



## **AGENDA**

The City of Beaufort

### **HISTORIC DISTRICT REVIEW BOARD**

Wednesday, November 18, 2020, 2:00 P.M.

**City Hall, Planning Conference Room — 1911 Boundary Street, Beaufort, SC**

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81029703225?pwd=T3BGeDVyaVhydVF6aVU4M0NOMCtIQT09>

Password: 590189

Meeting ID: 810 2970 3225

Call in Phone# 1+929 205 6099

**STATEMENT OF MEDIA NOTIFICATION:** “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

*Note: A project will not be reviewed if the applicant or representative is not present at the meeting.*

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**I. Call to Order:**

**II. Approval of Minutes:**

**A. October 14, 2020 Meeting**

**III. Old Business:**

**A. 1107 Bay Street, PIN R120 004 000 845A 0000, New Construction  
Applicant: Cooter Ramsey, Allison Ramsey Architects (20-31 HRB.2)**

The applicant is requesting preliminary approval to construct a 3-unit dwelling

**B. 1409 King Street, PIN R120 004 000 1009 0000, Alterations / Additions / New Construction  
Applicant: Andrew Rogerson, Garvin Design Group (20-28 HRB.2)**

The applicant is requesting preliminary approval of alterations to a contributing structure in the Northwest Quadrant. This request is also for the preliminary approval of eight attached dwelling units in the Northwest Quadrant along Prince Street.

**IV. New Projects:**

**A. 1212 Greene Street, PIN R120 004 000 0267 0000, Alterations  
Applicant: Leroy Abner (20-47 HRB.1)**

The applicant is requesting final approval for alterations to a single-family home at 1212 Greene Street.

**HRB Agenda**  
**November 18, 2020**  
**Page 2 of 2**

- B.**     **505 Pinckney Street, PIN R120 004 000 760A 0000**, Renovation/addition  
Applicant: Ansley Manuel, Manuel Studio (20-46 HRB.1)

The applicant is requesting preliminary approval for a renovation/addition to a rear porch of a single-family residence at 505 Pinckney Street.

- V.**     **Adjournment**



# Historic District Review Board

## Meeting Minutes – October 14, 2020

### 1 CALL TO ORDER

0:06

A meeting of the Historic District Review Board was held via Zoom on October 14, 2020 at 2:03 pm.

### 2 ATTENDEES

Members in attendance: John Dickerson (Chairman), Bill Allison (Vice-Chair), Stacy Applegate, Katherine Pringle, and Chuck Symes.

Staff in attendance: Jeremy Tate (Meadors Architecture), and Dan Frazier (City of Beaufort Sr. Planner of Community and Economic Development).

### 3 REVIEW OF MINUTES

0:18

All Historic District Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at [iburgess@cityofbeaufort.org](mailto:iburgess@cityofbeaufort.org).

**Motion:** Mr. Symes made a motion to approve the September 9, 2020 minutes; seconded by Ms. Pringle. The motion passed unanimously.

### 4 OLD BUSINESS

1:08

#### A. Rules of Procedure for the Conduct of Business

**Motion:** Mr. Symes made a motion to approve the Rules of Procedure for the Conduct of Business; seconded by Ms. Pringle. The motion passed unanimously.

#### B. 510 Craven Street, Renovation/Addition

4:35

Applicant: Ansley Manuel (20-33 HRB.2)

The applicant is requesting preliminary approval for a renovation/addition to the carriage house in the rear of the property at 510 Craven Street.

The chairman, John Dickerson, invited the public comment.

**Motion:** Ms. Pringle made a motion for final approval per all of staff's comments excluding staff comment 4 adding an additional louver to the north elevation and submitting cutsheets

as required by staff for review and approval; seconded by Mr. Symes. The motion passed unanimously.

## 5 NEW BUSINESS

24:24

A. 804 Harrington Street, New Construction  
Applicant: Jeremiah Smith (20-42 HRB.1)

The applicant is requesting final approval for new construction of single-family dwelling at 804 Harrington Street.

Vice-Chairman, Mr. Allison, recused himself from this project.

The chairman, John Dickerson, invited the public comment.

**Motion:** Mr. Symes made a motion to give final approval to the project contingent on staff approving the front door cutsheet; seconded by Ms. Pringle. The motion passed unanimously.

B. 1711 King Street, Roof Replacement  
Applicant: Lorraine Yaralian (20-45 HRB.1)

42:35

The applicant is requesting final approval of a roof replacement at 1711 King Street

The chairman, John Dickerson, invited the public comment.

**Motion:** Mr. Dickerson made a motion to deny the two options as submitted by the applicant for the shingle roof; seconded by Mr. Symes. The motion passed unanimously.

**Motion:** Mr. Dickerson made a motion to approve re-coating of the existing roof contingent on the applicant's contractor providing re-coating details, as necessary, for staff review and approval. If the contractor finds that the condition of the roof prevents the application of a re-coating, the applicant will need to come back to the Board to have a review on the standing seamless roof; seconded by Mrs. Pringle. The motion passed unanimously.

## 6 ADJOURNMENT

1:04:15

**Motion:** Mr. Dickerson made a motion to adjourn the meeting; seconded by Mr. Symes. The motion passed unanimously. The meeting ended at 3:05 pm.

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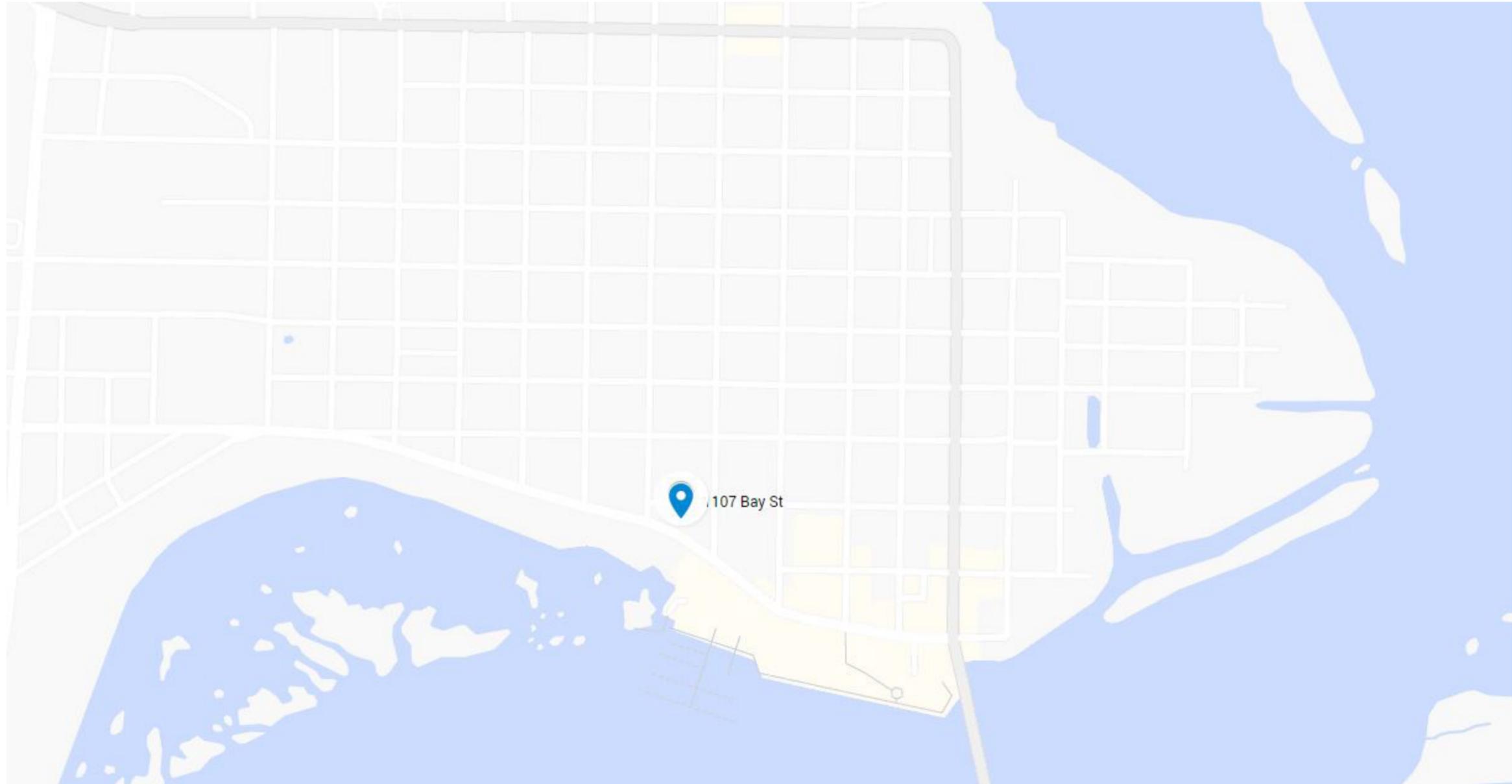
Chair

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Date of approval

# CITY STAFF INTRODUCTION

1107 BAY STREET



PROJECT LOCATION - 1107 BAY STREET



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

**\$ PAID**  
8/4/20 CK

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

- Staff Review
- Board Review

*Application Fee:*  
see attached schedule

**OFFICE USE ONLY:** Date Filed: 8/5 Application #: 20870 Zoning District: 74-N  
BCAGHS Survey:  Yes  No

**Schedule:** The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
*\*Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

Applicant Name: Cooter Ramsey, Allison Ramsey Architects, Inc  
Applicant Address: 1003 Charles Street  
Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant): Hank Hofford

Owner Address: 17 Lockwood Drive, 5th Floor, Charleston SC

Project Name: 1107 Bay Street

Property Address: 1107 Bay Street

Property Identification Number (Tax Map & Parcel Number): r120-004-000-845a-0000

Date Submitted: 8/4/2020

**Certification of Correctness:** I/we certify that the information in this application is correct.

Applicant's Signature: R. Wayne Ramsey Jr. Date: 8/4/2020

Owner's Signature: [Signature] Date: \_\_\_\_\_

(The owner's signature is required if the applicant is not the owner.)

**Required Project Information**

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org) | updated February 5, 2019



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: 1107 Bay Street

Property Size in Acres: 0.47 acres Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition\*
- Relocation\*
- \*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

3 units @ 2,805 s.f. each

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

We are presenting the first phase of a possible 3 phase development for the site adjacent to the anchorage.

The site was the location of a 2 story law office that burnt down several years ago. In this first phase we are

proposing a new building with 3 units. the building is elevated above grade similar to the anchorage.

parking is accessed from an access easement on craven street and is below the main level of the units.

Proposed floor plans and elevations of the units are being presented along with site and elevation studies.

The second and third phase of this project are shown in the 3d model for massing and clarity of future plans

but are not part of this application beyond general massing and site planning studies. They will be developed

further after a general understanding and approval of our plans are presented and approved by the board.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

**Meredith Jacobs**

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**From:** Cooter Ramsey <cooter@allisonramseyarchitect.com>  
**Sent:** Wednesday, August 12, 2020 3:14 PM  
**To:** Meredith Jacobs  
**Subject:** link just in case

<https://sketchfab.com/3d-models/1107-bay-street-1164aea9adb146408764cf23be3b8d74>

**Cooter Ramsey, Architect**

**Allison Ramsey Architects, Inc.**

**Voice: 843-986-0559**

**Fax: 843-986-0719**

**Email: [cooter@allisonramseyarchitect.com](mailto:cooter@allisonramseyarchitect.com)**

<<...>> <<...>> <<...>> <<...>> <<...>>

start

}

PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020

Craven St

Craven St

### eSearchWidget

By Shape

By

Features selected: 1

R120 004 000 845A C

Situs Address: 1105 E

Class Code: CommV

Owner Name: 1105 E

Owner Name (Contd

Mailing Address: PO



City: BEAUFORT

State: SC

ZIP: 29901-1027

Property Max

Zoning Site

Elevation and Flood

1111

1111

1102

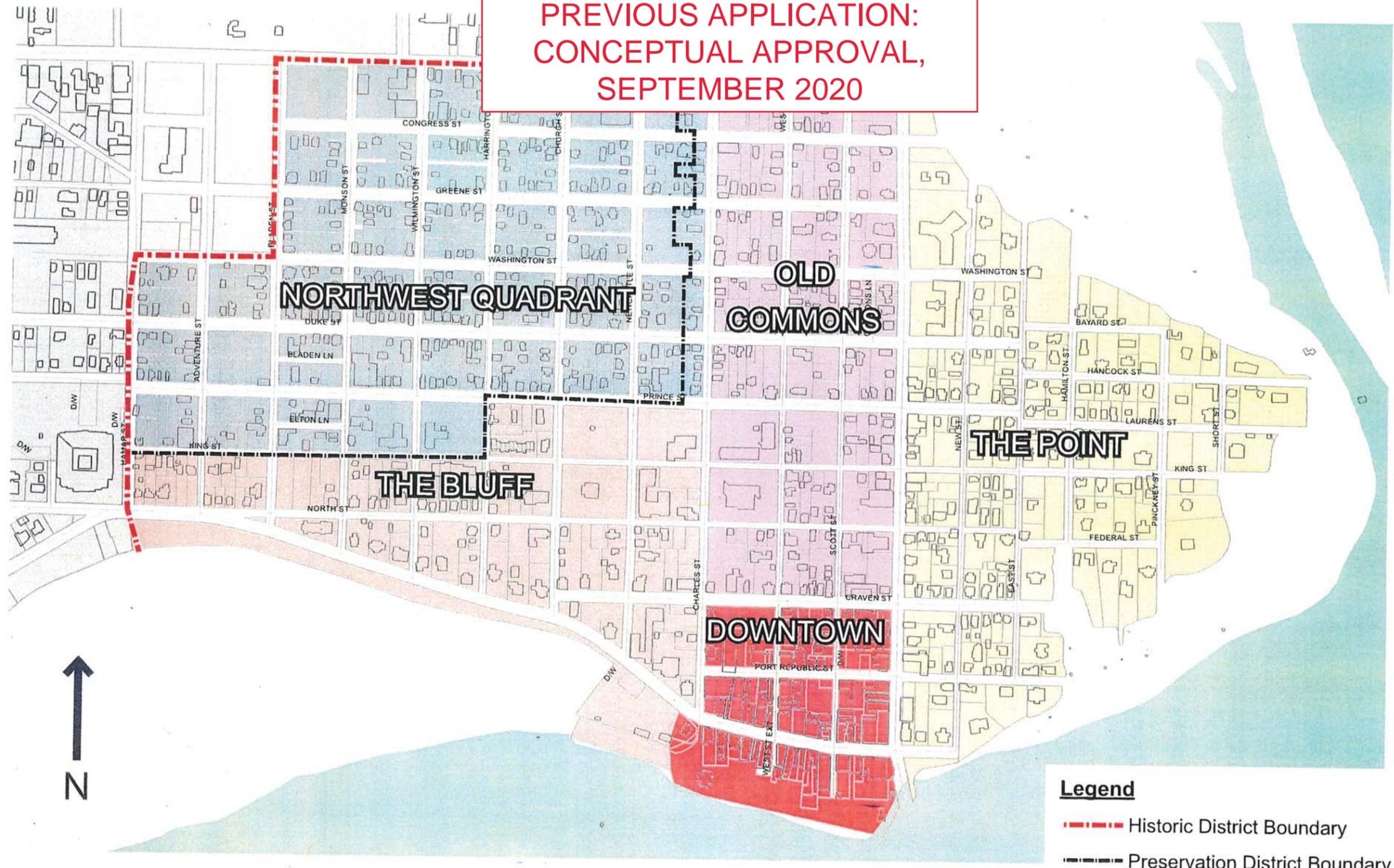
1105

1101

1103

Bay St  
Bay St

PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020



NEIGHBORHOOD MAP  
NATIONAL HISTORIC LANDMARK DISTRICT

# Untitled Map

Write a description for your map.

**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

## Legend

- 📍 1105 Bay St
- 🏠 Dadaab Refugee Camp
- 🏠 Feature 1
- 🏠 Feature 2
- 🏠 Feature 3
- 🏠 First Presbyterian Church
- 🏠 Inn
- 🏠 Re/Max Island Realty:
- 🏠 Secession House
- 🏠 Wells Fargo Bank

Google Earth

© 2019 Google



100 ft

# Untitled Map

Write a description for your map.

**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

## Legend

- Beaufort
- Dadaab Refugee Camp
- Feature 1
- Feature 2
- Feature 3
- Mendenhall Glacier
- North Street Inn



Google Earth

© 2019 Google

**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

- 1015 Bay
  - From Bay Street



- From Newcastle Street



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

o Fr



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

- 1170 Bay
  - From Bay Street



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

o Fr



- 1111 Bay Street (Eave @ 13')
  - o From Bay Street



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

o Fr



o From Craven Street



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

- 1203 Bay
  - From Bay Street



- From Church Street



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

- 1113 Craven
  - From Craven Street



- From Church Street



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

- 1109 Crav



- 1103 Craven Street (Eave @ 25')
  - From Craven Street



PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020

o Fr



- 1009 Craven Street (Eave @ 31')
  - o From Newcastle Street

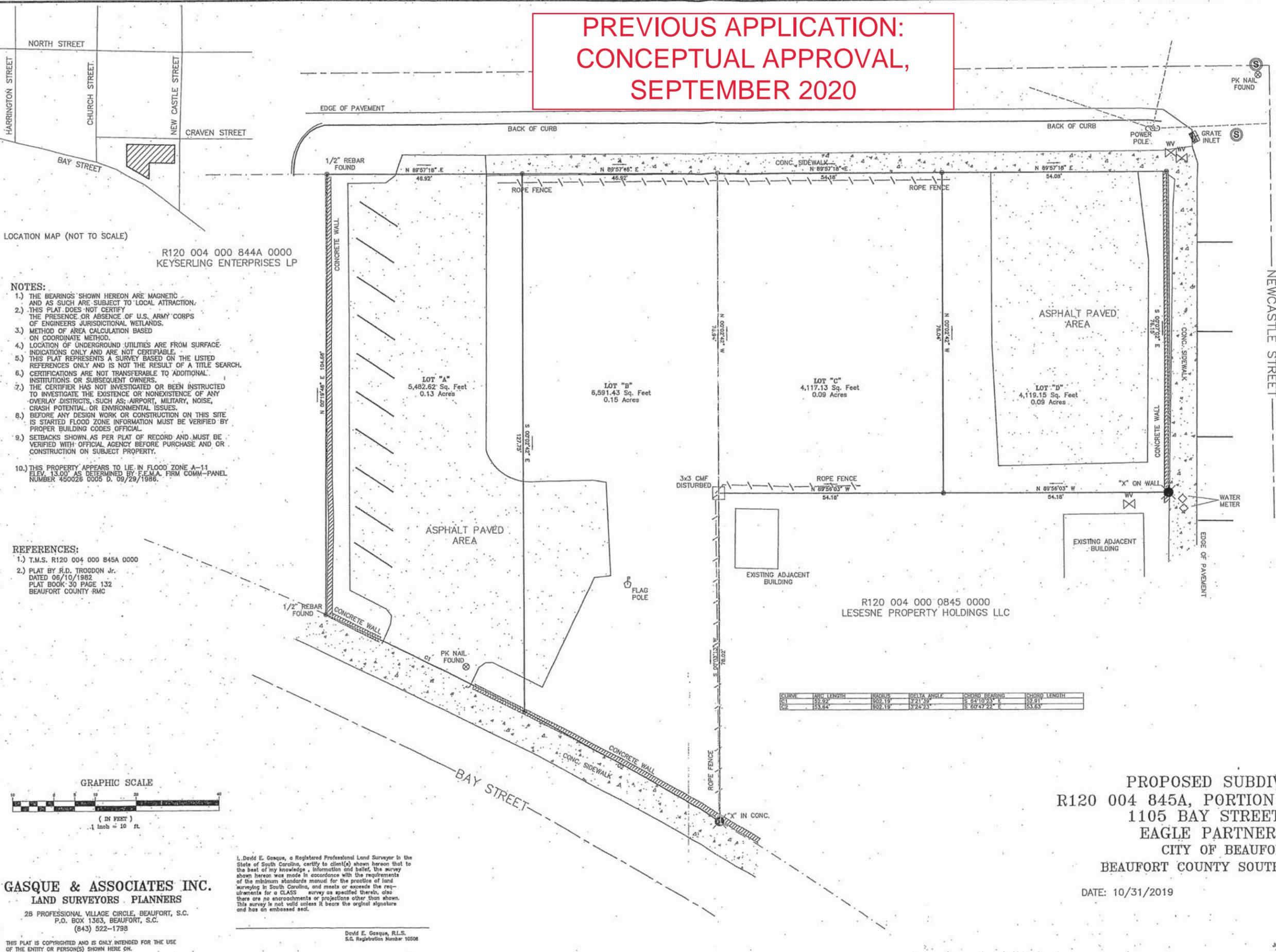


**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

o F



**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**



LOCATION MAP (NOT TO SCALE)

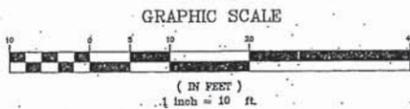
R120 004 000 844A 0000  
KEYSERLING ENTERPRISES LP

**NOTES:**

- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
- 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
- 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
- 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
- 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL, OR ENVIRONMENTAL ISSUES.
- 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
- 9.) SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
- 10.) THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE A-11 ELEV. 13.00' AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450026 0005 D. 09/29/1986.

**REFERENCES:**

- 1.) T.M.S. R120 004 000 845A 0000
- 2.) PLAT BY R.D. TROGDON JR. DATED 06/10/1992 PLAT BOOK 30 PAGE 132 BEAUFORT COUNTY RMC



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	52.92'	902.19'	3°21'30"	S 64°10'23" E	92.91'
C2	53.94'	902.19'	3°24'23"	S 63°47'22" E	93.63'

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, certify to client(s) shown hereon that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the minimum standards manual for the practice of land surveying in South Carolina, and meets or exceeds the requirements for a CLASS survey as specified therein, also there are no encroachments or projections other than shown. This survey is not valid unless it bears the original signature and has an embossed seal.

David E. Gasque, R.L.S.  
S.C. Registration Number 10508

**GASQUE & ASSOCIATES INC.**  
LAND SURVEYORS PLANNERS

28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.  
P.O. BOX 1363, BEAUFORT, S.C.  
(843) 522-1798

THIS PLAT IS COPYRIGHTED AND IS ONLY INTENDED FOR THE USE OF THE ENTITY OR PERSON(S) SHOWN HERE ON.

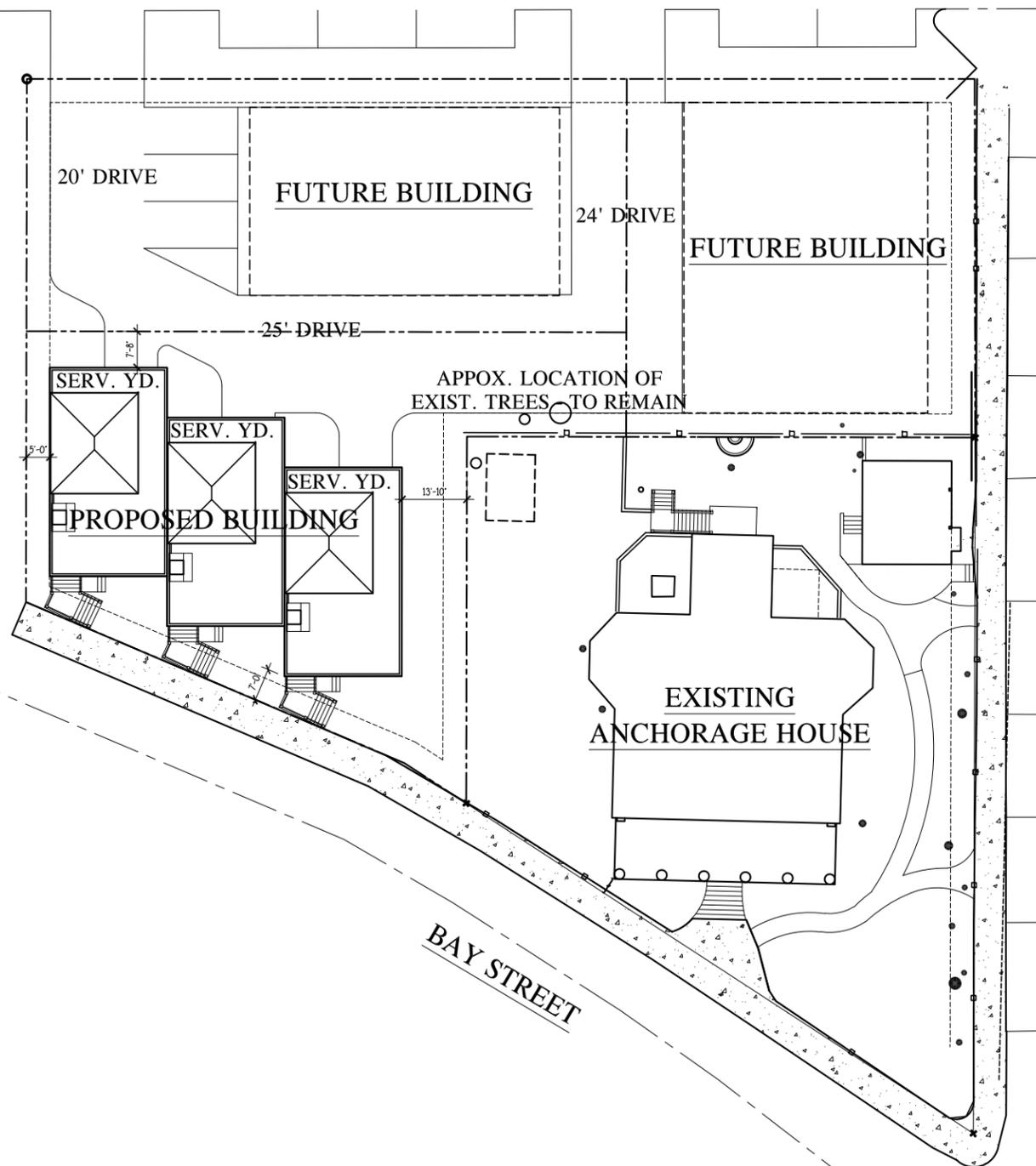
**PROPOSED SUBDIVISION**  
R120 004 845A, PORTION OF BLOCK 91  
1105 BAY STREET, LLC  
EAGLE PARTNERSHIP  
CITY OF BEAUFORT  
BEAUFORT COUNTY SOUTH CAROLINA

DATE: 10/31/2019

SCALE: 1"=10'

**PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020**

TOTAL SITE AREA - 20,310.33 S.F.  
1ST PHASE TOTAL AREA - 8025.17 S.F.  
1ST PHASE IMPERVIOUS - 3400 S.F.

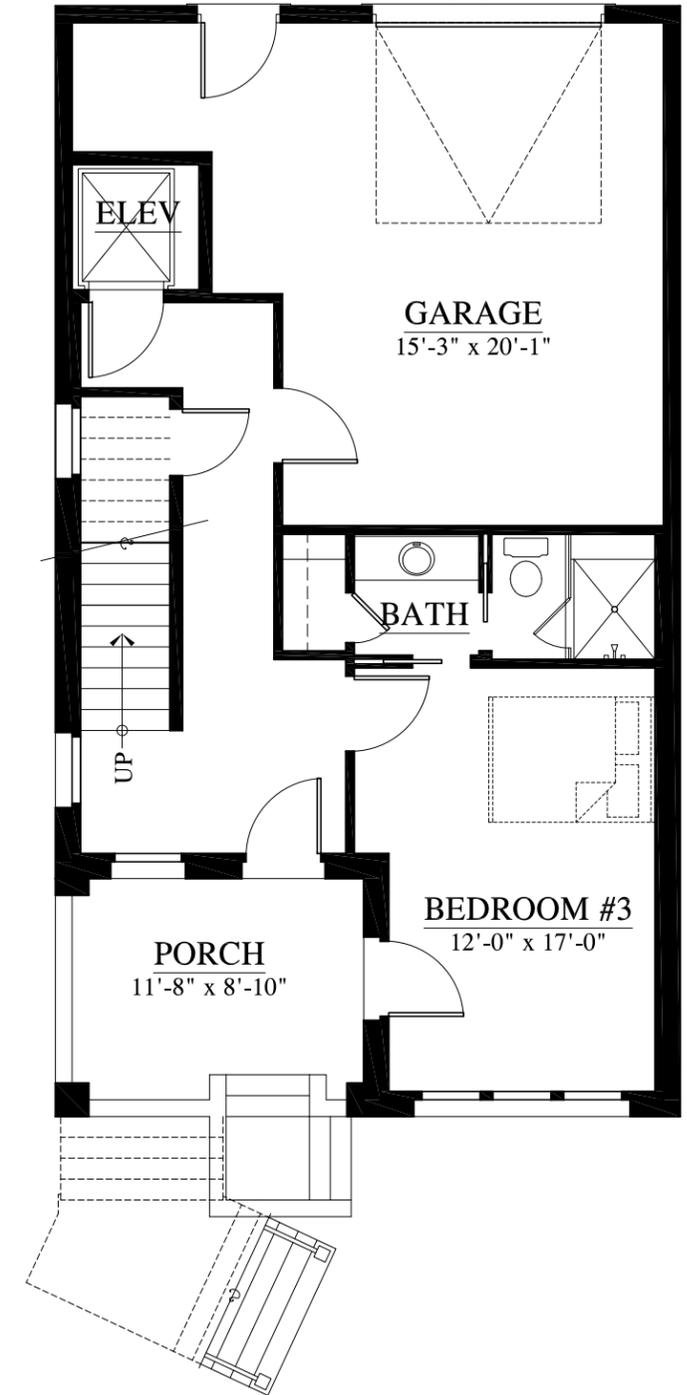
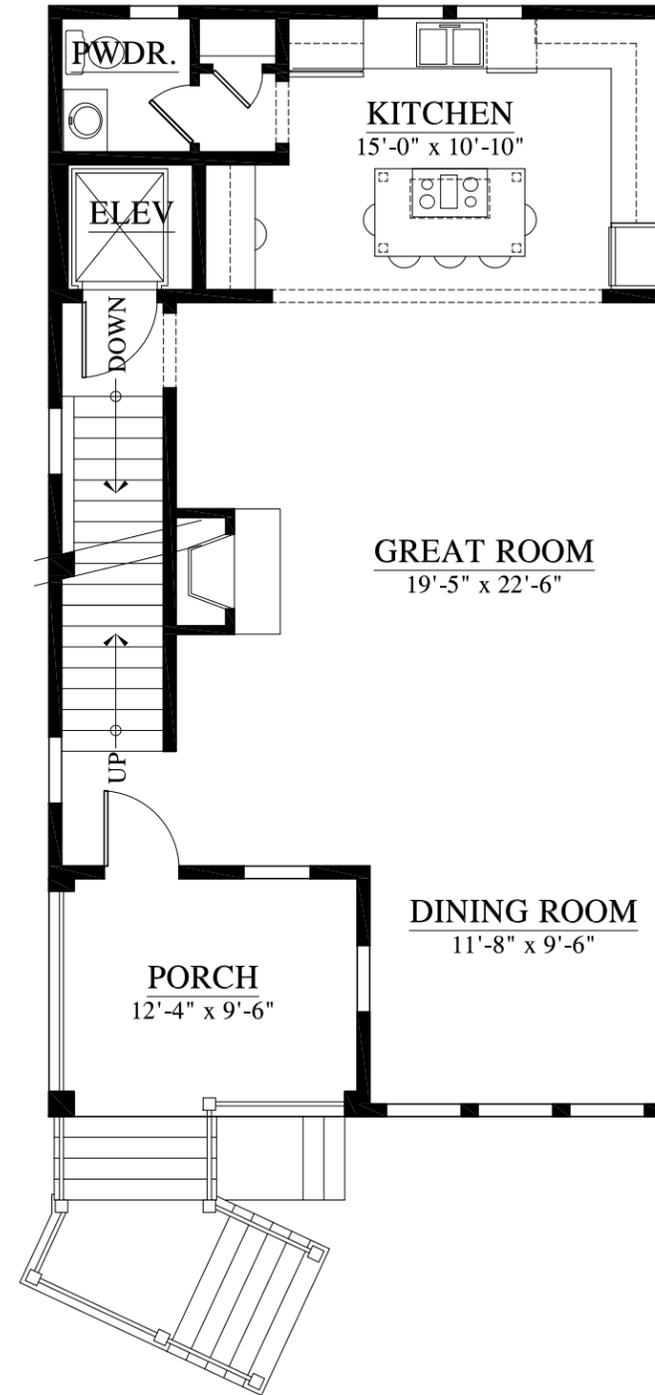
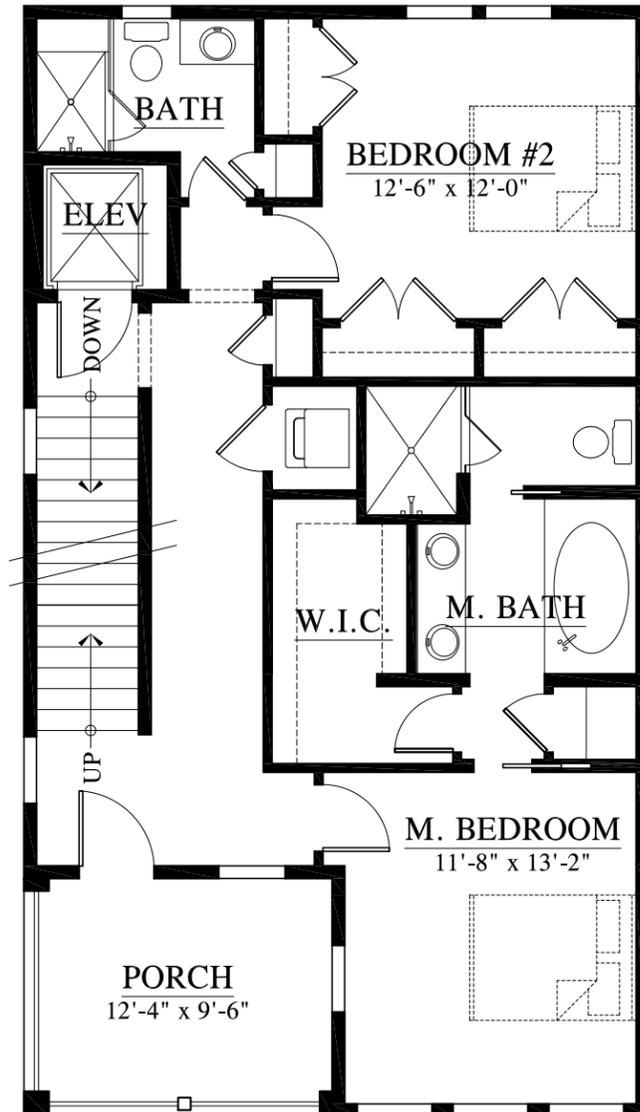
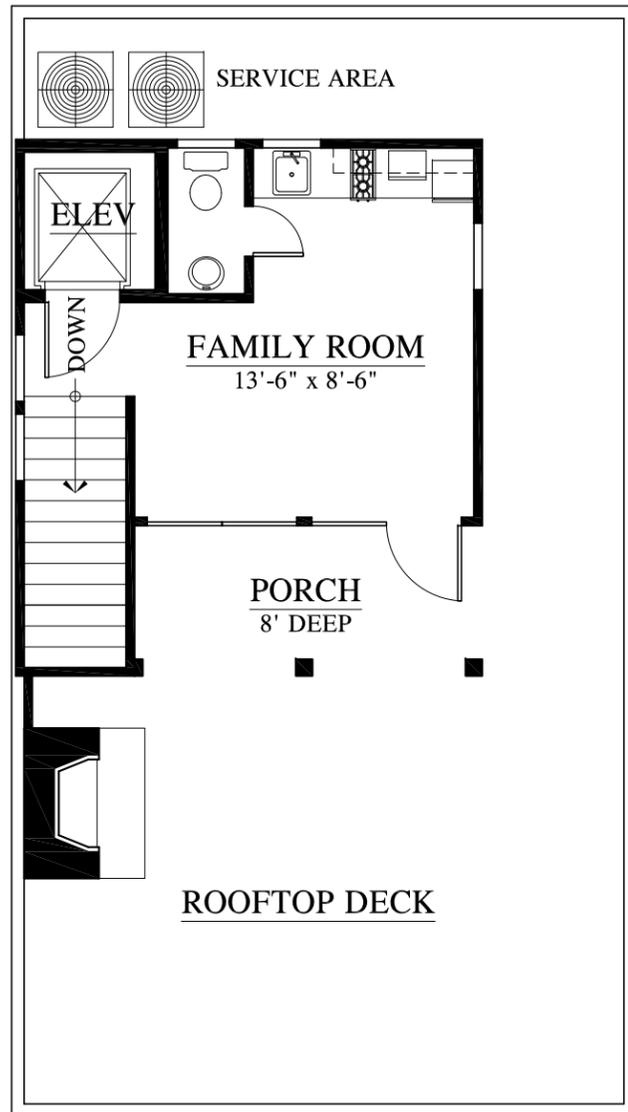


NEWCASTLE STREET



**ALLISON RAMSEY**  
*Architects Inc.* creating sustainable timeless design

1107 BAY STREET  
 CONCEPTUAL PLANS  
 8/4/2020



**PREVIOUS APPLICATION:  
 CONCEPTUAL APPROVAL,  
 SEPTEMBER 2020**

**ROOFTOP DECK**

231 sq. ft. (heated)

**SECOND FLOOR**

991 sq. ft. (heated)



**FIRST FLOOR**

991 sq. ft. (heated)

**GROUND FLOOR**

592 sq. ft. (heated)

**ALLISON RAMSEY**  
*Architects Inc.* creating sustainable timeless design

1107 BAY STREET  
CONCEPTUAL PLANS  
8/4/2020

PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020



**ALLISON RAMSEY**  
*Architects Inc.* creating sustainable timeless design

[www.allisonramseyarchitect.com](http://www.allisonramseyarchitect.com)

PROJECT #

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1107 BAY STREET  
CONCEPTUAL PLANS  
08/3/2020

PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020



ALLISON RAMSEY  
*Architects Inc.* creating sustainable timeless design

PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020



FROM DOWNTOWN

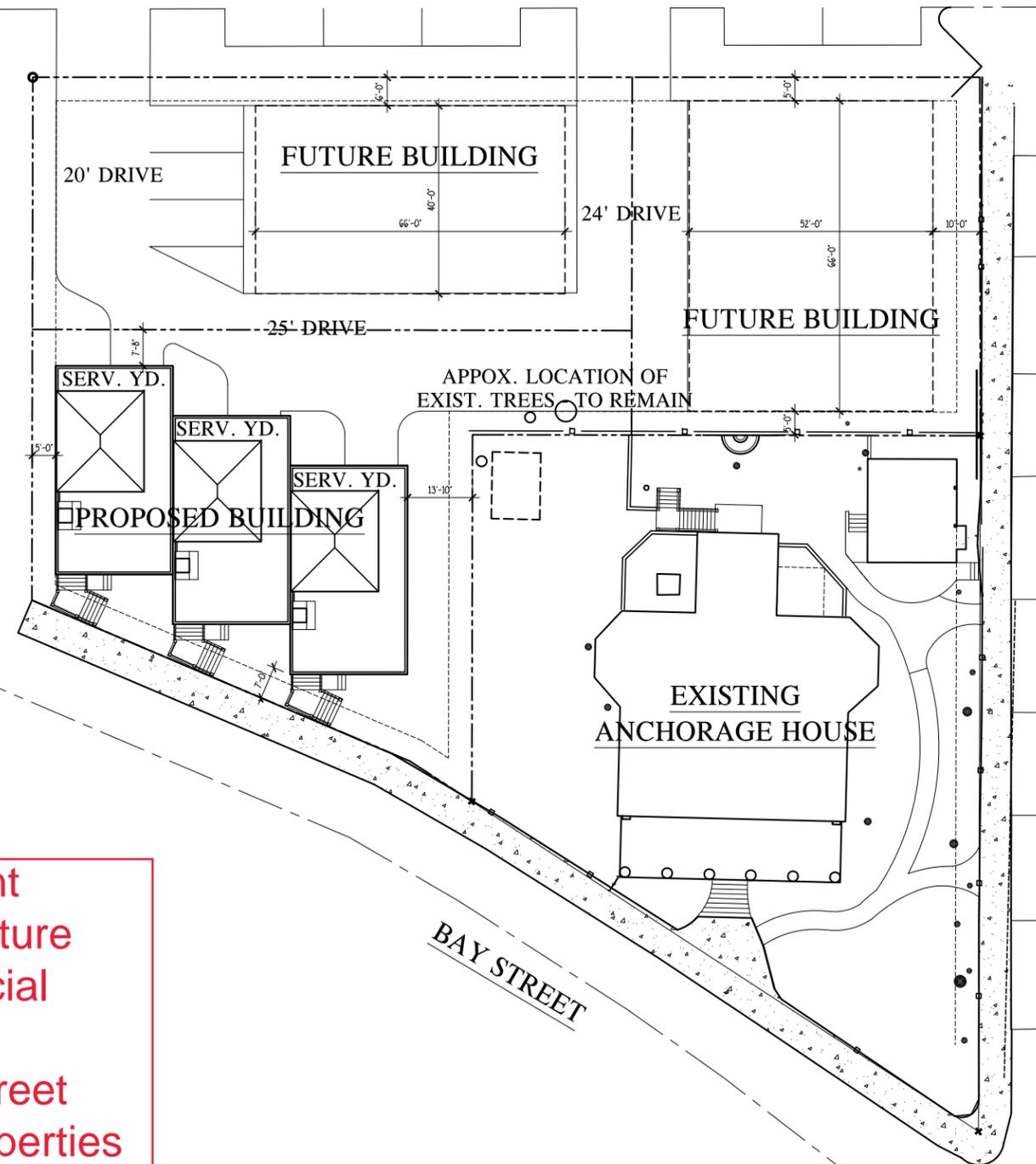


TOWARDS DOWNTOWN



PREVIOUS APPLICATION:  
CONCEPTUAL APPROVAL,  
SEPTEMBER 2020

TOTAL SITE AREA - 20,310.33 S.F.  
1ST PHASE TOTAL AREA - 8025.17 S.F.  
1ST PHASE IMPERVIOUS - 3400 S.F.



