



MEETING AGENDA

The City of Beaufort

HISTORIC DISTRICT REVIEW BOARD

Wednesday, December 8, 2021, 2:00 P.M.

City Hall, Council Chambers, 2nd Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/84172409433?pwd=YXJvcDI4ZGh5bEpQeDVETFpIM2xOdz09>

Password: 028520 Meeting ID: 841 7240 9433 Call in Phone #: 1+929 205 6099

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Review of Minutes:

A. November 10, 2021 Meeting Minutes

III. Applications:

A. 1109 Duke Street, PIN R120 004 000 0380 0000, Demolition
Applicant: Thomas Michael, Jr., Architect (21-56 HRB.1)

The applicant is requesting final approval for demolition of a single-family residence.

B. 1201 King Street, PIN R120 004 000 0606 0000, Alterations/Additions
Applicant: Johan Niemand, Building Designer (21-74 HRB.1)

The applicant is requesting preliminary approval of alterations and additions to a single-family residence at 1201 King Street.

C. 1512 Prince Street, PIN R120 004 000 0588 0000, Alterations/Addition
Applicant: Ronseto Pineda, Allison Ramsey Architects (21-73 HRB.1)

The applicant is requesting Preliminary Approval of alterations/additions to a single-family residence at 1512 Prince Street.

D. 811 King Street, PIN R120 004 000 0619 0000, Alterations/Additions
Applicant: Christopher Cook, Developer and Residential Designer (21-54 HRB.1)

The applicant is requesting preliminary approval for alterations to a historic structure.

HRB Meeting Agenda

December 8, 2021

Page 2 of 2

- E. 211 Charles Street, PIN R120 004 000 0909 0000, New Construction
Applicant: Arnie McClure, Coast Architects, Inc. (21-02 HRB.2)

The applicant is requesting Final Approval of a 3-story apartment/commercial building.

IV. Discussion

V. Adjournment



Historic District Review Board Meeting Minutes – November 10, 2021

1 CALL TO ORDER

0:00:20

A meeting of the Historic District Review Board was held in-person on November 10, 2021 at 2:00 pm.

2 ATTENDEES

Members in attendance: Jeremiah Smith (Chairman), Mike Sutton (Vice-Chair), Stacy Applegate, Maxine Lutz, and Michelle Prentice.

Staff in attendance: Jeremy Tate (Meadors Architecture), Meredith Jacobs (Meadors Architecture), Heather Spade (City of Beaufort Planner of Community and Economic Development), and David Prichard (City of Beaufort Director of Community and Economic Development).

3 REVIEW OF MINUTES

0:00:40

Motion: Mr. Smith made a motion to approve the October 13, 2021 Meeting Minutes; seconded by Ms. Applegate. The motion passed unanimously.

All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Traci Guldner at 843-525-7024 or by email at tgundler@cityofbeaufort.org.

4 APPLICATIONS

0:02:14

- A. **810 Harrington Street, PIN R120 004 000 0353 0000**, Addition
Applicant: Allison Ramsey Architects (21-03 HRB.3)

The applicant is requesting Final approval of an addition of a covered porch to the rear yard and covered porch at the Harrington Street entrance.

Mr. Smith, Chairman, recused himself and Vice-Chairman, Mr. Sutton, conducted the meeting.

Motion: Ms. Prentice made a motion to grant final approval with staff conditions noted; seconded by Ms. Lutz. The motion passed unanimously.

- B. 1012 Boundary Street, PIN R120 004 000 0070 0000, Alterations/Additions **0:11:00**
Applicant: Mark Sutton, Architect (21-49 HRB.2)

The applicant is requesting final approval for a single-story addition to an existing commercial structure.

Mr. Smith, Chairman, returned to the meeting and Vice-Chairman, Mr. Sutton, recused himself.

Motion: Ms. Applegate made a motion to grant final approval with staff conditions 1 - "Applicant to lower the parapet wall back down to 14 feet" and staff conditions 2 and 3. Also, staff may approve final paint color to match the brick on the front fenestration; seconded by Ms. Prentice. The motion passed unanimously.

- C. 1107 Greene Street, PIN R120 004 000 0176 0000, Alterations/Additions

0:54:25

Applicant: Lynne Fensterer, Homeowner (21-63 HRB.1)

The applicant is requesting final approval of alterations and additions to an existing single-family residence at 1107 Greene Street.

Mr. Sutton, Vice-Chairman, returned to the meeting.

Motion: Mr. Sutton made a motion to grant preliminary approval with staff conditions noted, except that the laundry room and kitchen remain as designed and the rear screen porch door is adjusted symmetrically with the other door; seconded by Ms. Prentice. The motion passed unanimously.

5 ADJOURNMENT

2:6:41

Mr. Sutton made a motion to adjourn; seconded by Ms. Applegate. Meeting ended at 4:27 pm.

Chair

Date of approval

CITY STAFF INTRODUCTION

1109 DUKE STREET

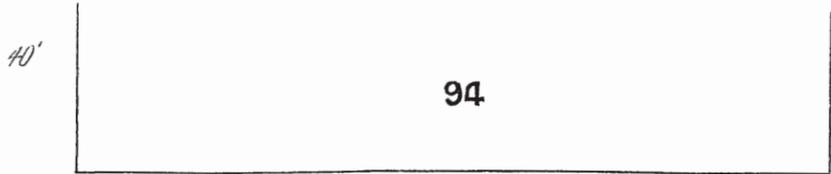




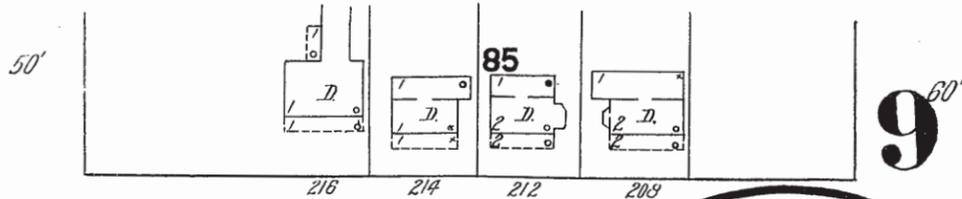






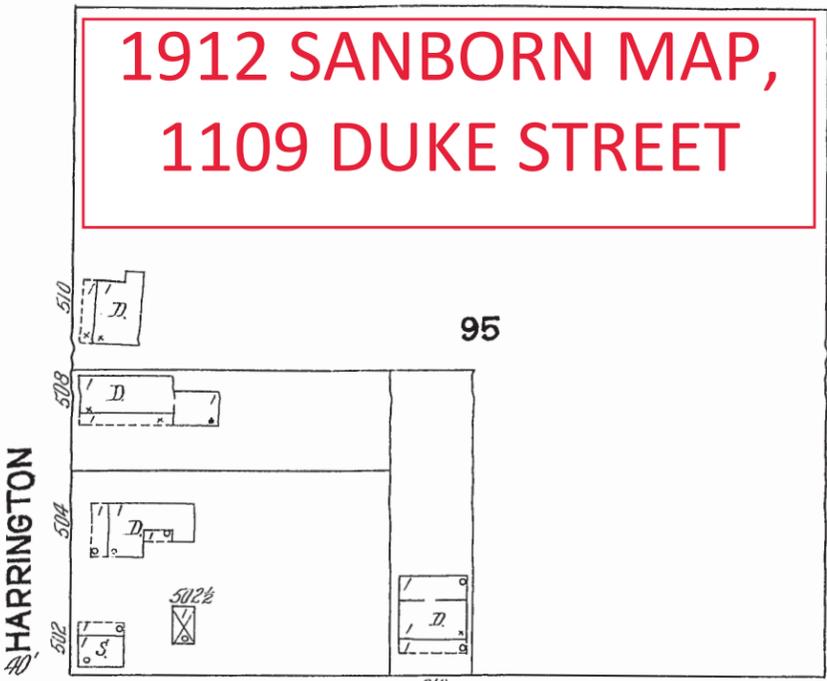


W. WASHINGTON

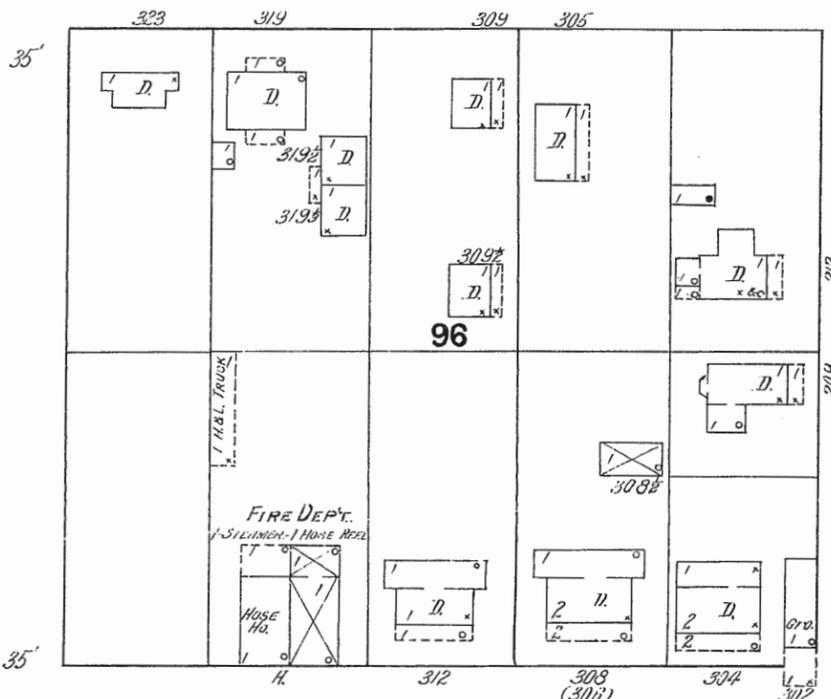
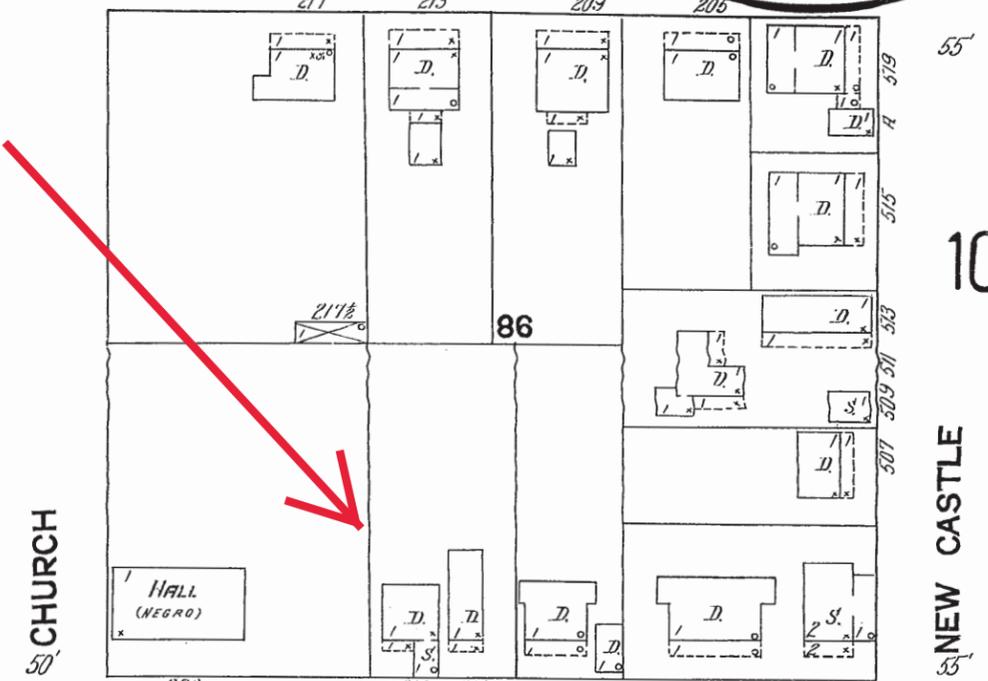


MAR. 1912
BEAUFORT
S.C.

