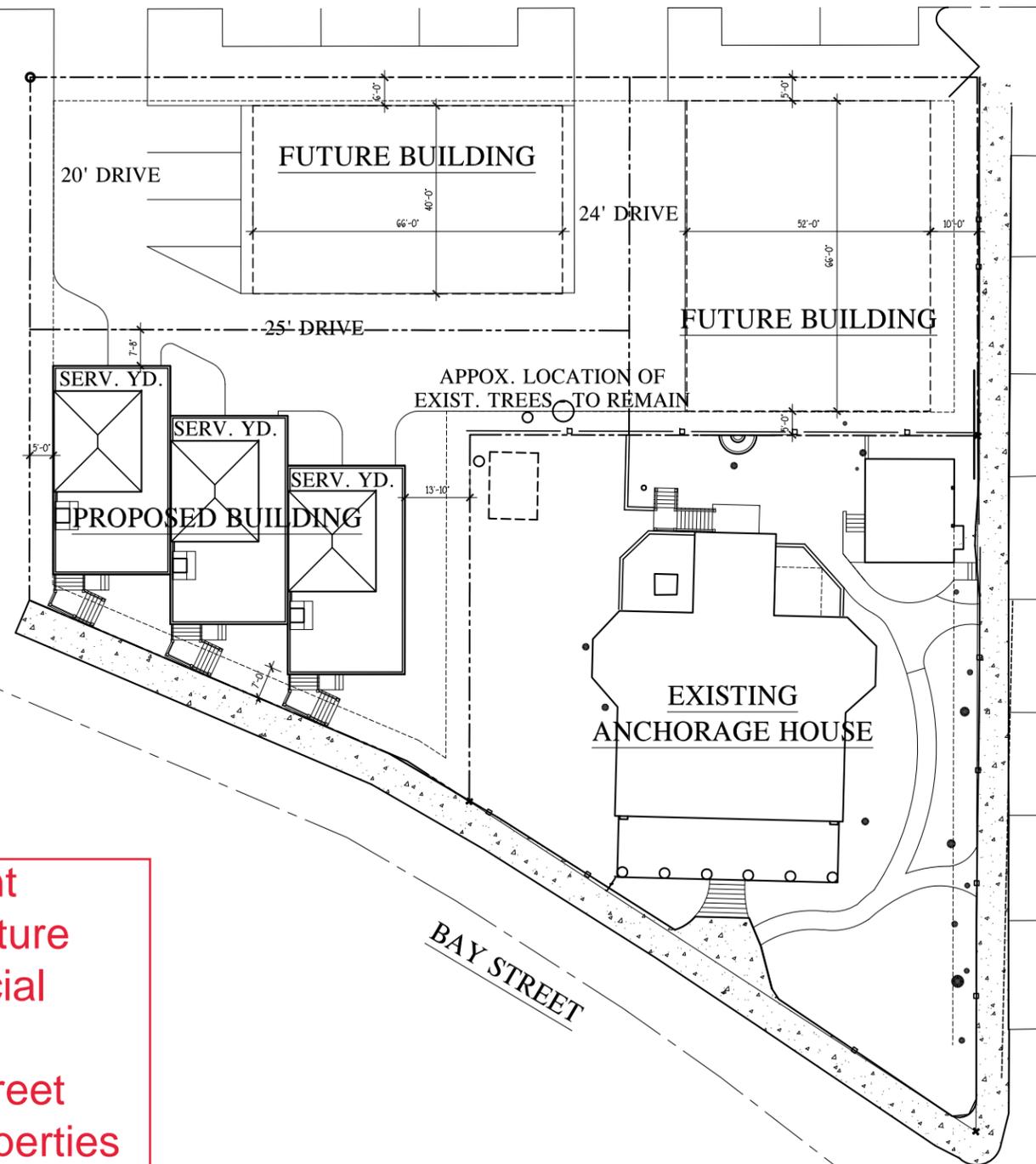
FROM DOWNTOWN



TOWARDS DOWNTOWN



TOTAL SITE AREA - 20,310.33 S.F.  
1ST PHASE TOTAL AREA - 8025.17 S.F.  
1ST PHASE IMPERVIOUS - 3400 S.F.



NEWCASTLE STREET



**\*Please note that the applicant provided dimensions for the future building in response to a special request from the board. This application is for 1107 Bay Street and NOT for the adjacent properties detailed on this document.**





# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
09 September 2020

## 1 SUMMARY OF REQUEST

---

The applicant, Cooter Ramsey with Allison Ramsey Architects, Inc. on behalf of Hank Harrison, is seeking conceptual approval to construct a 3 unit dwelling.

This proposal is the first of three phases, the second and third phase of the development will be separate buildings and are not part of this application.