\*Please note that the applicant provided dimensions for the future building in response to a special request from the board. This application is for 1107 Bay Street and NOT for the adjacent properties detailed on this document.

NEWCASTLE STREET



# APPLICANT PRESENTATION

1107 BAY STREET



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Staff Review  
 Board Review

Application Fee:  
see attached schedule

20-31 HRB-2

OFFICE USE ONLY: Date Filed: 10/20 Application #: 21145 Zoning District: T4-N  
BCAGHS Survey:  Yes  No

**Schedule:** The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
\*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

Applicant Name: Cooter Ramsey, Allison Ramsey Architects, Inc

Applicant Address: 1003 Charles Street

Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant): Hank Hofford

Owner Address: 17 Lockwood Drive, 5th Floor, Charleston SC

Project Name: 1107 Bay Street

Property Address: 1107 Bay Street

Property Identification Number (Tax Map & Parcel Number): r120-004-000-845a-0000

Date Submitted: 10-20-2020

**Certification of Correctness:** I/we certify that the information in this application is correct.

Applicant's Signature: R. Wayne Ramsey Jr. Date: 10-20-2020

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

(The owner's signature is required if the applicant is not the owner.)

**Required Project Information**

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at [www.cityofbeaufort.org](http://www.cityofbeaufort.org) | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: 1107 Bay Street

Property Size in Acres: 0.47 acres Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition\*
- Relocation\*
- \*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):  
3 units @ 2,805 s.f. each

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

We are presenting the first phase of a possible 3 phase development for the site adjacent to the anchorage.  
The site was the location of a 2 story law office that burnt down several years ago. In this first phase we are  
proposing a new building with 3 units. the building is elevated above grade similar to the anchorage.  
parking is accessed from an access easement on craven street and is below the main level of the units.  
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further after a general understanding and approval of our plans are presented and approved by the board.

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**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
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Staff Review
Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

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Review Request: Conceptual Preliminary Final Bailey Bill Approval\* Change After Certification
\*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Cooter Ramsey, Allison Ramsey Architects, Inc

Applicant Address: 1003 Charles Street

Applicant E-mail: cooter@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Hank Hofford

Owner Address: 17 Lockwood Drive, 5th Floor, Charleston SC

Project Name: 1107 Bay Street

Property Address: 1107 Bay Street

Property Identification Number (Tax Map & Parcel Number): r120-004-000-845a-0000

Date Submitted: 10-20-2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: R. Wayne Ramsey Jr. Date: 10-20-2020

Owner's Signature: Date:

(The owner's signature is required if the applicant is not the owner.)

Required Project Information



**DEVELOPMENT REVIEW PROCESS**  
**HISTORIC REVIEW BOARD APPLICATION**

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: 1107 Bay Street

Property Size in Acres: 0.47 acres Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure     New Construction, Primary Structure     Alterations / Additions
- Demolition\*     Relocation\*    \*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):  
3 units @ 2,805 s.f. each

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

We are presenting the first phase of a possible 3 phase development for the site adjacent to the anchorage.

The site was the location of a 2 story law office that burnt down several years ago. In this first phase we are

proposing a new building with 3 units. the building is elevated above grade similar to the anchorage.

parking is accessed from an access easement on craven street and is below the main level of the units.

Proposed floor plans and elevations of the units are being presented along with site and elevation studies.

The second and third phase of this project are shown in the 3d model for massing and clarity of future plans

but are not part of this application beyond general massing and site planning studies. They will be developed

further after a general understanding and approval of our plans are presented and approved by the board.

**CONTACT INFORMATION –**

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

## Meredith Jacobs

---

**From:** Cooter Ramsey <cooter@allisonramseyarchitect.com>  
**Sent:** Tuesday, October 27, 2020 8:13 AM  
**To:** Meredith Jacobs  
**Subject:** RE: 1107 Bay Street - November HRB - Initial Review  
**Attachments:** 1107 Bay Street (10-20-20) Preliminary Submittal.pdf

Hey Meredith,

Here is the re-submittal that includes a site plan from the engineer with the requested info.

Let me know if you have any other questions or need anything else.

Along with the digital copy submitted, here is a link to the 3D Model that has been updated to match our current submission.

<https://sketchfab.com/3d-models/1107-bay-street-10-20-20-b4b36d9dc7884d9e98765c83899da043>

Thank you,  
Cooter

**Cooter Ramsey, Architect**  
**Allison Ramsey Architects, Inc.**

**Voice: 843-986-0559**

**Fax: 843-986-0719**

**Email: [cooter@allisonramseyarchitect.com](mailto:cooter@allisonramseyarchitect.com)**



---

**From:** Meredith Jacobs <[meredith@meadorsinc.com](mailto:meredith@meadorsinc.com)>

**Sent:** Friday, October 23, 2020 4:59 PM

**To:** Cooter Ramsey <[cooter@allisonramseyarchitect.com](mailto:cooter@allisonramseyarchitect.com)>

**Cc:** Jeremy Tate <[jeremy@meadorsinc.com](mailto:jeremy@meadorsinc.com)>; Dan Frazier <[dfrazier@cityofbeaufort.org](mailto:dfrazier@cityofbeaufort.org)>; Heather Spade <[hspade@cityofbeaufort.org](mailto:hspade@cityofbeaufort.org)>; Julie Bachety <[jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org)>

**Subject:** 1107 Bay Street - November HRB - Initial Review

Hi Cooter,

Thank you for making application to the Historic Review Board. This email confirms receipt of your HRB Application for New Construction at 1107 Bay Street.

Upon initial review of your application, we have found that the following items are missing and are required in order for this application to be reviewed in the November meeting. If any of these items are not applicable to your project, please provide a statement that they are not applicable. Please revise your complete application to include the following and **resubmit in full** by end of day on **Wednesday, October 28th**. Please note that any additional information submitted after this date will NOT be reviewed for the November HRB meeting. If you are unable to meet this deadline, this application will be automatically moved to the December meeting. Please note that scheduled dates of reviewed applications are also subject to the number of applications received.

Missing Items for 1107 Bay Street:

1. Please update site plan to include all applicable setbacks, percentage of total impervious paving, grade elevations of the street and/or sidewalk and the proposed construction at the first floor.

Thank you,

Meredith Jacobs

**Meadors Architecture**

2811 Azalea Drive

Charleston, SC 29405

Cell: 843.729.0172

Office: 843.723.8585

[www.meadorsinc.com](http://www.meadorsinc.com)

start

}

## eSearchWidget

By Shape

By

Craven St

Craven-St

Craven St

Features selected: 1

1111

1111

1102

1105

1101

1103

Bay-St  
Bay St

R120 004 000 845A C

[Situs Address: 1105 E](#)

[Class Code: CommV](#)

[Owner Name: 1105 E](#)

[Owner Name \(Contd](#)

[Mailing Address: PO](#)



[City: BEAUFORT](#)

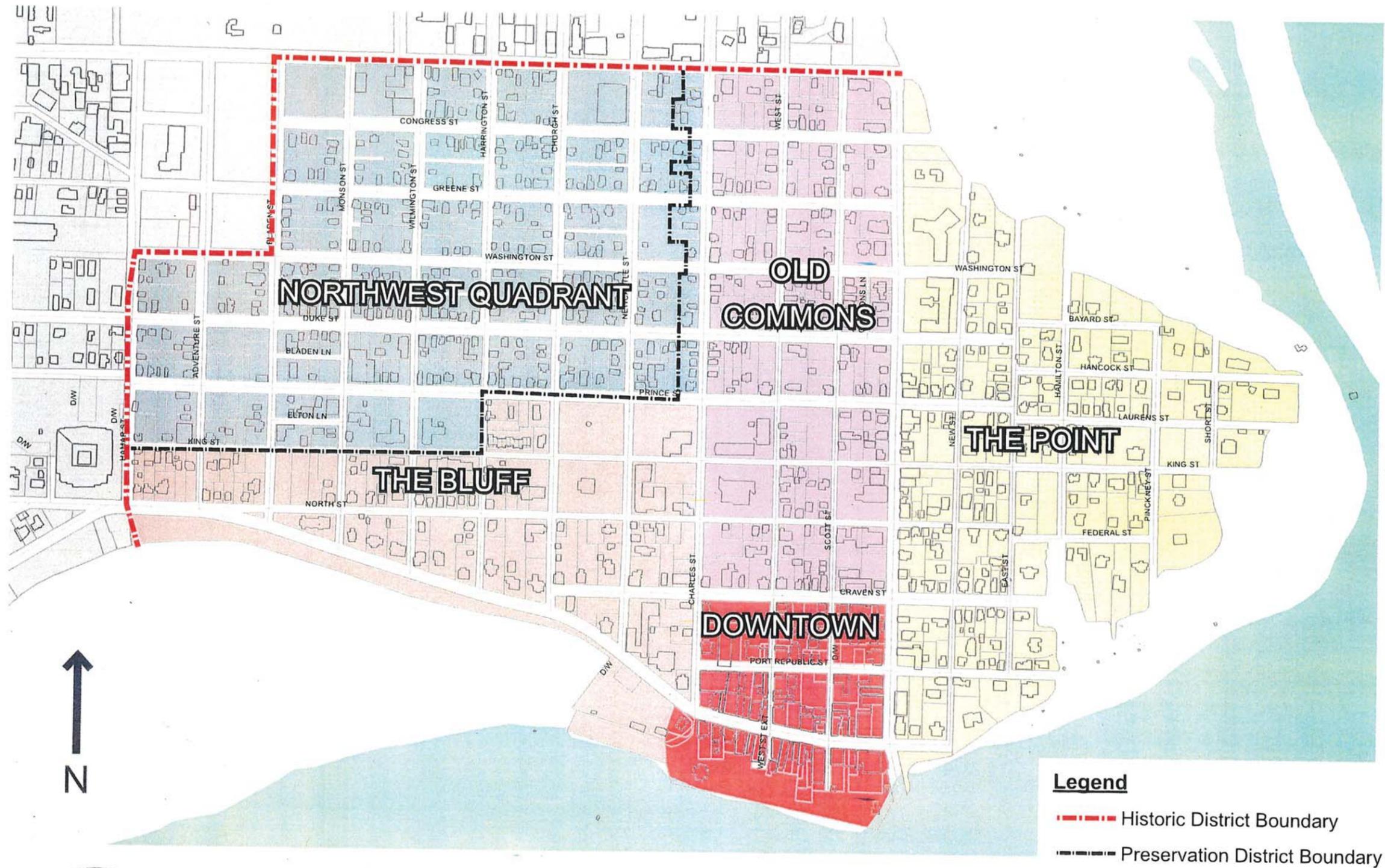
[State: SC](#)

[ZIP: 29901-1027](#)

[Property Max](#)

[Zoning Site](#)

[Elevation and Flood](#)



NEIGHBORHOOD MAP  
 NATIONAL HISTORIC LANDMARK DISTRICT

# Untitled Map

Write a description for your map.

## Legend

-  1105 Bay St
-  Dadaab Refugee Camp
-  Feature 1
-  Feature 2
-  Feature 3
-  First Presbyterian Church
-  Inn
-  Re/Max Island Realty:
-  Seccession House
-  Wells Fargo Bank

Google Earth

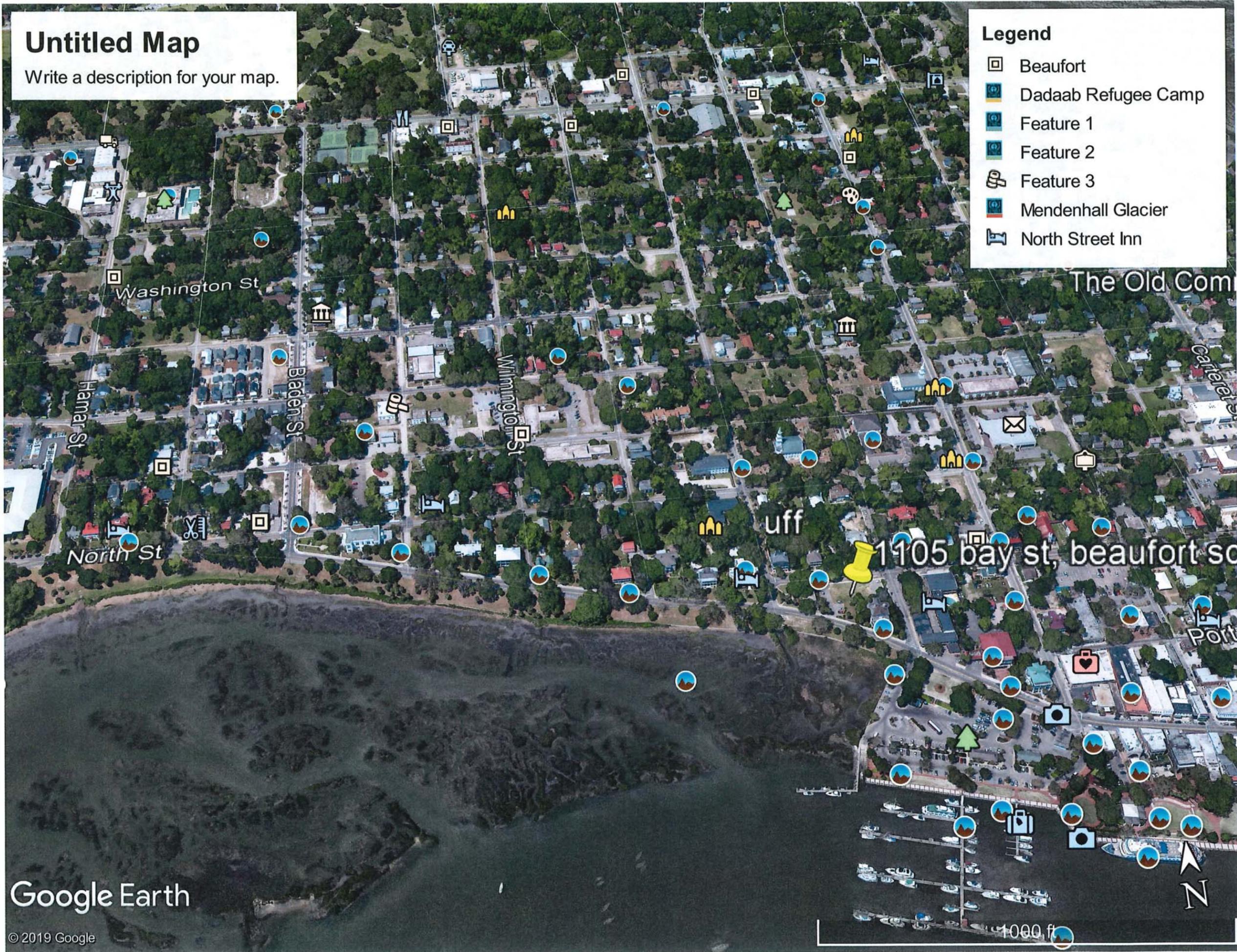
© 2019 Google



100 ft

**Untitled Map**  
Write a description for your map.

- Legend**
- Beaufort
  - Dadaab Refugee Camp
  - Feature 1
  - Feature 2
  - Feature 3
  - Mendenhall Glacier
  - North Street Inn



Google Earth

© 2019 Google

- 1015 Bay Street (Two story eave @ 22' & one story Eave @ 12')
  - From Bay Street



- From Newcastle Street



- From Newcastle & Craven Street



- 1170 Bay Street (Eave @ 40')
  - From Bay Street



- From Craven



- 1111 Bay Street (Eave @ 13')
  - From Bay Street



o From Church Street



o From Craven Street



- 1203 Bay Street (Eave @ 32')
  - From Bay Street



- From Church Street



- 1113 Craven Street (Eave @ 30')
  - From Craven Street



- From Church Street



- 1109 Craven Street (Eave @ 26')



- 1103 Craven Street (Eave @ 25')
  - From Craven Street



- From Newcastle Street



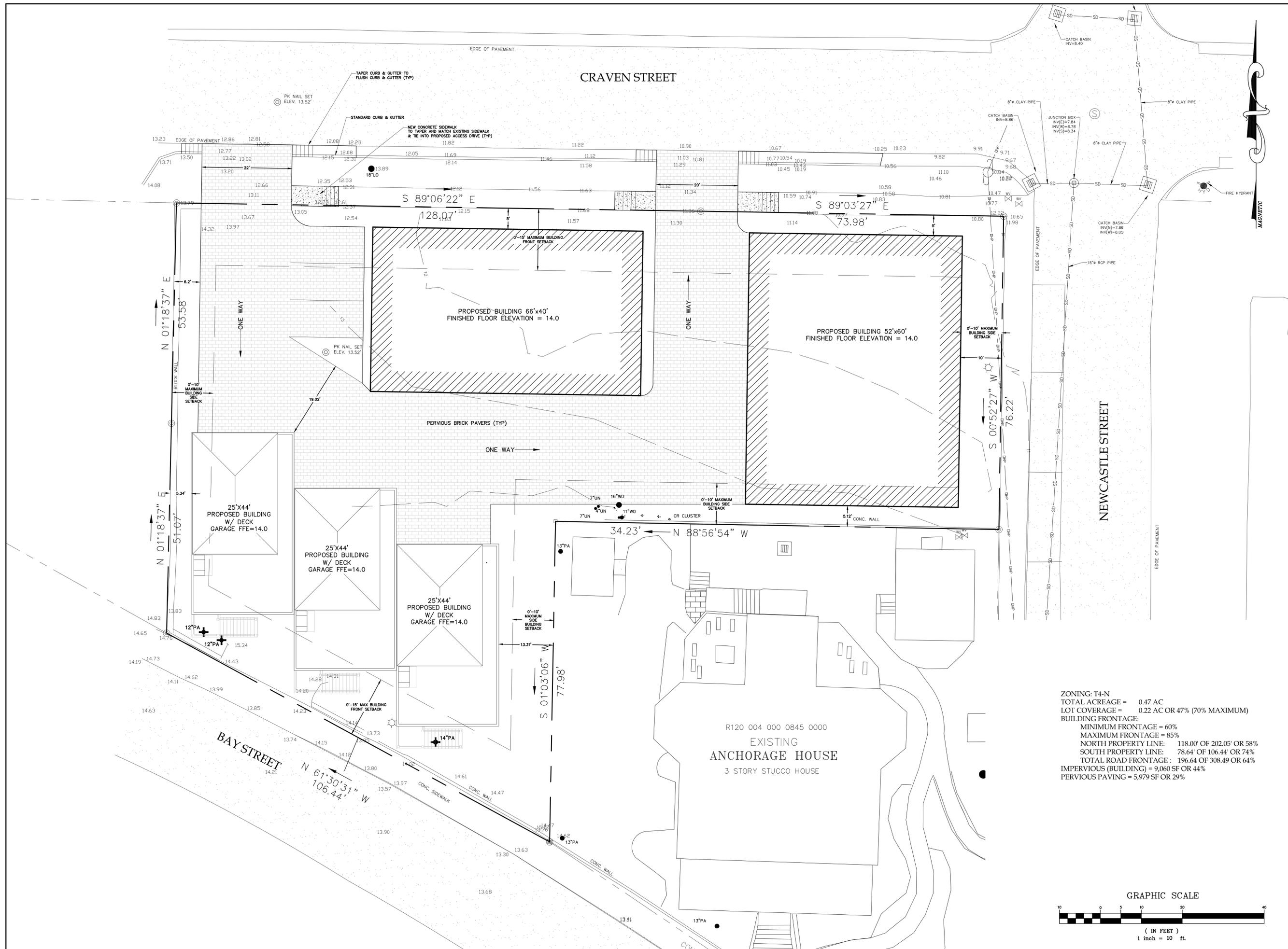
- 109 Craven Street (Eave @ 31')
  - From Newcastle Street



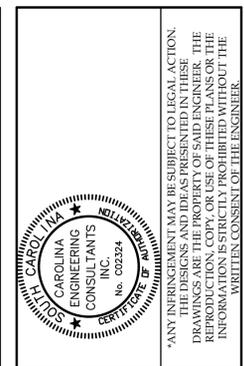
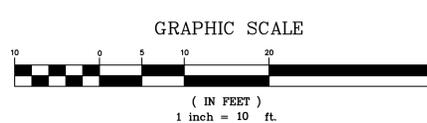
- From Craven Street







ZONING: T4-N  
 TOTAL ACREAGE = 0.47 AC  
 LOT COVERAGE = 0.22 AC OR 47% (70% MAXIMUM)  
 BUILDING FRONTAGE:  
 MINIMUM FRONTAGE = 60%  
 MAXIMUM FRONTAGE = 85%  
 NORTH PROPERTY LINE: 118.00' OF 202.05' OR 58%  
 SOUTH PROPERTY LINE: 78.64' OF 106.44' OR 74%  
 TOTAL ROAD FRONTAGE: 196.64' OF 308.49' OR 64%  
 IMPERVIOUS (BUILDING) = 9,060 SF OR 44%  
 PERVIOUS PAVING = 5,979 SF OR 29%



PLAN REVISIONS	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	

**1105 BAY STREET**  
 CITY OF BEAUFORT  
 BEAUFORT COUNTY, SC

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
 843/322-0553  
 WWW.CAROLINAENGINEERING.COM  
 PO BOX 294  
 BEAUFORT, SC 29901

PROJECT: 2289  
 DATE: 10/19/20  
 REVISED: 10/26/20  
 DRAWN BY: RGG  
 ENGINEER: DRK  
 SCALE: 1"=10'

**SITE PLAN**

**1**  
 OF 1

\*ANY INFRAINGEMENT MAY BE SUBJECT TO LEGAL ACTION.  
 THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE INFORMATION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.





LOCATION MAP (N.T.S.)

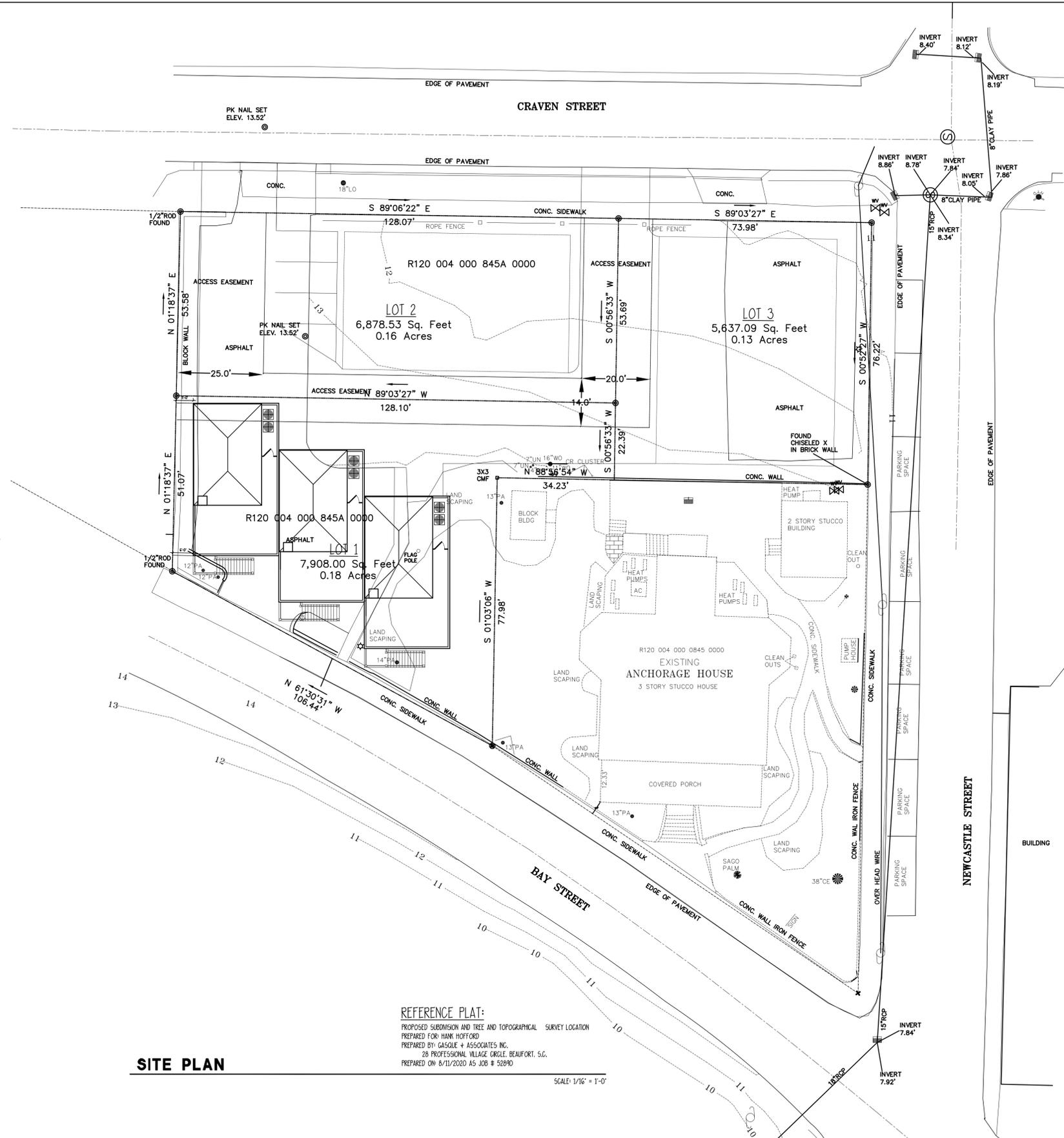
REPRODUCED FROM REFERENCE PLAT:

NOTES:

- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
- 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
- 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
- 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
- 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
- 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
- 9.) THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE A11 EL 13.00' AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450026 0005 D. DATED 09/29/86
- 10.) CONTOUR INTERVAL IS 1'.
- 11.) VERTICAL DATUM IS 1929 NGVD.

REFERENCES:

- 1.) T.M.S. R120 004 000 845A 0000
- 2.) PLAT BY R.D. TROGDON JR DATED JUNE 12, 1985 BOOK 422, PAGE 1875 BEAUFORT COUNTY R.M.C. OFFICE



TREE LEGEND

CODE	COMMON NAME	BOTANICAL NAME
PNS	PINE SHORTLEAF	Pinus echinata
PNL	PINE LONGLEAF	Pinus palustris
LO	LIVE OAK	Quercus virginiana
O	OAK	Quercus spp.
MAG	SOUTHERN MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SUB	SUGARBERRY	Celtis laevigata
EL	ELM	Ulmus spp.
HI	MOCKERNUT HICKORY	Carya spp.
BAY	BAY MAGNOLIA	Gordonia spp.
WX	WAX MYRTLE	Myrica cerifera
CH	BLACK CHERRY	Prunus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	CHINESE TALLOW-TREE	Sapium sebiferum
PO	YELLOW POPLAR	Liriodendron tulipifera
BI	BIRCH	Betula spp.
CY	BALDCYPRESS	Taxodium distichum
SY	AMERICAN SYCAMORE	Platanus occidentalis
PE	PECAN	Carya illinoensis
CR	CRAPEMYRTLE	Lagerstroemia indica
FR	FRUIT TREE	
MP	MAPLE	Morus spp.
DW	DOGWOOD	Cornus florida
GUM	SWEETGUM	Nyssa sylvatica
WO	WATER OAK	Quercus nigra
LA	LAUREL OAK	Quercus laurifolia
TUL	TULIP TREE	Liriodendron
BJO	BLACKJACK OAK	Quercus marilandica
UNK	UNKNOWN	
CRA	CRAB APPLE	Malus sylvestris
MUL	MULBERRY	Morus
MIM	MIMOSA TREE	Albizia julibrissin
WHO	WHITE OAK	Quercus alba
TO	TURKEY OAK	Quercus cerris
RO	RED OAK	Quercus rubra
HOL	HOLLY	Aquifoliales
WL	WILLOW TREE	Salix alba
TU	TUPELO	Nyssa yunnanensis
CHB	CHINABERRY	Melia azedarach
CW	COTTONWOOD	Populus
CL	CHERRY LAUREL	Prunus laurocerasus

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK, THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 0.5 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE.  
 \*NOTE\* ANY TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE AGREED UPON.

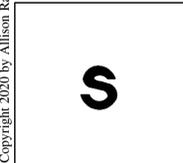
REFERENCE PLAT:  
 PROPOSED SUBDIVISION AND TREE AND TOPOGRAPHICAL SURVEY LOCATION  
 PREPARED FOR: HANK HOFFORD  
 PREPARED BY: GASQUE + ASSOCIATES INC.  
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.  
 PREPARED ON: 8/11/2020 AS JOB # 528RD

SITE PLAN

SCALE: 1/16" = 1'-0"

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DATE:	10/20/2020
JOB NO.:	20203
DWN. BY:	RJM
DWG. NAME:	20203.DWG



1107 BAY STREET  
 BEAUFORT, SOUTH CAROLINA

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 Architects, Inc. creating sustainable timeless design  
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 Beaufort, SC 29902  
 (843) 986-0559  
 www.allisonramseyarchitect.com





FIRST FLOOR

991 HTD. S.F. / UNIT

SCALE: 1/4" = 1'-0"



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DATE:	10/20/2020
JOB NO.:	20203
DRN. BY:	RWH
DRG. NAME:	20203.DWG

**2**



**SECOND FLOOR**

991 HTD. S.F. / UNIT

SCALE: 1/4" = 1'-0"

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DATE: 10/20/2020  
JOB NO.: 20203  
DWG. BY: RWH  
DWG. NAME: 20203.DWG

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**ROOFTOP DECK**

430 HTD. S.F.

SCALE: 1/4" = 1'-0"

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Beaufort, SC 29902  
(843) 986-0359  
www.allisonramseyarchitect.com

THIS PLAN IS INTENDED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURE BOARD OF SOUTH CAROLINA. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO VERIFY THE FOLLOWING: ANY WORK CONSTRUCTED FROM THIS PLAN: -MEET ALL APPLICABLE CODES AND REGULATIONS. -OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL, STATE AND FEDERAL AGENCIES. -VERIFY ALL DIMENSIONS, MATERIALS, AND FINISHES WITH THE CONTRACTOR. -VERIFY ALL DIMENSIONS, MATERIALS, AND FINISHES WITH LOCAL, STATE AND FEDERAL AGENCIES.

DATE:	10/20/2020
JOB NO.:	20203
DRN. DT.:	RWH
DRN. NAME:	20203.DWG

DATE:	10/20/2020
JOB NO.:	20203
DRN. DT.:	RWH
DRN. NAME:	20203.DWG

**4**



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

1107 BAY STREET  
BEAUFORT, SOUTH CAROLINA

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DATE:	10/20/2020
JOB NO.:	20203
DRN. BY:	RWH
DRG. NAME:	20203.DWG

5

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1 REAR ELEVATION

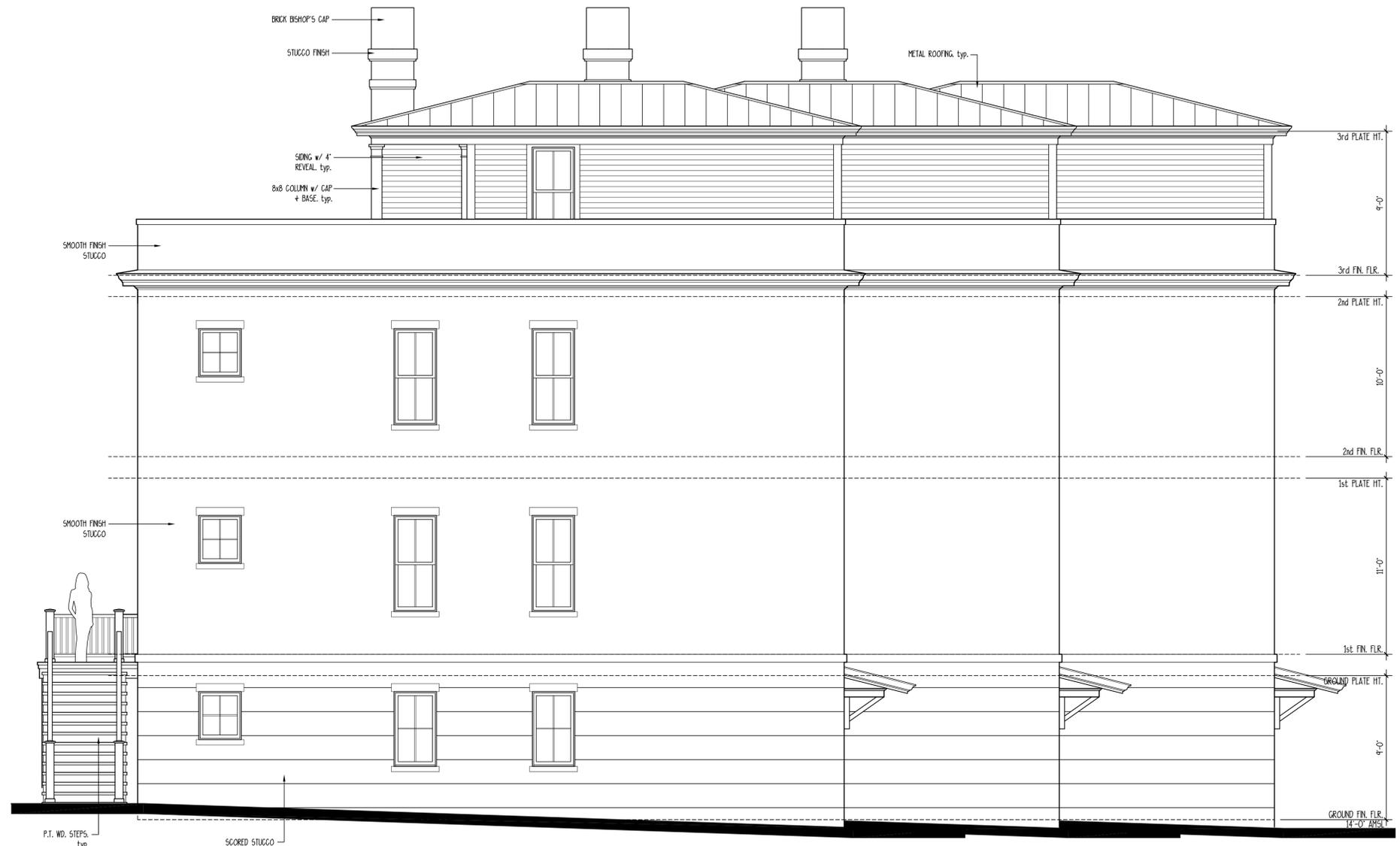
SCALE: 1/4" = 1'-0"

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BEAUFORT, SOUTH CAROLINA

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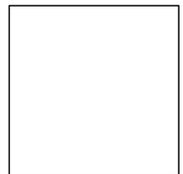
THIS PLAN HAS BEEN PREPARED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURAL PROFESSION AND IS THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER REGULATORY AGENCIES OR AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER REGULATORY AGENCIES OR AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER REGULATORY AGENCIES OR AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT. THE ARCHITECT HAS NOT BEEN ADVISED OF ANY OTHER REGULATORY AGENCIES OR AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT.