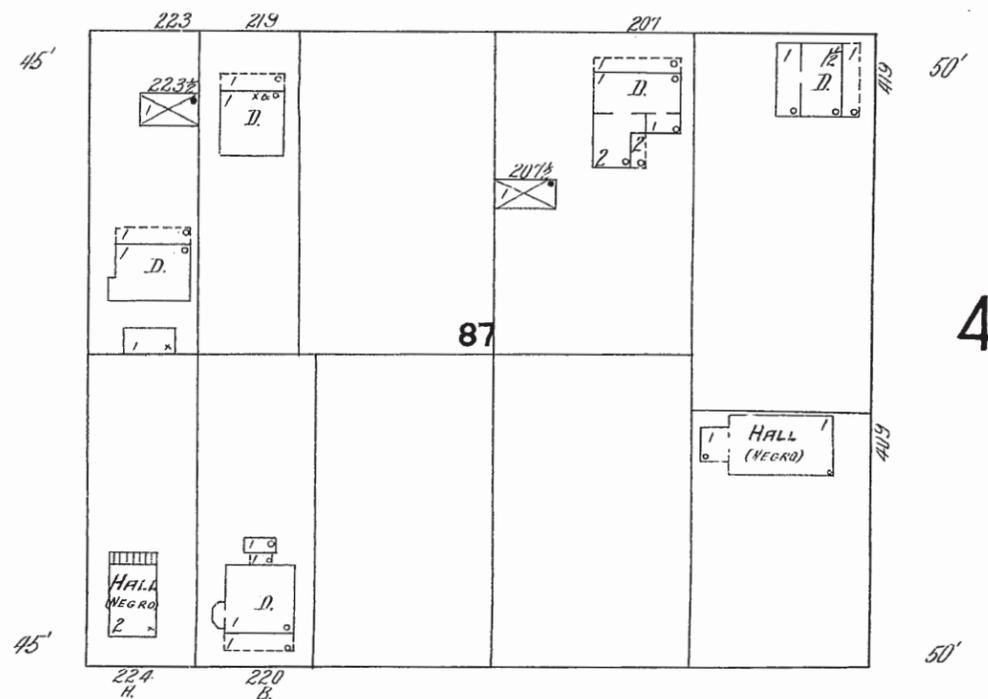
1912 SANBORN MAP,
1109 DUKE STREET



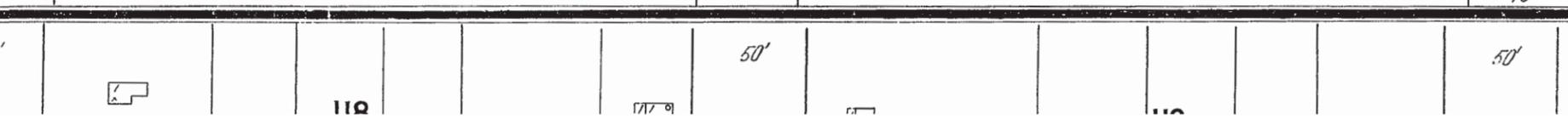
W. DUKE

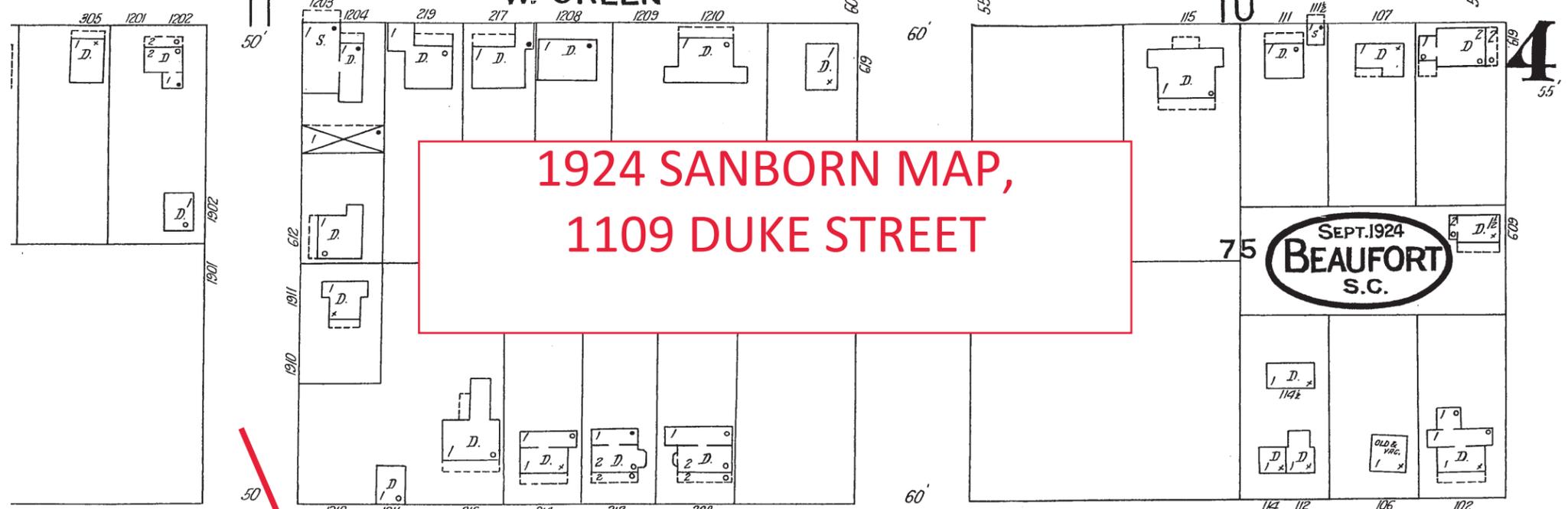


W. PRINCE

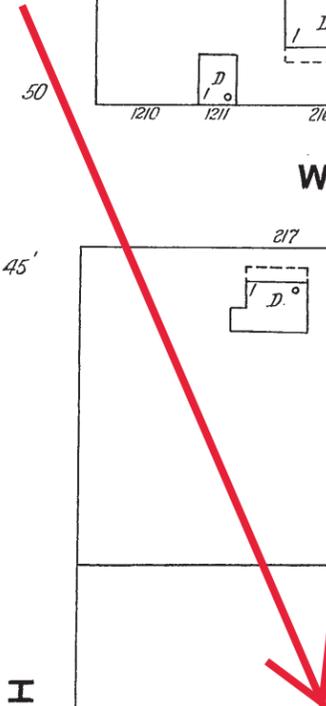


3

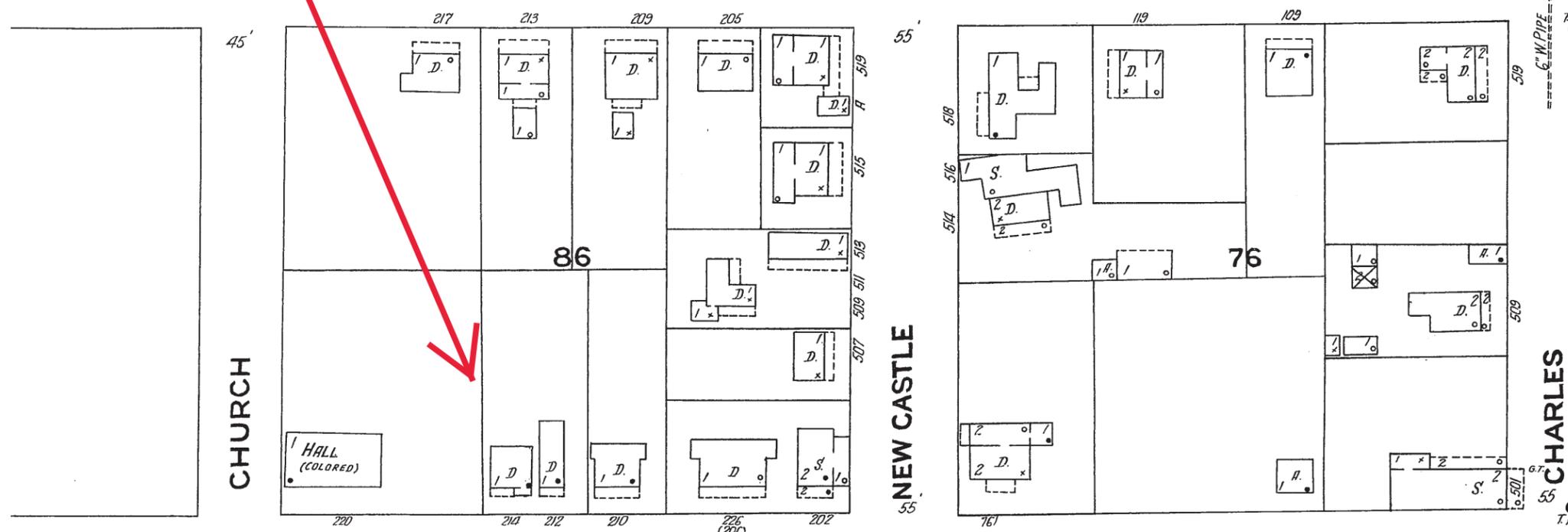




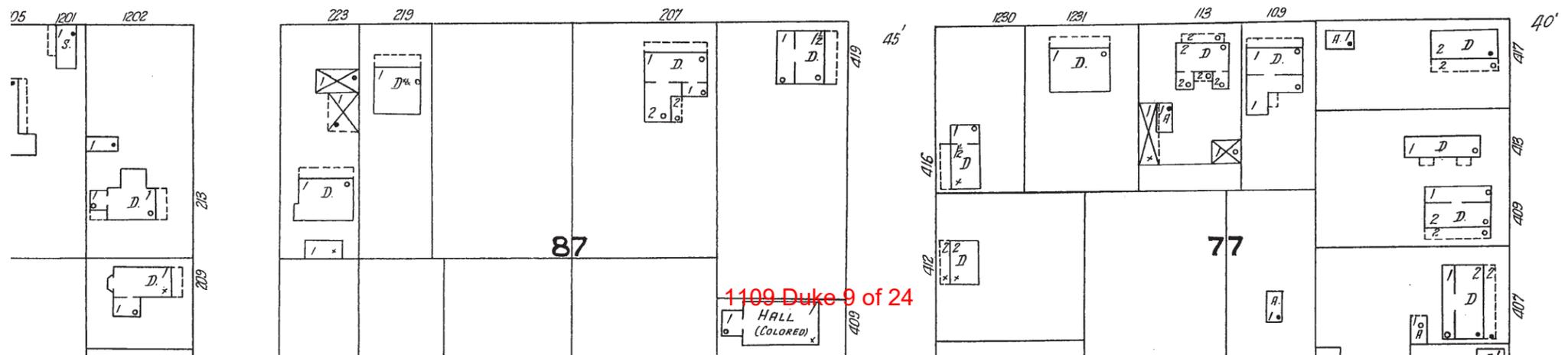
1924 SANBORN MAP,
1109 DUKE STREET



W. WASHINGTON



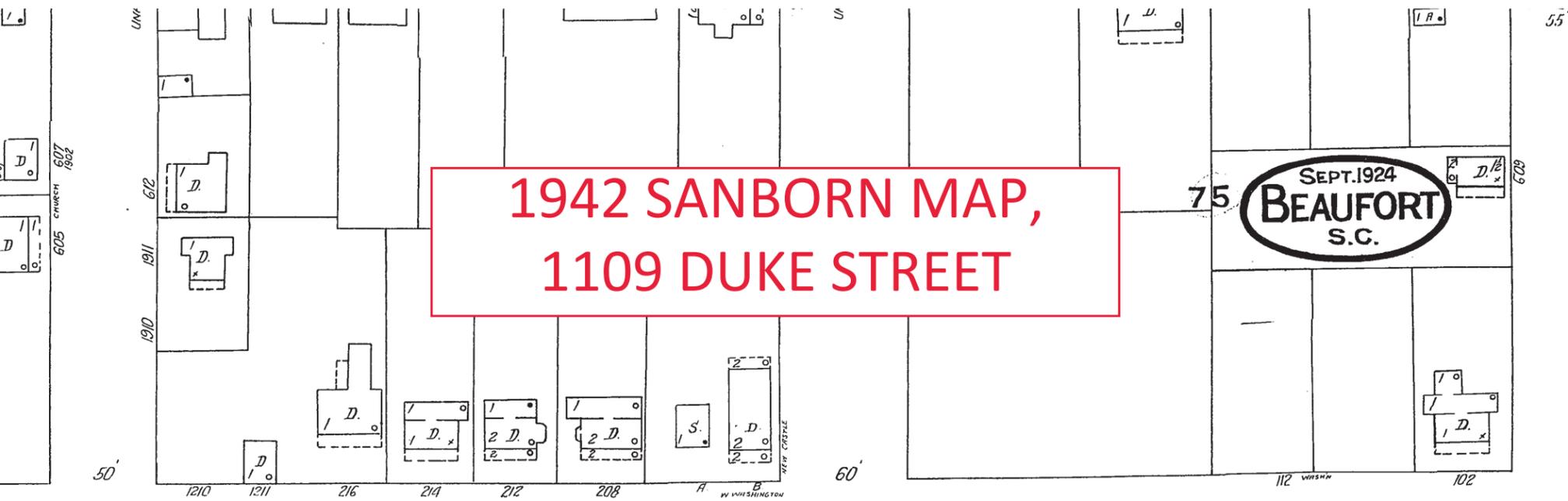
W. DUKE



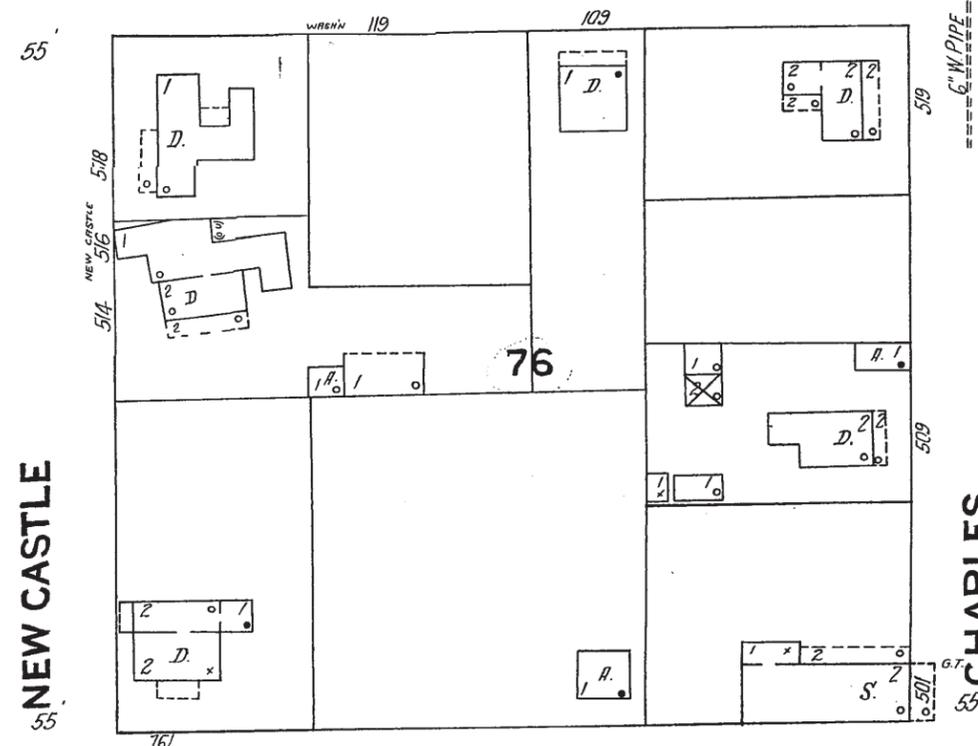
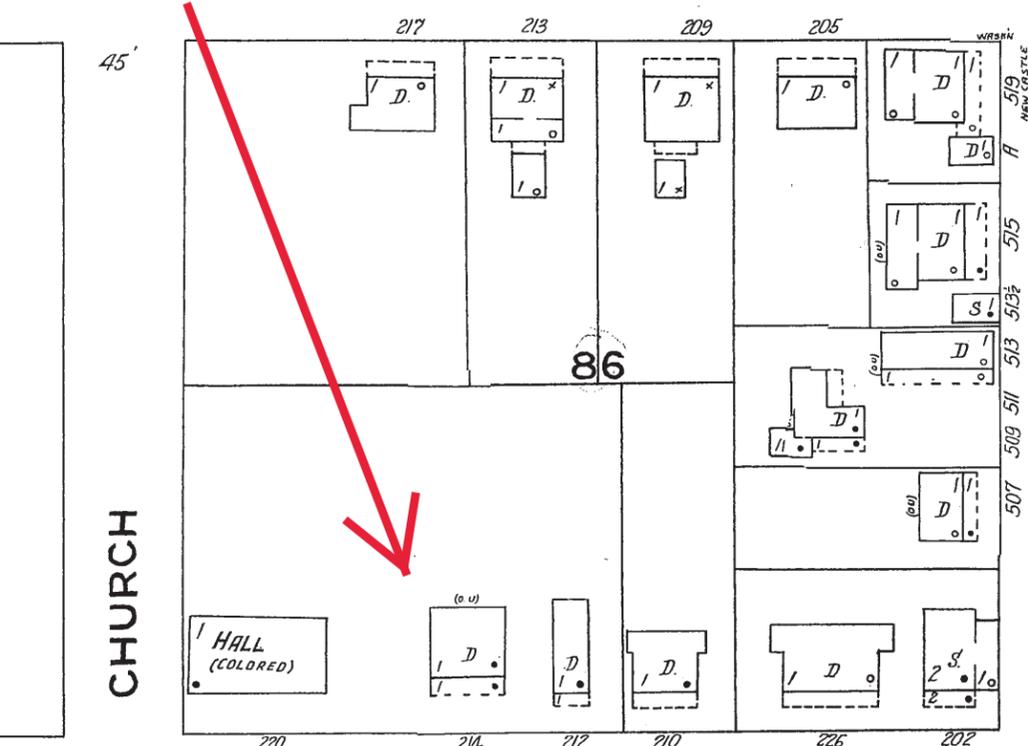
1109 Duke 9 of 24

1942 SANBORN MAP,
1109 DUKE STREET

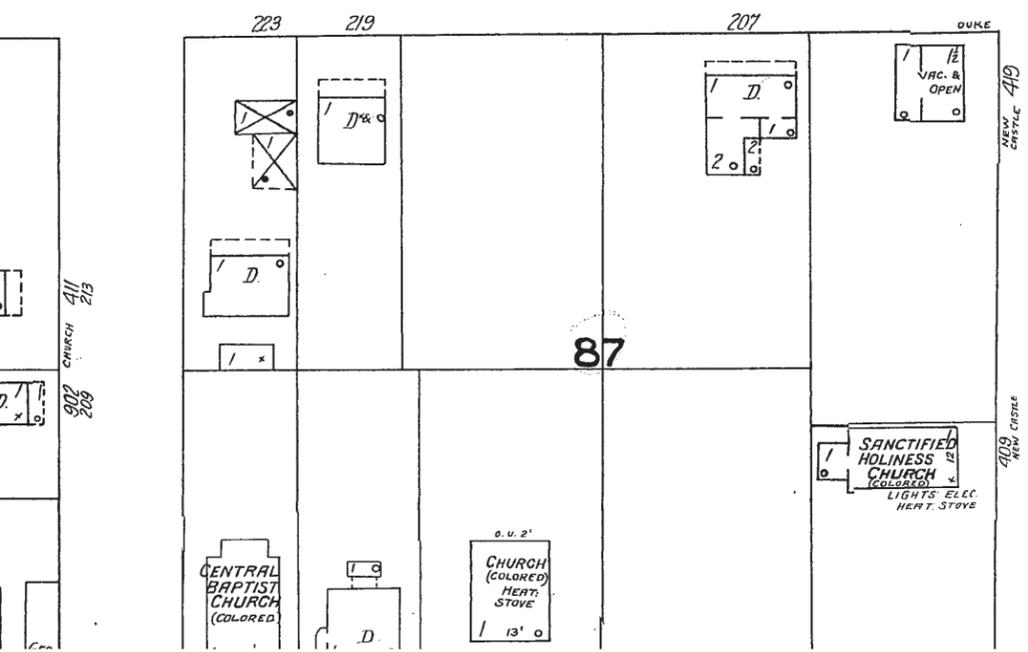
SEPT. 1924
BEAUFORT
S.C.