Please note that the applicant has provide a 3D Model of this project that may be accessed through the following link: <https://sketchfab.com/3d-models/1107-bay-street-1164aea9adb146408764cf23be3b8d74>

## 2 FACTS

---

**Property Address:** 1107 Bay Street  
**Parcel ID:** R120 004 000 845A 0000  
**Case Number:** 20-38 HRB.1  
**Applicant:** Cooter Ramsey, Ramsey Architects  
**Zoning:** T4-N  
**Use:** 3-Unit dwelling

### District Development Standards for T4-N:

- **Setback requirements – Primary Structure:**
  - *Front – 0ft. minimum – 15ft. maximum.*
  - *Rear setback – 10ft min.*
  - *Side Corner/Alley – 0ft minimum – 10ft maximum.*
  - *Side Interior – 5ft minimum, or 0ft if attached.*
- **Frontage Build out:** 60% minimum – 85% maximum.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed
- **Height Limitations:** 3.5 Stories Maximum
- **Building width at frontage:** 100ft max



## 3 STAFF COMMENTS/ RECOMMENDATIONS

---

1. Staff views this application as a positive addition to the Historic Preservation Neighborhood. The proposal is in compliance with all development standards listed in Chapter 2 of the Beaufort Code,

and at a conceptual level, the proposal complies with all design guidelines for the district.

2. The size, mass, and scale of the proposed structure is appropriate to the scale of structures in the neighboring context, and the project is compatible yet distinct from its neighbors. At the conceptual level, this project is compatible with the Historic District in terms of design, setting, and feeling.
3. Staff feels that the window layout and offset balcony design included in this project offers a positive relationship between solid/void and therefore a well-defined “mass” of a building. There are also several surrounding buildings that are 2-3 stories in height, so the building is not unprecedented in terms of height and scale. The flat roof and half story at the top create an opportunity for a different roof form that is less dominant than a large pitched roof would appear. The resulting parapet walls around the flat roof shield mechanical equipment from view while at the same time creating a nice, private roof deck for occupants of the building.
4. When planning future buildings, the applicant should be aware of Section 4.5.5.B.3, which notes that “Where alley access is provided, no more than two 2-3 Unit buildings are permitted per block. This property is considered a 2-3 Unit building by the Beaufort Code, so only one additional 2-3 Unit building may be planned for this block in future development proposals. For clarity, the overall development comprises three parcels: one future building on one parcel, one future building on a second parcel, and the building included in this application on the third parcel.
5. Please note that per Section 5.7.3 of the Beaufort Code, bicycle parking is required for this development.
6. Please note that 6 parking spaces (2 per unit) are required for this phase of the project per 5.7.4 of the Beaufort Code. The application currently shows 1 space per unit on the ground floor with several other parking spaces on adjacent sites. Applicant to clarify if and where the other 3 spaces will be provided. If on an adjacent lot, a parking agreement will need to be provided, per 5.7.4.D.4 of the Beaufort Code.
7. The applicant was not able to receive final topographic information before this meeting. Therefore, any topography issues will be addressed in future submissions and reviews.
8. This project does not currently comply with section 2.6.2.C.1 of the Beaufort Code, as the Ground Floor is located below grade. The ground floor must be located 2’ above grade per this code section. This project does not comply with section 2.6.2.C.3 of the Beaufort Code, in that the ground floor height is less than 10’. Staff understands that bringing the building into compliance with these two sections will involve making the building taller. Even as a slightly taller building, Staff believes that the proposed building will still have an appropriate visual relationship to the Anchorage Inn.
9. Per Section 4.6.4.C.2.c.i of the Beaufort Code, “facades should have several window sizes with smaller ones above. This is particularly important when buildings rise more than 2 stories.” Staff recommends dropping the ceiling line 9’ at the second-floor level, which would therefore reduce the window height and bring the building into compliance with this section.

10. Staff recommends reconsidering the size of the chimneys in later submissions. The height must comply with the building code, but the chimneys should not be oversized. Staff asks that the applicant reconsider the size of the fireboxes to create a less prominent chimney size.
11. Based on the 3D model provided, Staff noted that no windows are proposed on the far east elevation of the building. Staff believes that the design would benefit from added fenestration on this façade. This would be a positive update for the relationship between the proposed building and the Anchorage next door. It would also make for better views of the proposed buildings from downtown moving West towards the building.