DATE:	10/20/2020
JOB NO.:	20203
DRAWN BY:	RWH
DATE:	20203.DWG



1 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

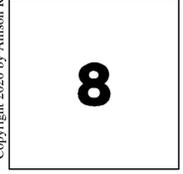


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JOB NO.:	20203
DRN. BY:	RWH
DRN. NAME:	20203.DWG



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EXISTING BUILDING

PROPOSED BUILDING

EXISTING BUILDING

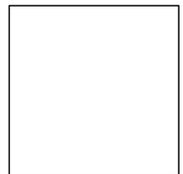
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DATE:	10/20/2020
JOB NO.:	20203
DRN. BY:	RWH
DRN. NAME:	20203.DWG

THIS PLAN HAS BEEN PREPARED TO MEET THE PROFESSIONAL STANDARDS AND PRACTICES OF THE ARCHITECTURAL BOARD OF SOUTH CAROLINA. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO VERIFY THE FOLLOWING: ALL INFORMATION IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND ANY OTHER INFORMATION OBTAINED FROM THIS PLAN.  
 -VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.  
 -VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

**ARA**  
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**1107 BAY STREET**  
 BEAUFORT, SOUTH CAROLINA





# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
18 November 2020

## 1 SUMMARY OF REQUEST

---

1107 Bay Street, New Construction

Applicant: Cooter Ramsey, Allison Ramsey Architects (20-31 HRB.2)

The applicant is requesting preliminary approval to construct a 3-unit dwelling.

This proposal is the first of three phases. The second and third phase of the development will be separate buildings and are not part of this application.

Please note that the applicant has provided a 3D Model of this project that may be accessed through the following link: <https://sketchfab.com/3d-models/1107-bay-street-10-20-20-b4b36d9dc7884d9e98765c83899da043>

Background:

This project was previously granted conceptual approval in September 2020, with conditions noted in Staff and Board Comments.

## 2 FACTS

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<b>Property Address:</b>	1107 Bay Street
<b>Parcel ID:</b>	R120 004 000 845A 0000
<b>Case Number:</b>	20-31 HRB.2
<b>Applicant:</b>	<b>Cooter Ramsey, Allison Ramsey Architects</b>
<b>Zoning:</b>	T4-N
<b>Use:</b>	3-Unit Dwelling

### District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
  - *Front-0' minimum – 15' maximum.*
  - *Rear setback – 10' min.*
  - *Side Corner/Alley – 0' minimum – 10' maximum.*
  - *Side Interior – 5' min., or 0' if attached.*
- **Frontage Build out:** 60% minimum – 85% maximum
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed.
- **Height Limitations:** 3.5 Stories Maximum
- **Building width at frontage:** 100ft max



- **Current Flood Zone:** A11

**References:**

- The Beaufort Code, Chapters 2, 4, 9
- The Beaufort Preservation Manual, Chapter 3
- The Beaufort Preservation Manual Supplement, Chapter 3

### 3 STAFF COMMENTS/ RECOMMENDATIONS

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1. Staff continues to view this project as a positive addition to the Historic Preservation Neighborhood. At the preliminary level, this project maintains compatibility with the Historic District in terms of design, setting, and feeling as described in Section 4.7 of the Beaufort Code as well as in terms of scale, absolute size, massing, orientation, proportions, materials, form, and siting as discussed in the Beaufort Preservation Manual.
2. Per Section 5.7.3 of the Beaufort Code, bicycle parking is required for this development, and per 5.7.4 of the Beaufort Code, 6 parking spaces (2 per unit) are required for this phase of the project. Applicant still has not clarified which parking spaces will belong to which lots. Only one space per unit is shown on the ground floor of the proposed building, while several other parking spaces still exist on adjacent sites. No parking agreement has been provided. Applicant to clarify parking in future submissions and ensure that required parking for all portions of the lot will be met per the Beaufort Code.
3. A new access easement is shown between Lot 1 and Lot 2, and the building appears to be encroaching on the easement by almost 7'. Applicant to clarify this access easement in relation to the proposed buildings.
4. In this proposal, the applicant has modified the Ground Finish Floor Elevation to be 14' AMSL, which is 2' above the required freeboard. Per Section 2.6.2.C.1: Specific to T4 Zones, "The finished ground floor height for residential structures shall be elevated a minimum of 2 feet above the average adjacent sidewalk grade or adjacent street grade where no sidewalk is present." Section 2.6.2.C.3 notes that "The ground floor height of multi-family residential structures shall be a minimum of 10 ft from finished floor to ceiling." The project is currently not compliant with these standards. Per 9.12.1.B, "**The Administrator shall have the authority to authorize modification of up to 10% from any numerical standard set forth in Article 2 (Map & Districts)....Any request greater than 10% shall be treated as a variance handled by the Zoning Board of Appeals, and subject to the requirements of Section 9.14.**" This makes the 9' proposed floor to floor height of the ground level compliant. However, the project is still not compliant with previously noted 2.6.2.C.1. of the Beaufort Code. Staff believes the Zoning Board of Appeals could handle it as a variance. Applicant to be aware that the lower level will be considered a basement if any grade elevation adjacent to this building is 1' or higher than the finish floor elevation of the ground floor. The Site Plan shows a grade of 15.34 near the entrance of the western unit, which shows that this building will not be compliant with FEMA guidelines. If the applicant can alleviate the concerns of FEMA by complying with these guidelines, Staff feels that it would be reasonable to support the applicant obtaining a variance from the Zoning Board of Appeals for section 2.6.2.C.1, as this would allow the relationship between the proposed buildings and the neighboring Anchorage

Building to be more complementary and compatible and therefore compliant with standards for New Construction as noted in Chapter 3 of the Preservation Manual.

5. The applicant has updated the windows on the front façade to better comply with Section 4.6.4.C.2.c.i of the Beaufort Code, which states that “Facades should have several window sizes with smaller ones above. This is particularly important when buildings rise more than 2 stories.” The previous submission showed equal ceiling heights and window sizes on the first and second floors. The current application has altered the ceiling heights to grow slightly smaller on each level, which creates a hierarchy of window sizes that better comply with the Code section noted above. The applicant has also maintained a compatible relationship to the heights of the roof and cornice as well as the proportions of the adjacent Anchorage Building, which is compliant with Chapter 3 of the Beaufort Preservation Manual Supplement.
6. Windows have been added to the far east elevation of the building, which is a positive change that was requested in the September 2020 HRB Staff and Board comments.
7. Staff previously noted that the proposed chimney was oversized for the structure and needed to be sized down to have better proportional relationships with the rest of the building. The current submission shows a less dominant chimney that has been incorporated into the “family room” structure on the top level. This is a positive change that makes for a more harmonious proportional relationship between the chimney and the rest of the building. Applicant to verify code compliance and fireplace manufacturer’s requirements with regard to fireplace opening side minimum clearance to side wall.
8. The amount of proposed windows and doors on the façade maintain a positive sense of solid vs. void that complements the neighboring Anchorage Building. The proposed rooftop parapet wall design on the third floor competes with this. The solid parapet wall creates a large blank mass on the top of the building that could benefit from further detail or moments of transparency that relate to the doors and windows below. This would help the upper level better maintain the sense of scale established on the lower levels. Staff understands visual privacy concerns from the ground. However, there could be a creative solution to bring better solid/void balance regarding the solid parapet wall. Also, applicant should note how this rooftop deck will drain and where through wall scuppers will be located. Applicant to show any gutter and downspout locations on future submissions.
9. Page 15 of the Beaufort Preservation Manual states that “New Construction should use materials in a manner sympathetic to the historic buildings in the Historic Beaufort District. Materials should be of similar or complementary color, size, texture, scale, craftsmanship, and applicability to function performed.” The proposed use of materials is positive in that the selected materials are similar to those that exist on historic buildings in the surrounding neighborhood, and the application of the materials helps to establish a defined base, middle, and cap as is encouraged by Section 4 of the Beaufort Code. Applicant to submit a final materials list with specific proposed colors and finishes in final application.
10. The rear elevation is missing some detail linework at the window mull to header and window mull to sill on the ganged first floor windows. This appears to be a graphical issue as the intent is clearly indicated on the second-floor windows above. In a future submission, applicant should submit window and door details to illustrate the detail at the fenestration.

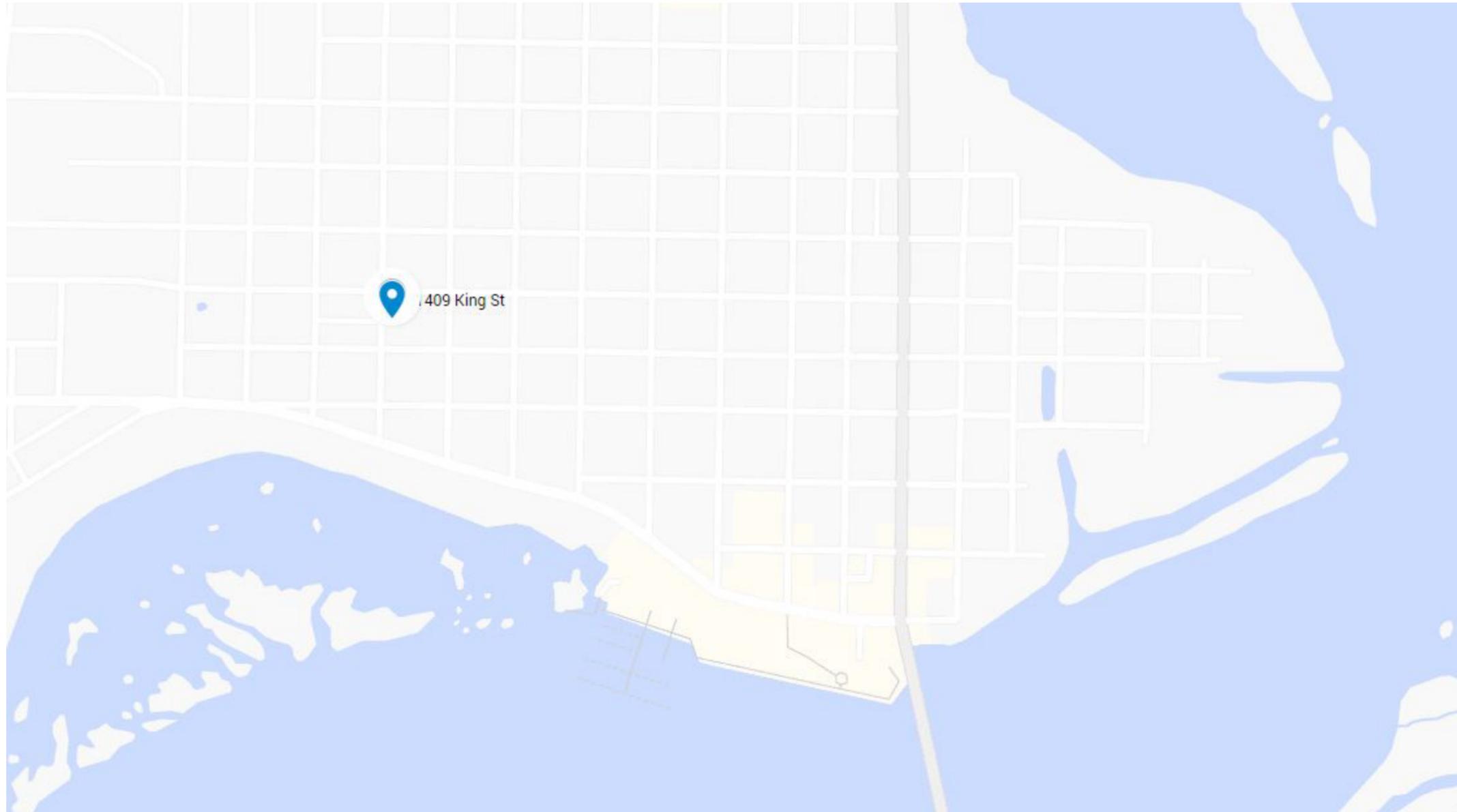
11. Staff prefers that the rear garage doors be converted into two smaller doors with wall space between. That would reduce the scale of the garage doors and allow the roof canopy to have an additional bracket between the doors reducing span and adding better scaled rhythm along the ground floor elevation.

**STAFF RECOMMENDATION:**

**Preliminary Approval** with conditions noted.

# CITY STAFF INTRODUCTION

1409 KING STREET



PROJECT LOCATION - 1409 KING STREET

EXISTING JAIL STRUCTURE: 1409 KING STREET



# APPLICANT PRESENTATION

1409 KING STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval\* Change After Certification
\*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Andrew Rogerson, Garvin Design Group

Applicant Address: 1209 Lincoln St, Columbia, SC 29201

Applicant E-mail: arogerson@garvindesigngroup.com Applicant Phone Number: 803-212-1032

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Wheeler & Wheeler

Owner Address: 1711 Gervais St, Columbia, SC 29201

Project Name: Justice Square

Property Address: 1409 King St

Property Identification Number (Tax Map & Parcel Number): TMS R120 004 000 1009 0000

Date Submitted: 04/03/2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Andrew P Rogerson Date: 04/03/2020

Owner's Signature: [Signature] Date: 04/03/2020

See Section 9-10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

Project Name: Justice Square

Property Size in Acres: 0.87 Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
Demolition\*
Relocation\*
Alterations / Additions
\*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
Jail: 5,000 sf 1st floor, 3,500 sf 2nd floor | Attached Units: 3,000 sf 1st, 2nd, & 3rd per bldg

Is this project a redevelopment project? [X] Y [ ] N
Are there existing buildings on the site? [X] Y [ ] N if yes, will they remain? [X] Y [ ] N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

The project consists of renovating the historic jail building into (9) rental apartments, complete mechanical, plumbing, and electrical upfits, and interior finishes in compliance with National Park Service, Department of the Interior standards for historical preservation.

The project also includes new construction of (8) attached dwelling units along Prince Street, associated site work, and parking to meet the needs of the project.

Blank lines for project narrative continuation.

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February

**BEAUFORT COUNTY  
HISTORIC SITES SURVEY - 1997**

**INTENSIVE LEVEL BUILDING INVENTORY FORM**

Statewide Survey Site Form  
State Historic Preservation Office  
South Carolina Department of Archives and History  
Columbia, SC

Site Number: U- 13 - 1214  
Access County Site #  
USGS Quad: 025 Beaufort  
Doc. Level: Intensive\_Level:Building

Historic name(s): Beaufort County Jail Map Ref.: BFT 09 (BL) Tax Number: B120 004 000 0598 0000  
Common name(s): \_\_\_\_\_ City Block Ref.: 113 Island: Port Royal Is.  
Address/location: 1409 King St. City/Vicinity of (vic.) Beaufort  
Date: 1938 Alteration date: \_\_\_\_\_  
Ownership:  1. private  2. city  3. county  4. state  5. federal  6. unknown  
Category:  1. building  2. site  3. structure  4. object  
Historic use(s): jail Current uses: vacant

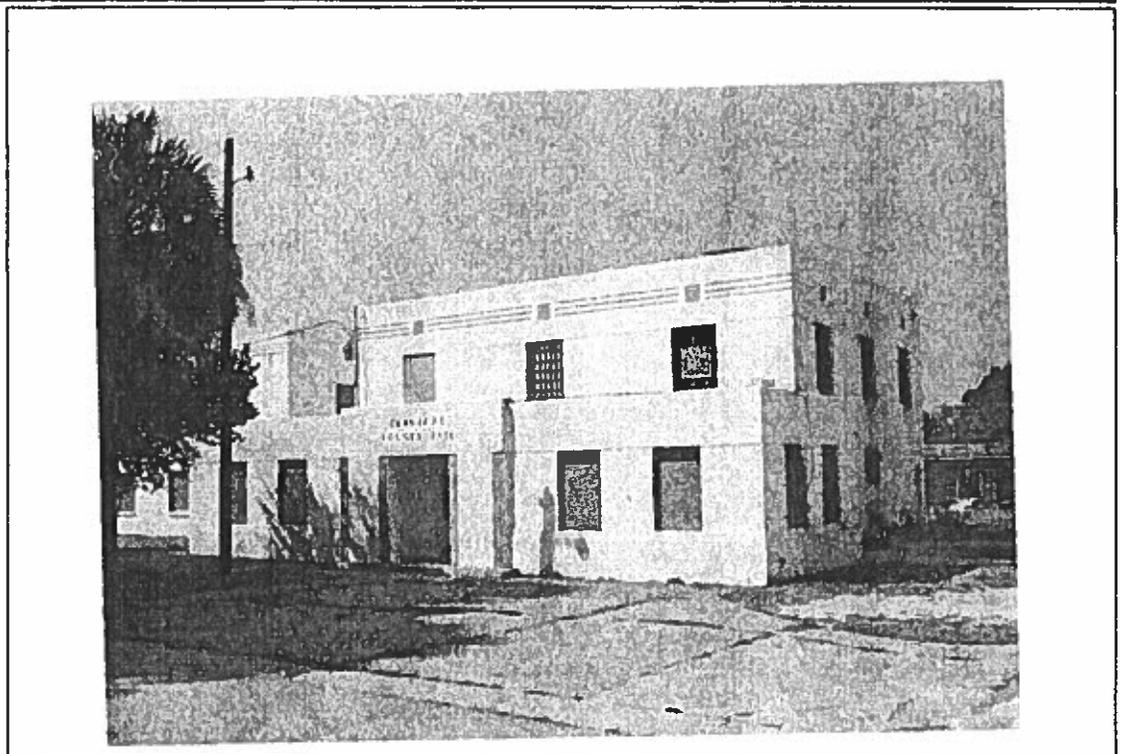
National Register Status: \_\_\_\_\_ Date: \_\_\_\_\_ Listing Name: \_\_\_\_\_ NRIS # \_\_\_\_\_  
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: \_\_\_\_\_ Name: \_\_\_\_\_

Previous Survey: \_\_\_\_\_ Reference: \_\_\_\_\_ Notes: \_\_\_\_\_  
 H.A.B.S.  Other \_\_\_\_\_  
 Feiss-Wright (1969) \_\_\_\_\_  
 Historic Resources of the Lowcountry (1979) \_\_\_\_\_  
 Milner Historic District Inventory (1979) \_\_\_\_\_  
 A Guide to Historic Beaufort (1995 ed.) \_\_\_\_\_

Photograph:



Photographs:

- prints  
 slides  
 negatives

Date: 8/1/97

Recorder: D. Schneider, Historic Beaufort Fdn.

Roll # S-13 Neg. 31 View of: S facade & E elev., fac. NW

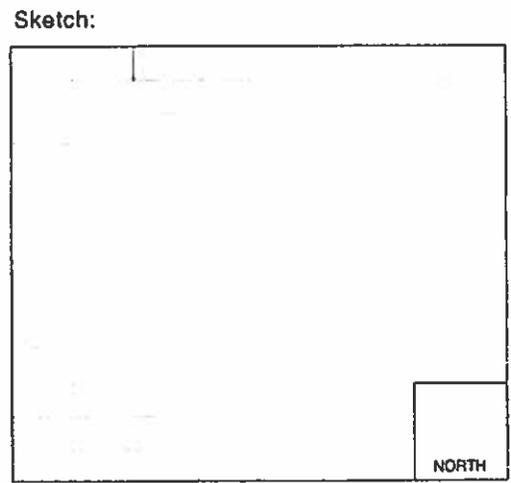
**Style:** Art Deco/Moderne **Commercial Form:**  
**Core Shape:** rectangular **Stories:** 2 stories **Construction:** masonry  
**Roof Shape:** flat **Material:** built up  
**Chimney Type:** **Material:**  
**Exterior Walls:** stucco  
**Windows:** single **Type:** fixed **Pane Config.:** metal frame  
**Doors:** double **Foundation:** slab construction  
**Porch Height:** **Porch Width:** **Porch Roof Shape:**  
**Porch Details:** **Decorative Elements:** stucco  
**Outbuildings:** none **Interior Features:**

**Number of Related Resources:**  
**Surroundings:** residential/commercial **Acreage:** **Quadrangle:** Beaufort

**Alterations:** **Alteration date:** **Integrity:** excellent **Condition:** good

**Description:** 2 story rectangular concrete jail building with flat roof concealed by low parapet; Art Deco design

**Historical Data:** The Beaufort County Jail is a well developed example of Art Deco/Moderne architecture in Beaufort. Constructed on the site of an earlier jail in 1938, the building was designed by Beaufort architect Jules D. Levin. The large addition to the west was constructed in 1961.



Site Number: U - 13 - 1214

**Informant/Bibliography:** Historic Beaufort Foundation historic sites survey files.

## **HRB Staff Review – 10/28/2020 Responses**

### **1409 King Street -Alterations/Additions to Existing Jail Building**

- The comments below are in response to the updated elevations and context photos of the existing jail building provided on Monday, June 22nd.

#### Staff Comments:

- After review of the additional documents, Staff is in support of Preliminary Approval for this project. The proposed alterations to the existing jail building are minimal and will revitalize the building while maintaining its character.
- Staff recommends that the final submission for this project include all items noted on the checklist for Final Submissions in addition to the following:
  - Provide historic treatment process for steel windows and bars.
    - Window bars will be cleaned using hard scraping and wire brushing to remove rust and corrosion. All bars will be repainted to prevent future corrosion. Glass panes will be replaced with in-kind, insulated single panes. Existing window profiles will be maintained. Interior panels of bars will be removed. The window bars will be painted gray to mimic the original unpainted steel.
  - Provide detail of new awning that shows how it connects to the existing building.
    - See provided awning attachment detail in the revised packet.
  - Note any changes that will be made to the roof. Include details for any new roofing that will be added.
    - There will be TPO roof replacement in the same plane as the existing gravel ballast roof.
  - Provide a cut sheet for paint system planned for brick facade.
    - See provided paint system cut sheets in the revised packet.
  - Provide cutsheets for new downspouts and conductor heads, showing finish.
    - See provided downspout/conductor head cut sheets in the revised packet.
  - Provide details and finish information for new stairway planned for north elevation.
    - There will not be a new stairway along the north elevation.

**Staff Recommendation for Alterations/Additions:** Preliminary Approval of proposed alterations to existing jail building with comments noted.

### **1409 King Street -New Construction of Four Residential Unit Structures**

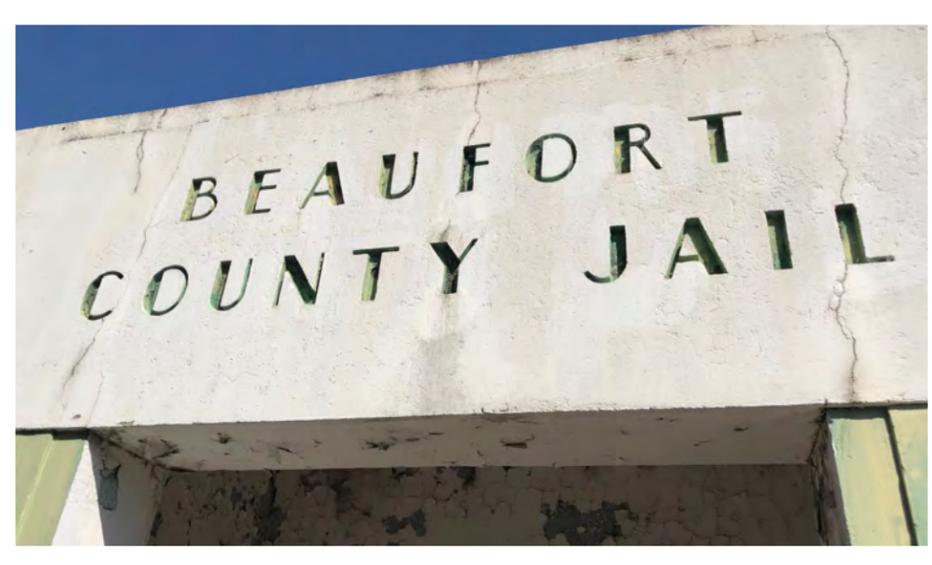
- The comments below are in response to an updated submission provided by Garvin Design Group on Saturday, June 21m. This submission followed a virtual meeting held on Monday, June 22nd to discuss the project.

Staff Comments:

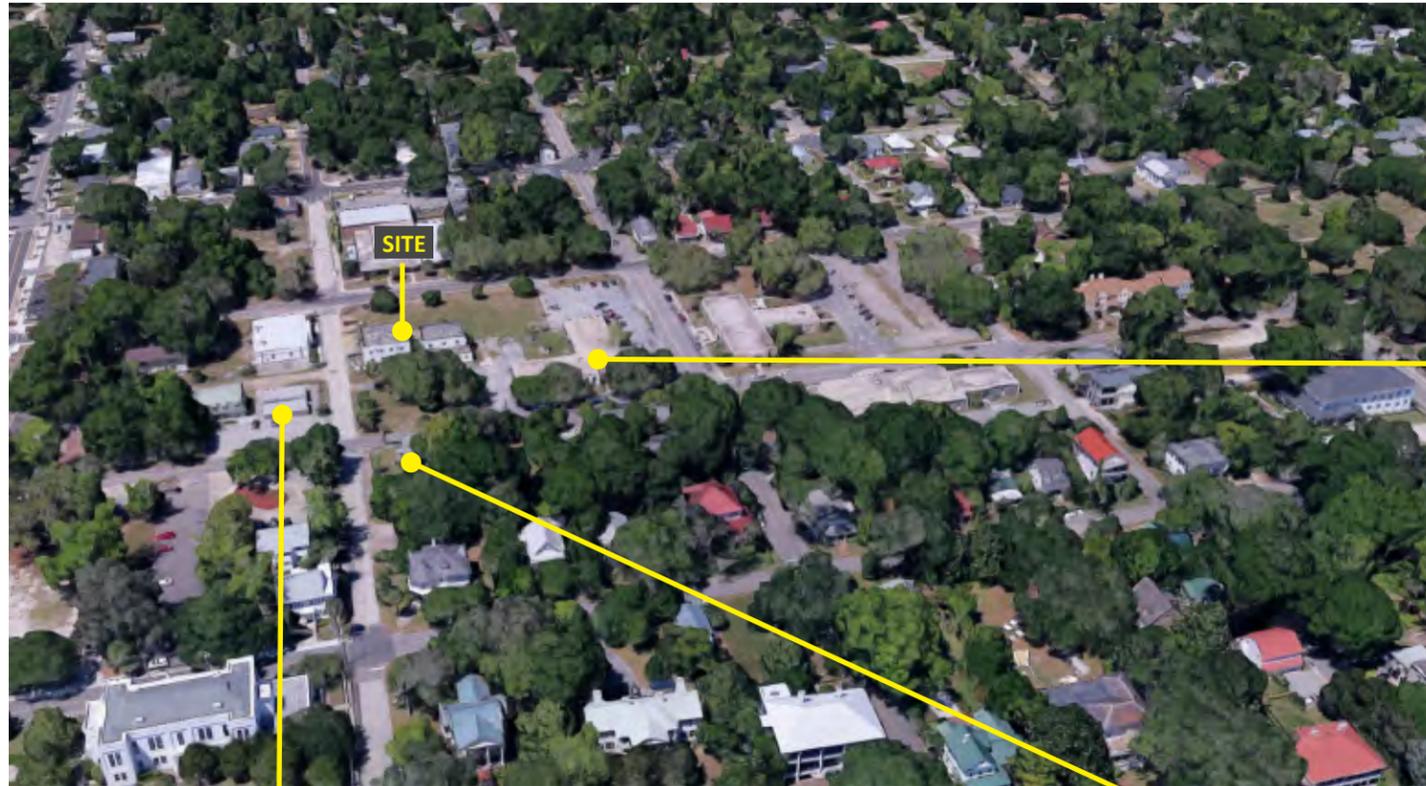
- 1 After review of the revised documents, Staff is in support of Conceptual Approval of the proposed new residential units:
  - a. The change to one and a half story and two and a half story structures is a positive change. These units are now more in keeping with the surrounding context in height, scale, and mass.
  - b. The provided 3D imagery is very helpful, and materials and massing are in keeping with the neighborhood: the push and pull of the facades create nice small yards in front, and the material changes between units allow the structures to be less uniform.
- 2 Staff supports the large dormers on the units, but believes the back dormers are too small. The dormers are out of proportion with the surrounding roof and the associated windows, making the windows appear crowded.
  - i. The dormer design has been edited in the revised packet.
- 3 The windows on the first floor should be slightly taller. The sills of these windows should drop to give a little more height to the windows.
  - i. The first floor window sill heights have been lowered in the revised packet.
- 4 The soffit and fascia board still appear boxy. Staff recommends showing a fascia and soffit detail within the preliminary submission. Staff recommends consideration of a frieze and rake frieze detail to help break up the facade.
  - i. The fascia details will vary among buildings – fascia with rake frieze and exposed rafter tails. See fascia and soffit detail in the revised packet.
- 5 The base of the building appears to be brick, and it appears to extend and protrude past the wall plane of the siding. The foundation finish should be flush with the exterior side of the framing above, and the skirt board, siding and trim should be proud of the foundation. Staff recommends a stucco or tabby parge coat around the foundation to aid in achieving this detail in a simple manner.
  - i. The foundation detail has been adjusted accordingly in the revised packet.
- 6 The back porches should be further detailed in the preliminary submission. A beam should be detailed, and proper trim and corner boards should be added.
  - i. The porch framing and trim has been further developed in the revised packet.
- 7 The reduced size of the units is a positive change, but the gable on the side still creates a large wall on the side of the building. Staff recommends consideration of a closed gable in this area with the addition of a geison fascia and roof to help break up the facade and separate the roof from the side walls. Staff also recommends removal of the attic window from within the closed gable. This attic window could be replaced with horizontal louvers or a similar detail that can help break up the large facade.
  - i. The roof forms have been adjusted to present smaller side façade and removed attic windows in closed gables in the revised packet.
- 8 The subtle use of siding materials to break down the scale of the structures is a positive approach. Staff encourages the applicant to provide further detail of each area in preliminary application process.

- i. Further exterior material notation has been provided in the revised packet.
- 9 Staff notes that the following should be further detailed in addition to the details mentioned above.
  - a. Roof eave profiles
  - b. Porch beam to column capital relationship on porches
  - c. Corner boards
  - d. Skirt board and drip cap
  - e. Rake trim
  - f. Frieze Board
  - g. Window trim: projecting heavy sill, casings, and drip cap
  - h. Door trim: casings and drip cap
    - i. All provided in the revised packet

EXISTING JAIL STRUCTURE: 1409 KING STREET



CONTEXT - SURROUNDING STRUCTURES: 1409 KING STREET



1407 KING STREET



1509 KING STREET



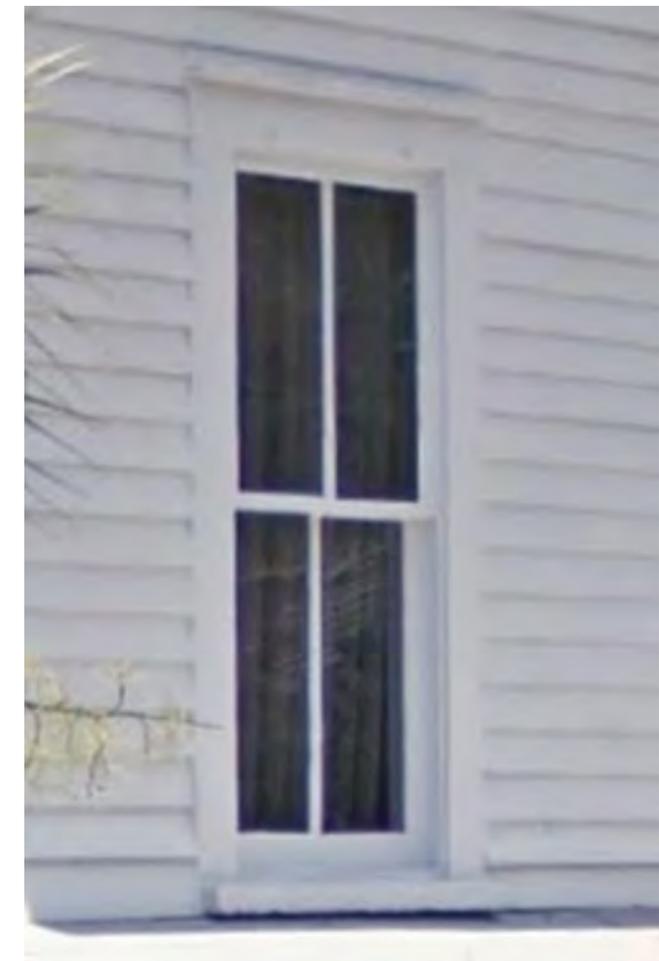
509 MONSON STREET



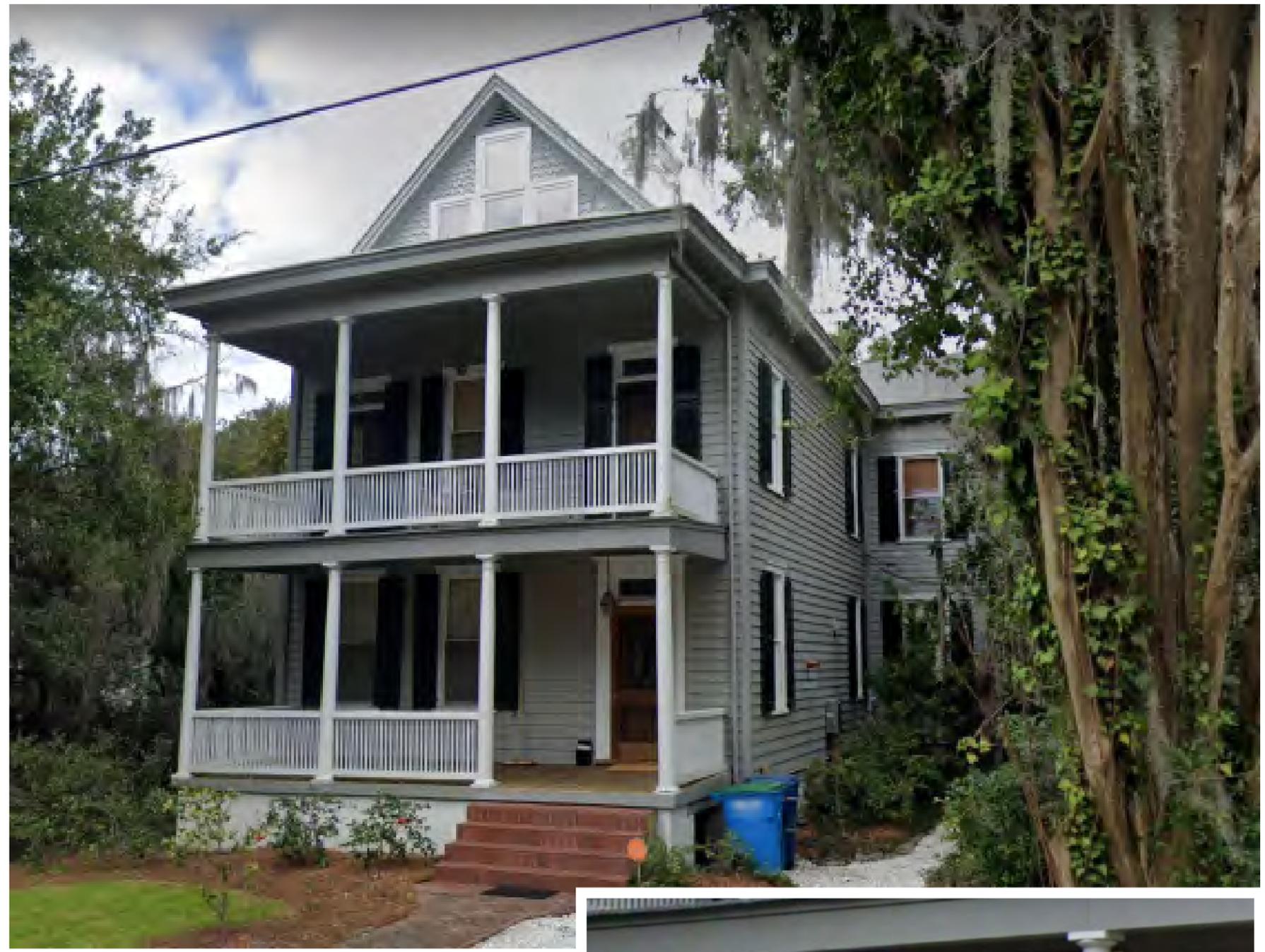
CONTEXT - SURROUNDING STRUCTURES: 1409 KING STREET



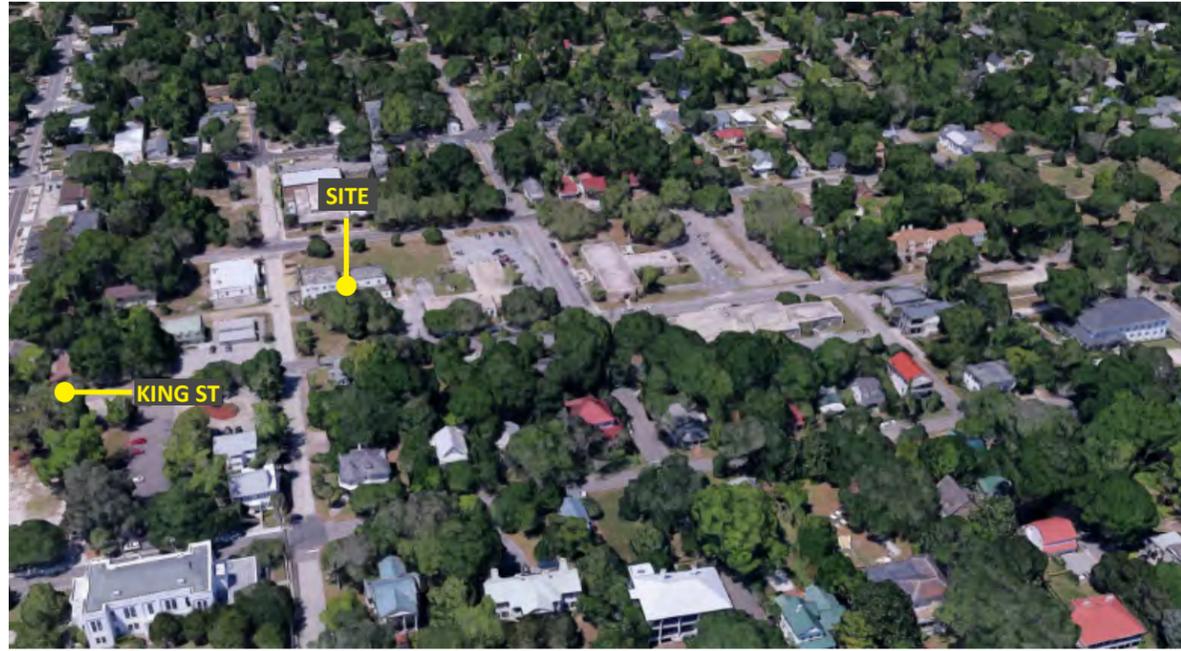
2.5 STORY EXAMPLE: 1301 NORTH STREET (c. 1901)