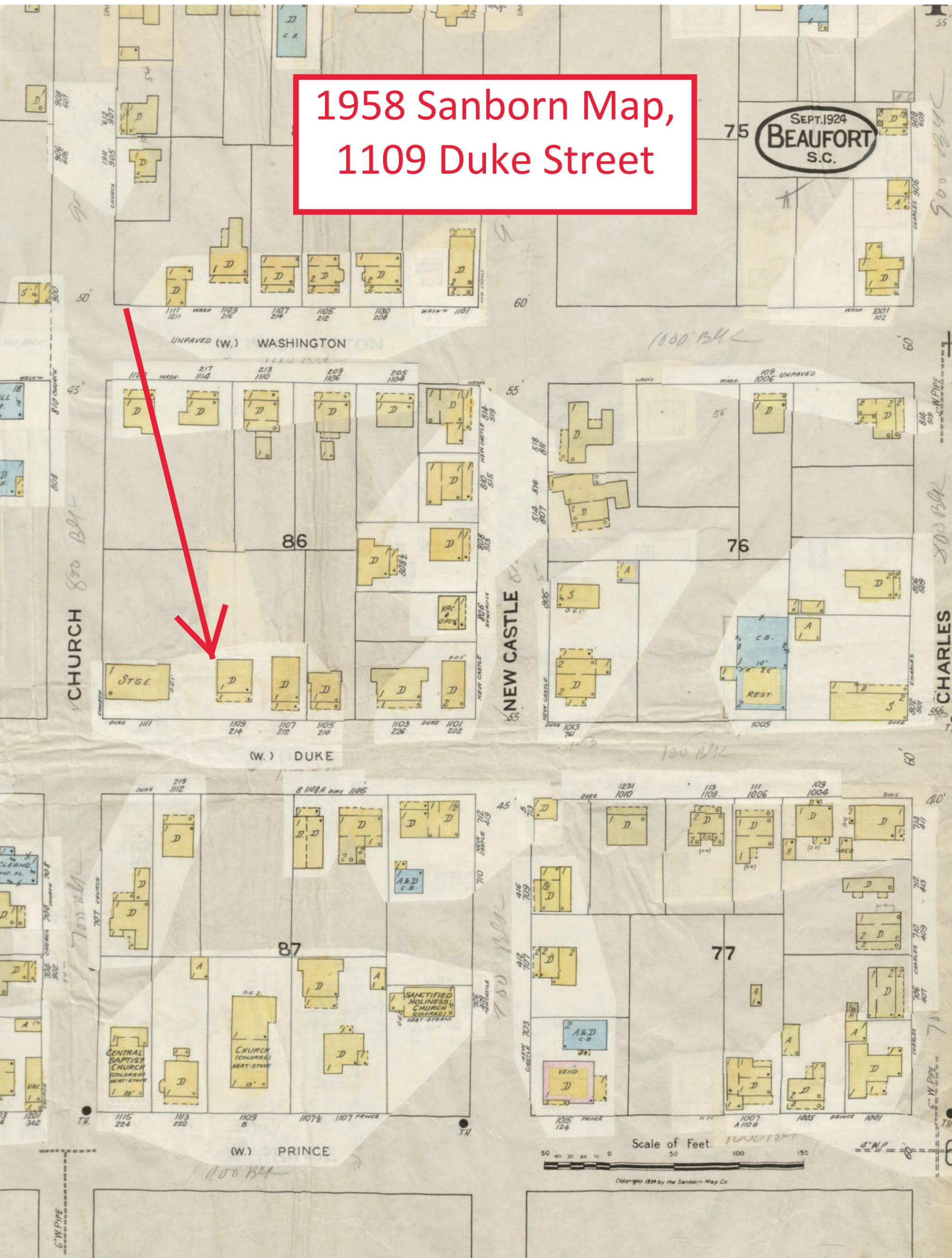
W. WASHINGTON



W. DUKE



1958 Sanborn Map,
1109 Duke Street



APPLICANT PRESENTATION

1109 DUKE STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Staff Review
Board Review

Application Fee:
see attached schedule

21-56 HRB.1

OFFICE USE ONLY: Date Filed: 11/8 Application #: 22834 Zoning District: T4-HN
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Thomas Michaels Jr.
Applicant Address: 1011 Bay Street, Suite 314, Beaufort, SC 29902
Applicant E-mail: thomas@sm7design.com Applicant Phone Number: 843.252.2454

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Robin D. Chaplin
Owner Address: 1109 Duke Street, Beaufort SC 29902

Project Name: Demolition for new single family residence

Property Address: 1109 Duke Street, Beaufort SC 29902

Property Identification Number (Tax Map & Parcel Number): R120-004-000-0380-000

Date Submitted: 11/8/2021

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 11/8/21
Owner's Signature: Robin D. Chaplin Date: 11.8.21

(The owner's signature is required if the applicant is not the owner.)

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: Demolition for new single family residence

Property Size in Acres: 0.12 Proposed Building Use: Single Family Residential

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition*
- Relocation*
- *Demolition and Relocation requires a public hearing*

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
TBD

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

The current residence at 1109 Duke Street is in disrepair. (Please see attached report) It is currently constructed on two separate non-conforming lots. We are requesting demolition of the existing house to develop the property. The existing non-conforming lots will be combined to create a single conforming lot under the current zoning code. Upon the combination of the lots, a new single family residence shall be constructed to enhance the area.

We are requesting demolition of the existing residence contingent on the HRB approval of the new home design.

CONTACT INFORMATION –

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1098
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): _____ Map Ref.: BET 09 (TL) Tax Number: R120 004 000 0381 0000
Common name(s): _____ City Block Ref.: 86 Island: Port Royal Is.
Address/location: 1109 Duke St. City/Vicinity of (vic.): Beaufort
Date: 1935 Alteration date: ca. 1965
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

Notes: Rectangular 1 story 3 x 2 bay frame dwelling w/front-facing gable roof

National Register Status:	Date:	Listing Name:	NRIS #
<u>National Register Historic District (NHL, 11/73)</u>	<u>12/17/69</u>	<u>Beaufort Historic District</u>	<u>69000159</u>

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey:	Reference:	Notes:
<input type="checkbox"/> H.A.B.S.	<input type="checkbox"/> Other	_____
<input type="checkbox"/> Feiss-Wright (1969)	_____	_____
<input type="checkbox"/> Historic Resources of the Lowcountry (1979)	_____	_____
<input type="checkbox"/> Milner Historic District Inventory (1979)	_____	_____
<input type="checkbox"/> A Guide to Historic Beaufort (1995 ed.)	_____	_____

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 8/1/97

Recorder: D. Schneider, Historic Beaufort Edn.

Roll # Neg. View of:
S-10 10 S facade & W elev., fac. NE

**1109 DUKE STREET
BEAUFORT, SC**

**REPORT ON CONDITION OF THE STRUCTURE
OCTOBER 9, 2019**

DANA ANTHONY CUSTOM HOMES, LLC

1109 DUKE STREET
BEAUFORT, SOUTH CAROLINA

Having been a residential home builder in South Carolina for forty years, I have been contacted to review, evaluate and make recommendations as to what, in my opinion, is the most favorable course of action to best utilize this property.

This home currently has three bedrooms and one bathroom (Zillow has incorrect specifications). The structure appears to have been added to over many years. The floor system is less than two feet off grade and not easily accessible. Floors are visibly uneven, showing signs of failure from below. The roof is partially covered with a tarp and shows signs of wood rot in numerous areas. Brick veneer covers the wood frame structure. Signs of stress cracks and past repairs are noticeable on the entire exterior. The safe operation of windows is questionable. None meet current egress requirements. The single bathroom in the house has a substandard tub that is also used as a shower. The wall panels are not sealed, thus allowing water to enter the walls and floor.

It is felt that the cost of renovation to this house in its current state will exceed the cost of construction for a new, like size home that meets all current building standards.

Due to the numerous additions, there is no architectural significance, or historic value visible to the untrained eye.

Dana Anthony – SC RBB #4759

Dana Anthony Custom Homes, LLC

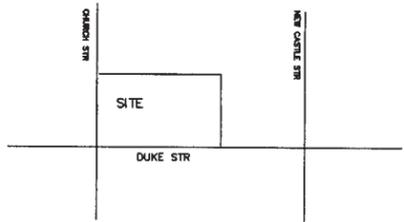
City of Beaufort Certificate of Appropriateness Checklists

Submission Requirements for Demolition or Relocation

Please submit DIGITAL FILES ONLY via email to: jbachety@cityofbeaufort.org

Note: A public hearing must be held for Demolition or Relocation. All notification requirements must be met by the City.

- A written statement describing the history of the architectural significance of the structure to be demolished, the structural or physical condition of the structure, and the proposed use of the site after demolition or relocation. The statement should also include any recent attempt(s) to sell the property, or move the structure. A recent appraisal with comparisons is strongly encouraged. You may refer to *The Beaufort County Above Ground Resources Survey of 1997*, or consult city staff or the Historic Beaufort Foundation for verification of the date of construction and historic information.
- Tax map or plat showing the location of the property
- Color photographs of all sides of the structure.
- Color photographs of adjoining properties.
- A written report by an engineer, regarding the structural condition of the building, is required if the reason for demolition is related to the structural integrity of the building.



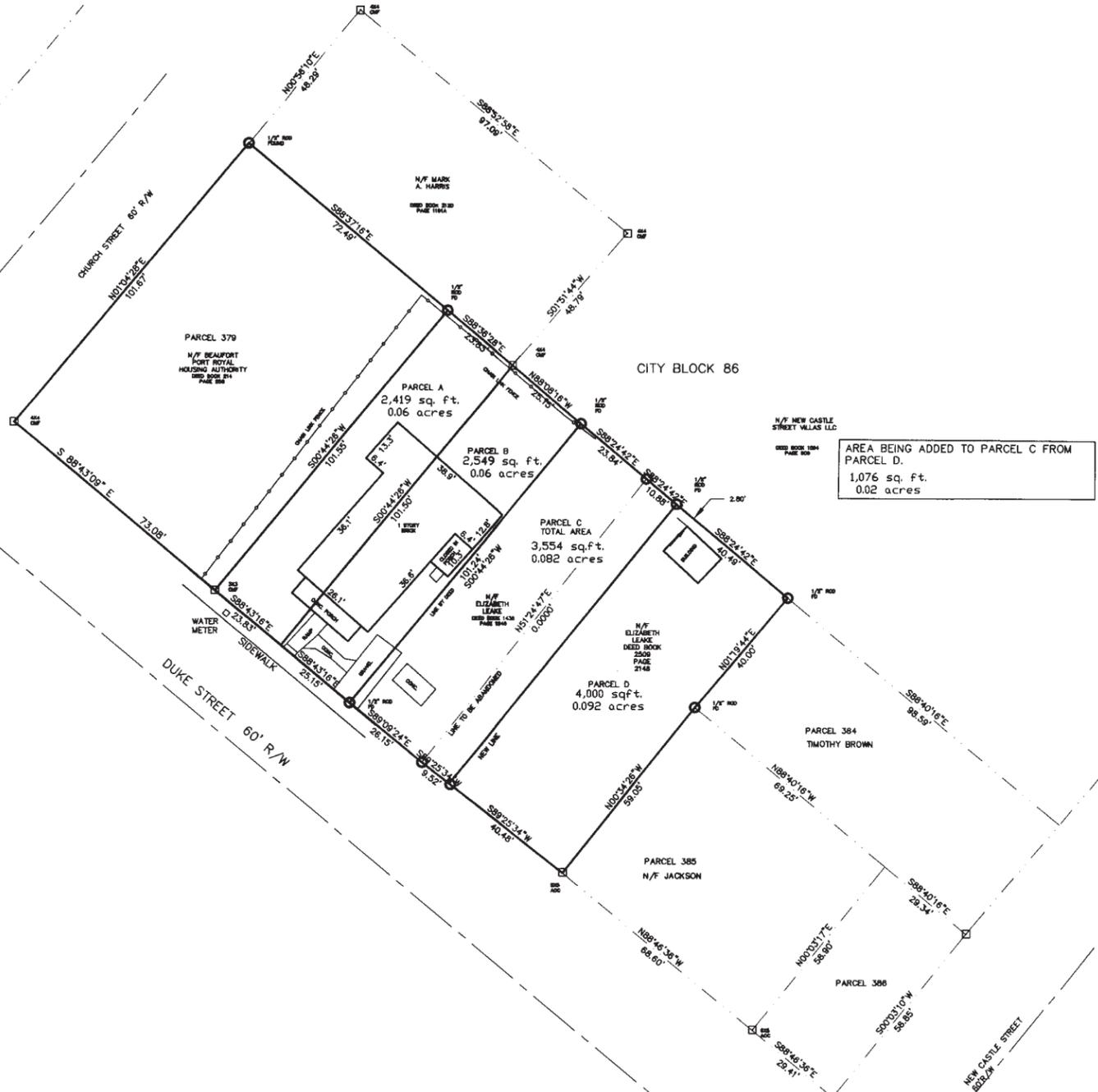
LOCATION MAP (N.T.S.)

NOTES:

- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
- 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
- 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
- 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
- 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
- 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
- 9.) THIS PROPERTY APPEARS TO BE FLOOD ZONE "C" ACCORDING TO F.E.M.A. RATING MAP 450025 0005 D DATED 9/29/86

REFERENCES:

- 1.) T.M.S. 120 004 000 0379
- T.M.S. 120 004 000 0380 PARCEL A
- T.M.S. 120 004 000 0381 PARCEL B
- T.M.S. 120 004 000 0382 PARCEL C
- T.M.S. 120 004 000 0383 PARCEL D



APPROVED
(S.S. PLATTED HERON)
THIS SUBDIVISION PLAT MEETS THE REQUIREMENTS OF THE CITY OF BEAUFORT UNIFIED DEVELOPMENT ORDINANCE AND IS HEREBY APPROVED FOR RECORDING WITH THE BEAUFORT COUNTY REGISTER OF MEANS CONVEYANCES.
Certified By: *[Signature]*
Date: 10/28/09

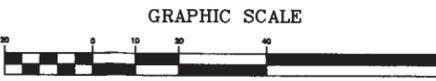
LOT LINE ADJUSTMENT OF PARCELS
379, 380, 381, AND 382
BEING A PORTION OF CITY BLOCK 86.
PREPARED FOR
ELIZABETH LEAKE
LOCATED IN THE CITY OF BEAUFORT
BEAUFORT COUNTY SOUTH CAROLINA

GASQUE & ASSOCIATES INC.
LAND SURVEYORS PLANNERS

28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
P.O. BOX 1363, BEAUFORT, S.C.
(843) 522-1798

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, certify to client(s) shown hereon that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the minimum standards manual for the practice of land surveying in South Carolina, and meets or exceeds the requirements for a CLASS A survey as specified therein, also there are no encroachments or projections other than shown. This survey is not valid unless it bears the original signature and has an embossed seal.

[Signature] 10-28-09
David E. Gasque, R.L.S.
S.C. Registration Number 10508



1109 Duke 19 of 24

BK 00129 PG 0030
FILE NUM 2009062525
10/28/2009 03:05:30 PM
REC'D BY S SMITH RCPT# 599770
RECORDING FEES 10.00

DATE 4/27/09 SCALE 1" = 20'

1109 DUKE STREET, BEAUFORT, SC 29902









Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
08 December 2021

1 SUMMARY OF REQUEST

1109 Duke Street, Demolition

The applicant is requesting final approval for demolition of a single-family residence.

This application involves major demolition of a Contributing Structure in the Northwest Quadrant and the Beaufort Conservation Neighborhood.

Background: This is the first application received for the proposed major demolition of this structure.

2 FACTS

Property Address:	1109 Duke Street
Parcel ID:	R120 004 000 0380 000
Case Number:	21-56 HRB.1
Applicant:	Thomas Michaels, Jr., Architect
Zoning:	T4-HN
Use:	Single Family Dwelling



District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
 - *Front Setback—Average prevailing setback on block*
 - *Rear setback – 15' min.*
 - *Side Corner/Alley – 5' min.*
 - *Side Interior – 6' min. – 10' min. in The Point*
- **Impervious Surface Coverage:** 55% maximum

References:

Beaufort Preservation Manual Supplement
Beaufort Preservation Manual Supplement
Beaufort Preservation Manual

3 STAFF COMMENTS

Staff Acknowledgements

- A. The original date of construction of this structure is unclear. The Historic Sites Survey dates the structure to 1935, but the main footprint of the building is shown on Sanborn Maps as early as 1914. The 1958 Sanborn Map shows a “frame building” and does not show the current porch configuration or the rear addition, so the current brick veneer, porch, and rear addition came after that time. The Historic Sites Survey notes an alteration in 1965, and it is likely that these items were added as part of that alteration.

- B. From the information presented, Staff finds this contributing structure to be a structurally sound single – family residence. Staff finds the application submission to show no compelling reason for demolition.

Staff Conditions

- 1. Staff understands the applicants’ desire to invest in new construction on this site, however, Staff does not support demolition of this structure based on the information presented.