**Staff recommendation:** Conceptual approval with conditions noted.

**STANDARD NOTE: STAFF COMMENTS ARE SHARED IN ADVANCE OF THE MEETING ONLY TO ALERT BOARD MEMBERS, APPLICANT, AND PUBLIC TO STAFF'S POSITION AHEAD OF MEETING. THESE COMMENTS ARE NOT INTENDED TO CAUSE THE APPLICANT TO REVISE THEIR SUBMISSION. ANY NEW INFORMATION CREATED AS A RESULT OF THESE COMMENTS WILL NOT BE REVIEWED AT SCHEDULED BOARD MEETING BECAUSE STAFF, BOARD, AND PUBLIC WILL NOT HAVE TIME TO FULLY REVIEW.**

**1107 BAY STREET**

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**ENDORSEMENT LETTERS  
RECEIVED FOR  
THE HRB 9/9/20 MEETING**

TO: Members of the HRB

FROM: Sandra Kluttz  
2011 Bay Street

DATE: August 24, 2020

RE: 1107 Bay Street Project

I've had a chance to review the preliminary drawings and site plans for 1107 Bay Street beside The Anchorage Hotel and I'm impressed!

As a full-time resident of Beaufort, and a neighbor of this project on Bay Street, I appreciate the attention to creating these homes to complement the historic nature of The Anchorage and other homes along our beautiful Bay Street. As someone who built a home 2 years ago, one of my favorite compliments on my home's design is that 'it looks like it's always been there' – these feel the same.

The design is also an opportunity to offer alternative residential living for homeowners who want to be downtown but do not want to have the upkeep of the larger Bay Street homes. They offer very high-end curb appeal with floor plans that would attract a variety of buyers (work-live, families, retirees, etc.). I would enjoy seeing a project like this move forward as a way to best use these downtown lots.

Best regards,

Sandra Kluttz

To City of Beaufort's Historic Review Board

From Robin Chandler Leverton

Date August 27, 2020

Re 1107 Bay Street Project

I had the opportunity to see the drawings for 1107 Bay Street project, also the 3D views. What an exciting new project for the City! The design is a fresh look which compliments and respects the adjoining Anchorage Inn.

In my morning walks, am reminded daily of the beauty of Bay Street  
I think 1107 Bay will be a wonderful addition.

In advance, I strongly appreciate your consideration of this new project.

Best,

Robin Chandler Leverton  
730 Ribaut Road  
Beaufort, SC 29902

Desk of Dr. Robert Bell

## Letter of Endorsement 1107 Bay Street

August 30, 2020

Historic District Review Board  
City of Beaufort  
Beaufort SC

Dear Board

I wanted to share my support for an infill project at 1107 Bay Street next to the Anchorage. I recently saw plans and detailed, scaled 3D drawings of these homes. I give my full endorsement to this responsible and thoughtful infill project.

Simply put, these homes are understated, elegant and well designed. What a great addition to Bay Street and Beaufort as a whole this would be. The concepts, design and scale complement existing Bay Street facades and structures.

As a nearby owner of properties overlooking Bay Street this project would be welcomed in all manner.

With warm regards,

RE Bell MD

---

# GILBERT LAW FIRM LLC

---

DEREK C. GILBERT, ATTORNEY AT LAW  
A LIMITED LIABILITY COMPANY

2 Professional Village Circle  
BEAUFORT, SOUTH CAROLINA 29907  
TELEPHONE: 843-524-4000  
FACSIMILE: 843-524-4006

Melissa Rice Wicker  
Attorney at Law

[melissa@dcgilbert.com](mailto:melissa@dcgilbert.com)

September 1, 2020

City of Beaufort  
Historic Review Board

Via email to [hspade@cityofbeaufort.org](mailto:hspade@cityofbeaufort.org)

Re: 1107 Bay Street

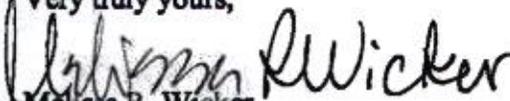
Dear Board Members:

Please accept this letter of support for the above project. As closing attorney for Bay Street I, LLC, I am proud to participate even slightly in bringing such thoughtful construction to our city. But as a Charleston native and resident of Beaufort for twenty years, I have long been aware of the potential tension between development and historic preservation, and purely from a civilian's standpoint, I find the proposed row houses to be elegant and particularly suited to the setting.

The site of this project has sat as a rather forlorn gap in the Bay Street streetscape since fire destroyed the Dowling, Sanders & Dukes Building. It is very exciting that it may be transformed by homes which are designed to subtly bridge past and present. The scale of them is appropriate and the facades are very pleasing.

In the interest of full disclosure, I have known Hank Hofford for about 45 years and am well acquainted with his talent and ability, and the ways these are always reflected in his projects. I remember a conversation we had about 30 years ago, when Hank said people have to live in historic districts to keep them alive, and as a result, there will necessarily be replacement and new construction. The safeguard, he said, is to insure it is done correctly. I do not believe Beaufort can find a better steward for this site. Thank you for your consideration.

Very truly yours,

  
Melissa R. Wicker