2.5 STORY EXAMPLE: 1407 NORTH STREET (c. 1880)



2.5 STORY EXAMPLE: KING STREET



1708 KING STREET (C. 2006)



1706 KING STREET (C. 2006)



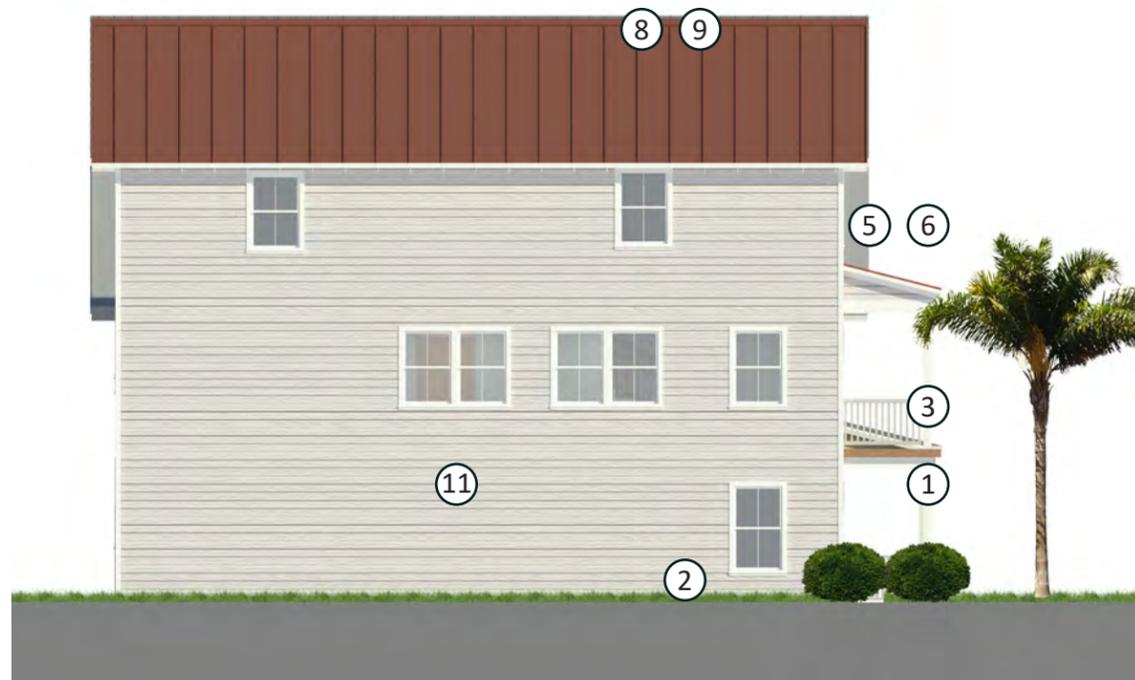
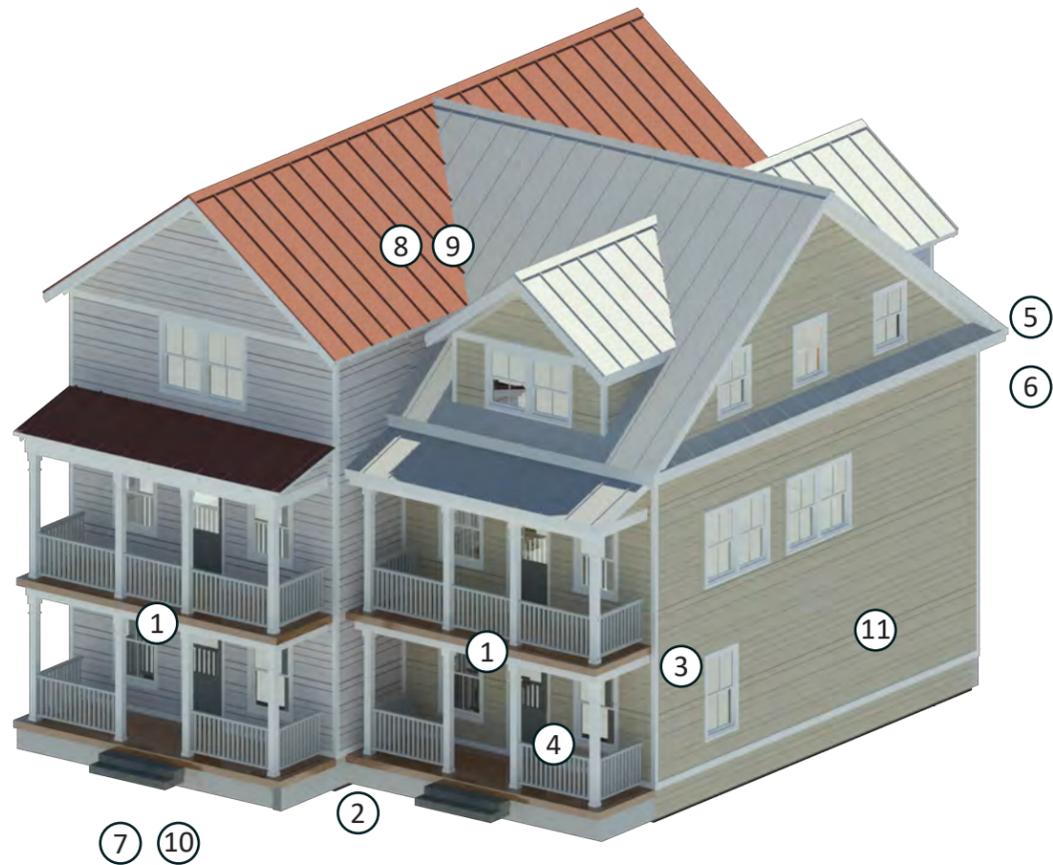
2.5 STORY EXAMPLE: DUKE STREET



1407 DUKE STREET (C. 2001)



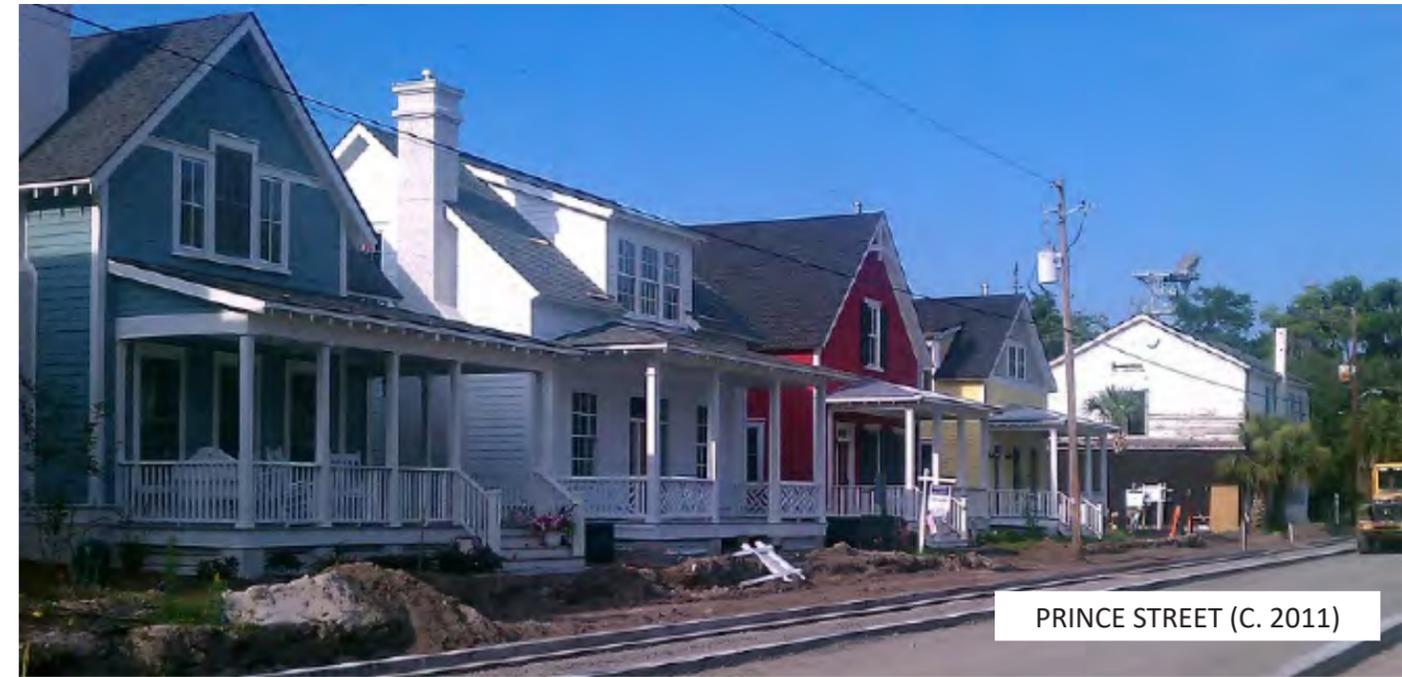
1401 DUKE STREET (C. 2001)



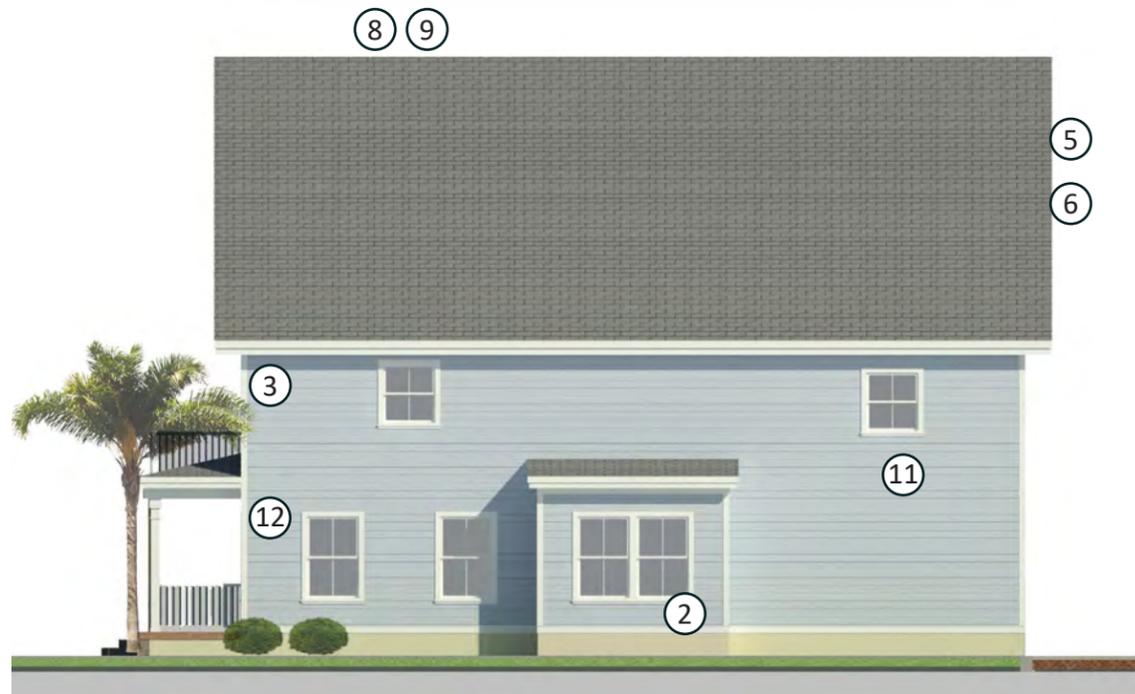
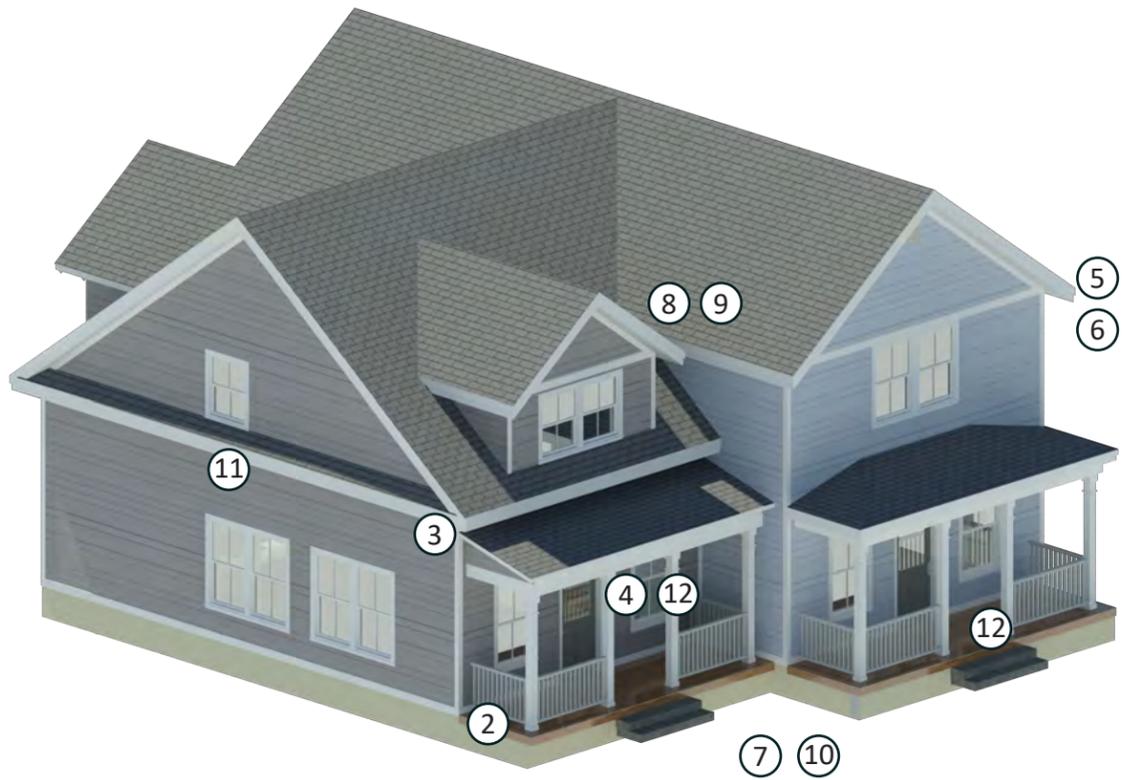
**DESIGN GUIDELINE REFERENCES:**

- ①. Porch design follows the “Beaufort Style” 2-story porch with central entry as seen detailed on pg 33 of the Beaufort Preservation Manual by Milner Associates, pg 14 & 39 of the Northwest Quadrant Design Principles by Winter & Company
- ②. Elevation of first floor follows guidance from pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 44 of the Northwest Quadrant Design Principles by Winter & Company
- ③. Floor to floor height considers neighborhood context per pg 42 of the Beaufort Preservation Manual by Milner Associates
- ④. Bays, windows, and doors draw on proportions and number of bays in neighborhood structures per pg 42 of the Beaufort Preservation Manual by Milner Associates
- ⑤. Absolute size ( 1.5 - 2.5 stories ) considers scale of neighborhood buildings per pg 42 of the Beaufort Preservation Manual by Milner Associates, pg 24 of the Northwest Quadrant Design Principles by Winter & Company
- ⑥. Massing considers the weight of neighborhood buildings per pg 43 of the Beaufort Preservation Manual by Milner Associates
- ⑦. Principal facades are oriented to Prince Street per pg 43 of the Beaufort Preservation Manual by Milner Associates, pg 14 of the Northwest Quadrant Design Principles by Winter & Company
- ⑧. Roof forms harmonize with hips and gables of nearby existing construction per pg 45 of the Beaufort Preservation Manual by Milner Associates, pg 23 of the Northwest Quadrant Design Principles by Winter & Company
- ⑨. Roof materials follow guidelines on pg 34 of the Northwest Quadrant Design Principles by Winter & Company
- ⑩. Siting follows setback of neighborhood buildings per pg 46 of the Beaufort Preservation Manual by Milner Associates
- ⑪. Use of horizontal lap siding is in line with recommendations on pg 30-31 of the Northwest Quadrant Design Principles by Winter & Company
- ⑫. Porch design follows the “Bungalow Style” 1-story porch with central entry as seen detailed on pg 34 of the Beaufort Preservation Manual by Milner Associates

1.5 STORY EXAMPLE: PRINCE STREET



1.5 STORY PROPOSED FEATURES: 1409 KING STREET



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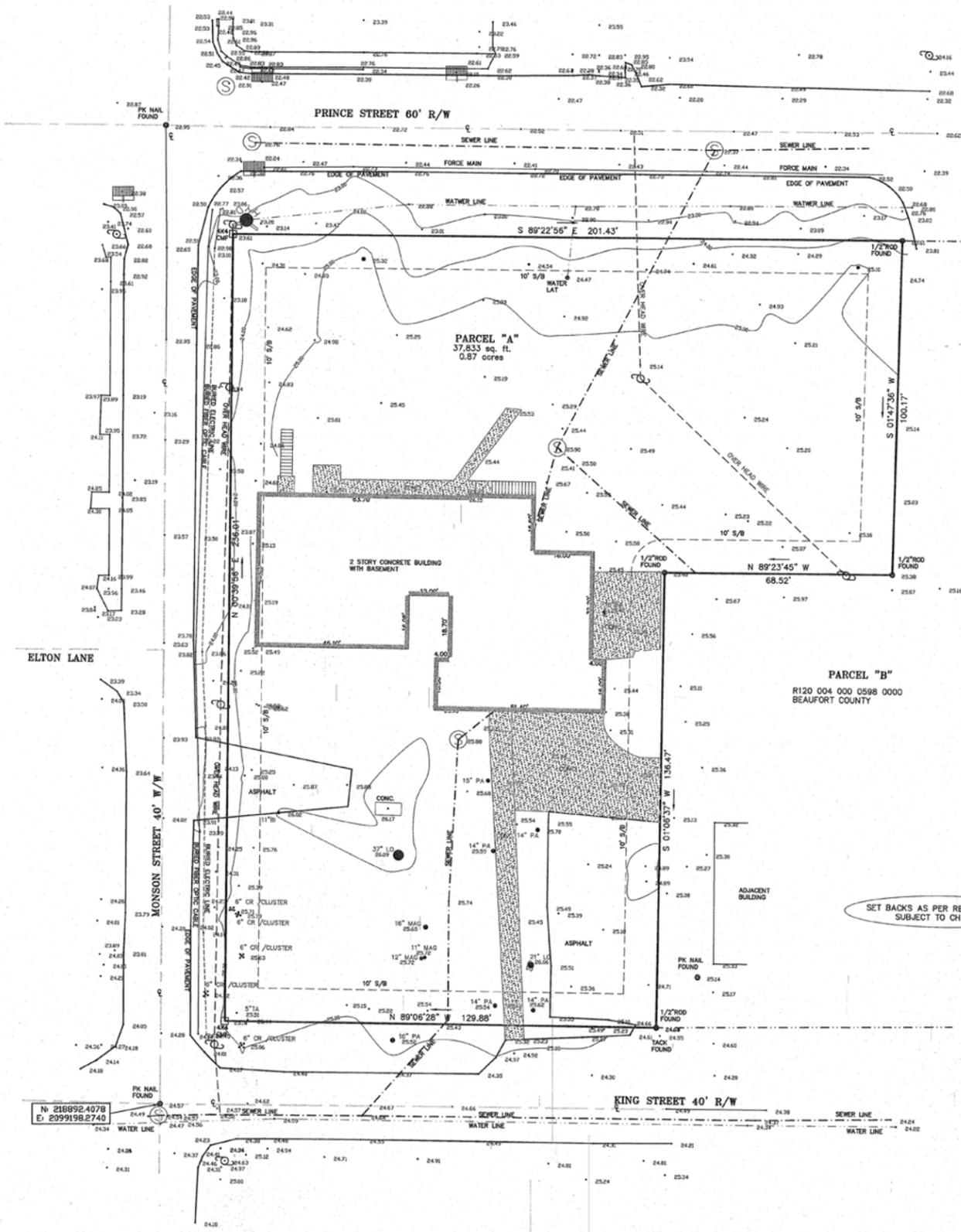


**LEGEND OF SYMBOLS & ABBREVIATIONS**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>CO FIRE HYDRANT</li> <li>PP CLEAN OUT</li> <li>TP POWER POLE</li> <li>FO TELEPHONE PEDESTAL</li> <li>FO FIBER OPTIC STUB</li> <li>WV WATER VALVE</li> <li>GV GAS VALVE</li> <li>WM WATER METER</li> <li>1/2" ROD SET</li> <li>TREE SIZE &amp; TYPE</li> </ul> | <ul style="list-style-type: none"> <li>MVM MAIN VALVE MONUMENT</li> <li>MH MANHOLE</li> <li>GW GUY WIRE</li> <li>CB CABLE BOX</li> <li>OE OVERHEAD POWERLINE</li> <li>EDGE OF PAVEMENT</li> <li>BACK OF CURB</li> <li>LIGHTPOLE</li> <li>GAS LINE</li> <li>CENTER LINE</li> <li>CONTOUR LINE</li> </ul> |
|--|---|



LOCATION MAP (N.T.S.)



- NOTES:**
- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
  - 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS' JURISDICTIONAL WETLANDS.
  - 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
  - 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
  - 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
  - 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  - 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
  - 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
  - 9.) SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
  - 10.) THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "C" AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450026 0005 D, DATED 09/29/86
  - 11.) CONTOUR INTERVAL IS 1'.
  - 12.) VERTICAL DATUM IS 1929 NGVD.

- REFERENCES:**
- 1.) T.M.S. R120 004 000 1009 0000
  - 2.) PLAT BY R.D. TROGDON JR DATED 5/23/06 BOOK 115, PAGE 151 BEAUFORT COUNTY R.M.C. OFFICE



**TREE LEGEND**

CODE	COMMON NAME	BOTANICAL NAME
FR	PINE	Pinus spp.
LD	LIVE OAK	Quercus virginiana
Q	OAK	Quercus spp.
MAG	SOUTHERN MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SUB	SUGARBERRY	Celtis laevigata
EL	ELM	Ulmus spp.
HE	HICKORY	Carya spp.
BAY	BAY MAGNOLIA	Gordonia spp.
MY	MYRTLE	Myrica carolinensis
CO	COHENOSH	Fraxinus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	CHINESE TALLOW-TREE	Sapium sebiferum
PO	YELLOW POPLAR	Liquidambar styraciflua
BI	BIRCH	Betula spp.
CT	BALDIPINE	Fossilium distichum
SY	AMERICAN SYCAMORE	Platanus occidentalis
PE	PECAN	Carya illinoensis
CB	COARSHOTTLE	Lagerstroemia indica
FR	FRUIT TREE	
MP	MAPLE	Acer spp.
DW	DOGWOOD	Cornus florida
QU	QUAIL	
WD	WATER OAK	Quercus nigra
LA	LAUREL OAK	Quercus laurifolia
UNK	UNKNOWN	

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK. THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 1/2 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE.  
\*HIGHWAY TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE ADDED UPON.

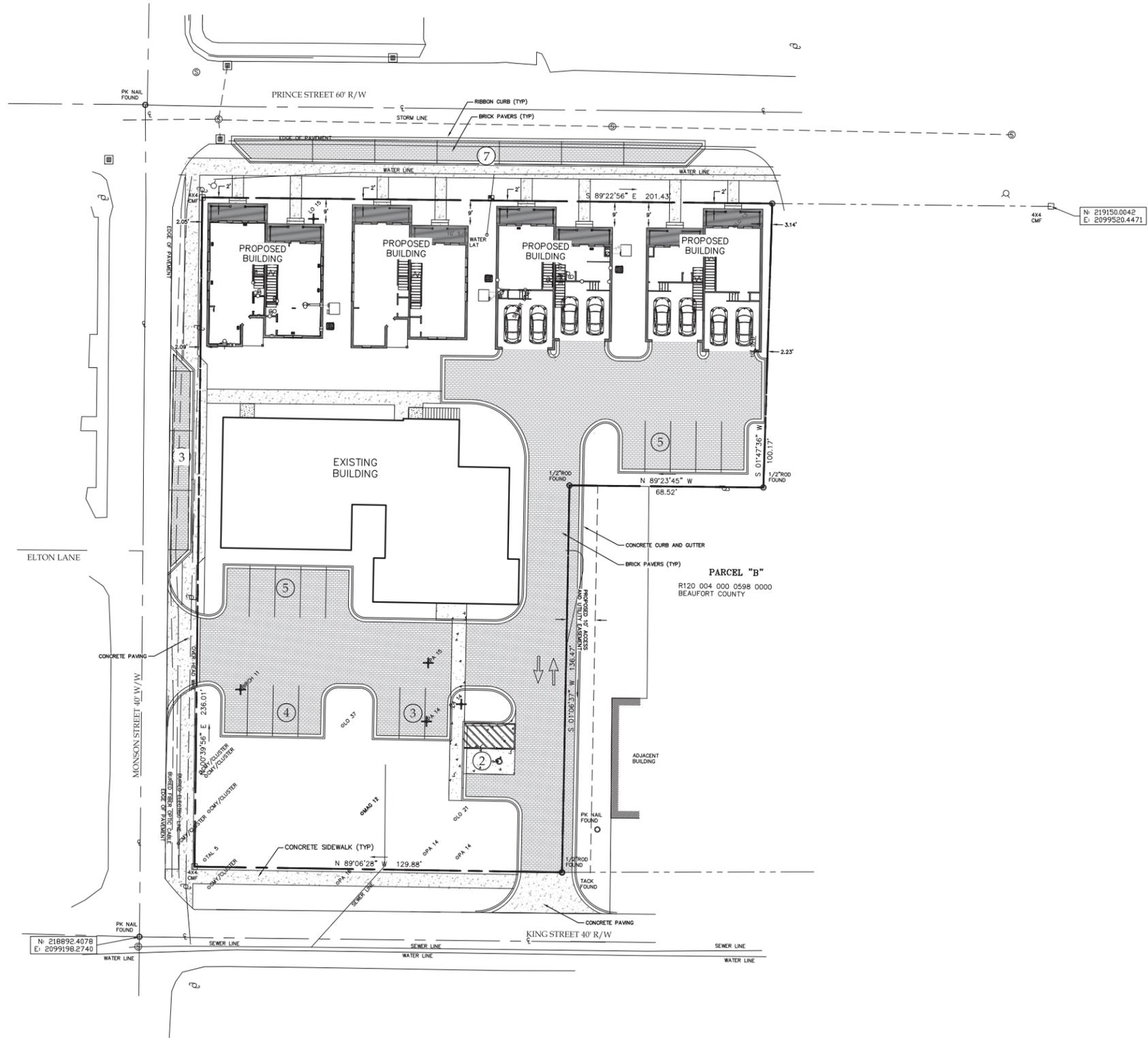
**TREE AND TOPOGRAPHICAL SURVEY**  
**PARCEL "A" BLOCK 113. CITY OF BEAUFORT**  
**PREPARED FOR**  
**JUSTICE SQUARE I**  
**CITY OF BEAUFORT**  
**BEAUFORT COUNTY SOUTH CAROLINA**

DATE 8/7/2019      SCALE 1"=20'

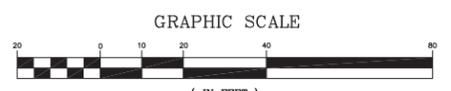
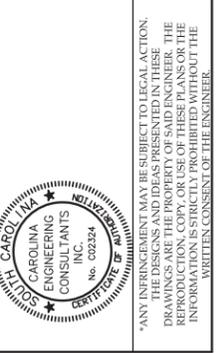
**GASQUE & ASSOCIATES INC.**  
**LAND SURVEYORS · PLANNERS**  
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.  
 P.O. BOX 1363, BEAUFORT, S.C.  
 (843) 522-1798

David E. Gasque, R.L.S.  
 S.C. Registration Number 10506

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SITE DEVELOPMENT TABLE	
TOTAL SITE AREA	0.87 AC
IMPERVIOUS AREA	0.32 AC
IMPERVIOUS PERCENTAGE	37%
PERVIOUS AREA	0.55 AC
PERVIOUS PERCENTAGE	63 %

CAROLINA ENGINEERING CONSULTANTS, INC. No. 02224

PLAN REVISIONS		
NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

**JUSTICE SQUARE**  
CITY OF BEAUFORT  
BEAUFORT COUNTY, SC

**CAROLINA ENGINEERING CONSULTANTS, INC.**  
843/322-0553  
843/322-0556 (FAX)  
WWW.CAROLINAENGINEERING.COM

PO BOX 294  
BEAUFORT, SC 29901

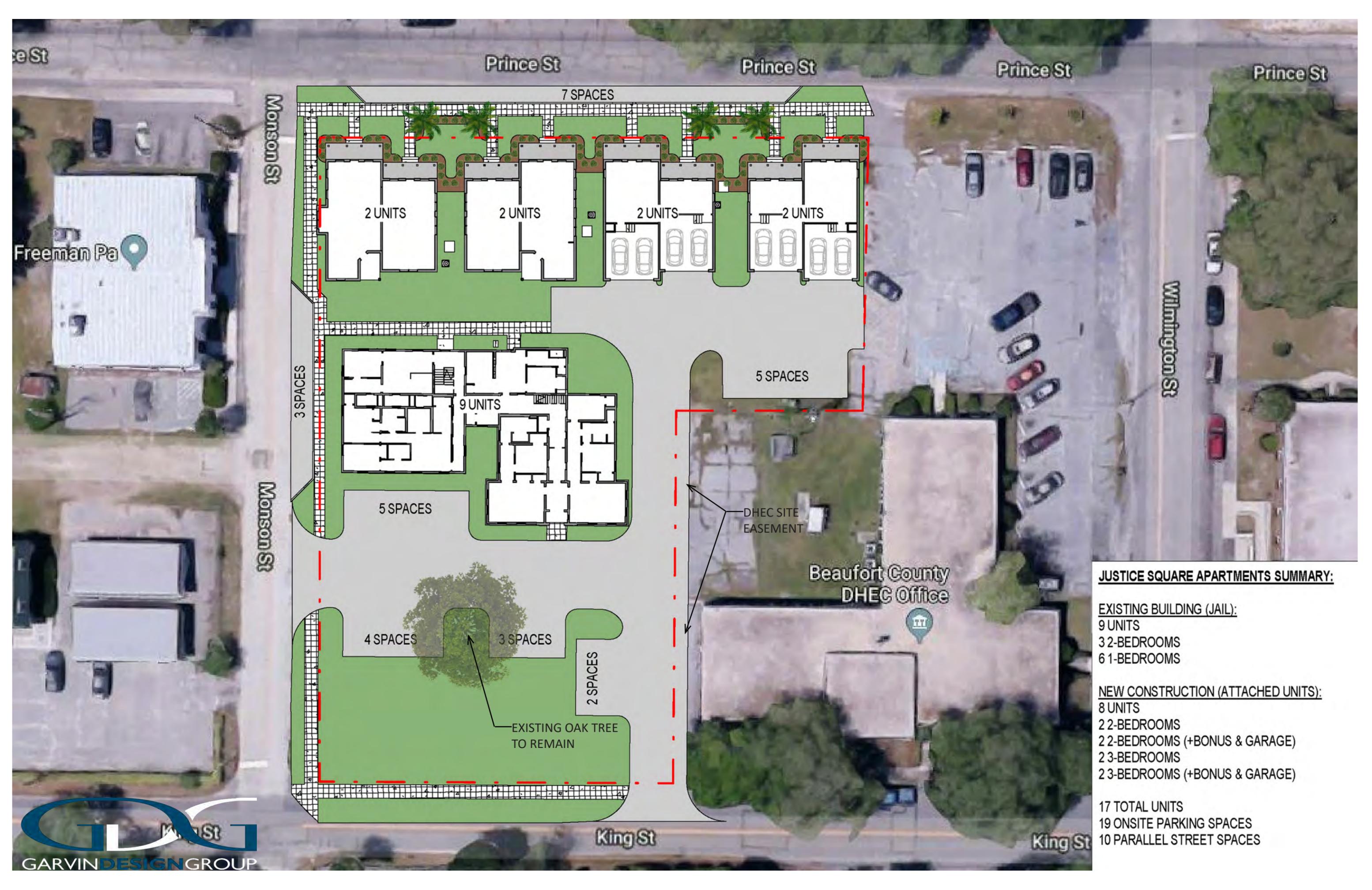
PROJECT:	2240
DATE:	03/19/20
REVISED:	06/16/20
DRAWN BY:	RGG
ENGINEER:	JPA
SCALE:	1"=20'

**SITE PLAN**

**1**  
OF 1



\*ANY INFREINGEMENT MAY BE SUBJECT TO LEGAL ACTION.  
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INFORMATION IS STRICTLY PROHIBITED WITHOUT THE  
WRITTEN CONSENT OF THE ENGINEER.



**JUSTICE SQUARE APARTMENTS SUMMARY:**

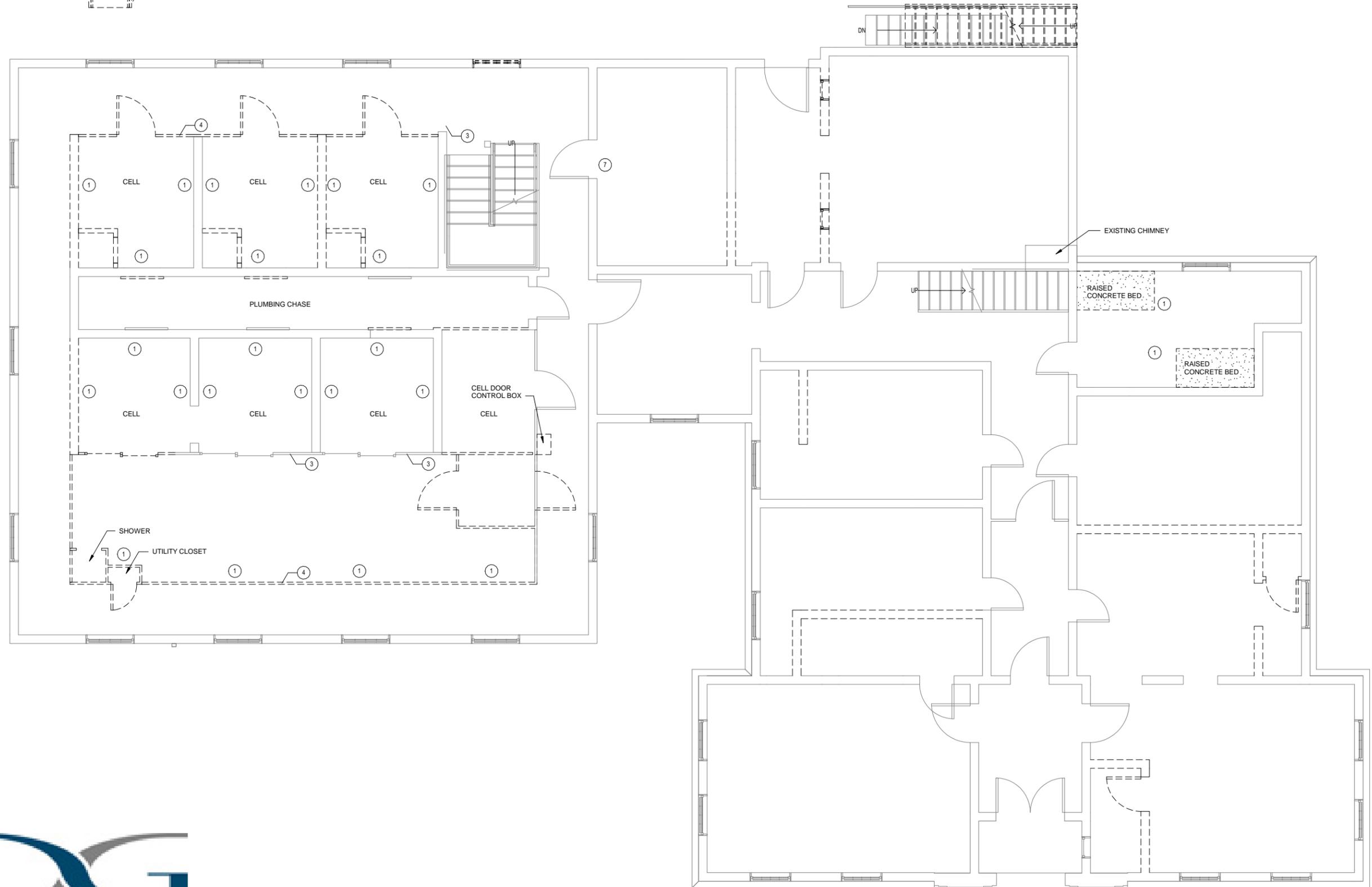
EXISTING BUILDING (JAIL):