- 2. Staff does not support demolition of the main footprint since it may date back to as early as 1914, but staff does support demolition of the following:
 - a. Rear addition
 - b. Front porch and associated ramp
 - c. Brick veneer
 - d. Asbestos Siding

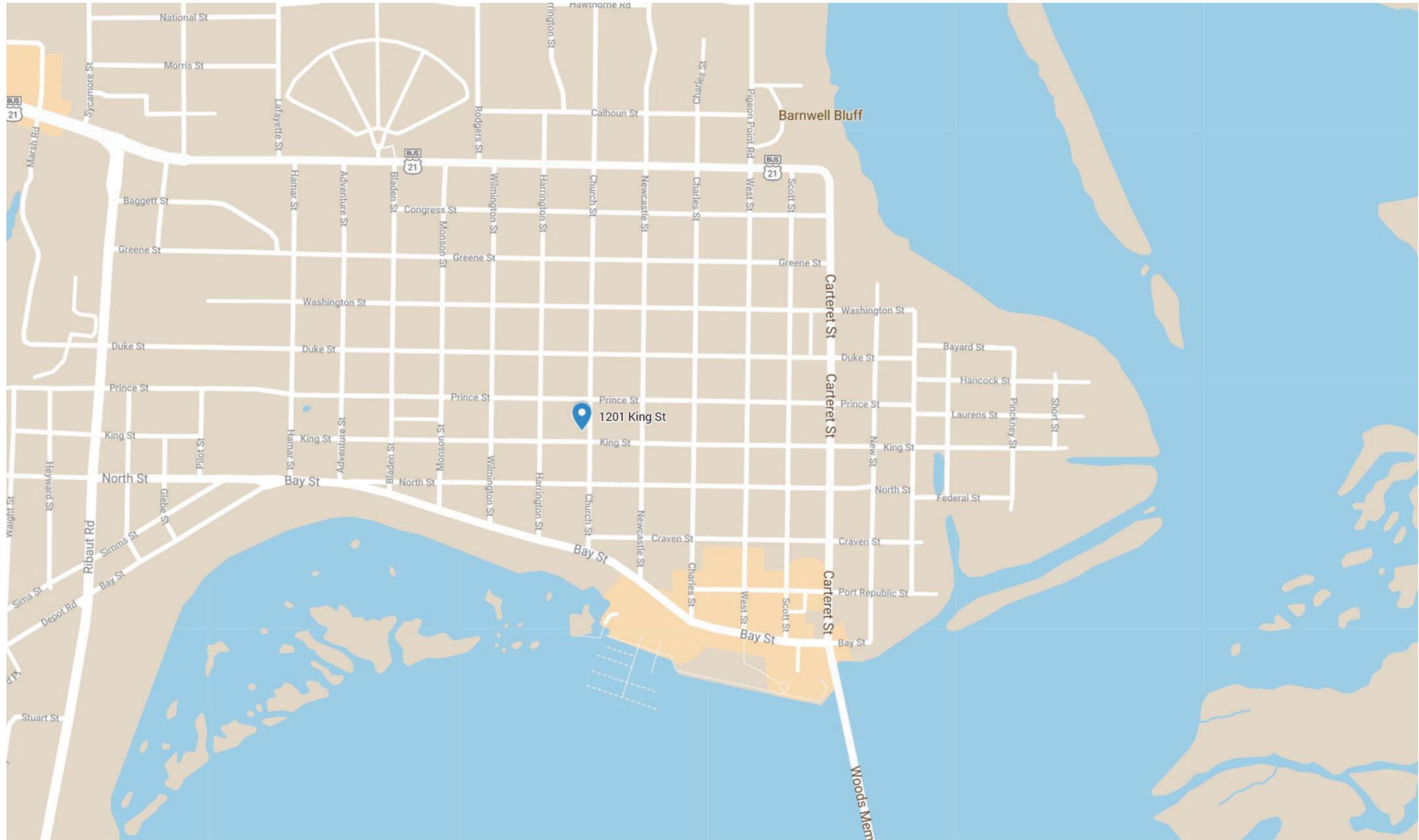
- 3. If the Board approves demolition, Staff recommends that the applicant be required to document the building with photographs and measured drawings and salvage materials as much as possible.

STAFF RECOMMENDATION:

Denial of Final Approval of Demolition of the Entire Structure with conditions noted.

CITY STAFF INTRODUCTION

1201 KING STREET



PROJECT LOCATION- 1201 KING STREET









**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1147
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): _____ Map Ref.: BFT.09 (BL) Tax Number: R120.004.000.0606.0000
Common name(s): _____ City Block Ref.: 97 .05 Island: Port Royal Is.
Address/location: 1201 King St. City/Vicinity of (vic.) Beaufort
Date: 1930 ca. Alteration date: _____
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

Notes: single story dwelling with wing added (?) to east. Double windows on south facade, exposed rafter ends.

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

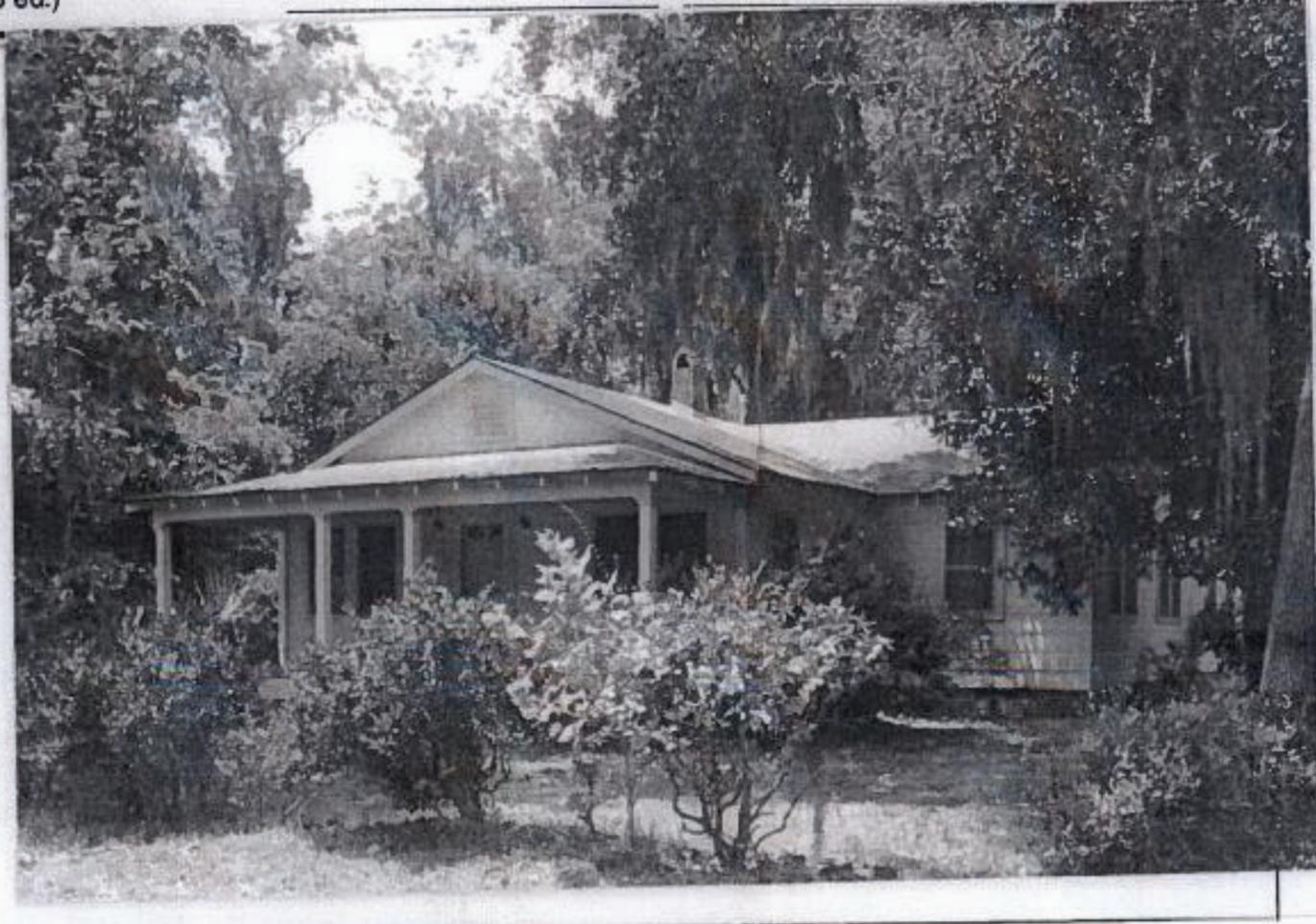
Consultant Recommendation: _____ Name: _____

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other _____
 Feiss-Wright (1969) _____
 Historic Resources of the Lowcountry (1979) _____
 Milner Historic District Inventory (1979) 097 (606) -2 Vol. 12; full form
 A Guide to Historic Beaufort (1995 ed.) _____

Photograph: _____

Photographs:
 prints
 slides
 negatives

Date: 9/18/97
Recorder: C. Brooker, Brooker Arch. Cons.



Roll # Neg. View of:
B-19 23 S facade, fac. N

APPLICANT PRESENTATION

1201 KING STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

SEALD 11/9/21 OK

- Staff Review
- Board Review

Application Fee:
see attached schedule

21-74 HCB-1

OFFICE USE ONLY: Date Filed: 10/14 Application #: 22749 Zoning District: 74-N
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Johan Niemand - (JHN-Residential Building Design)

Applicant Address: 73 Sams Point Road, Beaufort, SC 29907

Applicant E-mail: info@jhn-residential.com Applicant Phone Number: (843) 605-6168

Applicant Title: Homeowner Tenant Architect Engineer Developer
BUILDING DESIGNER

Owner (if other than the Applicant): Martha Spears - Spears Family Trust

Owner Address: 1201 King St, Beaufort, SC 29902

Project Name: Addition to Existing Spears Residence

Property Address: 1201 King St, Beaufort, SC 29902

Property Identification Number (Tax Map & Parcel Number): R120 004 000 0606 0000

Date Submitted: October 14, 2021

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 10-14-2021

Owner's Signature: _____ Date: _____

(The owner's signature is required if the applicant is not the owner.)

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: Addition to Existing Spears Residence

Property Size In Acres: 0.212 Proposed Building Use: Residential

Nature of Work (check all that apply):

- Checkboxes for New Construction, Primary Structure; Alterations / Additions; Demolition; Relocation.

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

Ex. Heated = 1,546 Sq Ft, Ex. Unheated = 213 Sq Ft, New Unheated = 264 Sq Ft,

Is this project a redevelopment project: [] Y [x] N

Are there existing buildings on the site? [x] Y [] N If yes, will they remain? [x] Y [] N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

Proposed Screen Porch Addition to the Western side of the existing residence
with access from residence by way of a new exterior door on the Western side
of the residence, replacing an existing window in the existing Dining room.
A new landing with steps exit the new Screen porch on the Northern side.

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1147
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): _____ Map Ref.: BFT 09 (BL) Tax Number: R120 004 000 0606 0000
Common name(s): _____ City Block Ref.: 97 .05 Island: Port Royal Is.
Address/location: 1201 King St. City/Vicinity of (vic.) Beaufort
Date: 1930 ca. Alteration date: _____
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

Notes: single story dwelling with wing added (?) to east. Double windows on south facade, exposed rafter ends.

National Register Status:	Date:	Listing Name:	NRIS #
<u>National Register Historic District (NHL, 11/73)</u>	<u>12/17/69</u>	<u>Beaufort Historic District</u>	<u>69000159</u>

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey:	Reference:	Notes:
<input type="checkbox"/> H.A.B.S. <input type="checkbox"/> Other _____	_____	_____
<input type="checkbox"/> Felss-Wright (1969)	_____	_____
<input type="checkbox"/> Historic Resources of the Lowcountry (1979)	_____	_____
<input checked="" type="checkbox"/> Milner Historic District Inventory (1979)	<u>097 (606) -2</u>	<u>Vol. 12; full form</u>
<input type="checkbox"/> A Guide to Historic Beaufort (1995 ed.)	_____	_____

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 9/18/97

Recorder: C. Brooker, Brooker Arch. Cons.

Roll # B-19 Neg. 23 View of: S facade, fac. N



View from South



View from West



View from South-West



View from North



View from East



View from North-East

A Photos of Existing Residence
SD103 SCALE: 1" = 40'-0"



Adjacent Houses to the South-West



Adjacent Houses to the South-West



Adjacent House to the North-East

B Photo of Adjacent Buildings
SD103 SCALE: 1" = 40'-0"

Preliminary Not For Permit - Review Board Set

1.0/27/2021 3:51:38 PM

Existing Site Photos
SD103

Proposed Addition to
The Existing Spears Residence
1201 King Street
Beaufort, SC 29902

Scale 1" = 40'-0" Date October 27, 2021

Revision No.	Description	Date



JHN-Residential Building Design

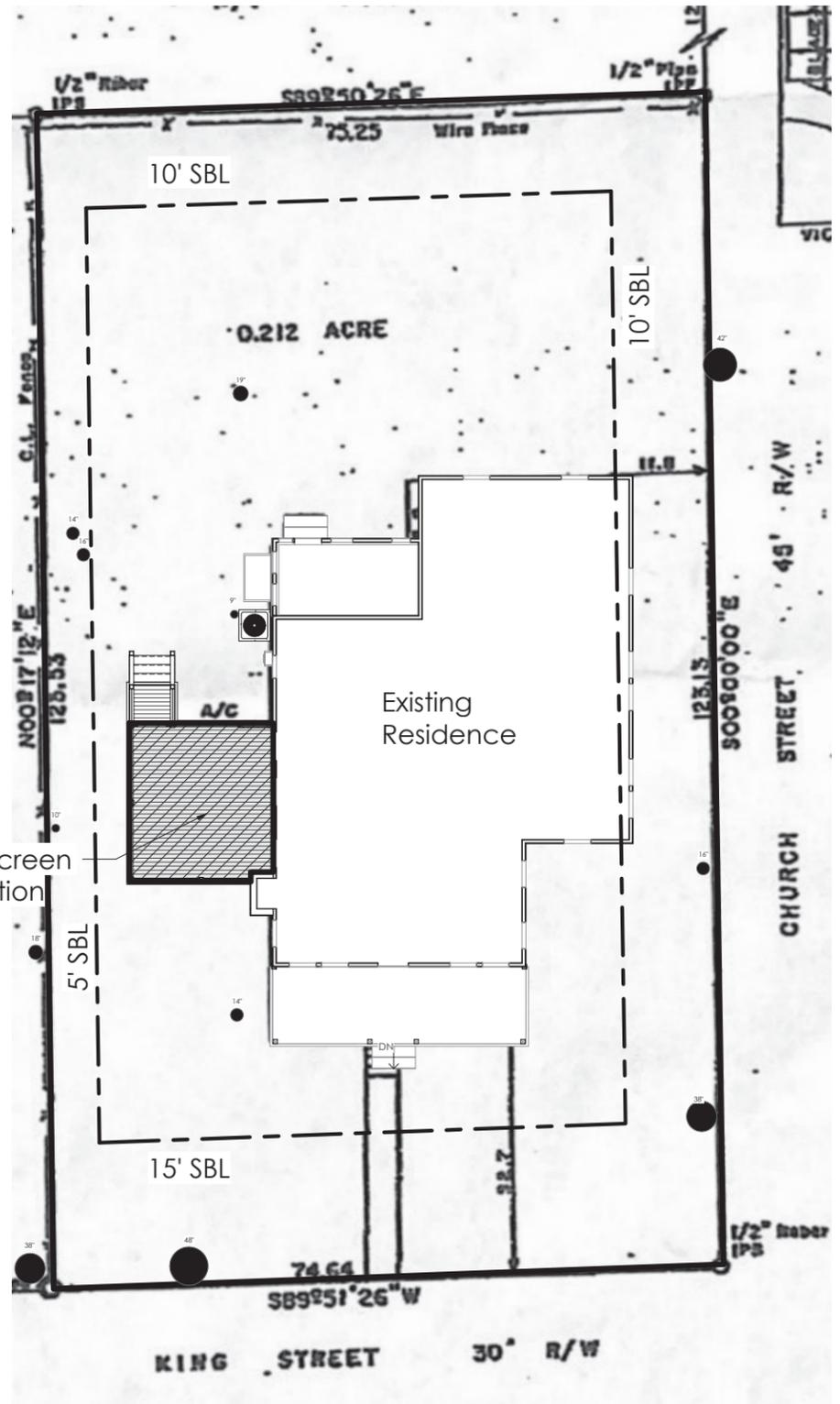
JHN-Residential LLC
73 Sams Point Road,
Beaufort, SC 29907
info@jhn-residential.com
Tel: 843.605.6168

MEMBER
AIBD
AMERICAN INSTITUTE OF
BUILDING DESIGN

Disclaimer: All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural engineer.

All plan & elevation dimensions to be site verified before construction commences.

Copyright 2021, JHN-Residential LLC. All rights Reserved



IMPERVIOUS AREA CALCULATIONS

1201 King Street, Beaufort, SC 29902

District: = T4-N

Site Area: = 9,234.728 SQ. Feet

Max. Impervious Area Allowed (70%) = 6,464.3096 SQ. Feet

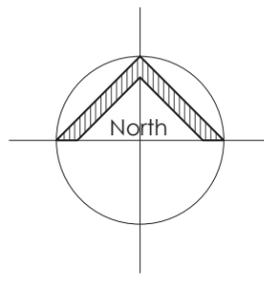
Existing Impervious:

- Main House = 1,546 SQ. Feet
- Covered Porch = 212.03 SQ. Feet
- Total = 1,758.03 SQ. Feet

Proposed New Impervious:

- New Screen Porch = 264 SQ. Feet
- Total = 264 SQ. Feet

Total Impervious Area = 2,022.03 SQ. Feet (21.896%)



B Existing South Elevation
SCALE: 1/8" = 1'-0"



C Existing West Elevation
SCALE: 1/8" = 1'-0"



D Existing East Elevation
SCALE: 1/8" = 1'-0"



E Existing North Elevation
SCALE: 1/8" = 1'-0"

A Site Plan
SCALE: 1/8" = 1'-0"

Preliminary Not For Permit - Review Board Set

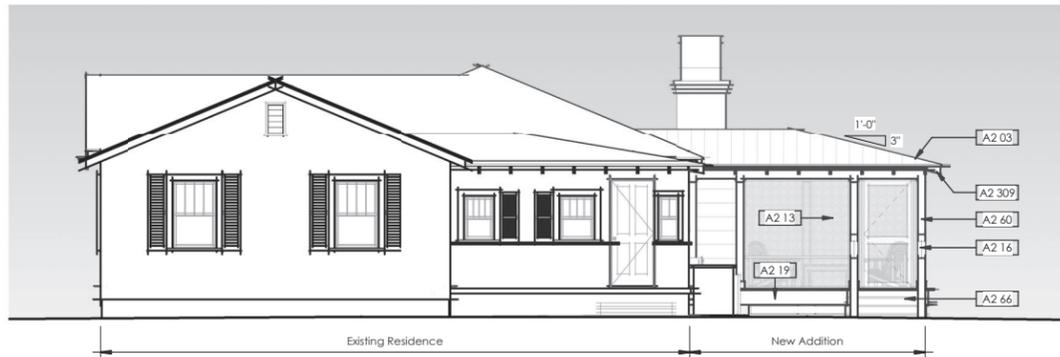
Revision No.	Description	Date

Proposed Addition to
The Existing Spears Residence
1201 King Street
Beaufort, SC 29902
Scale: As Indicated Date: October 27, 2021

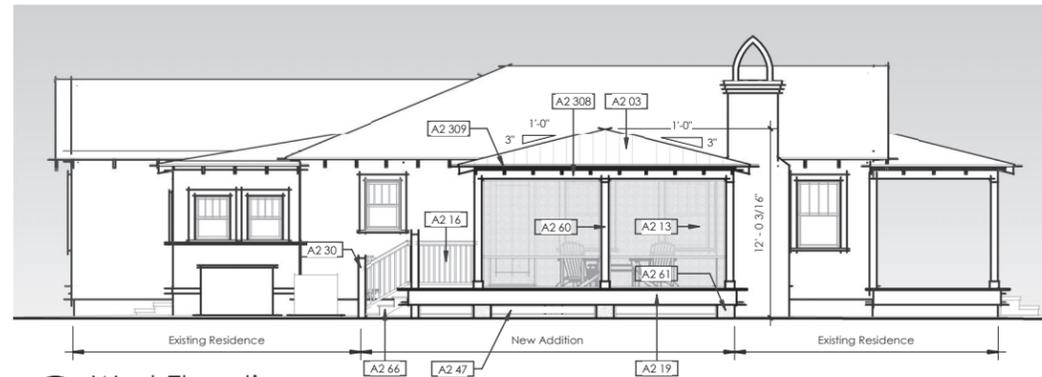
Site/Addition & Existing Elevations
SD104



JHN-Residential Building Design
JHN-Residential LLC
73 Sams Point Road, Beaufort, SC 29907
Tel: 843.605.6168
info@jhn-residential.com
jhn-residential.com



C North Elevation
SD101 SCALE: 3/16" = 1'-0"



D West Elevation
SD101 SCALE: 3/16" = 1'-0"

Elevation Legend

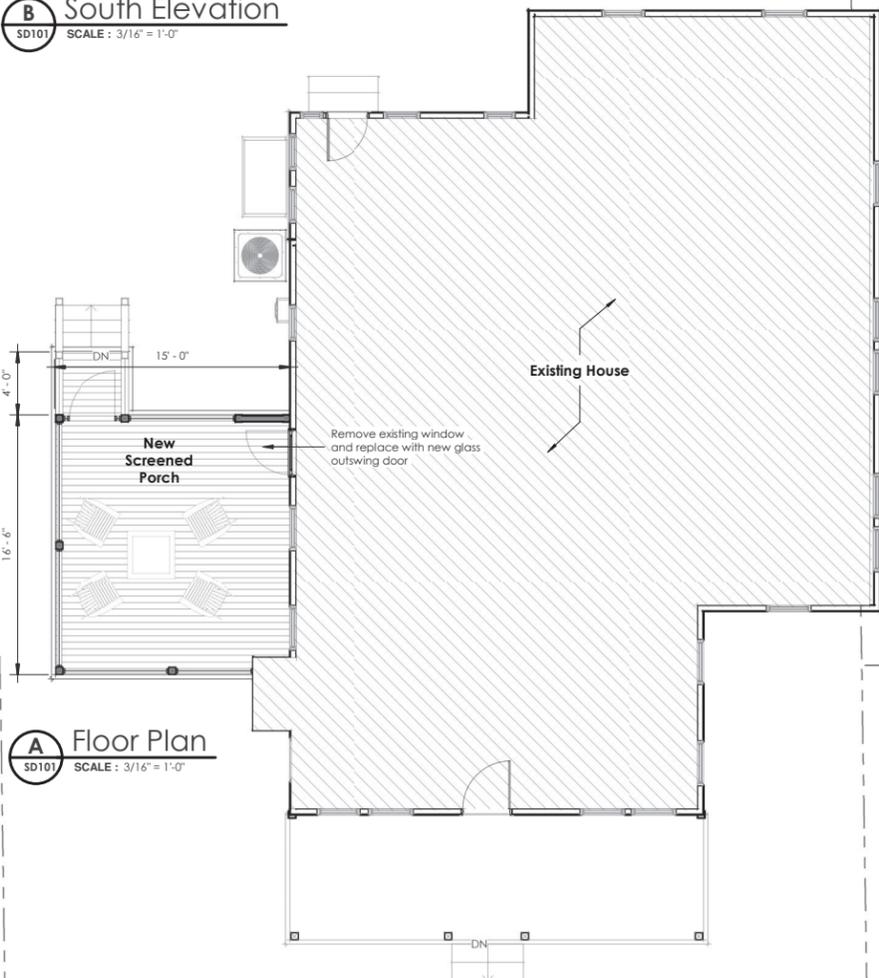
A2 03	Metal Roofing to match ex.
A2 13	Fiberglass "Gnat" Screen system.
A2 16	P.T. Handrail & Pickets
A2 19	P.T. 1x Deck Trim.
A2 30	P.T. 6X6 Columns
A2 47	P.T. 5/4 x 6 Hogboard
A2 60	P.T. 8x8 Manufactured Hollow Column
A2 61	Cmu Pier w/ Stucco Finish
A2 66	P.T. Stairs
A2 308	New Beam To Match Ex Front Porch Beam
A2 309	Rafter Tails To Match Existing



B South Elevation
SD101 SCALE: 3/16" = 1'-0"



E South-West Perspective
SD101 SCALE:



A Floor Plan
SD101 SCALE: 3/16" = 1'-0"



F North-West Perspective
SD101 SCALE:

Area Schedule

Unheated	
Screened Porch Addition	245 SF
Landing	19 SF
Total	264 SF

Preliminary Not For Permit - Review Board Set
10/27/2021 4:04:36 PM



JHN-Residential Building Design
JHN-Residential LLC
info@jhn-residential.com
73 Sams Point Road, Beaufort, SC 29907
Tel: 843.605.6168

Revision No.	Description	Date

Proposed Addition to
The Existing Spears Residence
1201 King Street
Beaufort, SC 29902
Date: October 27, 2021
Scale: 3/16" = 1'-0"

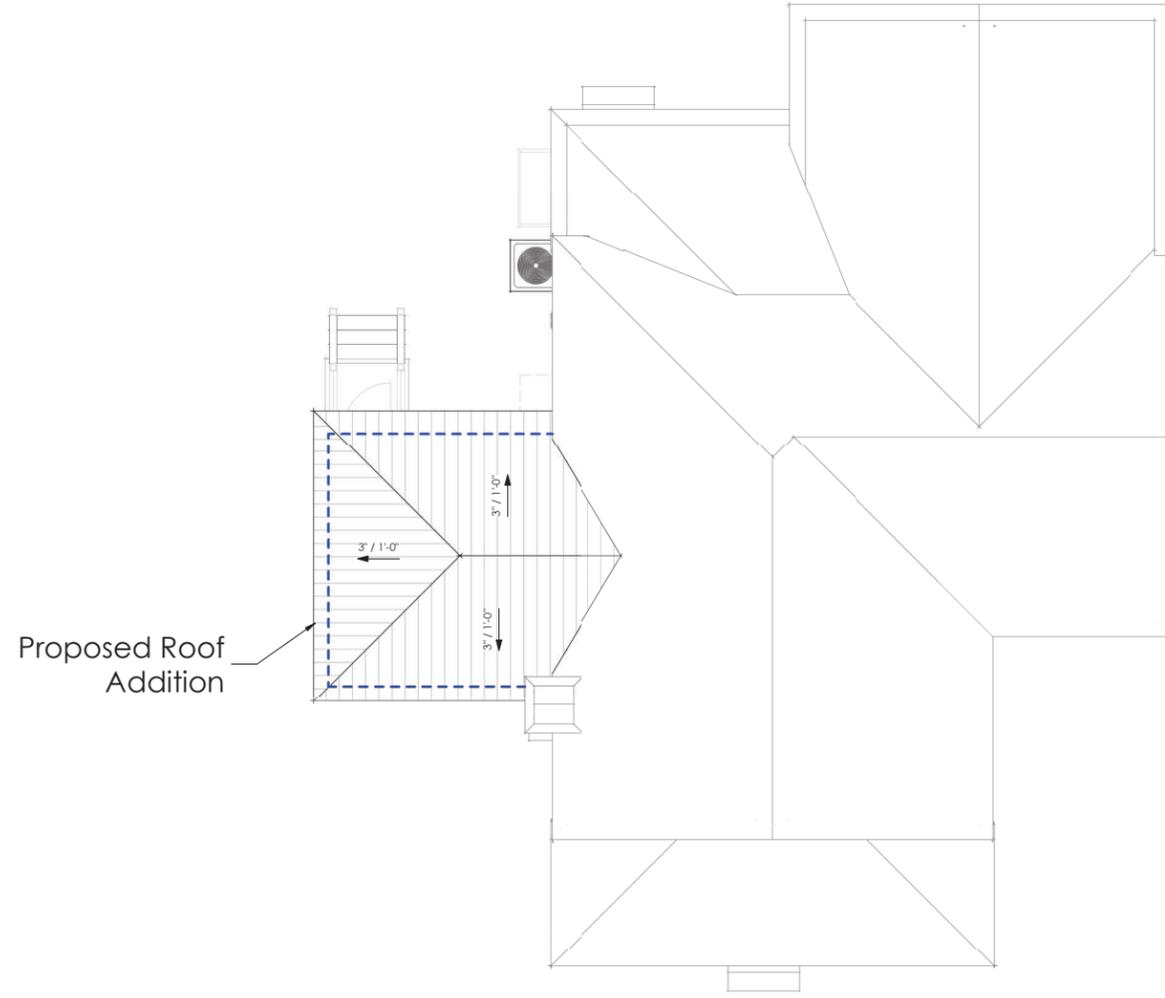
Plan, Elevations, Perspective SD101

All plan & elevation dimensions to be site verified before construction commences. All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural engineer. Copyright 2021, JHN-Residential LLC. All rights reserved.



A Rendered Elevation
SD102 SCALE :

Please note: All colors and materials to match Existing Residence, except for the following: Gnat Screen - Dark Grey.



B Roof Plan
SD102 SCALE : 3/16" = 1'-0"

Preliminary Not For Permit - Pricing Set
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**Roof Plan
W/Rendered
Elevation
SD102**

Proposed Addition to
The Existing Spears Residence
1201 King Street
Beaufort, SC 29902
Scale 3/16" = 1'-0" Date October 27, 2021

Revision No.	Description	Date



**JHN-Residential
Building Design**

JHN-Residential LLC
73 Sams Point Road,
Beaufort, SC 29907
Tel: 843.605.6168
info@jhn-residential.com



MEMBER
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BUILDING DESIGN



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
8 December 2021

1 SUMMARY OF REQUEST

1201 King Street, Alterations / Additions

Applicant: Johan Niemand, Building Designer

The applicant is requesting preliminary approval of alterations and additions to a single-family residence at 1201 King Street.

This project involves a contributing structure in the Historic District Preservation Neighborhood.

Background:

This is the first application received for the proposed alterations and additions to 1201 King Street. A previous, separate application for this property that included fence alterations was approved by the Board in September 2021. A potting shed and repairs to the porch were approved at Staff Level in October 2021.

2 FACTS

Property Address:	1201 King Street
Parcel ID:	R120 004 000 0606 0000
Case Number:	21-74 HRB.1
Applicant:	Johan Niemand, Building Designer
Zoning:	T4-N
Use:	Single Family Residence



District Development Standards for T4-N:

- **Setback requirements – Primary Structure:**
 - *Front-0' min.- 15' max.*
 - *Rear setback – 10' min.*
 - *Side Corner/Alley – 0' min. – 10' max.*
 - *Side Interior – 5' min, or 0' if attached.*
- **Maximum Building Height: 4 stories max;** 3.5 stories max in & fronting Historic District & interior lots along Allison Rd.
- **Frontage Build-Out:** 60% min; 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed for total impervious.

References:

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement

3 STAFF COMMENTS

Staff Acknowledgements:

- A. Staff is in support of the proposed side porch and its general relationship to the existing structure.

Staff Conditions:

1. Applicant to provide a proposed porch wall section. Staff recommendation is that the face of the porch column base align with the face of the foundation piers below.
2. Staff recommendation is that the stair posts at the new porch stair are smaller and less bulky. Staff recommends, at minimum, using posts that are smaller in width and depth than the proposed porch columns.
3. Applicant to submit a cut sheet of the new door as well as details at the head and sill of the new door.
4. On the North Elevation of the proposed porch, it appears that part of the porch will be infilled with siding. Staff recommendation is that proposed siding will be similar to that of the existing structure but slightly differentiated from it to distinguish the new porch from the historic structure.

STAFF RECOMMENDATION:

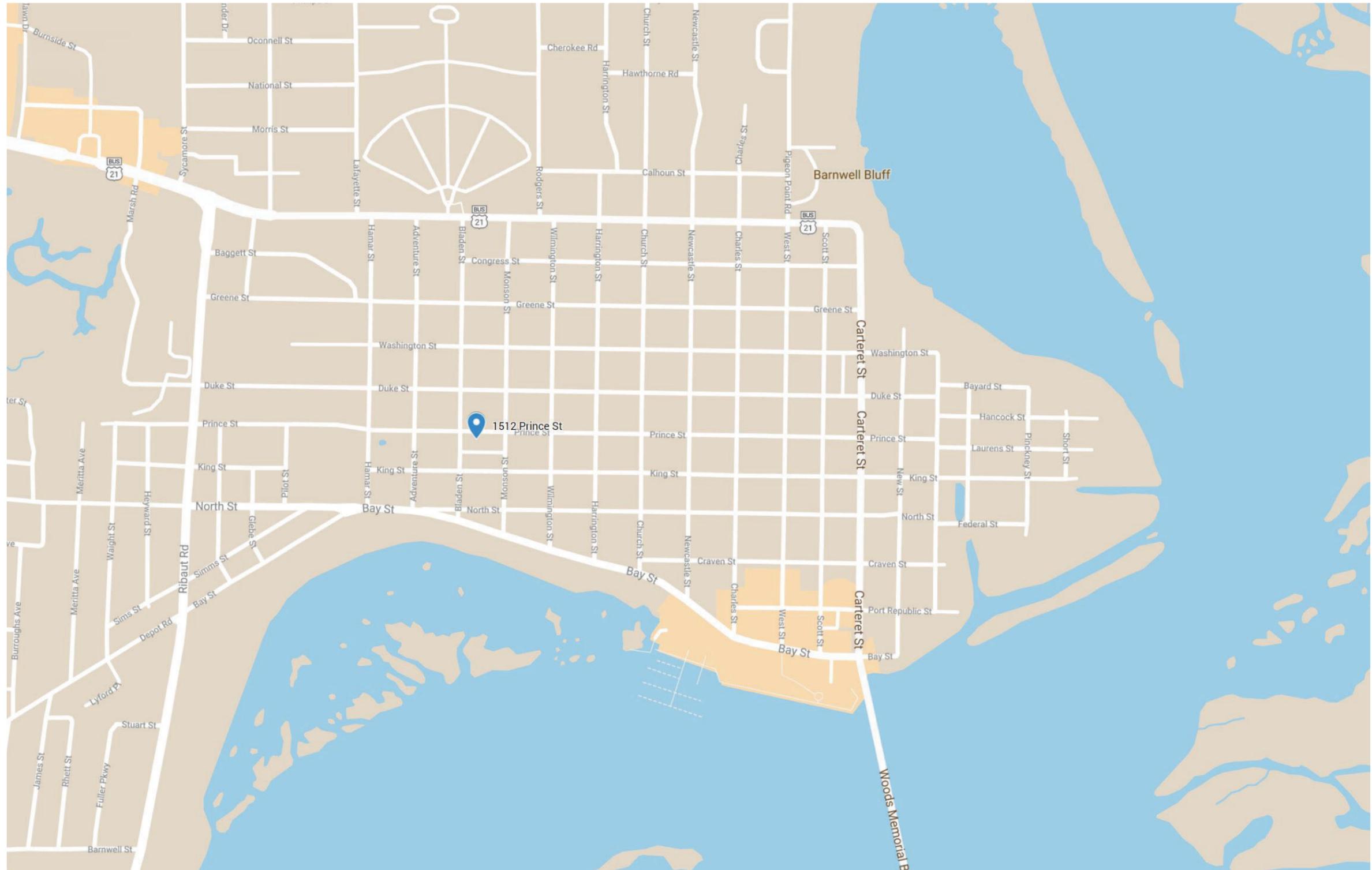
Preliminary Approval with noted conditions.