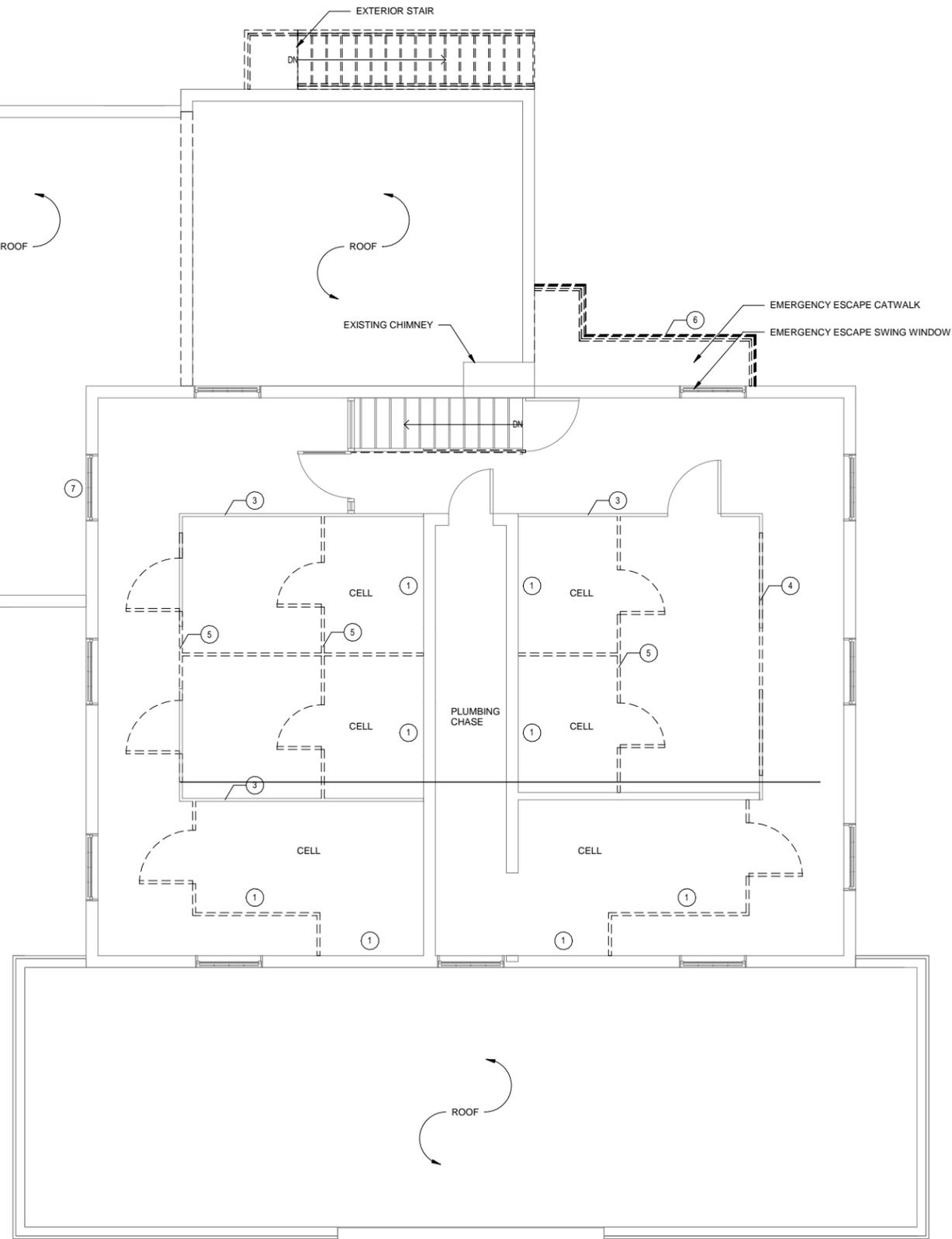
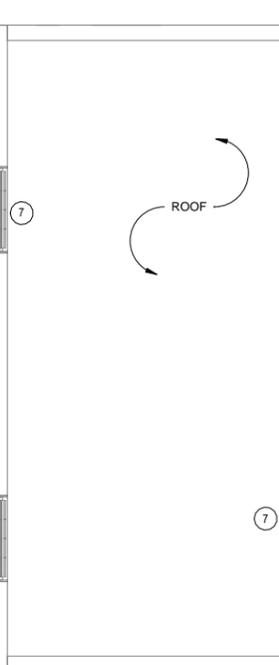
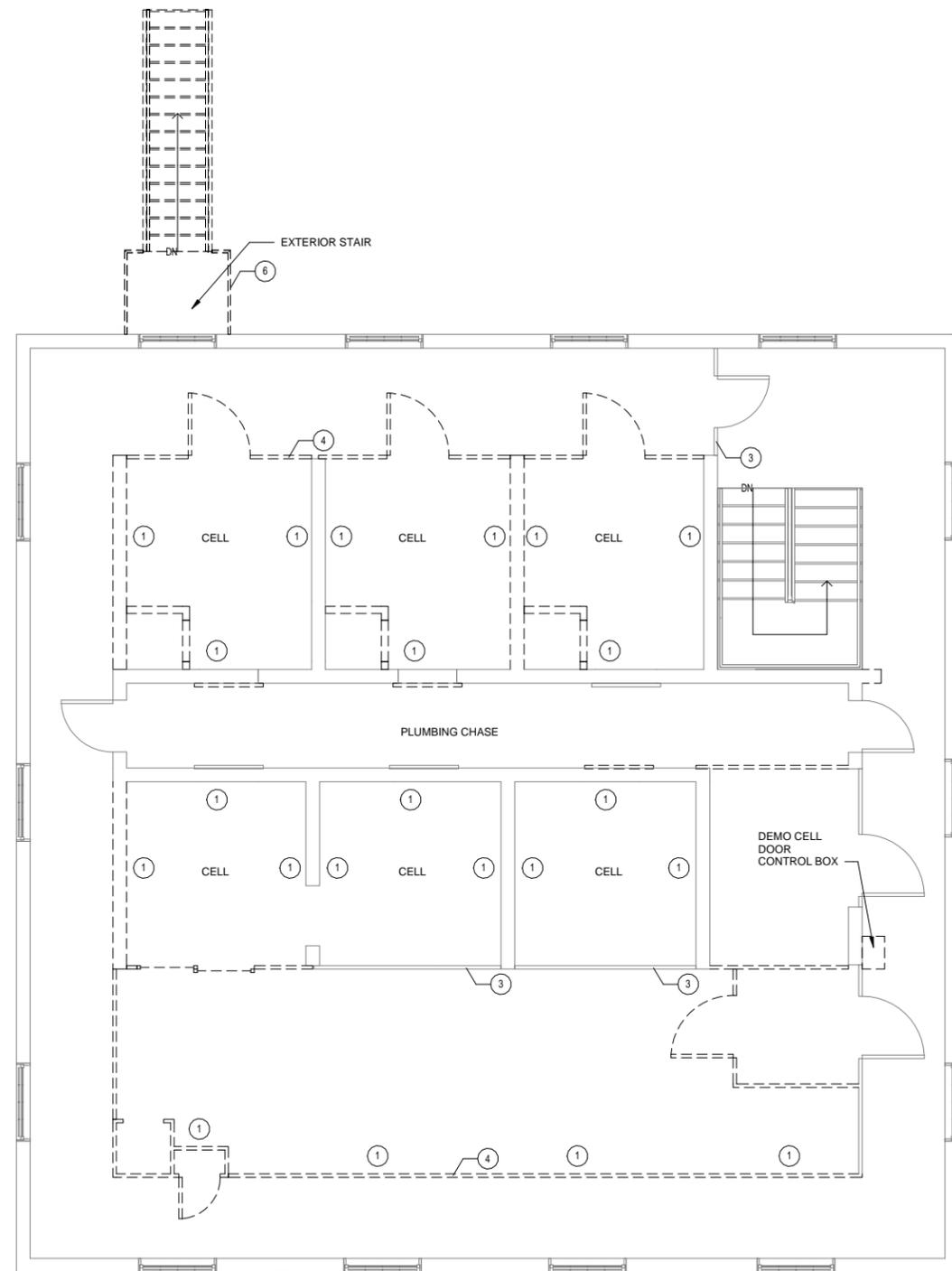
- 9 UNITS
- 3 2-BEDROOMS
- 6 1-BEDROOMS

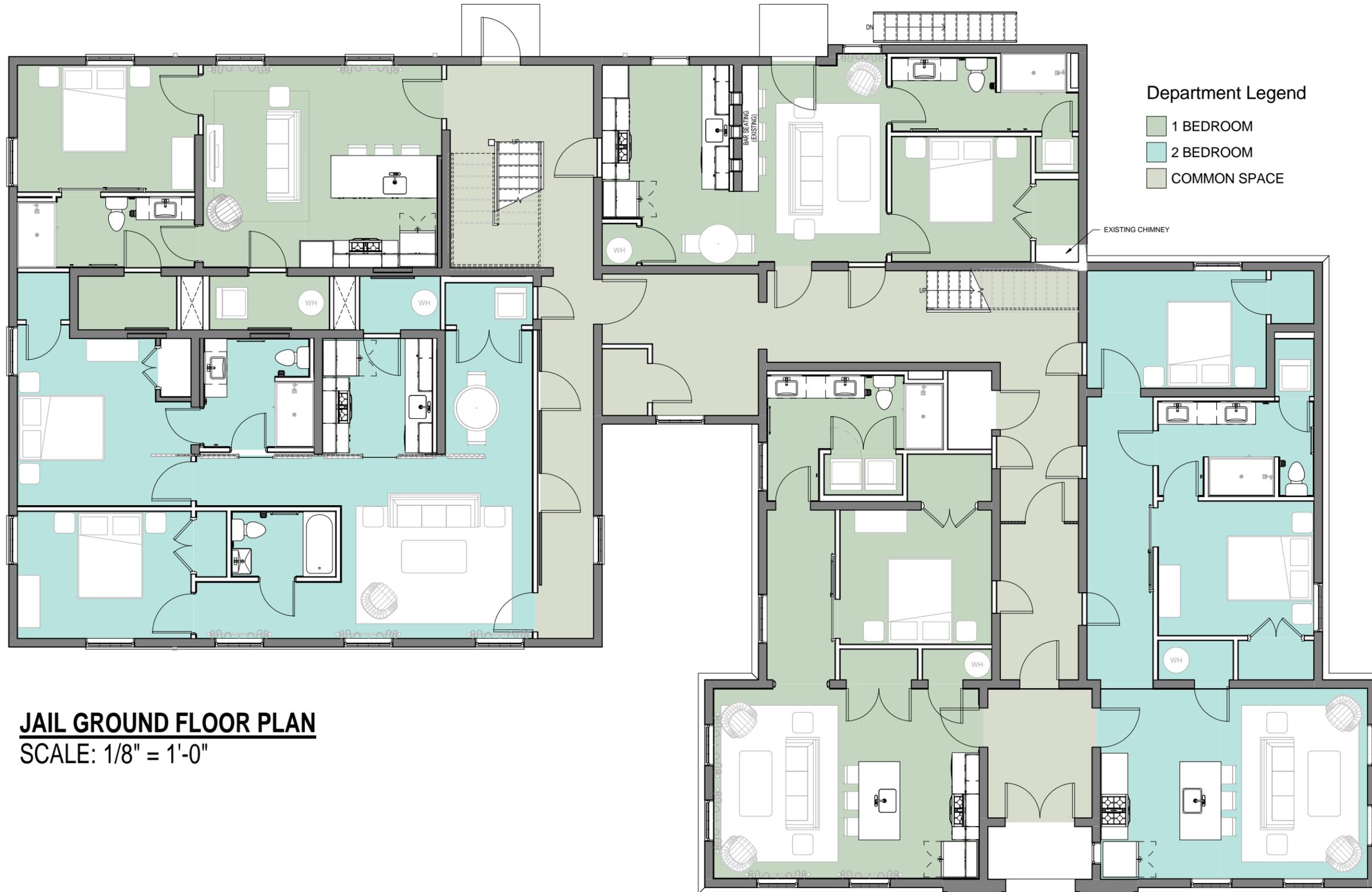
NEW CONSTRUCTION (ATTACHED UNITS):

- 8 UNITS
- 2 2-BEDROOMS
- 2 2-BEDROOMS (+BONUS & GARAGE)
- 2 3-BEDROOMS
- 2 3-BEDROOMS (+BONUS & GARAGE)

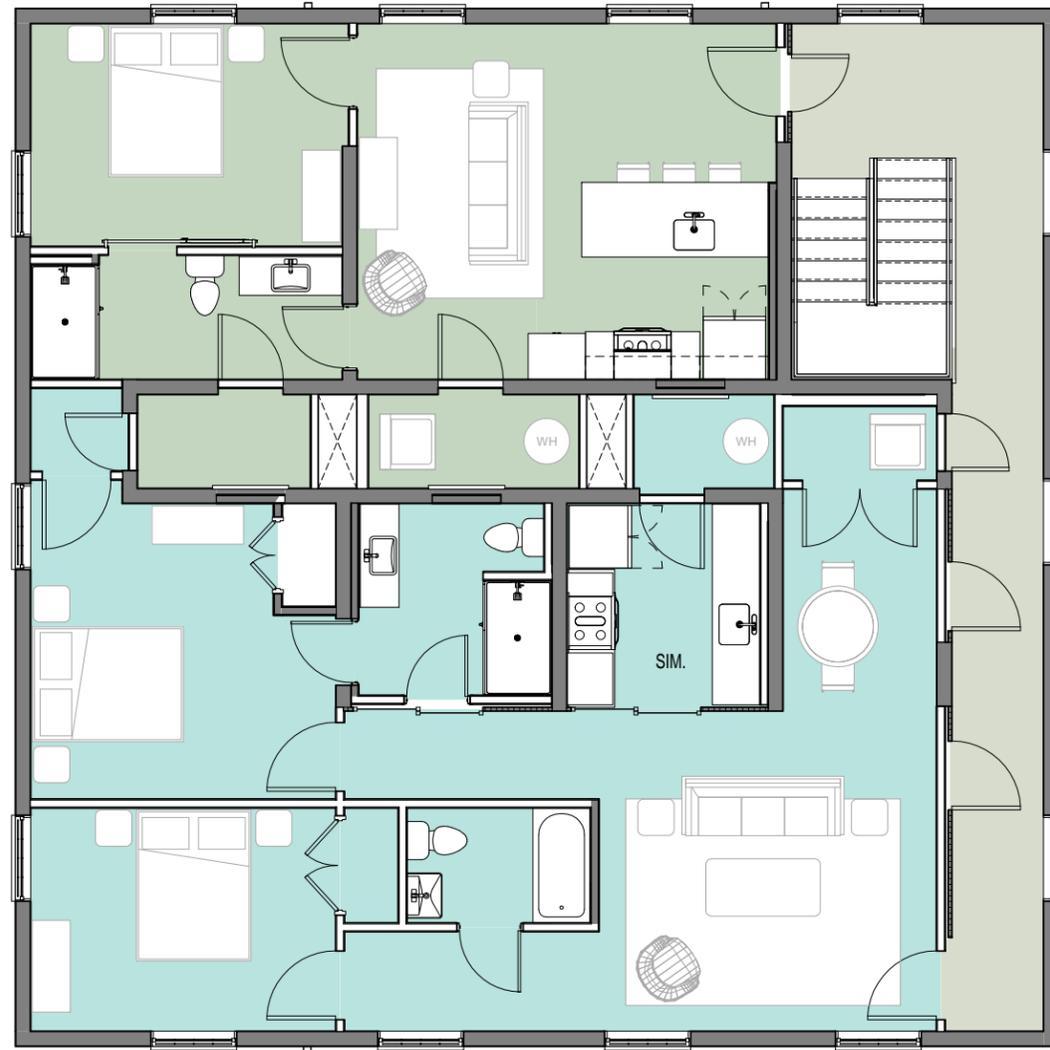
- 17 TOTAL UNITS
- 19 ONSITE PARKING SPACES
- 10 PARALLEL STREET SPACES





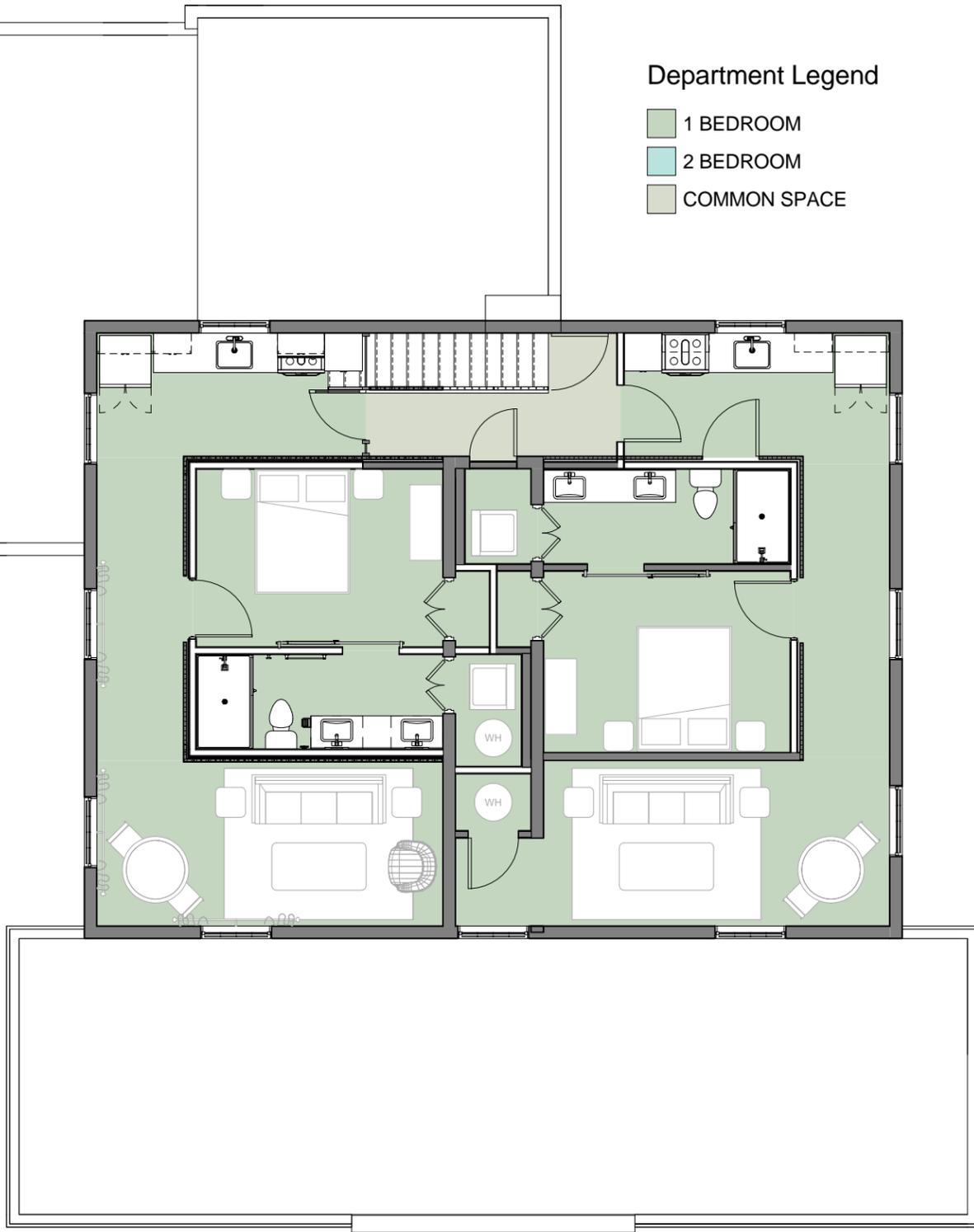


**JAIL GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



Department Legend

- 1 BEDROOM
- 2 BEDROOM
- COMMON SPACE

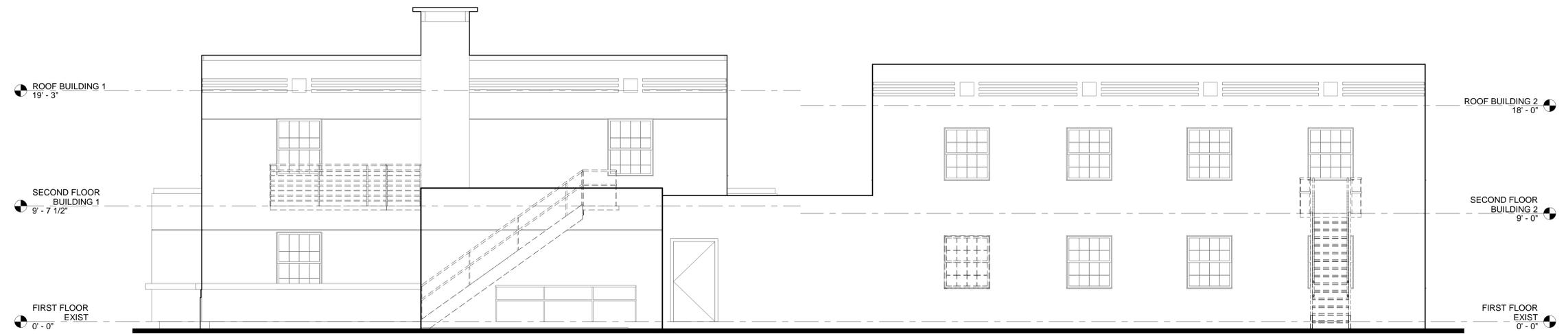


**JAIL SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

# Jail Elevations - Existing

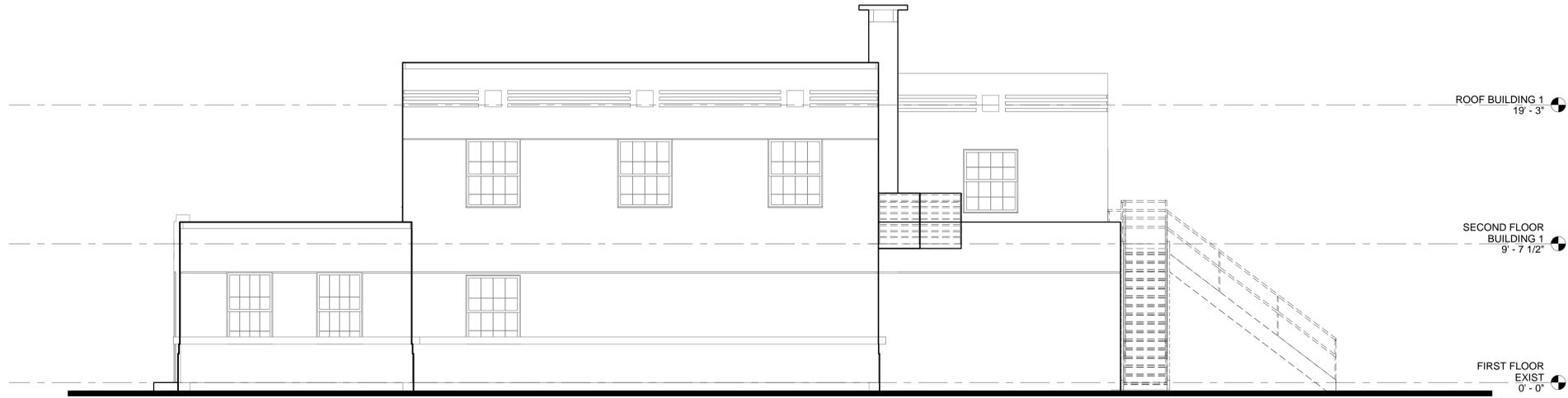


E1 EXISTING - SOUTH ELEVATION  
 E201 1/4" = 1'-0"  
REFERENCED: D1.1  
 OR

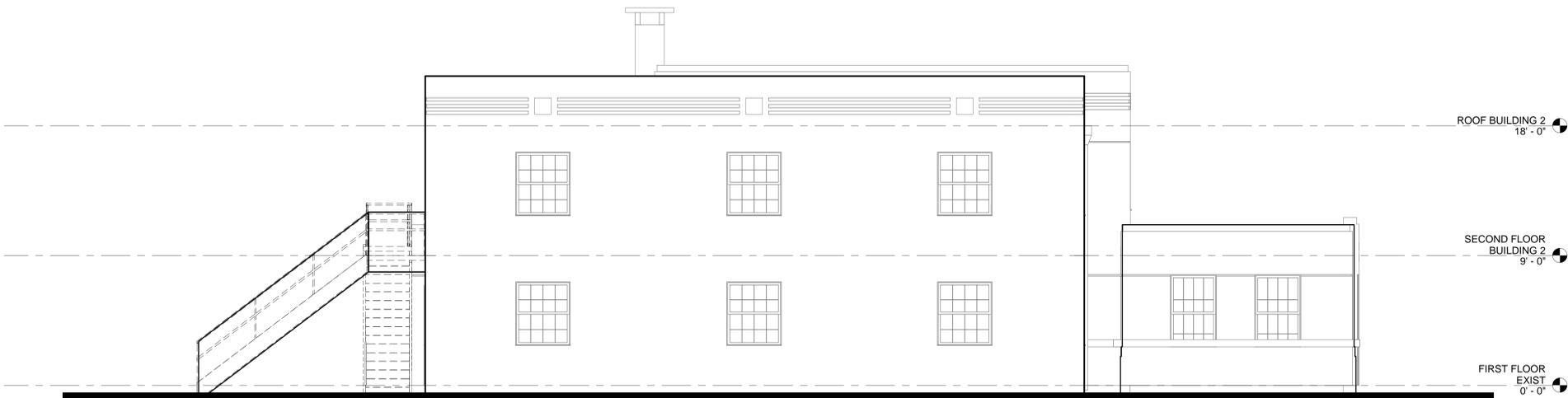


A1 EXISTING - NORTH ELEVATION  
 E201 1/4" = 1'-0"  
REFERENCED: D1.1  
 OR

# Jail Elevations - Existing



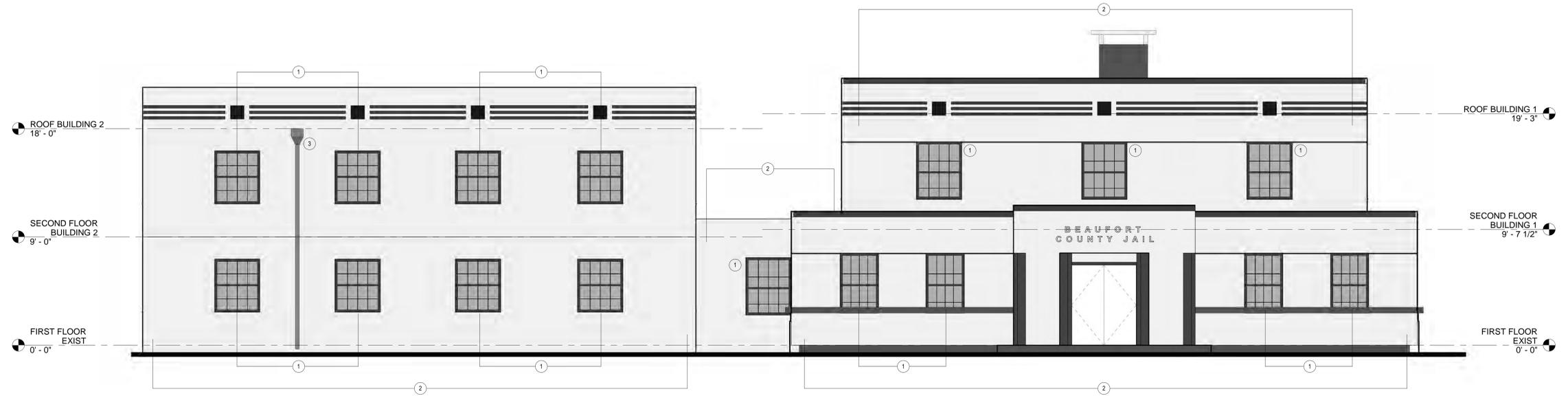
E1 EXISTING - EAST ELEVATION  
E202 1/4" = 1'-0" REFERENCED D1.1  
OK



A1 EXISTING - WEST ELEVATION  
E202 1/4" = 1'-0" REFERENCED D1.1  
OK

KEYNOTES - EXTERIOR ELEVATIONS

- 1 EXISTING STEEL WINDOW AND BARS TO REMAIN, REFURBISH AND REPAINT
- 2 EXISTING EXTERIOR BRICK TO BE PRESSURE WASHED TO REMOVE DEBRIS, PAINT TO MATCH ORIGINAL
- 3 EXISTING DOWNSPOUTS TO BE REPLACED, NEW CONDUCTOR HEAD AND DOWNSPOUT TO MATCH HISTORICAL
- 4 NEW ALUMINUM CANOPY



1 JAIL - SOUTH ELEVATION  
A4.1 1/4" = 1'-0"  
REFERENCES: E101 ON



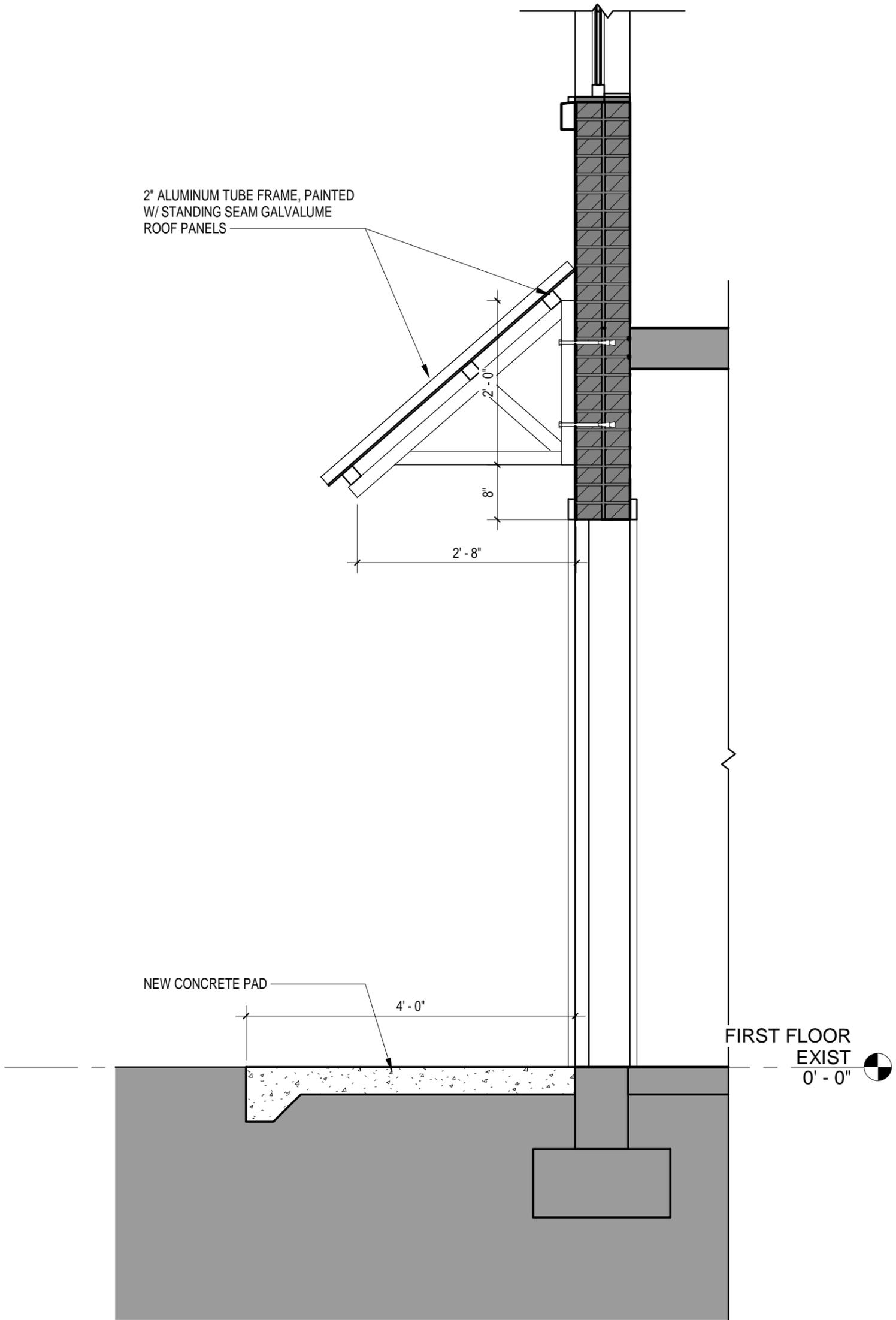
2 JAIL - NORTH ELEVATION  
A4.1 1/4" = 1'-0"  
REFERENCES: A1.1 ON

NO.	REVISIONS	NAME	DATE

DRAWN BY:	AUTHZ:
CHECKED BY:	CHECKED:

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3 JAIL - CANOPY DETAIL  
A6.1 3/4" = 1'-0" REFERENCED A1.1  
ON:

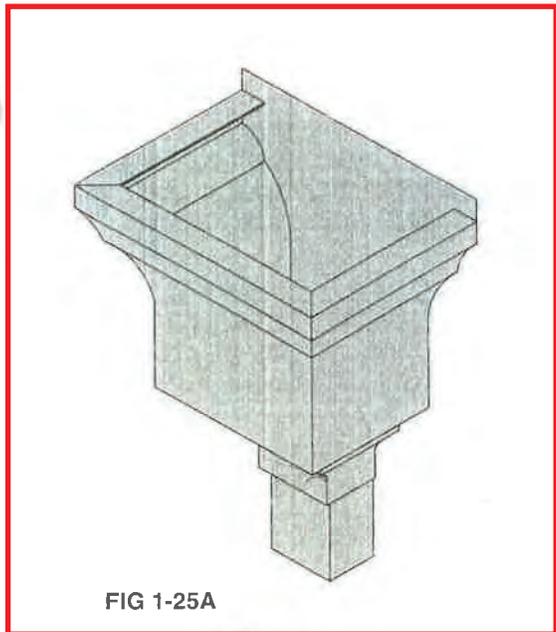


FIG 1-25A

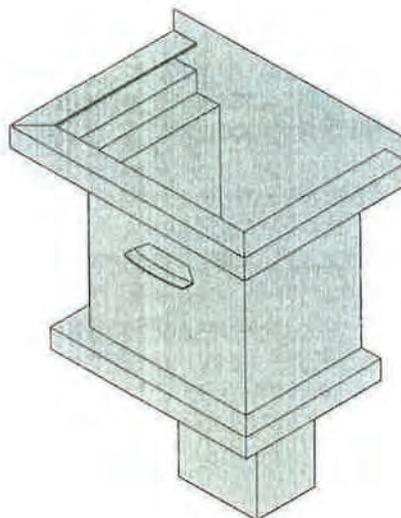


FIG 1-25B

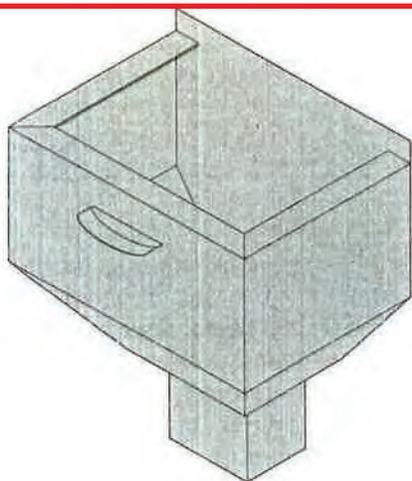


FIG 1-25C

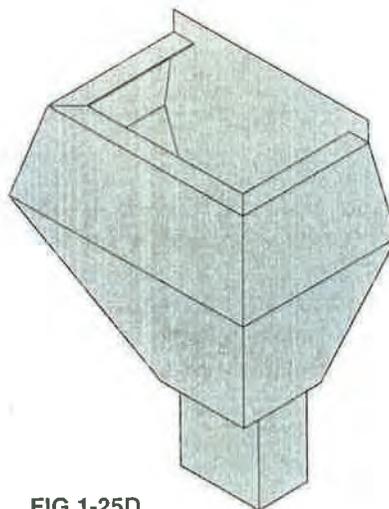


FIG 1-25D

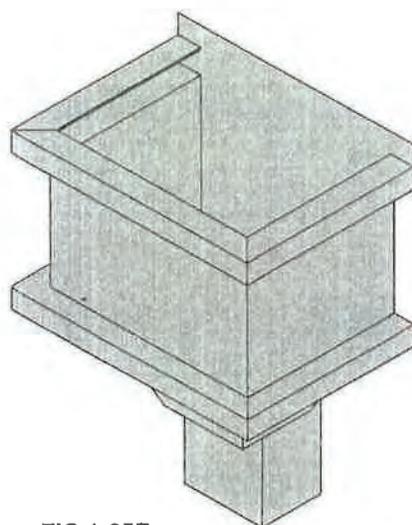


FIG 1-25E

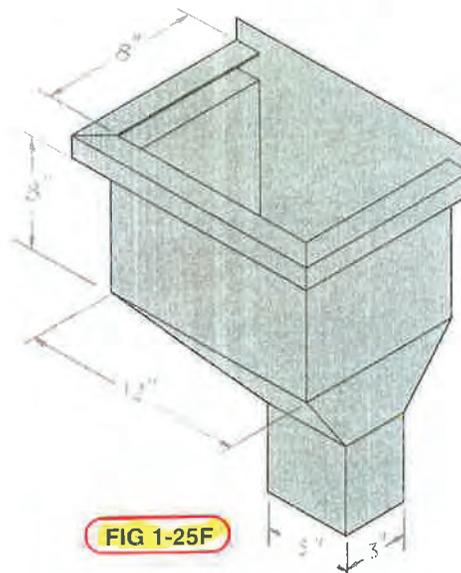
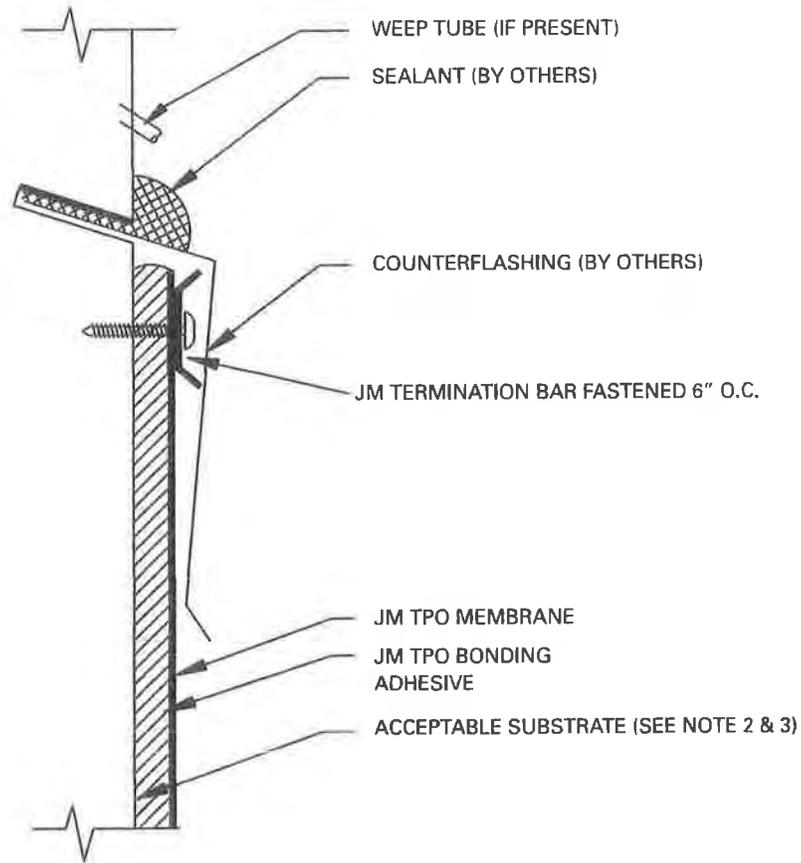


FIG 1-25F

CONDUCTOR HEADS-TYPICAL

FIGURE 1-25

### Proposed Jail TPO Roof Flashing Detail



**NOTES:**

1. DETAILS TO BE USED IN CONJUNCTION WITH GUIDE SPECIFICATIONS CONTAINING REQUIREMENTS FOR NAILERS, INSULATION, ETC.
2. IN NEW CONSTRUCTION ACCEPTABLE SUBSTRATES INCLUDE EXTERIOR GRADE PLYWOOD, POURED OR PRECAST CONCRETE, CEMENT BLOCK OR MASONRY WALLS. CONTACT JM TECHNICAL SERVICES FOR OTHER SUBSTRATES.
3. ON REROOFING PROJECTS AN APPROVED ASPHALT BARRIER MUST BE INSTALLED OVER THE EXISTING FLASHINGS TO FULLY DIVORCE THE JM TPO FLASHING MEMBRANE FROM ANY INCOMPATIBLE MATERIALS.
4. DO NOT APPLY JM TPO POLYURETHANE CAULK OVER ASPHALT OR OTHER MATERIALS THAT WILL PREVENT PROPER ADHESION.
5. WHEN REROOFING, COUNTER FLASHING CAN BE REBENT AND FASTENED THROUGH FACE WITH ACCEPTABLE FASTENER.