Further Recommendations Beyond Preliminary to Guide Applicant:

1. *Applicant to submit a cut sheet of then new door as well as details at the head and sill of the new door.*
2. *Applicant to provide a wall section that shows how the proposed porch will connect to the existing structure and how this connection will be flashed.*
3. *Applicant to submit section details of the proposed roof at the existing chimney.*
4. *Staff recommends the applicant carefully study how the new roof will interact with the existing chimney and ensure proper drainage and flashings in this area.*

CITY STAFF INTRODUCTION

1512 PRINCE STREET



PROJECT LOCATION- 1512 PRINCE STREET



610 BLADEN STREET

NOT TO SCALE



702 BLADEN STREET

NOT TO SCALE



1504 PRINCE STREET

NOT TO SCALE



701 BLADEN STREET

NOT TO SCALE



706 BLADEN STREET.

NOT TO SCALE



1506 PRINCE STREET

NOT TO SCALE



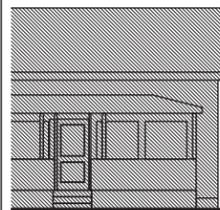
1507 PRINCE STREET

NOT TO SCALE



1511 ELTON LANE

NOT TO SCALE



1504 PRINCE STREET



1506 PRINCE STREET

55' R.O.W.



1512 PRINCE STREET

PROPERTY LINE

1607 DUKE STREET - VACANT

PROPERTY LINE

BLADEN STREET

42' R.O.W.

DUKE STREET CONTEXT STREETSCAPE

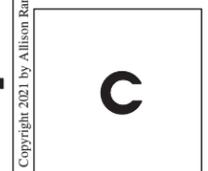
SCALE: 1/8" = 1'-0"

1512 PRINCE ST. - 21121
ADIT./ RENO. - 21121
1512 PRINCE ST. CITY OF BEAUFORT, SOUTH CAROLINA

ALLISON RAMSEY ARCHITECTS
Architects, Inc. - creating sustainable timeless design
1003 Charles St.
Beaufort SC 29902
(843) 796-0559
www.allisonramseyarchitects.com

THIS PLAN HAS BEEN PREPARED TO MEET PROFESSIONAL STANDARDS AND PRACTICES. IT IS THE ARCHITECT'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION COSTS OR DELAYS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY LOCAL, STATE, OR FEDERAL REGULATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY LOCAL, STATE, OR FEDERAL REGULATIONS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY LOCAL, STATE, OR FEDERAL REGULATIONS.

DATE:	10/22/2021
JOB NO.:	21121
DRAWN BY:	R.P.
DATE:	21121/ENG



United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 41

Beaufort Historic District
Beaufort County, SC

List of Noncontributing Resources, Continued

Address	Historic Use / Name	Date	Description	Block	Site Number
Port Republic St., 411	single dwelling	1985 ca.	2-story stucco dwelling	20	NS
Port Republic St., 501	single dwelling	1880 ca.	2-story frame dwelling; altered	27	834
Port Republic St., 508	single dwelling	1825 ca.	2-story frame dwelling; altered	28	837
Port Republic St., 805 & 803	single dwelling	1890 ca.	1-story frame dwelling now offices; altered	59	963
Port Republic St., 807	single dwelling	1890 ca.	1-story frame dwelling now offices; altered	59	964
Port Republic St., 809	commercial	1895 ca.	2-story frame hotel; altered	59	965
Port Republic St., 814	commercial	1960 ca.	1-story stucco commercial building	60	NS
Port Republic St., 901	commercial	1970 ca.	1-story brick veneer commercial building	70	NS
Port Republic St., 905	commercial	1980 ca.	2-story stucco commercial building	70	NS
Port Republic St., 910	commercial	1960 ca.	1-story cmu/brick veneer commercial building	71	NS
Port Republic St., 913	commercial	1960 ca.	1-story brick commercial building; old Piggly Wiggly store	70	NS
Prince St., 608	single dwelling	1870 ca.	2-story frame dwelling; altered	34	NS
Prince St., 710	offices	1965 ca.	2-story frame office building	45	NS
Prince St., 1001	single dwelling	1955 ca.	1-story frame dwelling	77	NS
Prince St., 1009	multiple dwelling	1985 ca.	1-story stucco multi-family dwelling	77	NS
Prince St., 1015	single dwelling	1965 ca.	1-story brick veneer dwelling	77	NS
Prince St., 1107	single dwelling	1960 ca.	1-story frame dwelling	87	NS
Prince St., 1109	church	1900 ca.	1-story brick veneer church	87	NS
Prince St., 1208	single dwelling	1995 ca.	2-story frame dwelling	97	NS
Prince St., 1209	commercial	1960 ca.	1-story cmu commercial building	96	NS
Prince St., 1303	single dwelling	1970 ca.	1-story frame dwelling	104	NS
Prince St., 1413	commercial	1965 ca.	1-story brick veneer commercial building	112	NS
Prince St., 1506	offices	1985 ca.	2-story stucco office building	121	NS
Prince St., 1512	single dwelling	1955 ca.	1-story frame dwelling; possibly older but altered	121	NS
Prince St., 1704 -1706	multiple dwelling	1955 ca.	1-story frame multi-family dwelling	136	NS
Scott's St., 101	commercial	1985 ca.	1-story frame commercial building	50	NS
Scott's St., 211	commercial	1960 ca.	1-story brick commercial building	49	NS
Scott's St., 214	commercial Coca Cola Bottling Plant	1920 ca.	1-story brick commercial building; altered	60	968
Scott's St., 219 - 223	commercial	1955 ca.	1-story brick commercial building	49	NS

See continuation sheet 7-42

JUNE 1905
BEAUFORT
S.C.

W. DUKE

W. PRINCE

W. KING

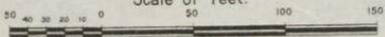
W. NORTH

W. BAY

W. BAY

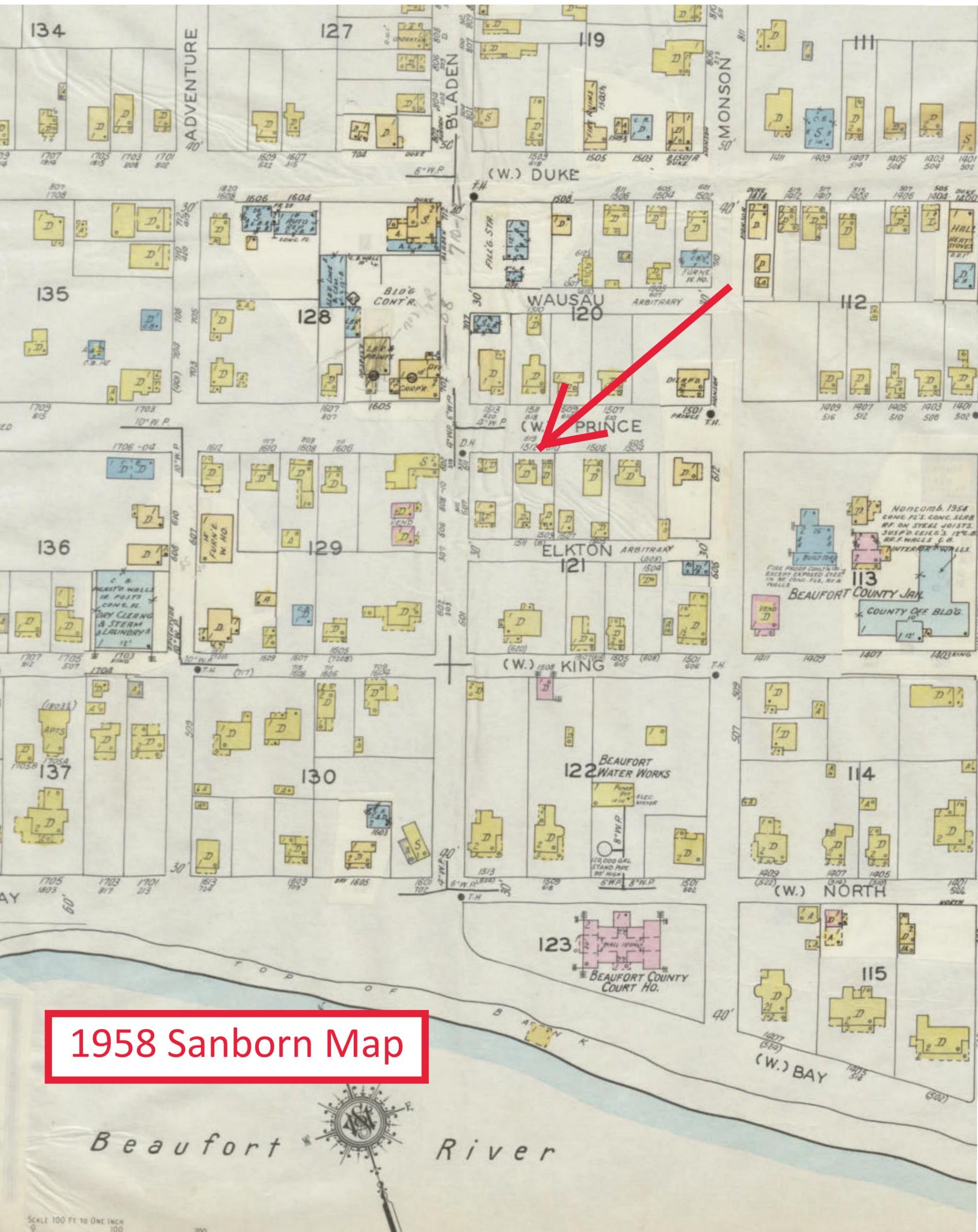
1905 Sanborn Map

Scale of Feet.



Beaufort

River.



1958 Sanborn Map

APPLICANT PRESENTATION

1512 PRINCE STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

\$ PAID 10/13/21 CK

- Staff Review
Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: 10/13 Application #: 22709 Zoning District: T4-TV
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Ronesto Pineda, Allison Ramsey Architects
Applicant Address: 1003 Charles St., Beaufort, SC 29902
Applicant E-mail: ronesto@allisonramseyarchitect.com Applicant Phone Number: 843-986-0559

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Larry Bodison
Owner Address: 1512 Prince St., Beaufort, SC, 29902

Project Name: 1512 Prince Street Addition/ Renovation

Property Address: 1512 Prince St., Beaufort, SC, 29902

Property Identification Number (Tax Map & Parcel Number): R120 004 000 0588 0000

Date Submitted: 10/13/2021

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 10/13/2021

Owner's Signature: [Signature] Date: 10/13/21

(The owner's signature is required if the applicant is not the owner.)

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: 1512 Prince Street Addition/ Renovation

Property Size in Acres: 0.07 Proposed Building Use: Business

Nature of Work (check all that apply):

- Checkboxes for New Construction, Primary Structure; Demolition*; Relocation*; Alterations / Additions. Includes note: *Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
902 SQFT

Is this project a redevelopment project: [checked] Y [] N

Are there existing buildings on the site? [checked] Y [] N if yes, will they remain? [checked] Y [] N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

Windows, and siding of the existing structure will be replaced and there will be an addition of a covered porch. This will also include options for greater accessibility for the public, including a ramp and a accessible front door.

CONTACT INFORMATION -

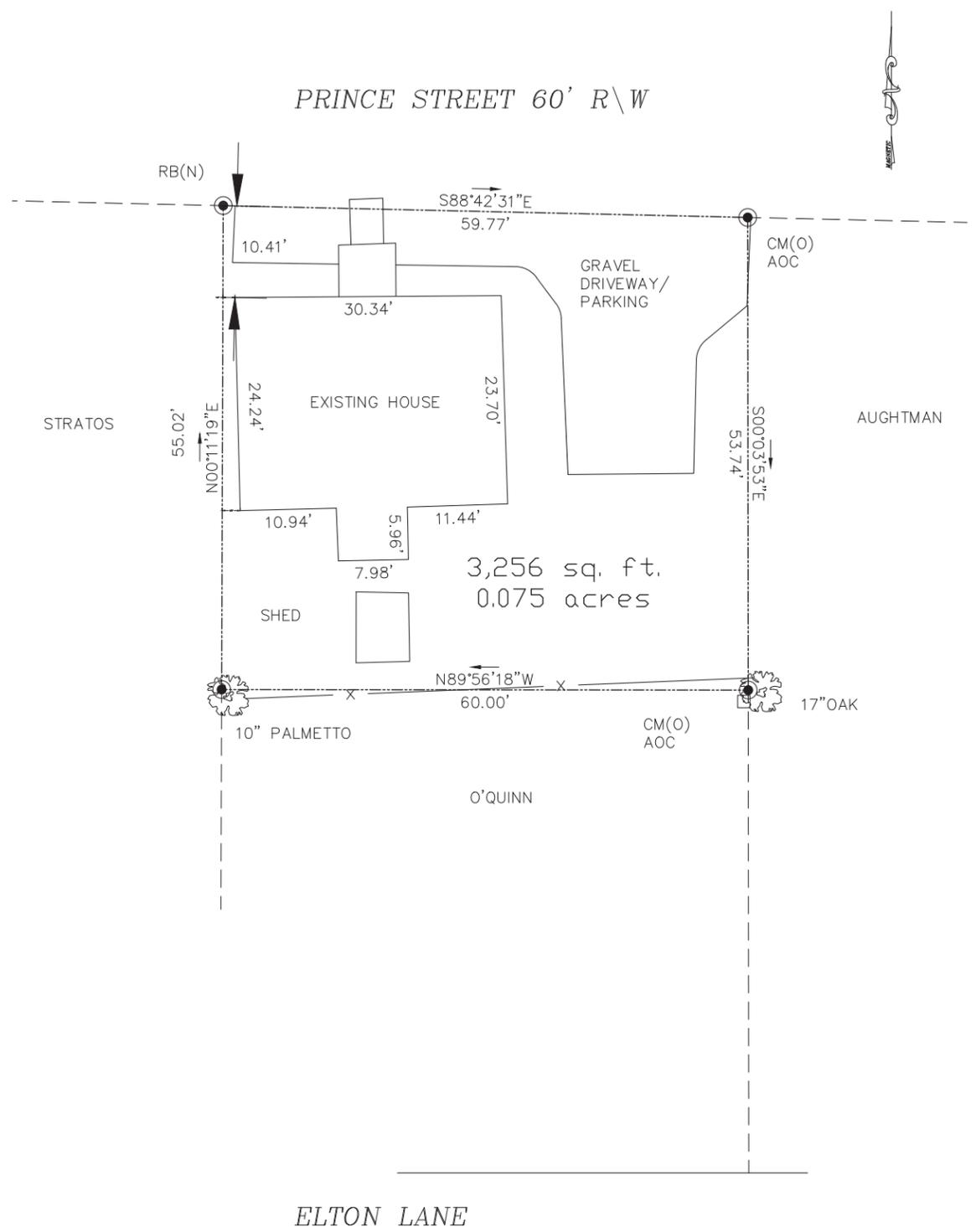
Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021



AERIAL VIEW

NOT TO SCALE



EXISTING SITE PLAN

NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION.
 NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION.
 NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER.