DRAWING NO. <b>TC-43</b>	<b>TPO COUNTERFLASHING (MEMBRANE)</b>		
	SCALE N.T.S.	ISSUE DATE 3-06	

SECTION 099113 - EXTERIOR PAINTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes surface preparation and the application of paint systems on the following exterior substrates:
  - 1. Galvanized metal.
  - 2. Exterior brick.
- B. Related Sections include the following:
  - 1. Division 05 Sections for shop priming of metal substrates with primers specified in this Section.
  - 2. Division 08 Sections for factory priming doors with primers specified in this Section.
  - 3. Division 09 Section "Interior Painting" for surface preparation and the application of paint systems on interior substrates.

1.3 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples for Initial Selection: For each type of topcoat product indicated.
- C. Samples for Verification: For each type of paint system and each color and gloss of topcoat indicated.
  - 1. Submit Samples on rigid backing, 8 inches (200 mm) square.
  - 2. Step coats on Samples to show each coat required for system.
  - 3. Label each coat of each Sample.
  - 4. Label each Sample for location and application area.
- D. Product List: For each product indicated, include the following:
  - 1. Cross-reference to paint system and locations of application areas. Use same designations indicated on Drawings and in schedules.
  - 2. Printout of current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.

1.4 QUALITY ASSURANCE

A. MPI Standards:

1. Products: Complying with MPI standards indicated and listed in "MPI Approved Products List."
2. Preparation and Workmanship: Comply with requirements in "MPI Architectural Painting Specification Manual" for products and paint systems indicated.

B. Mockups: Apply benchmark samples of each paint system indicated and each color and finish selected to verify preliminary selections made under sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.

1. Architect will select one surface to represent surfaces and conditions for application of each paint system specified in Part 3.
  - a. Vertical and Horizontal Surfaces: Provide samples of at least 100 sq. ft. (9 sq. m).
  - b. Other Items: Architect will designate items or areas required.
2. Final approval of color selections will be based on benchmark samples.
  - a. If preliminary color selections are not approved, apply additional benchmark samples of additional colors selected by Architect at no added cost to Owner.

1.5 DELIVERY, STORAGE, AND HANDLING

A. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F (7 deg C).

1. Maintain containers in clean condition, free of foreign materials and residue.
2. Remove rags and waste from storage areas daily.

1.6 PROJECT CONDITIONS

A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F (10 and 35 deg C).

B. Do not apply paints in snow, rain, fog, or mist; when relative humidity exceeds 85 percent; at temperatures less than 5 deg F (3 deg C) above the dew point; or to damp or wet surfaces.

1.7 EXTRA MATERIALS

A. Furnish extra materials described below that are from same production run (batch mix) as materials applied and that are packaged for storage and identified with labels describing contents.

1. Quantity: Furnish an additional 5 percent, but not less than 1 gal. of each material and color applied.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
1. Benjamin Moore & Co.
  2. Coronado Paint.
  3. Duron, Inc.
  4. ICI Paints.
  5. Kelly-Moore Paints.
  6. M.A.B. Paints.
  7. PPG Architectural Finishes, Inc.
  8. Sherwin-Williams Company (The).

2.2 PAINT, GENERAL

- A. Material Compatibility:
1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
  2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
- B. Colors: As indicated in a color schedule.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of work.
- B. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
- C. Begin coating application only after unsatisfactory conditions have been corrected and surfaces are dry.
1. Beginning coating application constitutes Contractor's acceptance of substrates and conditions.

3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual" applicable to substrates and paint systems indicated.

- B. Remove plates, machined surfaces, and similar items already in place that are not to be painted. If removal is impractical or impossible because of size or weight of item, provide surface-applied protection before surface preparation and painting.
  - 1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed. Remove surface-applied protection if any.
  - 2. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
- C. Clean substrates of substances that could impair bond of paints, including dirt, oil, grease, and incompatible paints and encapsulants.
  - 1. Remove incompatible primers and reprime substrate with compatible primers as required to produce paint systems indicated.
- D. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal fabricated from coil stock by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.

### 3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions.
  - 1. Use applicators and techniques suited for paint and substrate indicated.
  - 2. Paint surfaces behind movable items same as similar exposed surfaces. Before final installation, paint surfaces behind permanently fixed items with prime coat only.
- B. Tint each undercoat a lighter shade to facilitate identification of each coat if multiple coats of same material are to be applied. Tint undercoats to match color of topcoat, but provide sufficient difference in shade of undercoats to distinguish each separate coat.
- C. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
- D. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.

### 3.4 FIELD QUALITY CONTROL

- A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure at any time and as often as Owner deems necessary during the period when paints are being applied:
  - 1. Owner will engage the services of a qualified testing agency to sample paint materials being used. Samples of material delivered to Project site will be taken, identified, sealed, and certified in presence of Contractor.
  - 2. Testing agency will perform tests for compliance of paint materials with product requirements.
  - 3. Owner may direct Contractor to stop applying paints if test results show materials being used do not comply with product requirements. Contractor shall remove noncomplying-paint materials from Project site, pay for testing, and repaint surfaces painted with rejected materials. Contractor

will be required to remove rejected materials from previously painted surfaces if, on repainting with complying materials, the two paints are incompatible.

### 3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
- B. After completing paint application, clean spattered surfaces. Remove spattered paints by washing, scraping, or other methods. Do not scratch or damage adjacent finished surfaces.
- C. Protect work of other trades against damage from paint application. Correct damage to work of other trades by cleaning, repairing, replacing, and refinishing, as approved by Architect, and leave in an undamaged condition.
- D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

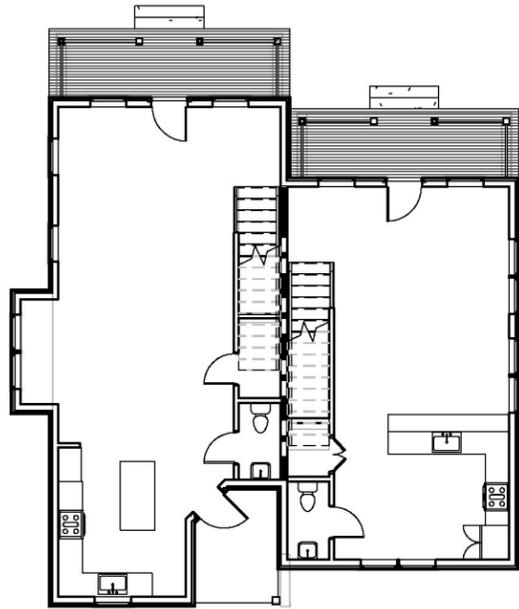
### 3.6 EXTERIOR PAINTING SCHEDULE

- A. Galvanized-Metal Substrates:
  - 1. Latex System: MPI EXT 5.3A.
  - 2. Alkyd System: MPI EXT 5.3B.
    - a. Prime Coat: Cementitious galvanized-metal primer.
    - b. Intermediate Coat: Exterior alkyd enamel matching topcoat.
    - c. Topcoat: Exterior alkyd enamel (gloss).
- B. Exterior Brick:
  - a. Prime Coat: Sherwin Williams – Loxon Acrylic Conditioner.
  - b. Topcoat: Sherwin Williams – Loxon Self-Cleaning Acrylic.

END OF SECTION 099113

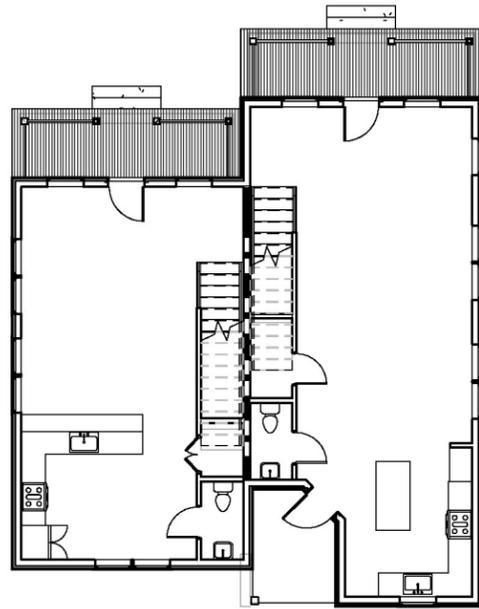
**A1**  
3bd - 1,700 SF

**A2**  
2bd - 1,360 SF



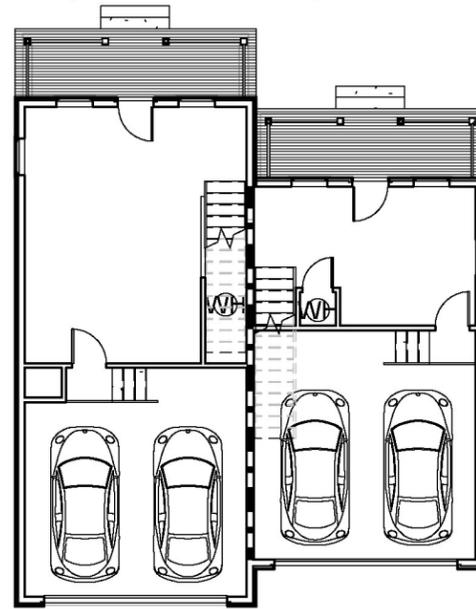
**A1**  
3bd - 1,700 SF

**A2**  
2bd - 1,360 SF



**B1**  
3bd - 1,700 SF  
Bonus - 475 SF  
Garage - 425 SF

**B2**  
2bd - 1,360 SF  
Bonus - 265 SF  
Garage - 425 SF



**B1**  
3bd - 1,700 SF  
Bonus - 475 SF  
Garage - 425 SF

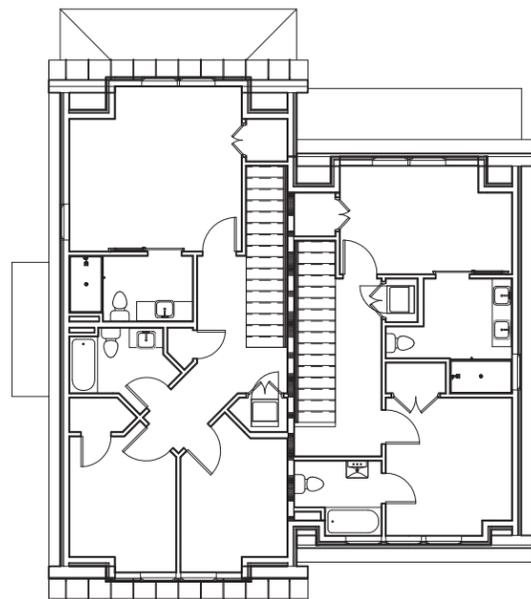
**B2**  
2bd - 1,360 SF  
Bonus - 265 SF  
Garage - 425 SF



GROUND FLOOR PLAN  
SCALE: 1/16"=1'-0"

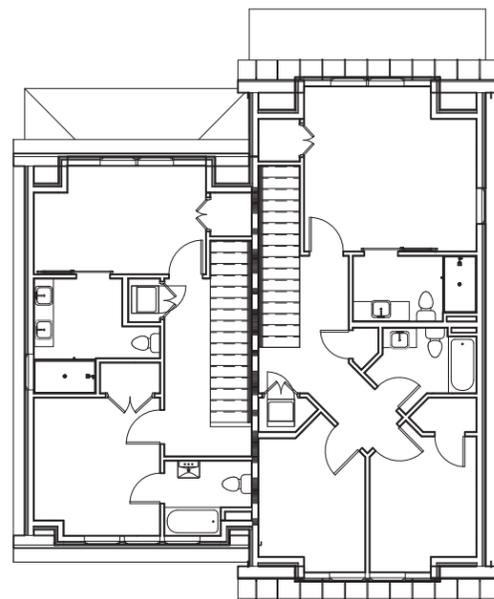
**A1**  
3bd - 1,700 SF

**A2**  
2bd - 1,360 SF



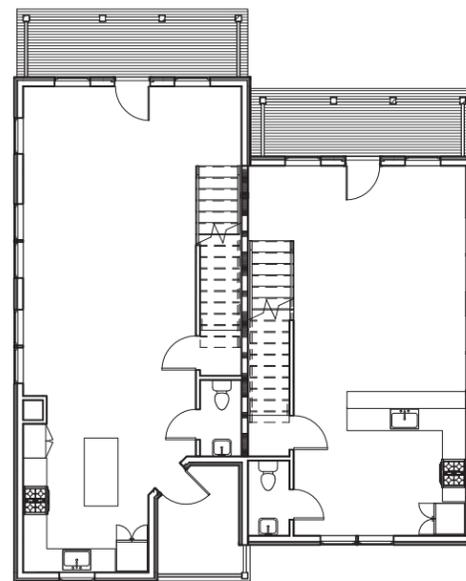
**A1**  
3bd - 1,700 SF

**A2**  
2bd - 1,360 SF



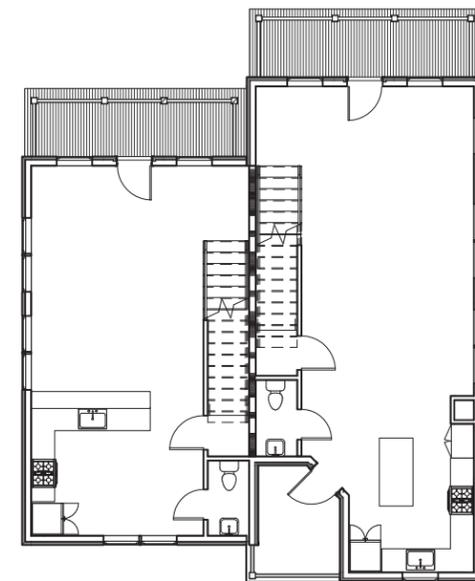
**B1**  
3bd - 1,700 SF  
Bonus - 475 SF  
Garage - 425 SF

**B2**  
2bd - 1,360 SF  
Bonus - 265 SF  
Garage - 425 SF

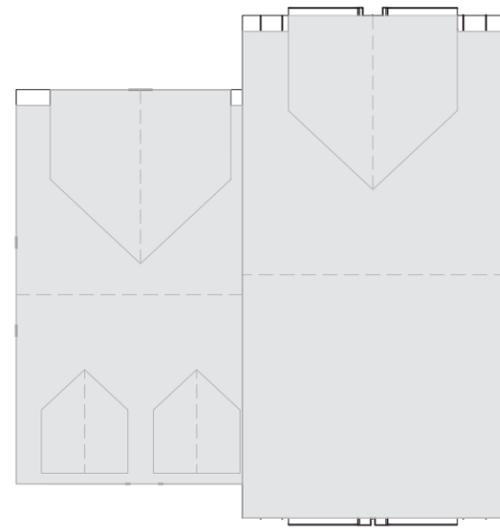
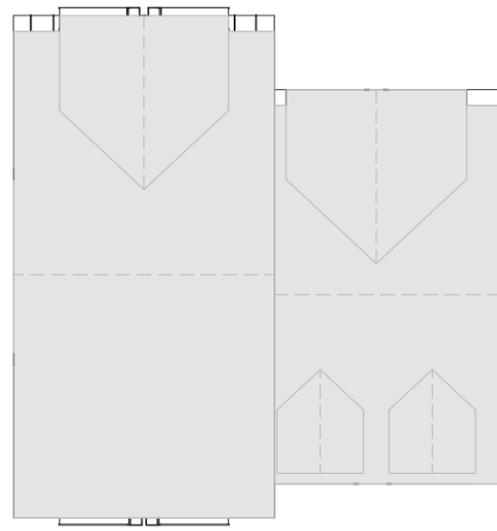


**B1**  
3bd - 1,700 SF  
Bonus - 475 SF  
Garage - 425 SF

**B2**  
2bd - 1,360 SF  
Bonus - 265 SF  
Garage - 425 SF

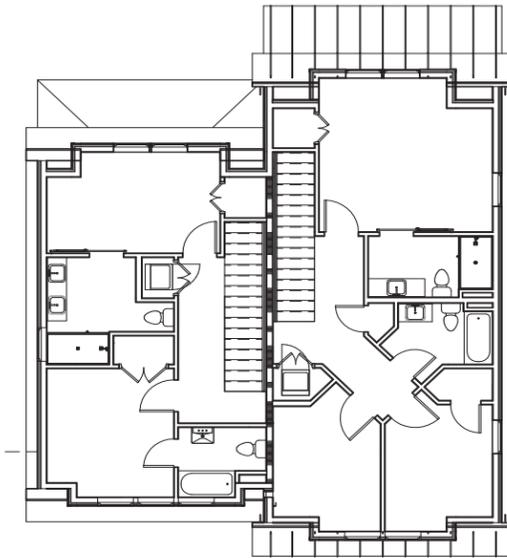
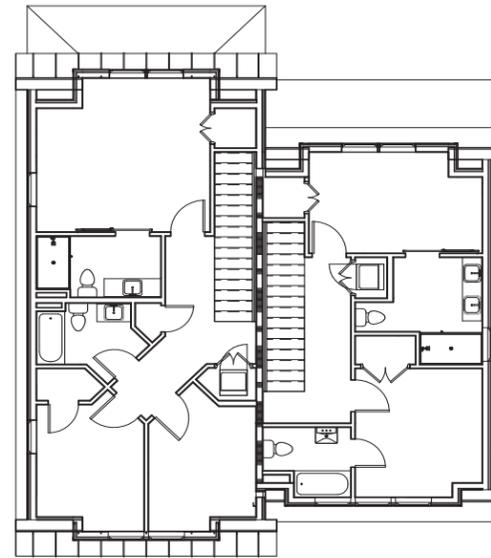


SECOND FLOOR PLAN  
SCALE: 1/16"=1'-0"



**B1**      **B2**  
3bd - 1,700 SF    2bd - 1,360 SF  
Bonus - 475 SF    Bonus - 265 SF  
Garage - 425 SF    Garage - 425 SF

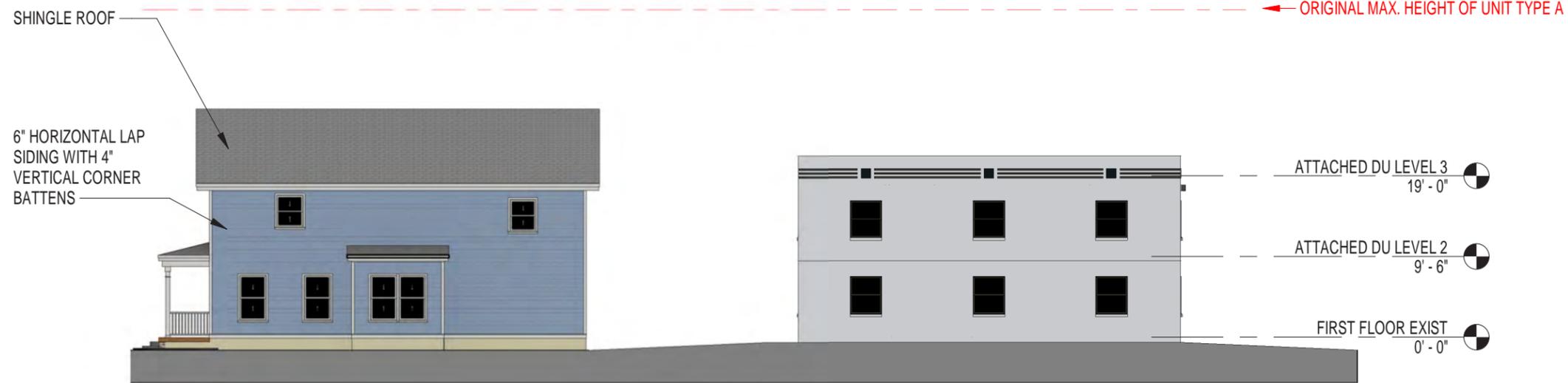
**B1**      **B2**  
3bd - 1,700 SF    2bd - 1,360 SF  
Bonus - 475 SF    Bonus - 265 SF  
Garage - 425 SF    Garage - 425 SF



THIRD FLOOR PLAN  
SCALE: 1/16"=1'-0"



FRONT ELEVATION (PRINCE STREET)



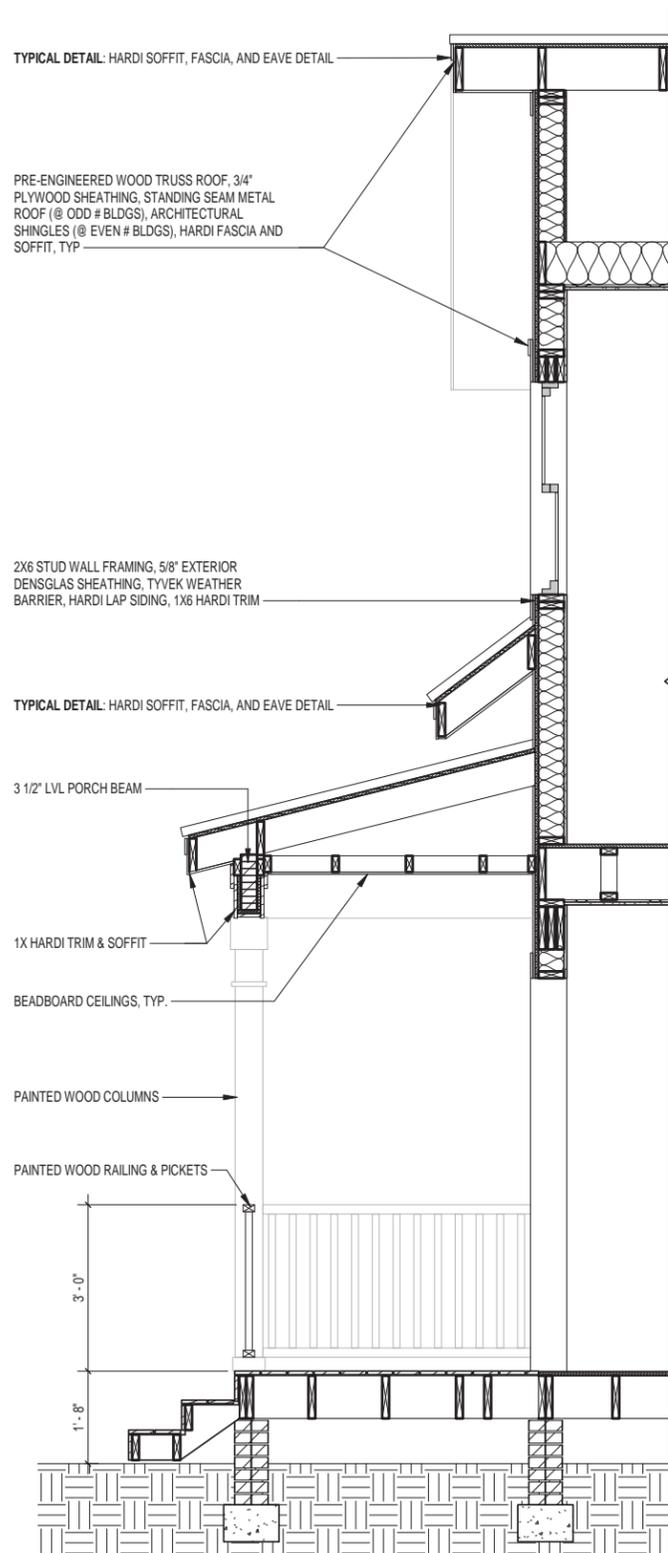
WEST ELEVATION (MONSON STREET)



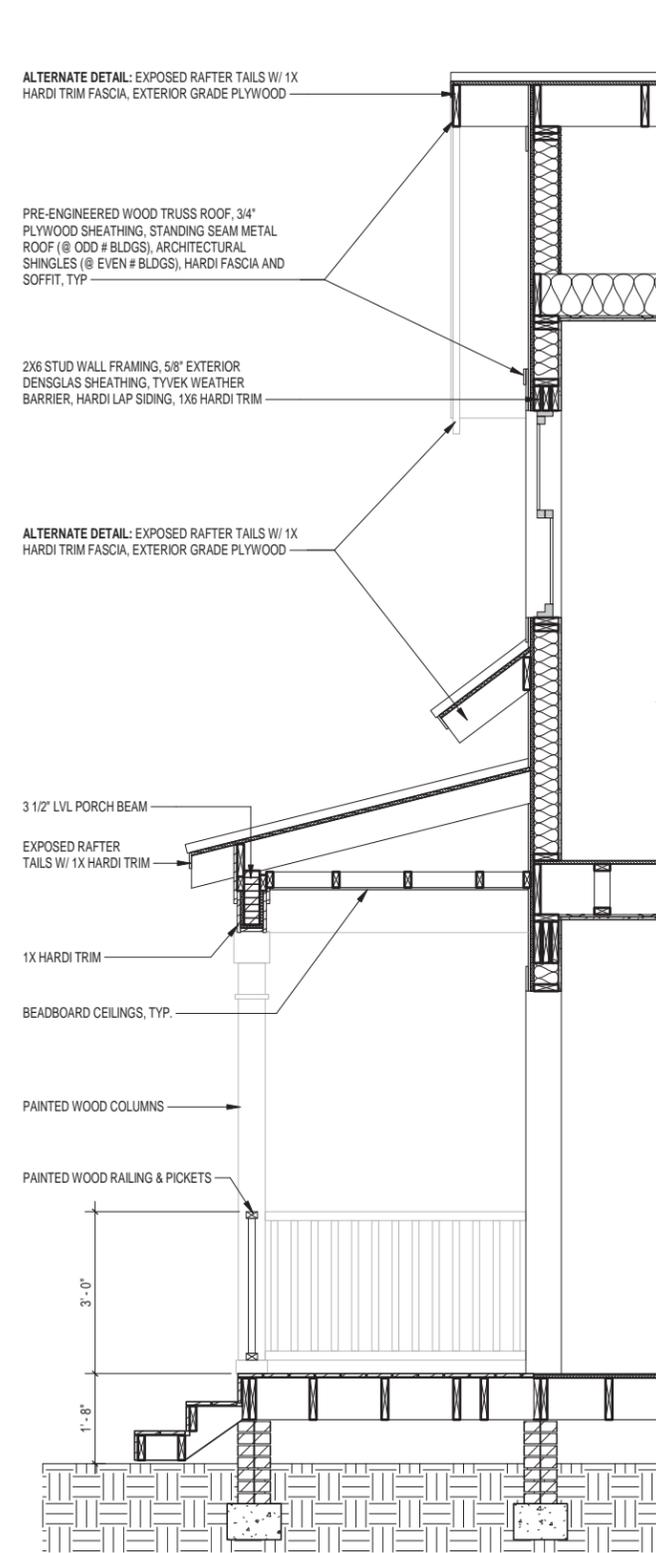
EAST ELEVATION (SIDE LOT)



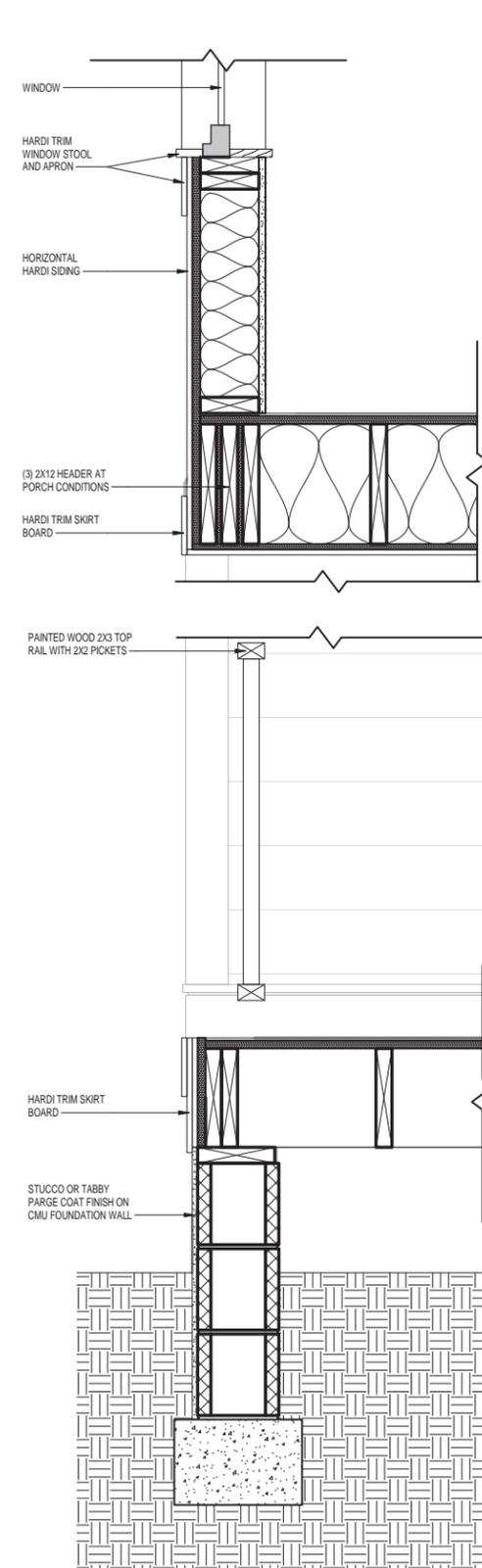
REAR ELEVATION (ALLEY)



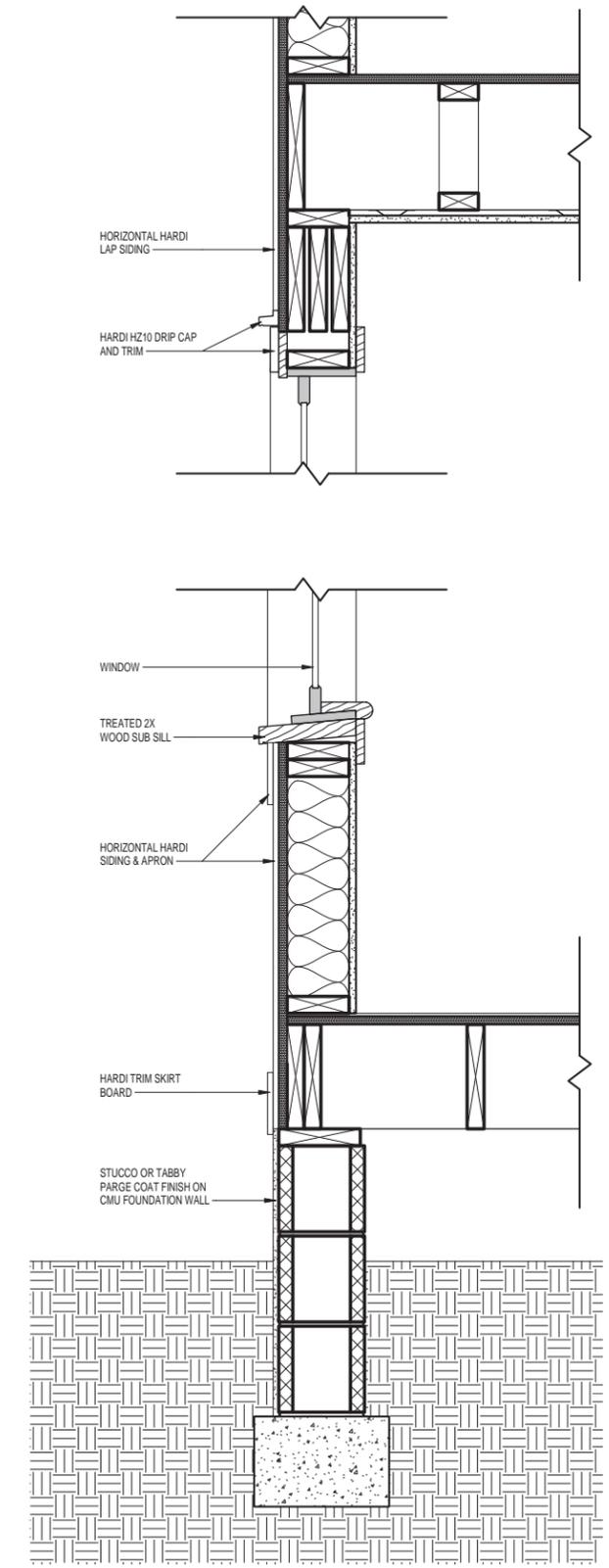
**WALL SECTION @ PORCH**



**ALT WALL SECTION @ PORCH**



**REAR PORCH DETAIL**



**FOUNDATION & WINDOW DETAIL**







# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
18 November 2020

## 1 SUMMARY OF REQUEST

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1409 King Street, Alterations / Additions / New Construction

Applicant: Andrew Rogerson, Garvin Design Group

The applicant is requesting preliminary approval of alterations to a contributing structure in the Northwest Quadrant. This request is also for the preliminary approval of eight attached dwelling units in the Northwest Quadrant along Prince Street.

This project involves alterations to a contributing structure in the Northwest Quadrant.

Background:

1409 King Street, the Old Jail, is listed as Contributing in the 1997 Beaufort County Historic Sites Survey, c. 1938-40. The original 1935 portion included is depicted in the 1958 Sanborn Map. The western addition was built in 1962.

On December 13, 2017 the Historic review board granted final approval to demolish the structure at 1409 King Street with the condition that the front panel that says "Beaufort County Jail be preserved for use on-site somewhere in the future.

On June 17, 2020 the Historic Review Board held a special meeting to discuss renovation of the jail and construction of new residential buildings, no decisions were made.

On July 8, 2020, the Historic Review Board reviewed an application for renovation of the jail and construction of new residential buildings. The renovations to the jail received preliminary approval with parking issues to be resolved, and the construction of new residential buildings was deferred.

## 2 FACTS

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**Property Address:** 1409 King Street  
**Parcel ID:** R120 004 000 1009 0000  
**Case Number:** 20-28 HRB.1  
**Applicant:** Andrew Rogerson  
**Zoning:** T4-N  
**Use:** Residential



#### **District Development Standards for T4-HN:**

- **Setback requirements – Primary Structure:**
  - *Front-0' min.*
  - *Rear setback – 10' min.*
  - *Side Corner/Alley – 0'min.*
  - *Side Interior – 5' min, or 0' if attached.*
- **Maximum Building Height: 4 stories max;** 3.5 stories max in & fronting Historic District & interior lots along Allison Rd.
- **Frontage Build-Out:** 60% min; 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed.
- **Permitted Uses:** Single Family Dwelling, or Two- or Three-Unit dwelling is permitted by right in the T4-N zoning classification.

#### **References:**

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement
- Northwest Quadrant Design Guidelines

## **3 STAFF COMMENTS/ RECOMMENDATIONS**

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### **1. Old Jail Review**

- a. The portion of this application that includes renovation to the old jail was previously granted preliminary approval at the July 2020 meeting, with a condition that parking be revised to be compliant with the code. The applicant has submitted the Jail portion of this application to maintain consistent approval documents for each portion of this site, given that both the jail and the 2 Unit housing units share the same site plan. This new submission of the jail includes an additional canopy detail, a scupper detail, a TPO counterflashing detail, and specifications for the exterior paint. Staff approves these additional details.
- b. Parking:
  - i. Per 5.7.3 of the Beaufort Code, bicycle parking is required and must be added per 5.7.3.B-C of the Beaufort Code.
  - ii. Per 5.7.4 of the Beaufort Code, 21 minimum parking spaces are required, and per Section 5.7.4.C, 29 maximum parking spaces are allowed on the site. Per 5.7.4.B, the applicant is allowed to count all 10 on-street spaces as part of the minimum required parking, so the applicant may reduce the current proposed on-site parking by 10 spaces. This allows the applicant an opportunity to better respect the site and historic jail building as well as protect the grand Oak tree on the south side of the jail. Staff recommends eliminating the Monson Street curb cut and drive as well as 10 of the 12 proposed spaces at the south side of the jail facing King Street. The 2 remaining spaces can then be moved to adjoin to the 2 spaces proposed along the drive from the King Street curb cut.

- c. Staff is supportive of the inclusion of the Jail in this submission for the reasoning noted above and requests that all future submissions continue to include both the jail and the dwelling units moving forward for consistency and clarity.

**Staff Recommendation (of Old Jail Review):**

Maintain Preliminary Approval of the jail, with the added details in this submission. Please note that per the above conditions related to parking, the site plan is still unresolved.

**2. Attached Dwelling Units along Prince Street:**

- a. The height, mass and scale of these buildings are acceptable per Beaufort Code Section 2.4.1. Staff supports conceptual approval of these dwelling units at a conceptual level. However, staff does not support preliminary approval due to concerns of details, materials, design rigor, and fenestration proportions as detailed in other areas of Section 4.7.2 of the Beaufort Code, and both the Beaufort Preservation Manual and the Beaufort Preservation Manual Supplement.
- b. The concerns to be addressed at subsequent applications for preliminary review are as follows. Staff recommends that the applicant address the following and review with staff as the project develops and ahead of a future submission.
- c. Page 15 of the Supplement notes that, regarding proportions, “New construction should relate to the dominate proportions of the styles present in the immediate neighborhood. The proposed design should reflect closely the height/width ratios of overall building proportions as well as that of doors, windows, and porch bays.....New Construction should reflect and be sympathetic to the form of adjacent historic structures. These sympathetic historic forms include hip and gable roofs, projecting bays or ells, the shapes of window and door heads, architectural chimneys and overall porch configurations.
  - i. Roofs: Staff feels that the modifications to the roofs on these structures are positive in that they eliminate the large, blank side gable facades that were visible on the corners of the property in the previous submission. The new roof form, however, has created a new problem: the taller buildings that are listed as 2.5 stories tall now appear to be a true 3 story height. While 3 Stories are permitted by the development standards for this district, structures immediately surrounding the site are one or two stories in height. Page 42 of the Supplement states that “When the scale of neighborhood buildings, or those of an entire community are relatively consistent, new construction should be restricted from drastically altering these relationships.” Staff feels that the eave height, slope, and detailing of the front-facing gable roofs can be further developed to help this structure appear more like a 2.5 story and therefore better relate to the surrounding neighborhood in form and proportion. This will also help the project to better comply with Section 4.7.2.C.1 of the Beaufort Code.
  - ii. Fenestration Proportion: Page 14 of the Supplement states that “The scale of a building is strongly affected by proportions, both of the building as a whole, and of its principal façade components. Proportions, in turn, are largely dictated by the height/width relationships of door openings, window openings, and porch column spacings.” Page 37 of the Supplement supports the fact that historic

windows in Beaufort are typically proportionally vertical rather than square or horizontal. Applicant to study the proportions of all windows and provide rectangularly vertical windows consistent with the district. Applicant should also consider increasing the height of windows which will aid in visually reducing the scale of the overall building by reducing blank walls. Applicant to clarify the divided lite patterning as they are inconsistent from renderings to elevations.

- iii. Fenestration Alignment: Page 44 of the Preservation Manual states that "...small window areas...lend a feeling of weight and solidarity to a structure. Conversely, large expansive windows, light trim, and vertically elongated elements create a feeling of lightness and delicacy." To better comply with the Code and Design standards of the district, second-story windows should have a relationship to first-story windows, and large expanses of walls should be avoided wherever possible. Applicant to pay attention to the alignment of window heads with door heads and window sills around the structure. Applicant to study the vertical alignment of windows especially on side and rear elevations. Applicant to study the alignment of windows within the bays of the front porch columns. Additionally, very few windows are currently proposed at the rear of each side wall, although the floorplan suggests that additional windows could be added in these locations. Applicant to add more fenestration to the rear of the sidewalls that also follow the guidelines about alignment noted above.
- iv. Materials: The changing of roof colors from building to building are positive in that they add diversity to the project. However, the color of the roof should not change on the same structure. For example, one building should not have both silver and red standing seam roofing. Both Asphalt Shingle and Metal Standing Seam are allowable roofing materials for new construction in this district per The Beaufort Code, the Preservation Manual, and the Supplement. For this project, staff prefers the use of Standing Seam over Asphalt shingle and would better support the use of standing seam on all attached houses as this more strongly complements the surrounding Historic Preservation District. If Asphalt Shingle is used, please note that page 47 of the Beaufort Preservation Manual Supplement states that "when used for new construction [Asphalt Shingles] should be monochromatic so as to lessen their visual impact."
- v. Trim Elements: Applicant should study the scale and details associated with the Frieze and cornice at all roof lines. Applicant should study the scale and detail of all fenestration trim. All windows should have "heavy" projecting sill. Applicant to study the scale and detail of the base of wall skirt board separating the siding from the foundation. All of these trim elements can, if scaled and detailed appropriately, diminish the overall scale of the building.
- vi. Balconies: The inset porches shown on the rear façade create awkward plan and elevation resolutions. Staff recommends eliminating the inset porches on the rear and replacing them with porches/balconies that extend outward. Those on the second floor are perhaps centered over the garage doors. This would maintain the rhythm and order of the district and create a more harmonious rear façade.

- vii. Porches: Front porches are the threshold to the house and neighborhood and are one of the most important features of houses within Beaufort, which is especially true of this project. Staff encourages the applicant to place a little more architectural rigor in the future development of these porches. A properly designed porch can help to transition between the public and private and diminish the scale of the building behind.
1. Porch roof should end behind the corner boards of the main structure, except where the porch roof hits a side wall of a protruding forward elevation.
  2. Staff recommends increasing the pitch of the roofs slightly so that wall above porches is decreased. Where porch roof sits slightly under main roof (rendered street elevation for 1.5 story) porch roof could engage directly under main roof fascia.
  3. Porch Entablature should have a clear definition of cornice, frieze, and architrave. Entablature proportion should be established from the neck of the column. Porch architrave faces should align with column neck faces on the inside, outside, front, and side faces.
  4. Column neck (width) dimensions should be studied as they currently appear thin. Care should be taken not to oversize.
  5. Column capitals, astragals, and bases should be properly proportioned based on the neck (width) of the column.
  6. Column base and plinth should be visually supported by the foundation below.
  7. Items 3 through 6 above should also follow the same logic on the double height porches.

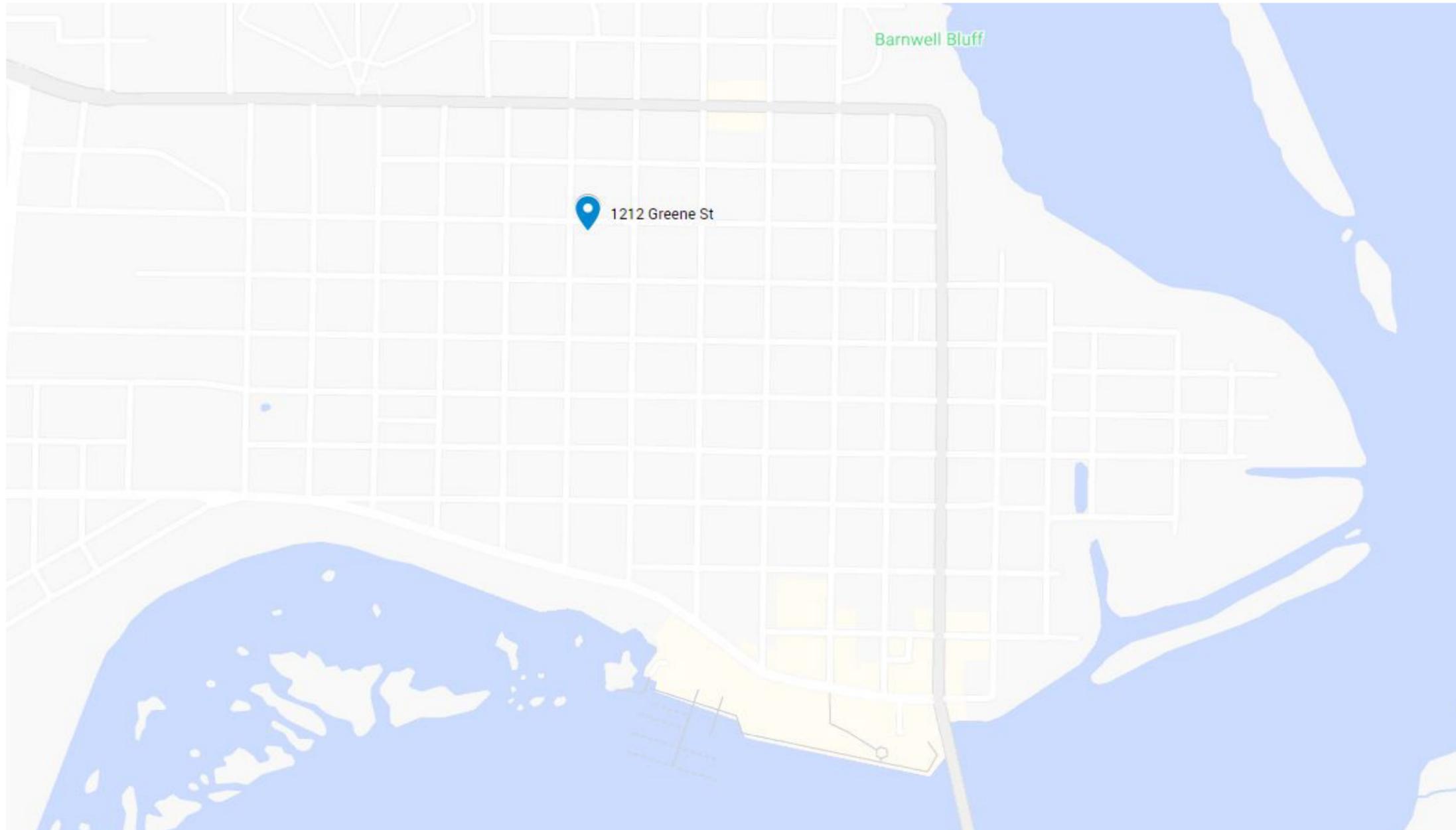
**STAFF RECOMMENDATION (of attached Dwelling Units along Prince Street):**

**Conceptual Approval** of dwelling units with conditions noted above.

For future submissions, applicant should include site plans, plans, and elevations noted as “previously approved” side by side with updated site plans, plans, and elevations labeled according to the approval level that they are requesting, i.e. conceptual, preliminary, or final.

CITY STAFF INTRODUCTION

1212 GREENE STREET



PROJECT LOCATION - 1212 GREENE STREET



1212

Secured by  
**ADT**  
MONITORING SERVICE



1212

Security  
ADT  
We Get It Done



WASTE PRO  
RECYCLING SERVICE



1212





South Carolina  
ECL 473  
TRAVELSC.COM  
MAR

TRAILBLAZER

CHEVRO



FOR RENT  
CALL [phone number]







# 2005 PROJECT PERMIT

HK04-13

## House Building

City of Beaufort, South Carolina

Permit Number: 07151

701 Craven St.  
P.O. Drawer 1167  
Beaufort, South Carolina 29901  
(843) 525-7040 Fax (843) 986-5606

Permit Fee: \$0.00  
Impact Fee: \$0.00  
Total Fees: \$0.00

Business Name	District Tax Map Parcel R120 004 000 0267 0000	Date Issued 2/11/2005
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**LOCATION OF BUILDING**

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_  
 Street 1212 Greene St  
 Flood Zone C Elevation Required N/A MSL

	Name	Mailing Address	City	State	Zip	Telephone
General Contractor	BLAW Construction	526 Sea Island Pkwy	St. Helena Isl.	SC	29920	(843) 838-9061
General Contractor	Diller, R.J. & Assoc.	PO Box 817	Beaufort	SC	29901	(843) 986-9379
Owner	Leroy Abner	7506 Coleridge Dr.	Fayetteville	NC	28304	(910) 868-1931

### Permit Description

Contractor	Type of Permit	Amount	City Business Lic.	State License
BLAW Construction	Electric	\$5,500.00	006465	G109726
Dean Electric	Electric	\$2,000.00	001716	M-1778
BLAW Construction	HVAC	\$6,000.00	006465	G109726
Pender Brothers, Inc.	HVAC	\$2,000.00	002492	M-1521
BLAW Construction	Plumbing	\$4,000.00	006465	G109726
Waters Plumbing	Plumbing	\$2,500.00	990161	M-101437
BLAW Construction	Repair/Renovate	\$90,000.00	Temp	G109726
Diller, R.J. & Assoc.	Repair/Renovate	\$44,500.00	006748	G-100996

**Total Project Cost \$90,000.00**

### Comments:

Reconstruction of historic home w/addition of another room  
 SHALL COMPLY WITH HRB APPROVAL LETTER DATED 9/13/04  
 1. SEE ATTACHED LETTER AND NOTATIONS IN RED ON APPROVED PLANS.  
 2. AFTER YOUR FOOTING/SLAB INSPECTION HAS BEEN APPROVED (AND  
 POURED), A "FOUNDATION SURVEY" NEEDS TO BE SUBMITTED TO OUR  
 OFFICE AND APPROVED BEFORE VERTICAL CONST. CAN COMMENCE.  
 3. SETBACKS: FRONT 12', SIDE 6', REAR 15'  
 \*\*\* Refunded this permit fee on 2/17/05\*\*\* House on Randy's list\*\*\*  
 \*\*Mr. Abner submitted a memo stating he's having trouble w/contractor - in litigation -  
 looking for a contractor 2-16-06\*\*  
 \*\*\*\* 6-22-06 Mr. Abner hired R. Diller to finish the job - new subs listed on permit\*\*\*  
 \*\*\* 10-18-06 lattice work approved by D. Alley & M. Wiles as underpen for front & rear  
 porch\*\*\*

### Inspections Required

- Building - Bond Beam
- Building - C.O./Final
- Building - Ext. Walls
- Building - Floor
- Building - Footings
- Building - Foundation Survey
- Building - Framing
- Building - Insulation
- Building - Nailing
- Building - Roof
- Building - Sheathing
- Building - Strapping
- Electrical - P.S.
- Electrical - Rough-in
- Electrical - T.S.
- Mechanical - Rough-in
- Plumbing - Rough-in

**Inspection Line: (843) 525-7041**

"IT IS UNDERSTOOD AND AGREED BY THE UNDERSIGNED OWNER OR AGENT THAT THE APPROVAL OF THIS PERMIT DOES NOT CONSTITUTE A PRIVILEGE TO VIOLATE THE BUILDING CODE, ZONING ORDINANCE, OR OTHER ORDINANCES OF THE CITY OF BEAUFORT AND THAT ANY OMISSION OF OR MISREPRESENTATION OF FACT WITH OR WITHOUT INTENTION OF THE UNDERSIGNED, OR ANY ALTERATION OR CHANGE FROM THIS PERMIT WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL SHALL CONSTITUTE SUFFICIENT GROUND FOR THE REVOCATION OF THIS PERMIT. THIS PERMIT DOES NOT AUTHORIZE ANY ENCROACHMENT UPON COUNTY PROPERTY."

Signature-Applicant: \_\_\_\_\_

Building Official: \_\_\_\_\_

# MARCH 2004 STAFF REPORT

**CITY OF BEAUFORT  
Historic District Review Board  
Full Board  
Staff Report  
Meeting of March 10, 2004**

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**Case Number:** HR04-13  
**Property Address:** 1212 Greene Street  
**Applicant:** Washington Builders for Leroy Abner  
**Type of Request:** Alterations, Additions, Rehabilitation  
**Zoning:** General Residential (Preliminary Review)  
**Conservation Neighborhood**

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**Historical:** *Beaufort County Historic Sites Survey 1997* lists 1212 Greene Street, "circa 1900, contributes to listed district".  
*Sanborn Insurance Map 1924*; not included in earlier maps.

**Background:** The applicant requests permission to rehabilitate the house to include reconstruction of a front porch and east elevation addition, alterations of an existing west elevation addition, and replacement of entire roof.

**Zoning Issues:** **GR Setbacks:**

<b>Front:</b>	<b>Prevailing</b>
<b>Side:</b>	<b>10'</b>
<b>Rear:</b>	<b>15'</b>

Building Code Review on file.

**Design Issues:** All materials and colors will match existing.

Refer to file drawings, photos, and legal plat.

Windows to be rebuilt. Any new or replacement windows shall be wood, true-divided lites.

Replacement doors should be wood. Refer to drawing for location of changes.

Colors:

Structure:	White
Trim:	White
Doors:	Black or Charleston Green

Porch Ceiling: White or Black or Charleston Green

Lattice Infill: Black or Charleston Green

Porch Deck and steps: Grey or Black or Charleston Green

Roof replacement to be asphalt shingles.

Roof color: Forest Green (Sample submitted)

**Site Issues:**

Chain link fencing across front property line should be removed or replaced with white picket fencing.

Mailbox location should be specified. Location within property line required.

**Preservation**

**Issues:**

*Northwest Quadrant Design Principles* apply.

**Refer to 16.2 for guidance concerning replacement features.**

**Staff**

**Recommendation:** Approval as submitted.

**NOVEMBER 2006  
STAFF REPORT**

**CITY OF BEAUFORT  
Historic District Review Board  
Full Board  
Staff Report  
Meeting of November 08, 2006**

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**Case Number:** HR06-106  
**Property Address:** 1212 Greene Street  
**Applicant:** Leroy Abner  
**Type of Request:** New Construction – Accessory Dwelling Unit  
Conceptual Review  
**Zoning:** GR (General Residential)  
Conservation Neighborhood

---

**Historical:** *Beaufort County Historic Sites Survey 1997* lists 1212 Greene Street, “circa 1900, contributes to listed district”.

**Background:** **The applicant proposes new construction of an accessory dwelling unit. Two concepts have been submitted.**

**Zoning Issues:** GR Setbacks: Front: Prevailing  
Side: 6’  
Rear: 15’  
Accessory: 3’

**Accessory Dwelling Units are permitted subject to the requirements of Section 5.3.B of the UDO (refer to attachment). A legal plat is required.**

**Off-street parking standards apply per *Section 7.5:A* of the UDO:  
Single-Family: 2 per dwelling unit**

**Design Issues:** **The existing historic structure is approximately 1000 sq. ft. and one story.**

**What is the accurate square footage of the two proposed concepts?**

**Concept #1 is shown as a one story cottage with one bedroom and one bath. It appears that the roof pitch is unusually steep for a one story accessory dwelling unit.**

**Concept#2 is shown as a full two story structure. The 14’ 8” width of the front wall seems appropriately scaled for an accessory structure.**

**The 34' 8" depth of the structure seems inappropriately large for an accessory structure. Typically, accessory dwelling units have only one bedroom and one bath.**

**A final materials list, samples, and colors list are required for final review.**

**Photos of existing historic structure and adjacent structures required.**

**Height story poles shall be required for preliminary review.**

**Preservation  
Issues:**

While *Northwest Quadrant Design Principles* apply, the board might wish to refer to Milner's discussion regarding Secondary Structures, page 15 for guidance (*Supplement*).

**APPLICANT PRESENTATION**

**1212 GREENE STREET**



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

**PALD** AP  
 Staff Review  
 Board Review 10/21/20  
CC

Application Fee:  
see attached schedule

20-47HRB.1

OFFICE USE ONLY: Date Filed: 10/21/20 Application #: 21167 Zoning District: T4-HN

BCAGHS Survey:  Yes  No U-13-1131

**Schedule:** The Historic Review Board (HRB) typically meets the 2<sup>nd</sup> Wednesday of each month at 2pm. Upon receipt of an application submittal, staff will review the submittal and then contact the applicant letting them know when the meeting date will be. A complete schedule can be found at: <https://www.cityofbeaufort.org/372/Historic-District-Review-Board>

**Submittal Requirements:** All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

**Review Request:**  Conceptual  Preliminary  Final  Bailey Bill Approval\*  Change After Certification  
\*Requires a Bailey Bill – Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

**Applicant, Property, and Project Information**

Applicant Name: Leroy Abner

Applicant Address: 1212 Greene St

Applicant E-mail: Labner68@gmail.com Applicant Phone Number: 910 818-5946

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant):

Owner Address:

Project Name: Readwork Repairs

Property Address: 1212 Green St

Property Identification Number (Tax Map & Parcel Number):

Date Submitted: 21 Oct 20

**Certification of Correctness:** I/we certify that the information in this application is correct.



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Required Project Information

Project Name: Residential Repairs

Property Size in Acres: 11,000 sf Proposed Building Use: Home

Nature of Work (check all that apply):

- Checkboxes for New Construction, Primary Structure; Alterations / Additions; Demolition\*; Relocation\*.

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

Is this project a redevelopment project: Y

Are there existing buildings on the site? N if yes, will they remain? Y

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

Over 50% of the property is in need of repair due to rotted, splitting weathered boards. Over the last 15 year I have had to continuously replace paint and repair. I am now a Disable Veteran 100% on a fixed income I would fill to replace the entire exterior with a more durable material that is efficient to maintain, which add to aesthetic to the community and satisfaction to my family. My preference is to use hardi board to make the repairs. I would not change the color of the exterior.

Applicant's Signature: [Signature] Date: 21 Oct 20

Owner's Signature: [Signature] Date: 21 Oct 20

(The owner's signature is required if the applicant is not the owner.)

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

**BEAUFORT COUNTY  
HISTORIC SITES SURVEY - 1997**

INTENSIVE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form  
State Historic Preservation Office  
South Carolina Department of Archives and History  
Columbia, SC

Site Number: U- 13 - 1131  
Access County Site #  
USGS Quad: 025 Beaufort  
Doc. Level: Intensive Level-Building

Historic name(s): \_\_\_\_\_ Map Ref.: BFT 09 (TL) Tax Number: R120 004 000 0267 0000  
Common name(s): \_\_\_\_\_ City Block Ref.: 94 Island: Port Royal Is.  
Address/location: 1212 Greene St. City/Vicinity of (vic.): Beaufort  
Date: 1900 Alteration date: \_\_\_\_\_  
Ownership:  1. private  2. city  3. county  4. state  5. federal  6. unknown  
Category:  1. building  2. site  3. structure  4. object  
Historic use(s): single dwelling Current uses: vacant

National Register Status: \_\_\_\_\_ Date: \_\_\_\_\_ Listing Name: \_\_\_\_\_ NRIS # \_\_\_\_\_  
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: \_\_\_\_\_ Name: \_\_\_\_\_

Previous Survey: Reference: Notes:  
 H.A.B.S.  Other \_\_\_\_\_  
 Feiss-Wright (1969) \_\_\_\_\_  
 Historic Resources of the Lowcountry (1979) \_\_\_\_\_  
 Milner Historic District Inventory (1979) \_\_\_\_\_  
 A Guide to Historic Beaufort (1995 ed.) \_\_\_\_\_

Photograph:



Photographs:  
 prints  
 slides  
 negatives

Date: 8/1/97  
Recorder: D. Schneider, Historic Beaufort Fdn.

Roll # Neg. View of:  
S-11 19 N facade & E elev., fac. SW

Style: Folk: hall-and-parlor Commercial Form:

Core Shape: rectangular Stories: 1 story Construction: frame  
 Roof: Shape: gable (lateral) Material: other metal-V crimp

Chimney: Type: interior end Material: brick

Exterior Walls: weatherboard

Windows: single Type: double hung Pane not visible  
 Config.:

Doors: single Foundation: brick piers

Porch Height: 1 story Porch Width: full facade Porch Roof Shape: hip  
 Porch Details: chamfered posts Decorative Elements:

Outbuildings: none Interior Features:

Number of Related Resources:

Surroundings: residential Acreage: Quadrangle: Beaufort

Alterations: Alteration date: Integrity: good Condition: deteriorated

Description: 3 x 1 bay rectangular block w/rear ell wing at left and shed addition at L elevation of rear L; windows concealed by plywood coverings

Historical Data: Shown on the 1924 Sanborn map; the area is not included in earlier maps. Cited on "Vacant & Abandoned Building List" dated July 1989 ("updated by HBF April 12, 1990") in Historic Beaufort Foundation files.

Sketch:



Site Number: U - 13 - 1131

Informant/  
Bibliography:



Rotted boards only the paint covering exist

1212 Greene St

1212 Green St



1212 Greene St



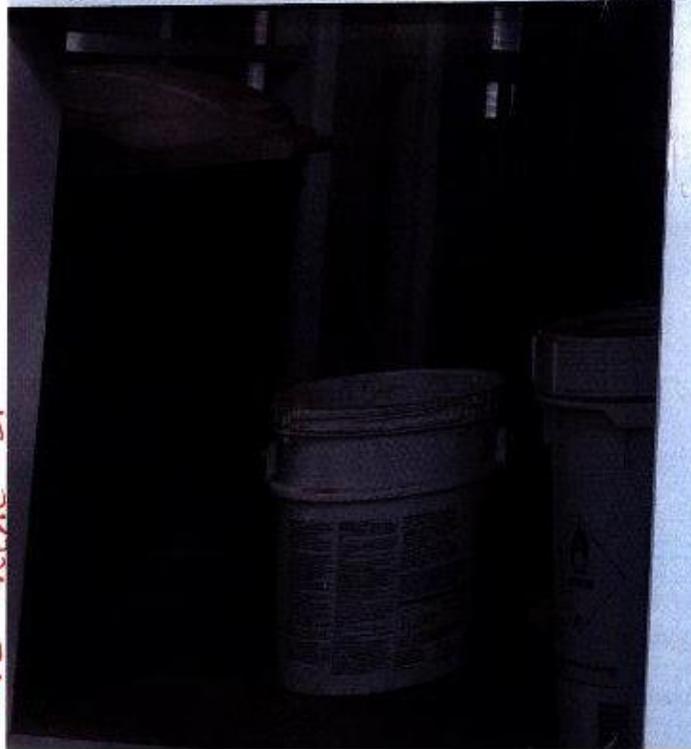
1212 Greene St



1212 Greentree St



1212 Greene St



1212 Greene St





1212 Greene St

1212 Greene St



12/12 Greene St





# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development

## 1 SUMMARY OF REQUEST

---

1212 Greene Street, Alteration

Applicant: Leroy Abner (20-47 HRB.1)

The applicant is requesting final approval for alterations to a single-family home at 1212 Greene Street.

This is a contributing structure in the Northwest Quadrant.

Background:

The applicant received preliminary approval on March 10, 2004 for Alterations and Additions to this property that included reconstruction of the front porch and an east elevation addition, alterations of an existing west elevation addition, and replacement of the entire roof. A permit was received for this scope of work in May 2006 with reference to a final approval letter from September 2004, however, staff has no record of the final approval for this project. The applicant also submitted an application in September 2006 for an accessory dwelling unit to be constructed on the site, but the applicant did not show up for the meeting, and the project was therefore never reviewed by the Board.

## 2 FACTS

---

<b>Property Address:</b>	1212 Greene Street
<b>Parcel ID:</b>	R120 004 000 0267 0000
<b>Case Number:</b>	20-47 HRB.1
<b>Applicant:</b>	<b>Leroy Abner</b>
<b>Zoning:</b>	T4-HN
<b>Use:</b>	Single Family Dwelling

### District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
  - *Front – Average prevailing Setback on block*
  - *Rear setback – 15' min.*
  - *Side Corner/Alley – 5' min.*
  - *Side Interior – 6' min., 10' min. in The Point*
- **Impervious Surface Coverage:** 55% maximum coverage by roofs, total impervious coverage may be an additional 10%.



### References:

- Secretary of Interiors Standards for Treatment of Historic Properties
- Preservation Brief 47 – Maintaining the Exterior of Small and Medium Size Historic Buildings

- Beaufort Preservation Manual
- Beaufort Preservation Manual Supplement
- Northwest Quadrant Design Principles

### 3 STAFF COMMENTS/ RECOMMENDATIONS

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1. The applicant is requesting approval of replacement of the existing lap siding of 1212 Greene Street with more durable Cementitious Lap Siding to eliminate future costly repairs.
2. From the historical sites survey and site visits, staff is unsure of the evolution of this building form, but believes that the front rectangular form of this property may have been the original footprint and that the ell in the rear came next, followed by a shed roof addition on the west side of the ell, although the order and dates of these additions are unknown. In 2005, the front porch was reconstructed, and an addition was added to the east elevation of the house by the same applicant. Staff has no record of final approvals for the most recent additions to this property, and also has no record of siding changes to this property to date, so it is difficult for staff to understand what, if any, historic siding still exists. Applicant to clarify if any of the historic siding of the pre-2000 portions of this house has been replaced.
3. For the purposes of this review, staff assumes that most of the existing siding on the structure is historic and has been maintained and repaired in areas over time. The addition on the east elevation is the only clear exception to this, as records clearly indicate that it was constructed after 2004.
4. Given that the request of this application is for replacement of existing wood siding to better preserve this historic structure, Staff views this project as “preservation” as defined by the Secretary of Interiors Standards for the Treatment of Historic Buildings. Therefore, as noted in the Secretary of Interiors Standards for Preservation, limited replacement in kind is recommended when materials are extensively deteriorated. The new work should match the old when limited replacement of deteriorated and missing components is possible. It is also not appropriate to use replacement material that does not match the historic wood features.
5. Preservation Brief 47 notes that “where a damaged area is too large to patch, consider replacing the section with in-kind material. “
6. Chapter 8 of the Beaufort Preservation Manual Supplement states the following:
  - a. “It is appropriate to retain all siding and trim unless deteriorated beyond repair. For areas of partial deterioration, techniques utilizing in-kind and visually matching patches are preferable to total replacement, in the interest of retaining as much historic material as possible.”
  - b. “Repair of wood siding and trim should be in-kind. For proper techniques, see Chapter 9 in the Preservation Manual.”

- c. "Replacement of wood siding and trim should be limited to areas of severe deterioration that are not repairable. Replacement material should be of the same species, size, and shape as the original. Every effort should be made to repair and retain historic siding, where possible. Consult the Preservation Manual for proper installation techniques, including salvaging existing trim, and building up replacement trim from stock molding."
7. Chapter 9 of the Beaufort Preservation manual states that "If the required replacement [of wood siding] is extensive, it is preferable to use siding that is a genuine match for the existing material in species, overall size, and shape." Chapter 9 also has several detailed solutions for repairs to existing wood siding.
8. Chapter 10 of The Northwest Quadrant Design Principles states the following:
  - a. "Preserving historic siding is preferred. It is acceptable to remove only the siding which is deteriorated and must be replaced. If portions of wood siding must be replaced, it is preferred that the style and lap dimensions match that of the original."
  - b. "It is not appropriate to remove siding that is in good condition or that can be repaired in place."
  - c. "Using materials similar to those employed historically is preferred. It is acceptable to use substitute materials if they match the original in appearance as closely as is possible. "
9. Section 14.1 of the Northwest Quadrant Design Principles notes that it is preferred that original siding material be preserved. Section 15 of the Northwest Quadrant Design Principles states that deteriorated architectural features should be repaired rather than replaced, whenever possible. Section 15.2 states that "Replacement of missing elements may be included in repair activities. Using the same kind of material as the original is preferred. A substitute material may be acceptable if the form and design of the substitute itself conveys the visual appearance of the original material.
10. Given the standards listed above, Staff feels that every effort should be taken to repair and preserve the existing historic fabric where it still exists. Material that is in good condition and does not need to be replaced should be maintained, and deteriorated areas that must be replaced should be replaced in kind with wood siding that matches the existing in species, size, and shape. If the historic siding has been replaced in the past with new wood siding to match what previously existed, this approach should be repeated to maintain the historic character of the building. Chapters 10 and 12 of the Preservation Manual list extensive techniques for repairs and maintenance of painted wood elements that may be useful in preventing future rot and decay. There is not enough information in this submission to confirm that 50% replacement is accurate. Most of what is included in the pictures suggests that there may have been a lack of maintenance over time. For example, if paint is not kept on all surfaces, this can lead to rapid deterioration, and if penetrations such as condensate pipes, electrical, etc., are not properly sealed, this can lead to deterioration as well.
11. The siding of the addition on the east elevation is new and not historic. Staff feels that it is acceptable to replace the wood on this addition with cementitious siding if necessary, as this will

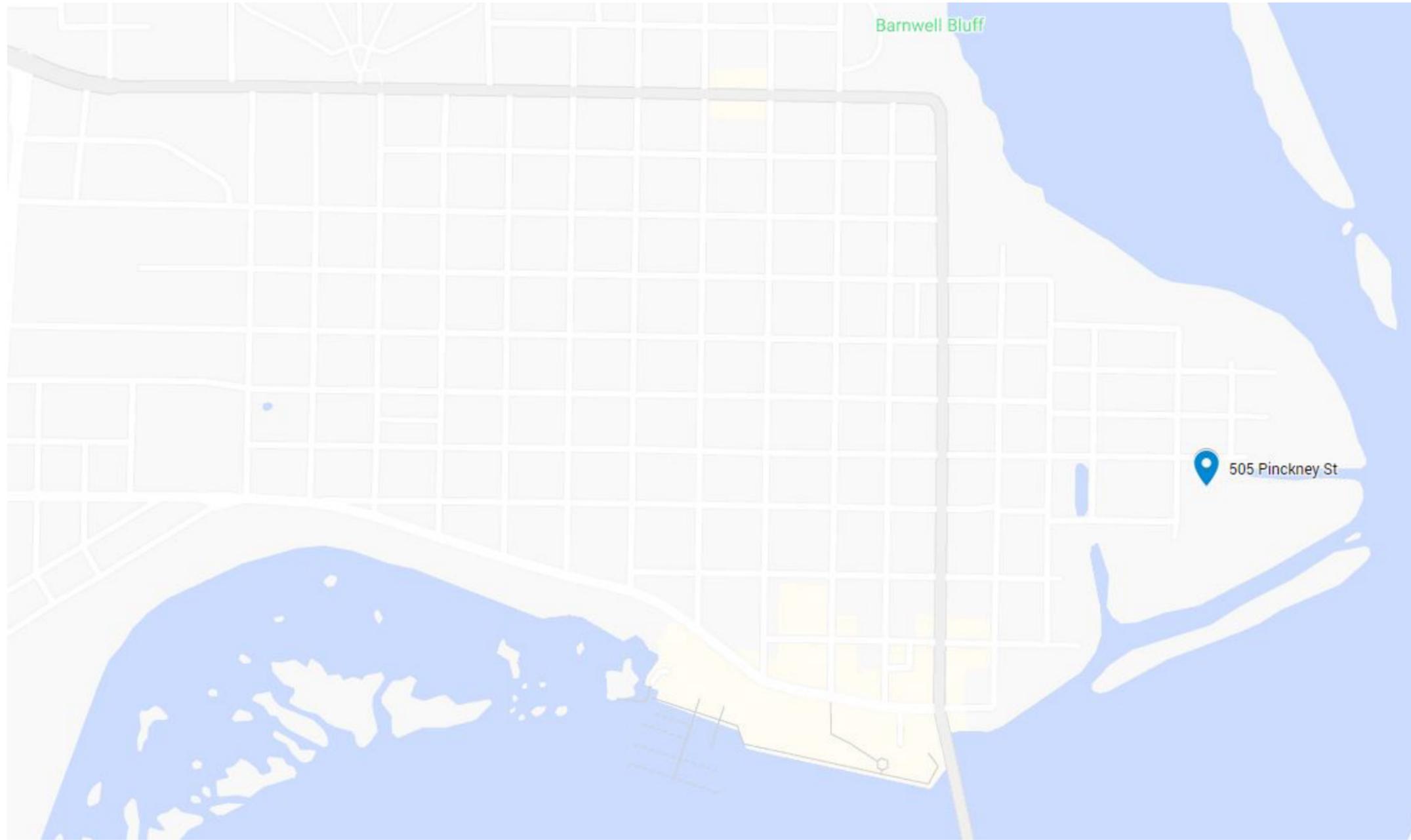
further differentiate the new addition from the historic building footprint. This complies with The Secretary of Interiors Standards for New Exterior Additions to Historic Buildings, which states that it is recommended to use “the same forms, materials, and color range of the historic building in a manner that does not duplicate it, but distinguishes the addition from the original building.”

**STAFF RECOMMENDATION:**

**Denial of wholesale siding replacement with cementitious siding. Staff supports replacement of deteriorated wood siding in kind. Staff supports changing out wood siding on 2005 addition with cementitious siding. Per the Preservation Manual, the smooth side of the cementitious siding must be facing outward.**

# CITY STAFF INTRODUCTION

505 PINCKNEY STREET



PROJECT LOCATION - 505 PINCKNEY STREET







417  
109  
←

STAFF PHOTO: VIEW FROM  
EASTERN END OF KING  
STREET



STAFF PHOTO: VIEW FROM  
EASTERN END OF KING  
STREET

**APPLICANT PRESENTATION**

**505 PINCKNEY STREET**



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

\$ PAID 10-13-2020
Staff Review
Board Review

Application Fee:
see attached schedule

20-46 HRB.1

OFFICE USE ONLY: Date Filed: 10/13 Application #: 21129 Zoning District: T4-HN
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval\* Change After Certification
\*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Ansley Hester Manvel, Architect
Applicant Address: 104 Pritchard Street Bluffton, SC 29910
Applicant E-mail: manvel.studio@aol.com Applicant Phone Number: 843.338.8932

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Steve and Saki Amaro (Amaro Family Trust)
Owner Address: 505 Pinckney Street Beaufort, SC 29902

Project Name: "La Casa Verde" Porch Addition
Property Address: Same as owner

Property Identification Number (Tax Map & Parcel Number): R120 004 000 760A 000
Date Submitted: 13 October 2020

Certification of Correctness: I/we certify that the information in this application is correct.
Applicant's Signature: [Signature] Date: 13 October 2020
Owner's Signature: [Signature] Date: 10/13/2020

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated February 5, 2019



DEVELOPMENT REVIEW PROCESS  
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Project Name: "La Casa Verde" - Porch Addition

Property Size in Acres: 0.71 Proposed Building Use: Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition\*
- Relocation\*
- \*Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

3536 sq ft existing heated 2934 rear 480 rear porches existing 470 sq ft  
1018 rear porches proposed  
1112 sq ft

Is this project a redevelopment project:  Y  N

Are there existing buildings on the site?  Y  N if yes, will they remain?  Y  N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

See Attached

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II  
City of Beaufort Department of Planning & Development Services  
1911 Boundary Street, Beaufort, South Carolina 29902  
E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org) | Phone: (843) 525-7011 | Fax: (843) 986-5606

505 Pinckney Street is nestled in a neighborhood of many important structures. The property dwellers are Steve and Saki Amaro with the ownership listed as the Amaro Family Trust. It is a mostly brick veneer residence built in the year of 1968. The street side of the property has numerous live oaks and a grand, double flight of curved stairs, while the rear, river-facing side of the property is mostly open lawn.

The applicant proposes removing the existing rear, double-story porch and replacing with a new wider and deeper double-story porch. The existing porch is currently too tight for an ample lounge furniture layout. By increasing the depth three feet and width twenty-one feet, the porch will become an outdoor living area able to have gathering areas for eating, lounging and social activities.

The proposed porch will change the roofline from a rear-facing gable to a shed extending from the main ridge. The column spacing is dictated by the existing placement of openings. The column bay rhythm is an A/B/A/B/A. The porch ends are recessed two feet from the existing building corners to allow definition of the main roof and gable ends. The existing upstairs dining and bedroom triple windows will be replaced with french doors and sidelites.

The color scheme will remain the same monotone light green. Bottom pier columns will be 20" x 20" brick veneer and the upper columns 12" fiberglass Tuscan style round columns. Railings will mimic the existing railings.

Our intensions are to keep the overall characteristics of the late 1960s home and take advantage of the incredible river views. The porch addition will have no impact from the public street. We respectfully ask the review board grant us preliminary approval.



**GASQUE & ASSOCIATES INC.  
LAND SURVEYORS & PLANNERS**

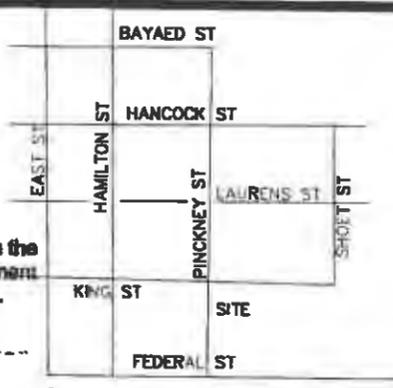
28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.  
P.O. BOX 1363, BEAUFORT, S.C.  
PHONE (843) 522-1798

**EXEMPT**

The development plan shown hereon is exempt from the regulations of the City of Beaufort Unified Development Ordinance according to the provisions in Article 6.1.B.