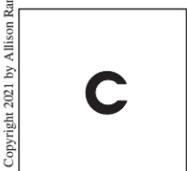
SCALE: 1/8" = 1'-0"

**1512 PRINCE ST.
 ADIT./RENO. - 21121**
 1512 PRINCE ST. CITY OF BEAUFORT, SOUTH CAROLINA

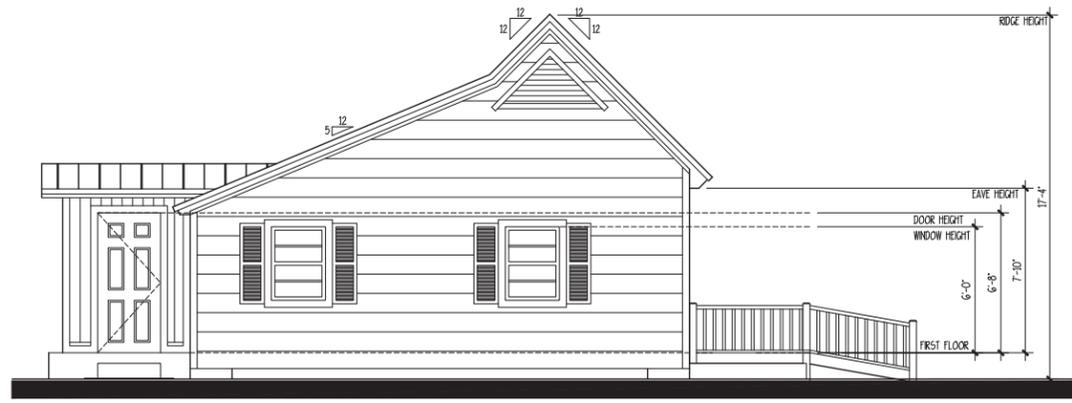
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 1003 Charles St.
 Beaufort SC 29902
 (843) 986-0859
 www.allisonramsleyarchitect.com

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DATE:	11/19/2021
JOB NO.:	21121
DRAWN BY:	R.P.
DATE:	21121/19/21

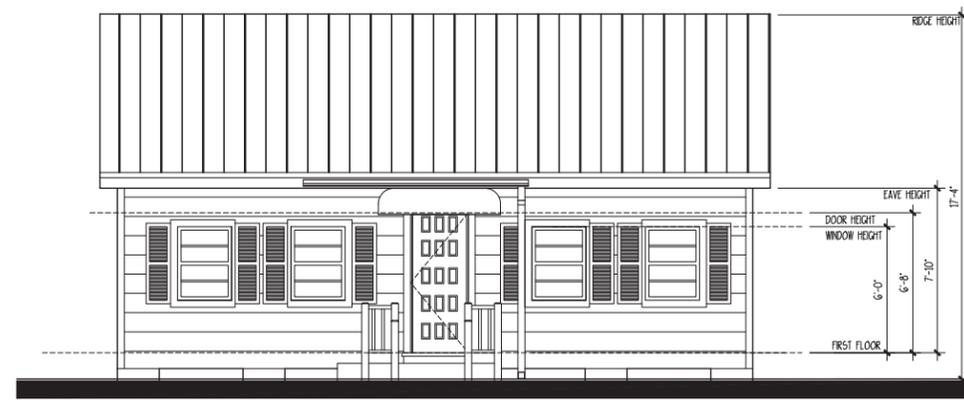


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2 EXISTING LEFT ELEVATION

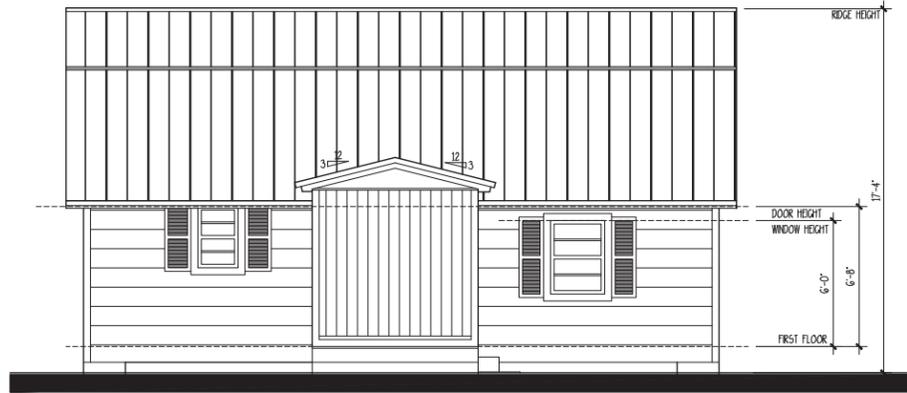
SCALE: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION

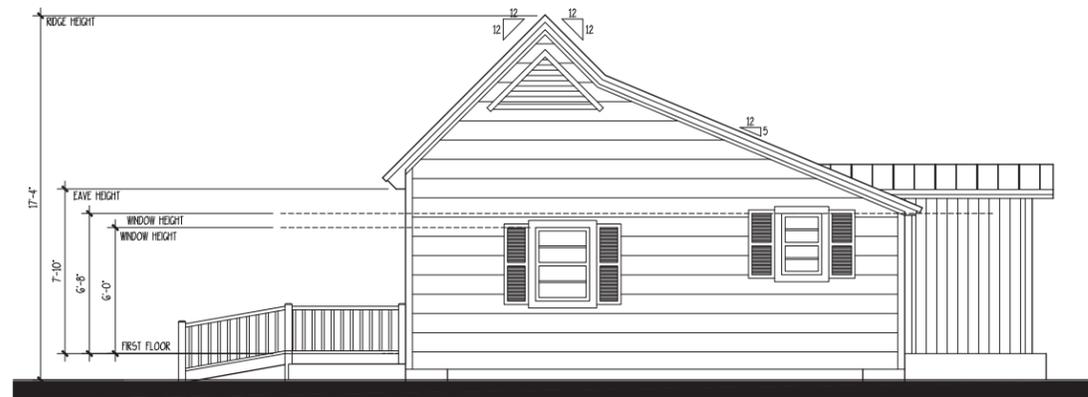
SCALE: 1/4" = 1'-0"

- **NOTE:**
- REPLACE ALL NON-HISTORIC SINGLE PANEL METAL WINDOWS WITH CLAD MARVIN ELEVATE OR SIMILAR
 - REPLACE 2'-8" DOOR WITH ACCESSIBLE 3'0" DOOR
 - REPLACE ALL EXISTING SIDING WITH FIBER CEMENT 6" REVEAL LAP SIDING + TRIM
 - NEW FRONT PORCH + RAMP



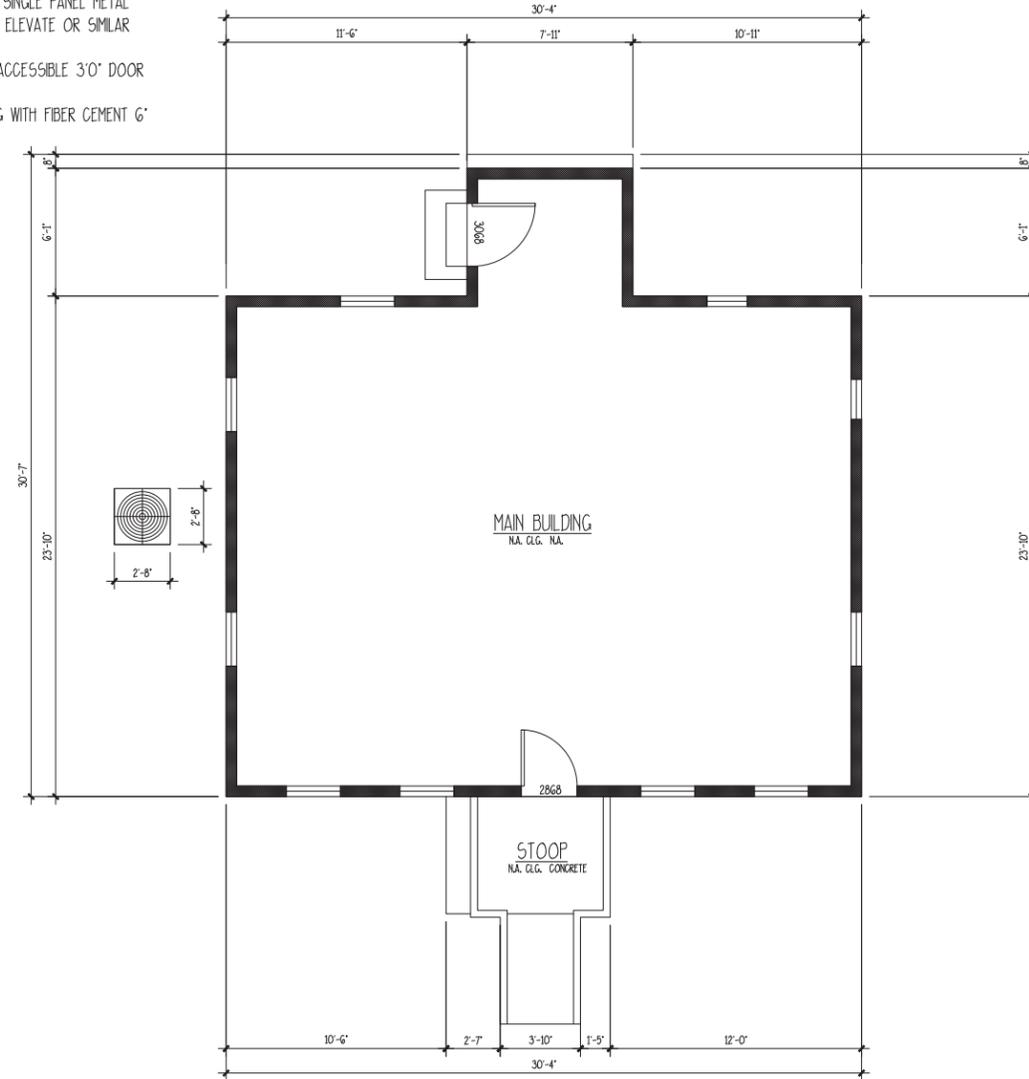
4 EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"



3 EXISTING RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

NOTE PRIOR TO ORDERING

- WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
- VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.

SCALE: 1/4" = 1'-0"

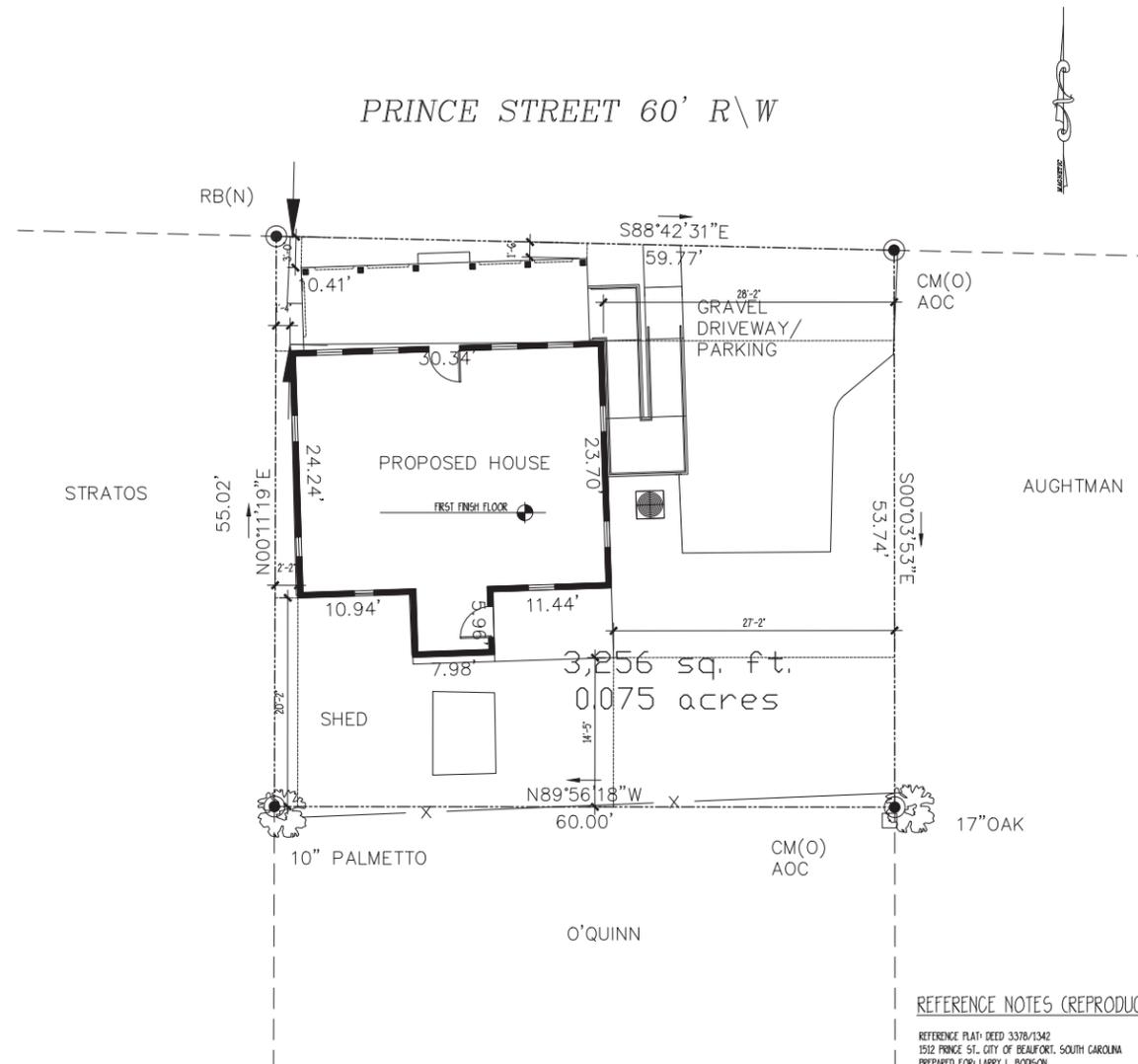
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ADIT./RENO. - 21121**
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DATE:	11/29/2021
JOB NO.:	21121
DRAWN BY:	R.P.
DATE:	21121.DWG

2



ELTON LANE

PROPOSED SITE PLAN

**NOTE: CONTRACTOR TO VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, FEMA REQUIREMENTS, AND TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION.
 **NOTE: COORDINATE ALL WALKS, DRIVEWAY, PARKING, AND FENCES WITH LANDSCAPER.
 **NOTE: ALL HEIGHTS AND DIMS SHOWN ARE BASED ON REFERENCE SURVEY INFORMATION. ALL TO BE VERIFIED PRIOR TO CONSTRUCTION.

SCALE: 1/8" = 1'-0"

REFERENCE NOTES (REPRODUCED FROM REFERENCE PLAT):

REFERENCE PLAT: DEED 3378/1342
 1512 PRINCE ST., CITY OF BEAUFORT, SOUTH CAROLINA
 PREPARED FOR: LARRY L. BODSON
 PREPARED BY: CHRISTENSEN ROTH SURVEYORS, INC.
 3 FACULTY DRIVE, BEAUFORT SC, 29907
 PREPARED ON: MARCH 23, 2021 AS JOB # 120-04-588

- 1.) PRESENT OWNER OF PROPERTY SHOWN HEREON LARRY L. BODSON
- 2.) TBN # 120-04-588
- 3.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH SUBJECT TO LOCAL ATTRACTION.
- 4.) PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "X" ELEVATION (ONAD) PER FEMA PANEL # 45013G-0166-G DATED MARCH 23, 2021

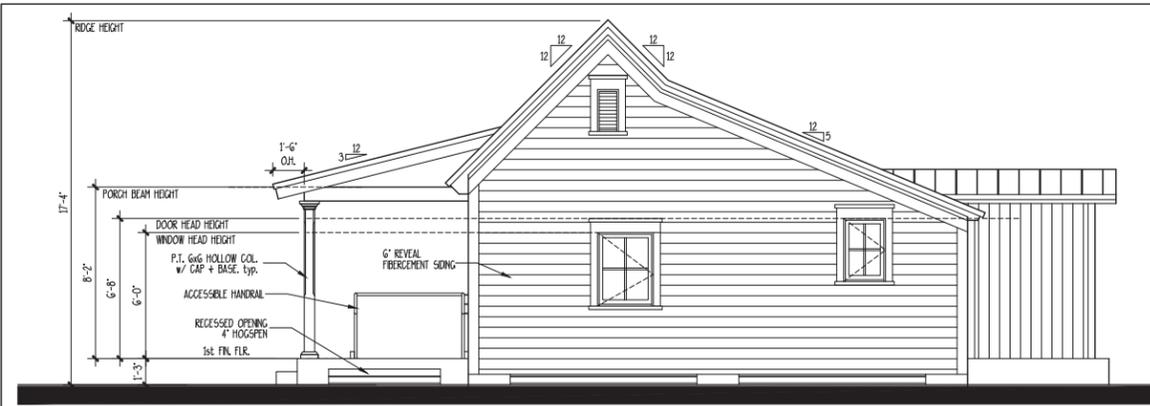
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DATE:	11/19/2021
JOB NO.	21121
DRAWN BY:	R.P.
CHKD. NAME:	21121.DWG



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 1512 PRINCE ST. CITY OF BEAUFORT, SOUTH CAROLINA



3 RIGHT ELEVATION PROPOSAL

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION PROPOSAL

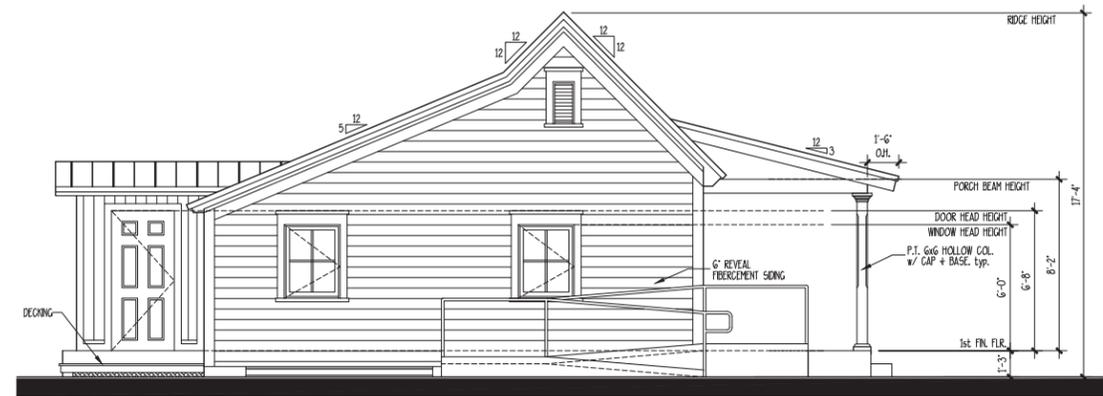
SCALE: 1/4" = 1'-0"