Certified by: *[Signature]*  
Date: *3/4/15*

City of Beaufort Planning Department



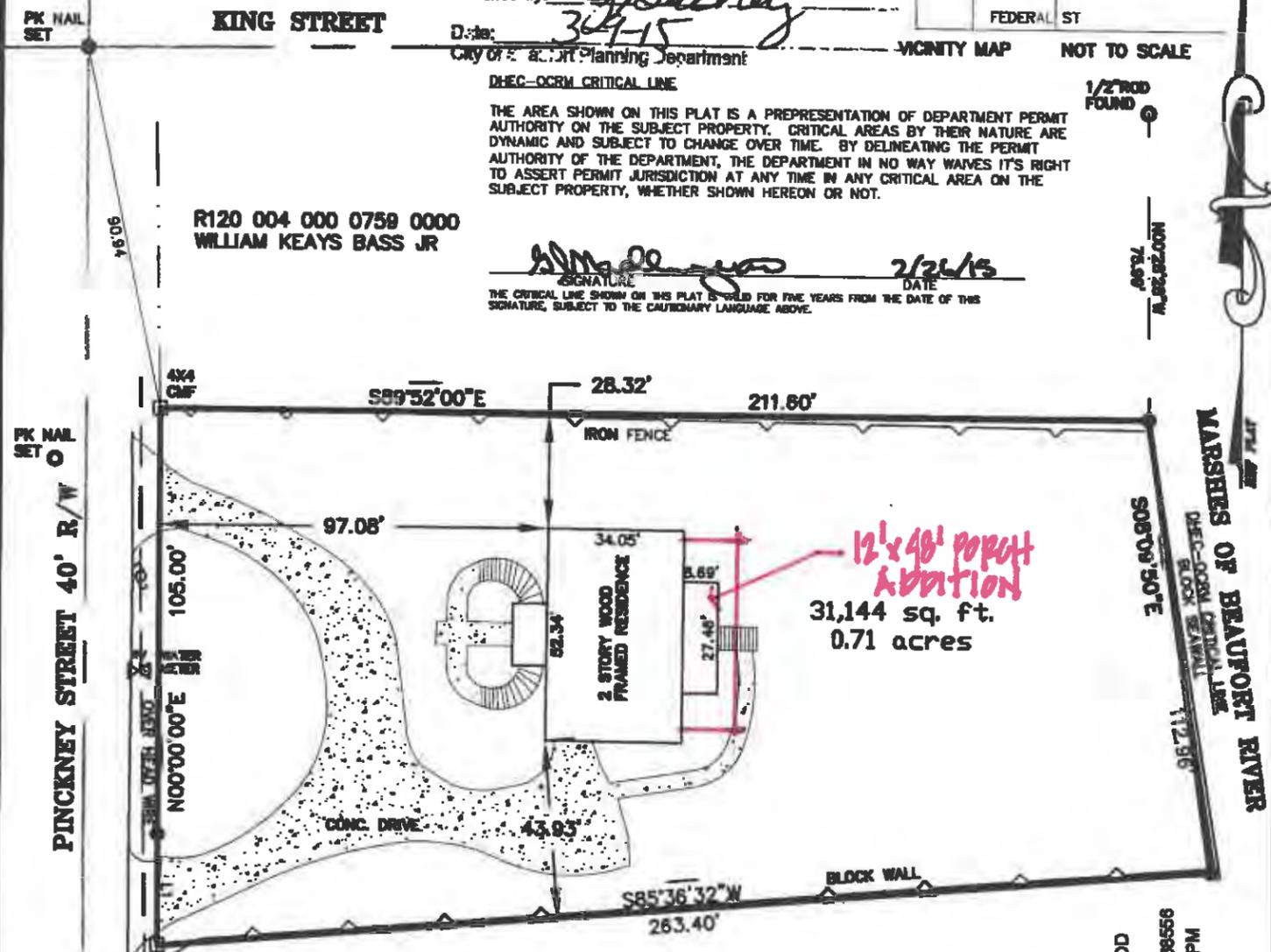
VICINITY MAP NOT TO SCALE

**DHEC-OCRM CRITICAL LINE**

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME. BY DELINEATING THE PERMIT AUTHORITY OF THE DEPARTMENT, THE DEPARTMENT IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

R120 004 000 0759 0000  
WILLIAM KEAYS BASS JR

*[Signature]* DATE: *2/26/15*  
THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.



*12' x 48' porch addition*  
31,144 sq. ft.  
0.71 acres

LINE TABLE		
LINE	LENGTH	BEARING
L1	27.36	N00°01'27"W

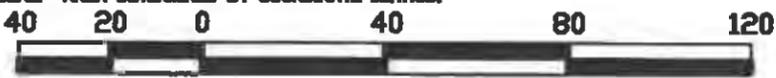
R120 004 000 0761 0000  
HELEN HARVEY CREDIT SHTER TRUST

BEAUFORT COUNTY SC-ROD  
BK 140 Pg 96  
INST# 2015011513 RCPT#708556  
DATE: 03/10/2015 04:32:17 PM  
REC FEES: \$6.00  
C060.00 ST\$0.00 TR\$0.00

**ASBUILT SURVEY PREPARED FOR**  
**C. STEVE AMARO & SASKIA PETERSON AMARO TRUSTEES OF AMARO FAMILY TRUST**  
BEING A PORTION OF BLOCK 7 CITY OF BEAUFORT AS SHOWN ON A PLAT BY R.D. TROGDON JR. DATED AUGUST 23, 1968 RECORDED IN PLAT BOOK 17, PAGE 41 BEAUFORT COUNTY R.M.C. OFFICE  
LOCATED IN THE CITY OF BEAUFORT COUNTY SOUTH CAROLINA  
TAX MAP R120 004 000 760A 0000

THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS; AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.  
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.  
THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HERE ON.  
THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.  
BEFORE ANY DESIGN FORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.  
THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE A11 EL. 13.00' AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450026 0005 D. DATED 09/29/86  
THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY SHOWN HEREON COMPLIES WITH ANY RESTRICTIVE CONVEYANCES OR ANY CITY AND/OR COUNTY ORDINANCES.

I, DAVID E. GASQUE, HEREBY CERTIFY TO C. STEVE AMARO & SASKIA PETERSON AMARO TRUSTEES OF AMARO FAMILY TRUST THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THERE IN. ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THEN SHOWN. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL. AREA DETERMINED BY COORDINATE METHOD.



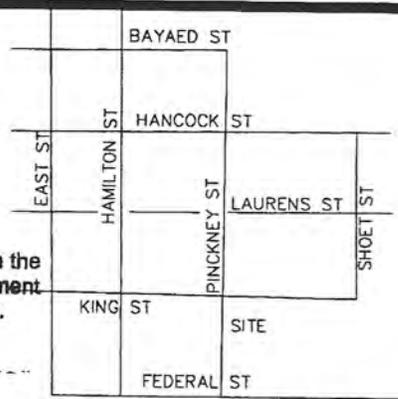
SCALE: 1"=40' SCALE IN FEET DATE: 2/23/2015

*[Signature]* 2-24-15  
DAVID E. GASQUE, R.L.S. JOB # 42874  
S.C. REGISTRATION NUMBER 10506 FB#884/JS DSGN#7  
THIS PLAT IS NOT BINDING UNLESS ACCOMPANIED BY AN ORIGINAL SIGNATURE AND AN EMBOSSED SEAL.



**GASQUE & ASSOCIATES INC.**  
**LAND SURVEYORS & PLANNERS**

28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.  
 P.O. BOX 1363, BEAUFORT, S.C.  
 PHONE (843) 522-1798



The development plan shown hereon is exempt from the requirements of the City of Beaufort Unified Development Ordinance according to the provisions in Article 8.1.B.

Certified by: Bachety  
 Date: 3-24-15

City of Beaufort Planning Department

VICINITY MAP NOT TO SCALE

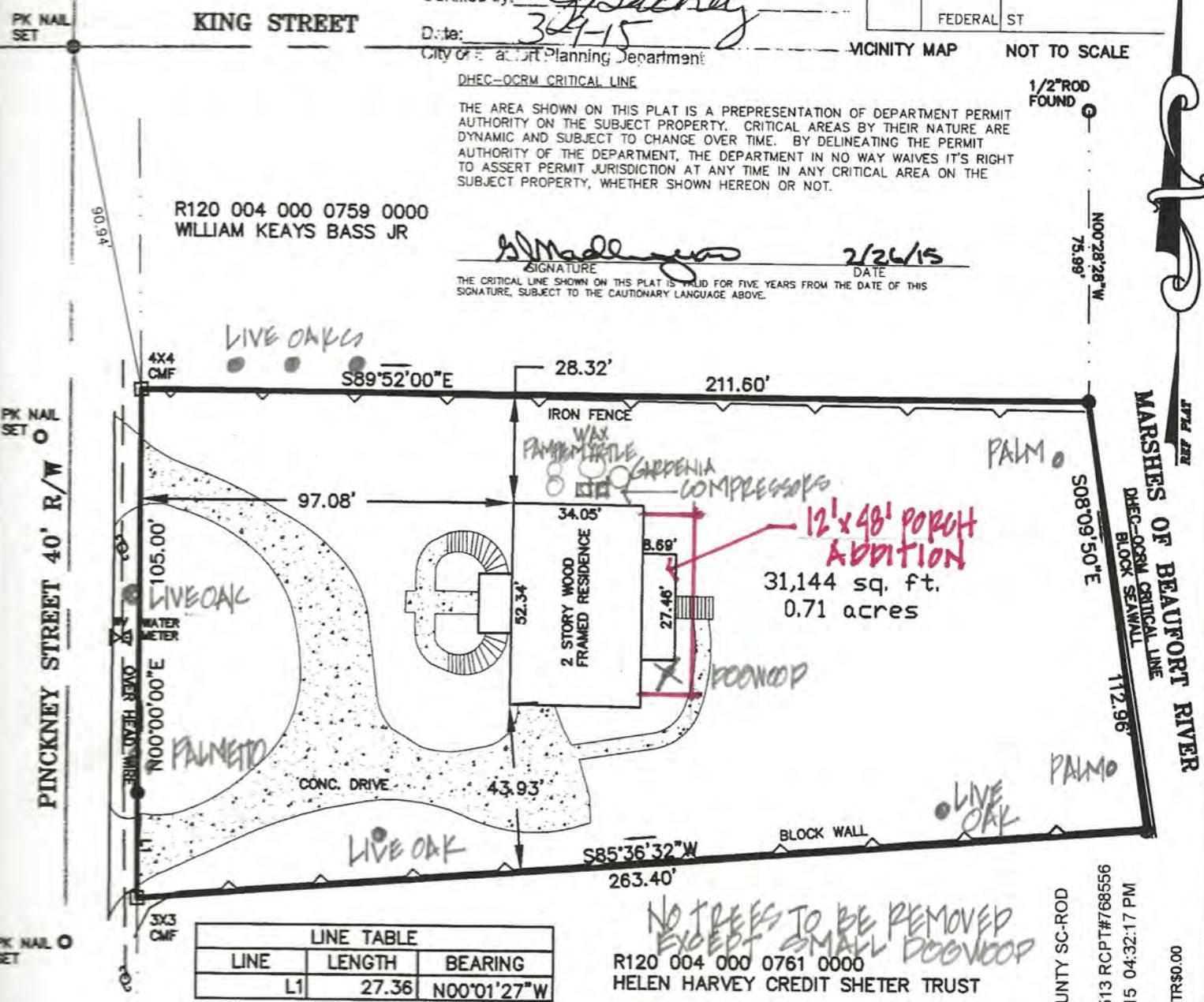
**DHEC-OCRM CRITICAL LINE**

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R120 004 000 0759 0000  
 WILLIAM KEAYS BASS JR

Amado 2/26/15  
 SIGNATURE DATE

THE CRITICAL LINE SHOWN ON THIS PLAT IS VALID FOR FIVE YEARS FROM THE DATE OF THIS SIGNATURE, SUBJECT TO THE CAUTIONARY LANGUAGE ABOVE.



LINE TABLE		
LINE	LENGTH	BEARING
L1	27.36	N00°01'27\"W

**NO TREES TO BE REMOVED EXCEPT SMALL POONNOOP**

R120 004 000 0761 0000  
 HELEN HARVEY CREDIT SHTER TRUST

FIRST FLOOR - 9.41 FEET AMSL  
 SECOND FLOOR - 21.41 FEET AMSL  
 FINISH GRADE - 6.5 TO 6.9 FT AMSL

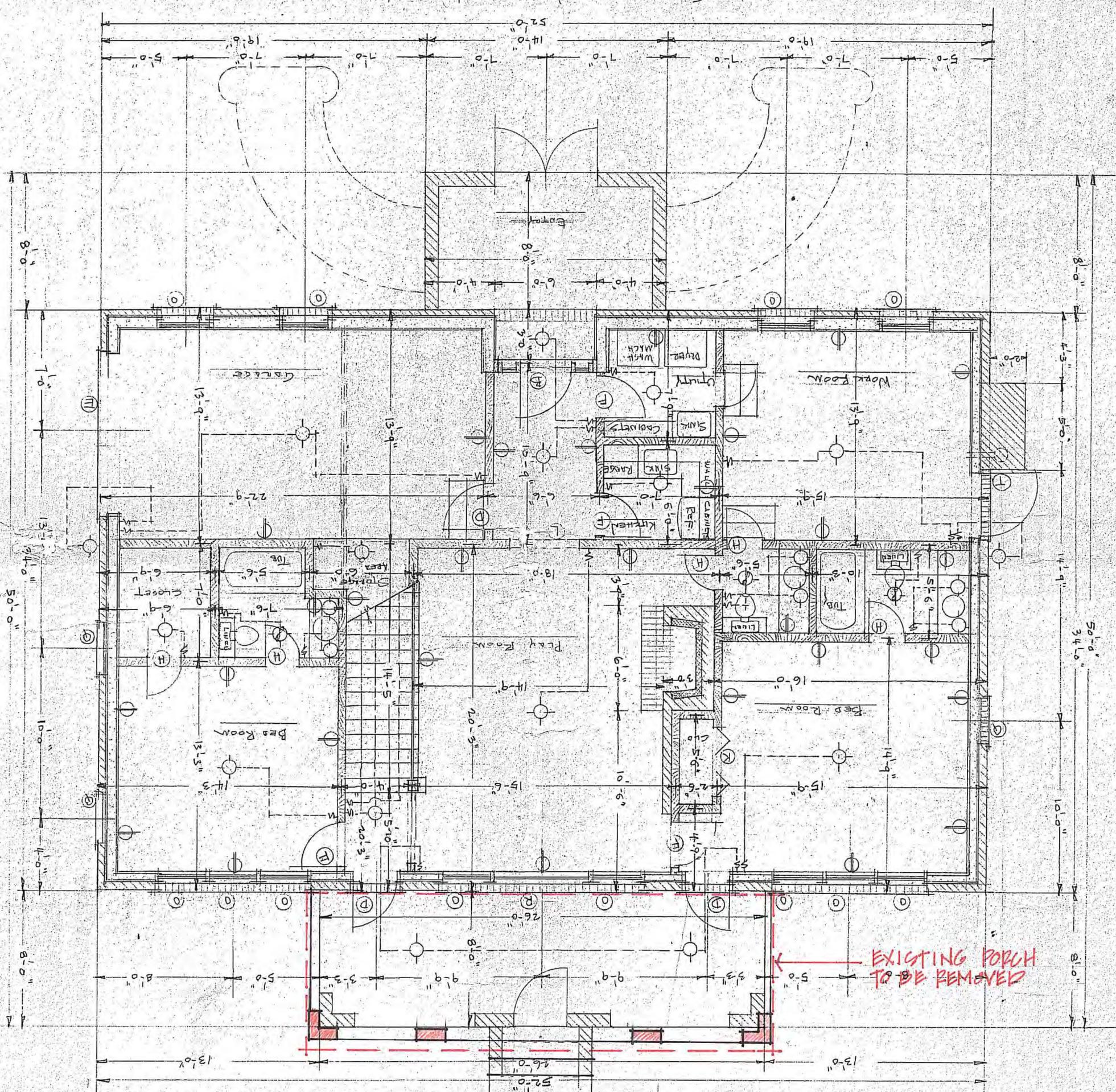
BEAUFORT COUNTY SC-ROD  
 BK 140 Pg 96  
 INST# 2015011513 RCPT#768556  
 DATE: 03/10/2015 04:32:17 PM  
 REC FEES: \$5.00  
 CO\$0.00 ST\$0.00 TR\$0.00

ASBUILT SURVEY PREPARED FOR  
**C. STEVE AMARO & SASKIA PETERSON AMARO TRUSTEES OF AMARO FAMILY TRUST**

BEING A PORTION OF BLOCK 7 CITY OF BEAUFORT AS SHOWN ON A PLAT BY R.D. TROGDON JR. DATED AUGUST 23, 1988 RECORDED IN PLAT BOOK 17, PAGE 41 BEAUFORT COUNTY R.M.C. OFFICE

LOCATED IN THE CITY OF BEAUFORT COUNTY SOUTH CAROLINA

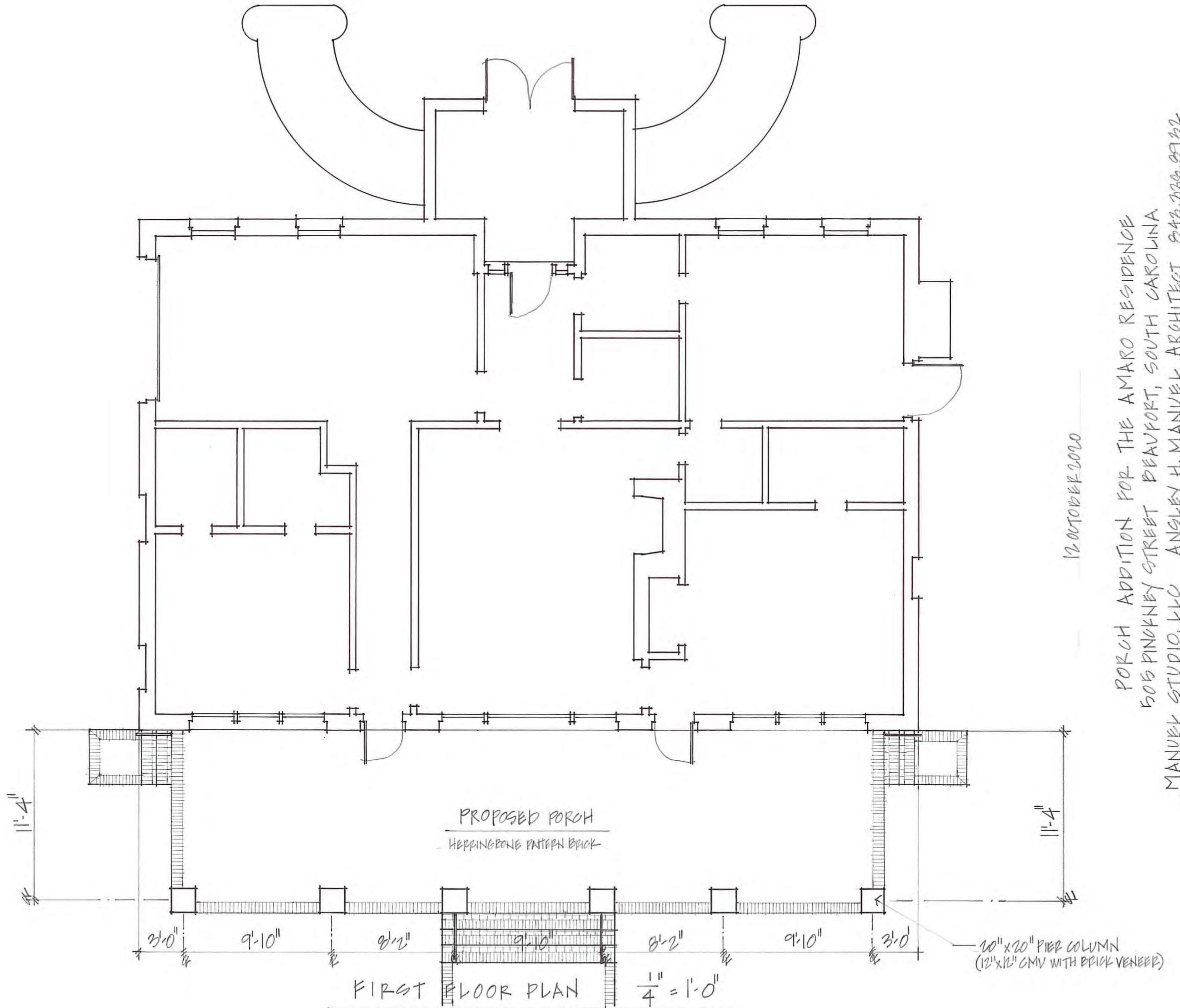
3/17/00



DEMO PLAN

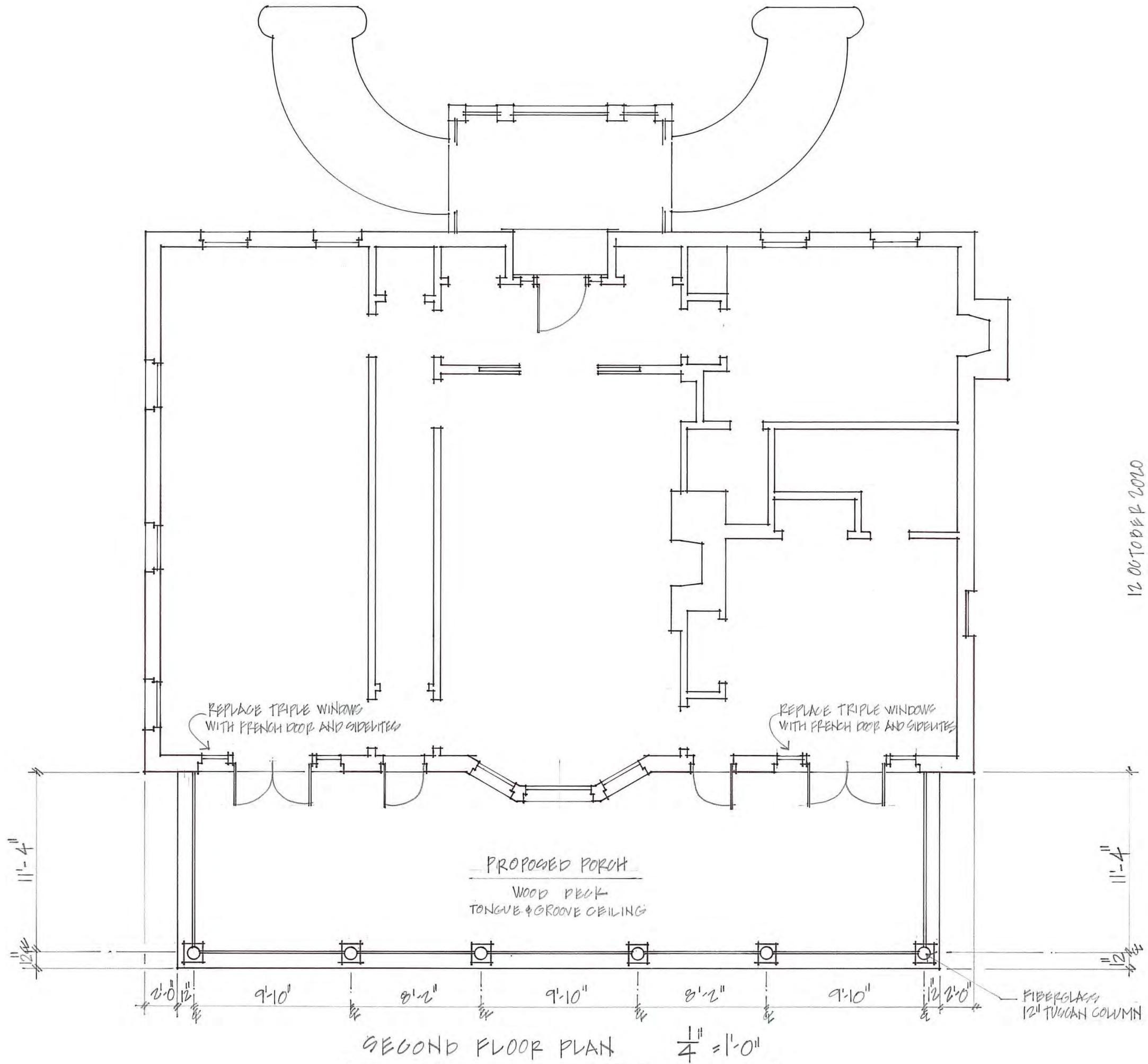
8/27/00  
D.P.





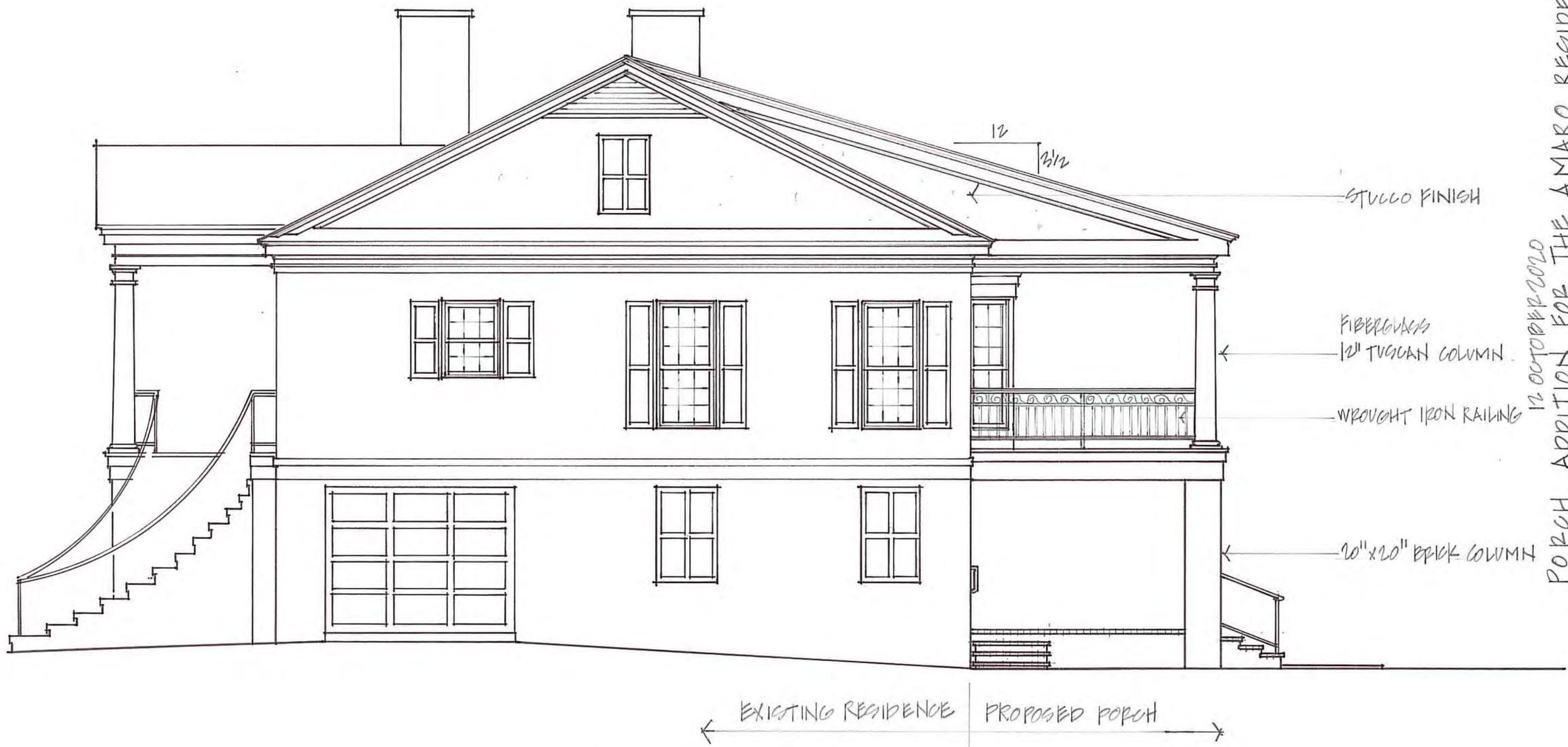
12 OCTOBER 2000

PORCH ADDITION FOR THE AMARO RESIDENCE  
 505 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA  
 MANVEL STUDIO, LLC ANSLEY H. MANVEL, ARCHITECT 843.7390.8932



12 OCTOBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE  
 505 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA  
 MANUEL STUDIO, LLC ANSLEY H. MANUEY, ARCHITECT 843.738.8932



RIGHT ELEVATION

$\frac{1}{4}'' = 1'-0''$

STUCCO FINISH

FIBERGLASS  
12" TUSCAN COLUMN

WROUGHT IRON RAILING

10" x 10" BRICK COLUMN

EXISTING RESIDENCE | PROPOSED PORCH

12 OCTOBER 2020  
 PORCH ADDITION FOR THE AMARO RESIDENCE  
 505 PINKNEY STREET BEAUFORT, SOUTH CAROLINA  
 MANUEL STUDIO, LLO ANSLEY H. MANUEL, ARCHITECT 843. 790. 8992



12 OCTOBER 2020

REAR ELEVATION  $\frac{1}{4}'' = 1'-0''$

PORCH ADDITION FOR THE AMARO RESIDENCE  
506 PINKNEY STREET BEAUFORT, SOUTH CAROLINA  
MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.440.8932



12 OCTOBER 2020

PORCH ADDITION FOR THE AMARO RESIDENCE  
 505 PINCKNEY STREET BEAUFORT, SOUTH CAROLINA  
 MANUEL STUDIO, LLC ANSLEY H. MANUEL, ARCHITECT 843.338.0932









The image shows a two-story house with a light green or pale yellow exterior. The house has a prominent front porch with a gabled roof supported by several columns. The porch is enclosed with a dark metal railing. There are several windows on both floors, some with white curtains. A large bush is on the left side of the house, and a lawn is in the foreground. The sky is clear and blue.











508

APPLER CITY  
IN DUTY





CHARLESTON  
GREEN  
(SHUTTERS)

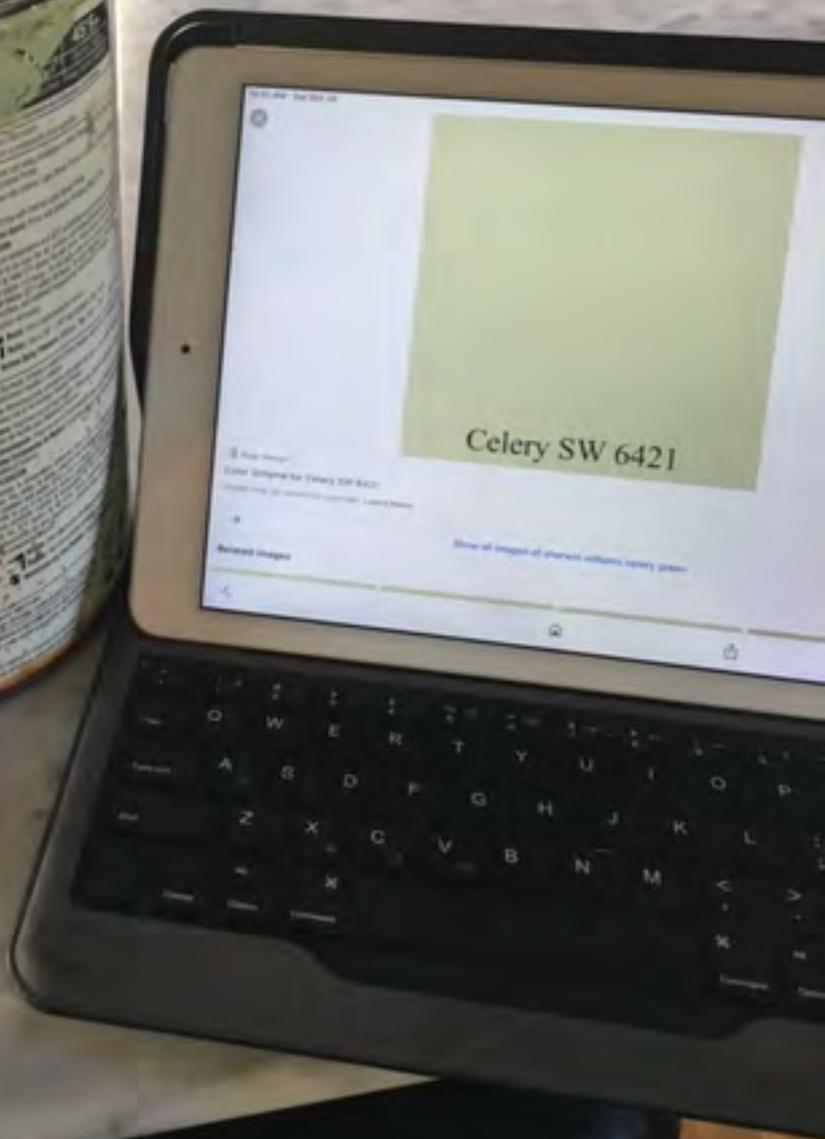
MATCH  
SHINGLES

“CELERY”  
SHEPHERD  
WILLIAMS  
(COLUMNS,  
WALLS +  
ALL TRIM)

BRICK  
BASE +  
STEPS

REAR ELEVATION

FOR THE ARCHITECTURE OF THE HOUSE DESIGN BY  
BOB FINNEY ARCHITECT, PRINCIPAL, 1111 S. JEFFERSON  
MANUE. ARCHITECTS, 1111 S. JEFFERSON, 1111 S. JEFFERSON



SHERWIN-WILLIAMS 2601  
843-470-0347

11/06/15  
Order# 0057787

EXTERIOR  
A-100  
SATIN

ARCHITECTURAL  
LATEX  
COROB D600

MATCH

CUSTOM SHER-COLOR MATCH

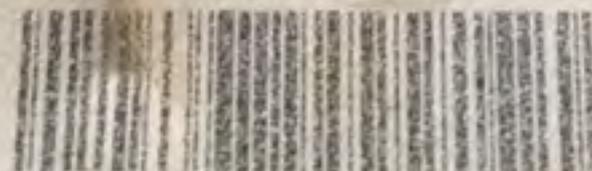
CCEXCOLORANT	02	32	64	128
B1-Black	-	11	1	-
G2-New Green	-	11	-	1
Y3-Deep Gold	-	5	1	1

ONE GALLON  
A82W00151

EXTRA WHITE  
640389177

Non Returnable Tinted Color

CAUTION To assure consistent color, always order enough paint to complete the job and intermix all containers of the same color before application. Mixed colors may vary slightly from color strip or color chip.



0057787-001



# Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development  
18 November 2020

## 1 SUMMARY OF REQUEST

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505 Pinckney Street, Renovation/addition

Applicant: Ansley Manuel (20-46 HRB.1)

The applicant is requesting preliminary approval for a renovation/addition to a rear porch of a single-family residence at 505 Pinckney Street.

This is a non-contributing structure in the Historic Preservation Neighborhood.

Background: This is the first submission for the current proposed porch renovations at 505 Pinckney Street.

## 2 FACTS

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<b>Property Address:</b>	505 Pinckney Street
<b>Parcel ID:</b>	R120 004 000 760A 000
<b>Case Number:</b>	20-46 HRB.1
<b>Applicant:</b>	<b>Ansley Manuel</b>
<b>Zoning:</b>	T4-HN
<b>Use:</b>	Single Family Dwelling

### District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
  - *Front- Average prevailing setback on block.*
  - *Rear setback – 15' min.*
  - *Side Corner/Alley – 5' min.*
  - *Side Interior – 6' min, 10 ft min in the Point*
- **Impervious Surface Coverage:** 55% maximum lot coverage by roof; total impervious coverage may be an additional 10%.
- **Current Flood Zone:** A11



### References:

- The Beaufort Preservation Manual Supplement, Chapters 3, 6, 7.
- The Beaufort Code, Chapter 5

### 3 STAFF COMMENTS/ RECOMMENDATIONS

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1. The proposed new porch addition to 505 Pinckney Street is compliant with Chapter 3 of the Preservation Manual Supplement in that the scale of the addition is smaller than the original building, and the addition is located and planned so as to not confuse the dominant historic orientation of the original building. These are all positive aspects of this submission.
2. Staff feels that the shed roof design of the porch addition, however, does not comply with the intent of Chapter 3 Preservation Manual Supplement in several ways:
  - a. The depth of the porch and proposed new porch roof pitch creates a shed roof that connects to the existing roof at the existing ridge, which results in an awkward proportional relationship between the existing roof and the proposed roof on the side elevations. The roof, as designed, overpowers the mass of the existing home and is out of proportion with the remainder of the home. The entirety of the porch should be subordinate to the existing. Staff believes that the applicant should reduce the pitch of the roof and consider a hipped roof to alleviate this concern. Staff understands that lower pitched roofs will require a material change to the roof of this porch addition. The new porch roof should not go any higher than the ridge of the front porch roof, which is approximately the middle of the roof span.
  - b. The Preservation Manual Supplement states that “Additions should be sited to have least visual impact from the street...” Although the addition is unnoticeable from Pinckney Street, it is highly visible from the eastern end of adjacent King Street, which further emphasizes the importance of the design of the roof in the rear.
3. The addition of the French doors on the rear façade are a positive change, but the doors should have divided lights that match adjacent divided light windows in size and scale. The center bay window on the ground level is currently shown as a single pane window in the elevations, but no replacement of this window is mentioned in the project narrative. If this window is to be replaced, it should have divided lights to match the existing window. If this window is incorrectly rendered, it should be corrected in future submissions. Additionally, applicant must include both existing and proposed elevations in future submissions and clearly note which items are to be replaced.
4. Applicant to clarify if the new railing on the rear addition will match the existing railing.
5. The spacing of the columns is appropriate and compliant with page 28 of the Preservation Manual Supplement, which states that “The rhythm of the bays, as established by the porch columns, should follow the rhythm of the solids and voids of the house façade behind it.”
6. Applicant to clarify if the new porch foundation and steps will be detailed to match the existing. If the details will change, they will need to be submitted for review.
7. If gutters and downspouts are to be included in the addition, these should be drawn and noted on elevations, and the material should be noted as well for final review.
8. The cornice on the porch addition appears to be larger than the cornice on the existing house. The Preservation Manual Supplement states that the best contextual precedent for new additions is the existing building to which the addition will be attached. Page 32 of the Supplement states that “The design of the porch cornice for new construction should be based on the design of porch

cornices on similar adjacent houses in the Historic Beaufort District.” In the instance of this addition, the porch cornice should match that of the existing house to which it attaches.

9. The applicant has noted that a small Dogwood tree will be removed for the construction of this addition. Applicant to note that, per Section 5.2.1.A and 5.4.1 of the Beaufort Code, “A permit is required for any Specimen of landmark tree to be removed.” Section 5.3.2.A states that a 4 inch DBH (or larger) Flowering Dogwood is considered to be a Specimen Tree. Applicant to verify sizing of this tree in future submissions and ensure that the proper process is followed for removal of the tree per Chapter 5 of the Code. Per Section 5.2.1.A, the area of the renovation to the property is also required to comply with screening requirements noted in Chapter 5 of the Beaufort Code. Applicant to ensure and demonstrate that Tree Coverage Requirements per 5.3.1.A, Buffer Requirements per 5.5.1, and Landscape Installation and Maintenance requirements per 5.6 are met for this project.

**STAFF RECOMMENDATION:**

**Conceptual Approval** with noted conditions.