****NOTE:**
 REPLACE ALL NON-HISTORIC SINGLE PANEL METAL WINDOWS WITH CLAD MARVIN ELEVATE OR SIMILAR
 REPLACE 2'-8" DOOR WITH ACCESSIBLE 3'0" DOOR
 REPLACE ALL EXISTING SIDING WITH FIBER CEMENT 6" REVEAL LAP SIDING + TRIM
 NEW FRONT PORCH + RAMP



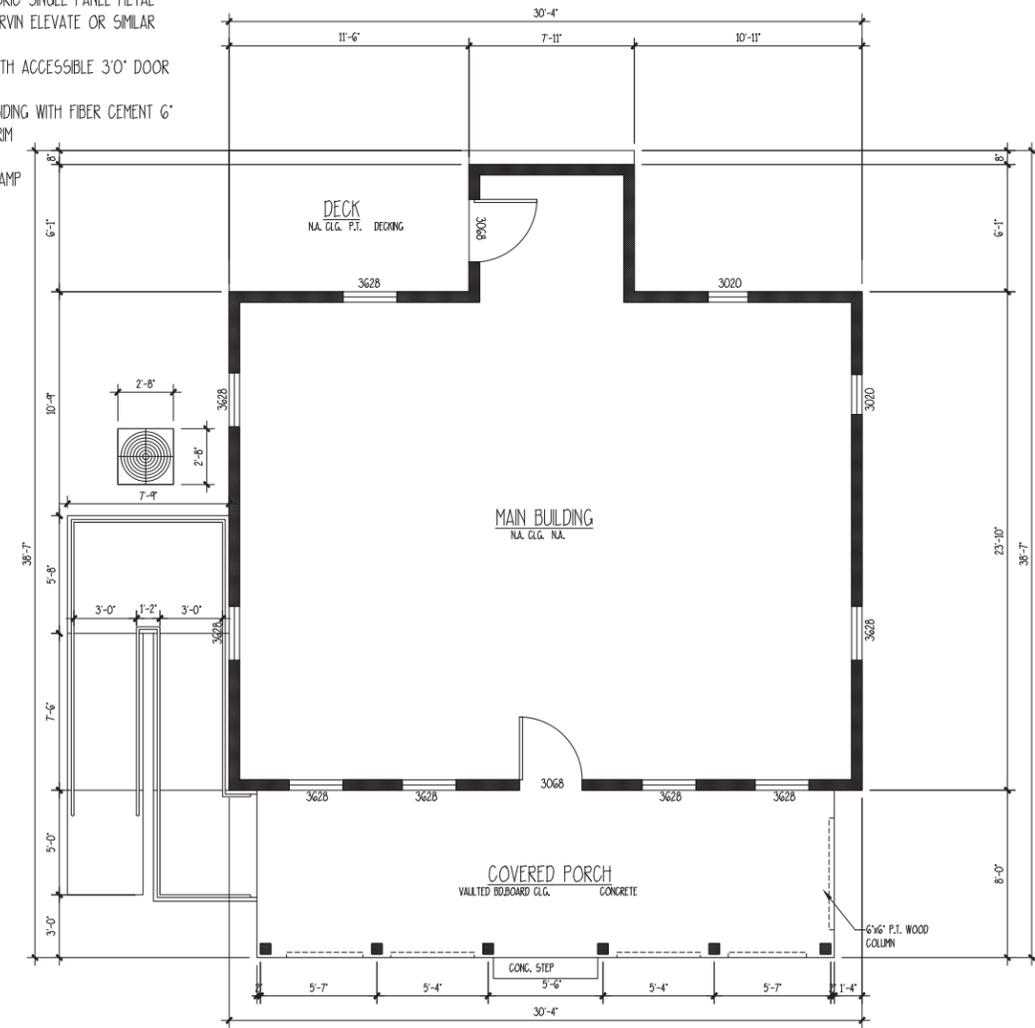
4 REAR ELEVATION PROPOSAL

SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION PROPOSAL

SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

***NOTE PRIOR TO ORDERING:**

1. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.
2. VERIFY LOCATIONS OF REQUIRED SAFETY GLAZING WITH LOCAL CODES.

SCALE: 1/4" = 1'-0"

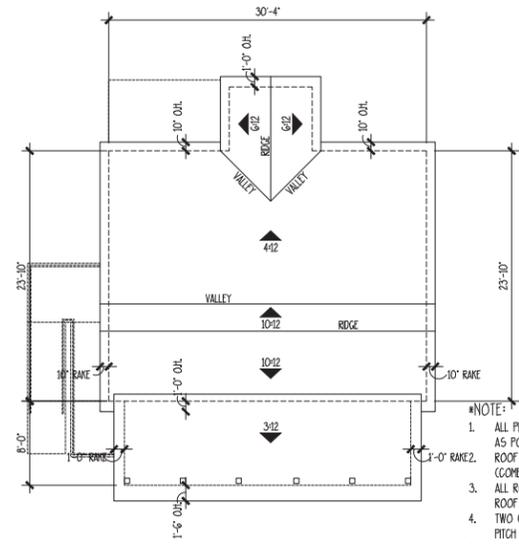
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JOB NO.:	21121
DWG. BY:	R.P.
DWG. NAME:	21121.DWG

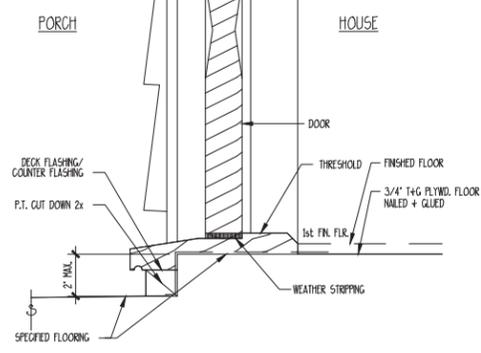
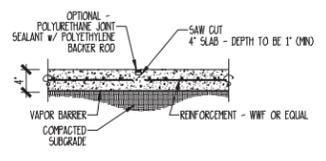
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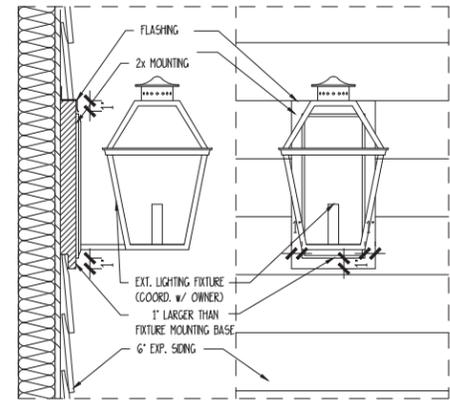
ROOF PLAN

- NOTE:
1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE. + REAR OR SIDES OF HOUSE AS POSSIBLE. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM (COMBINED WHEN POSSIBLE).
 2. ALL ROOF / WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR.
 3. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER.
 4. METAL ROOF SEAMS NOT TO EXCEED 16" O.G.
 5. METAL ROOF SEAMS TO BE 1 1/2" TO 1 3/4" IN HEIGHT

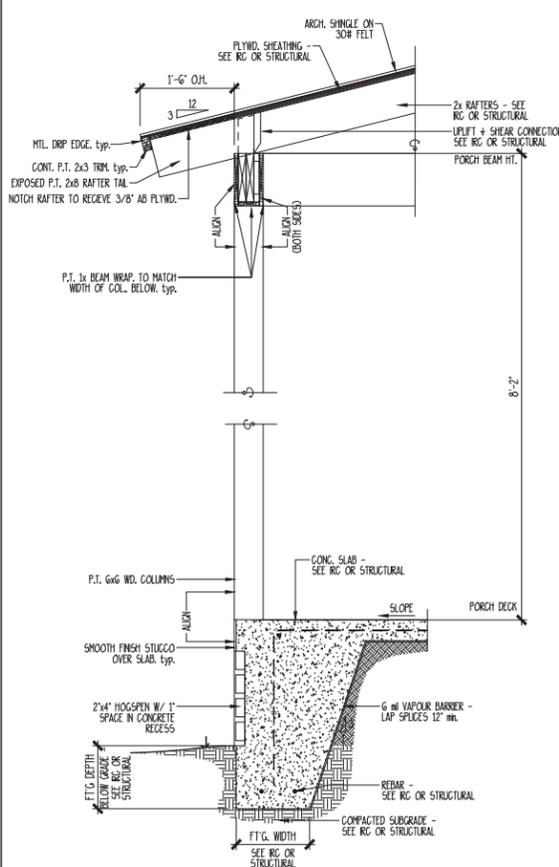
4 CONTROL JOINT DETAIL
SCALE: 3/4" = 1'-0"



3 TYPICAL EXTERIOR DOOR SILL
SCALE: 3" = 1'-0"

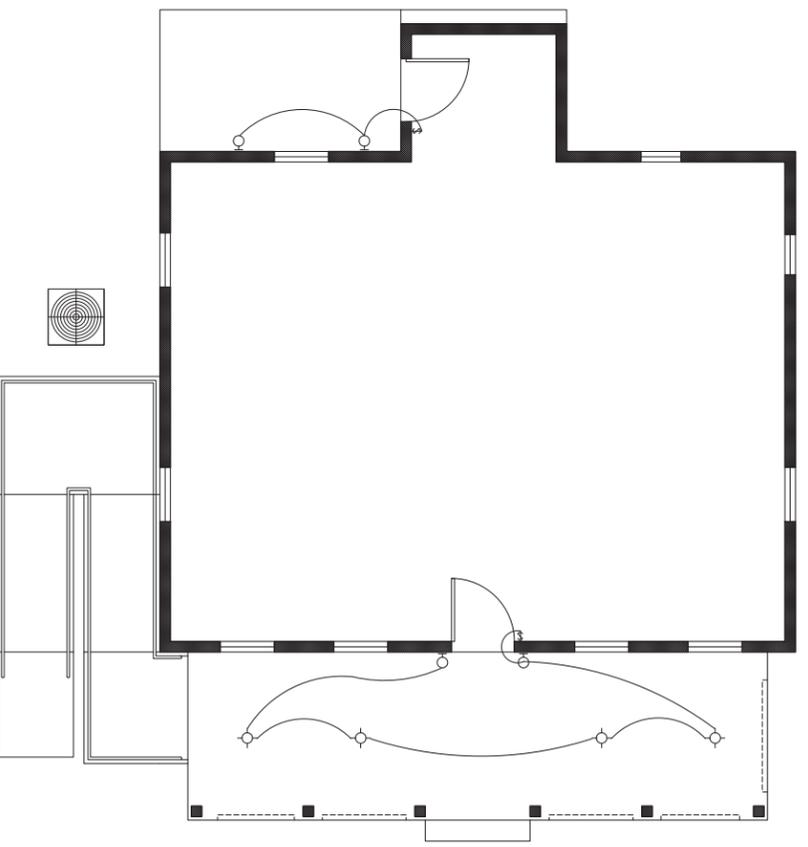


2 EXTERIOR LIGHTING MOUNT DETAIL
SCALE: 1 1/2" = 1'-0"

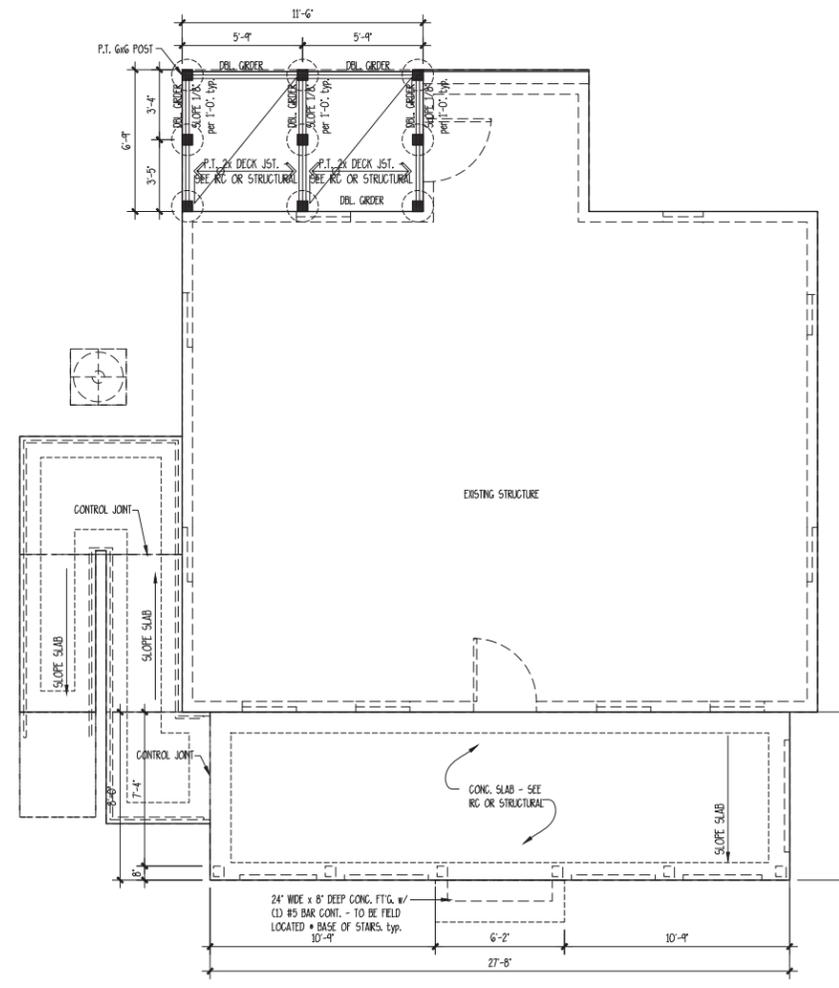


1 TYPICAL PORCH SECTION
SCALE: 3/4" = 1'-0"

⊖	SINGLE POLE SWITCH
⊖	THREE WAY SWITCH
⊖	FOUR WAY SWITCH
⊖	DIMMER SWITCH
⊖	SPEED CONTROL
⊖	DUPLEX OUTLET
⊖	1/2 HOT OUTLET
⊖	WATER PROOF OUTLET
⊖	GF GROUND FAULT OUTLET
⊖	QUADPLEX OUTLET
⊖	SPECIALTY OUTLET
⊖	FLOOR OUTLET
⊖	TELEPHONE JACK
⊖	THERMOSTAT
⊖	TELEVISION JACK
⊖	VENT
⊖	VENT w/ LIGHT
⊖	SURFACE MOUNTED FIXTURE
⊖	RECESSED FIXTURE
⊖	WALL MOUNTED FIXTURE
⊖	FLOOD LIGHT
⊖	LED FIXTURE
⊖	CEILING FAN
⊖	CEILING BOX
⊖	DOOR CHIME
⊖	ELECTRICAL PANEL
⊖	SMOKE DETECTOR
⊖	CARBON MONOXIDE DETECTOR



FIRST FLOOR ELECTRICAL LAYOUT
SCALE: 1/4" = 1'-0"



PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

1512 PRINCE ST. ADIT./RENO. - 21121
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JOB NO.:	21121
DWG. BY:	R.P.
DWG. NAME:	21121.DWG

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Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
8 December 2021

1 SUMMARY OF REQUEST

1512 Prince Street, Alterations/Additions

Applicant: Ronesto Pineda, Allison Ramsey Architects

The applicant is requesting Preliminary Approval of alterations/additions to a single-family residence at 1512 Prince Street.

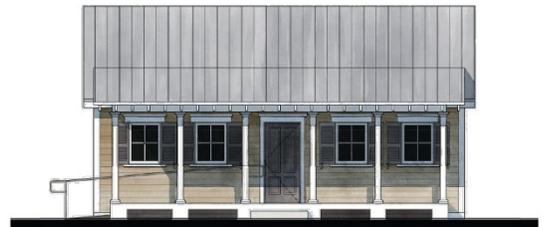
This project proposes alterations/additions to a noncontributing structure in the Northwest Quadrant and the Beaufort Conservation Neighborhood.

Background:

This is the first application received for the proposed project.

2 FACTS

Property Address:	1512 Prince Street
Parcel ID:	R120 004 000 0588 0000
Case Number:	21-73 HRB.1
Applicant:	Ronesto Pineda, Allison Ramsey Architects
Zoning:	T4-N
Use:	Business/Office



District Development Standards for T4-N:

- **Setback requirements – Primary Structure:**
 - *Front-0' min.- 15' max.*
 - *Rear setback – 10' min.*
 - *Side Corner/Alley – 0' min. – 10' max.*
 - *Side Interior – 5' min, or 0' if attached.*
- **Maximum Building Height: 4 stories max;** 3.5 stories max in & fronting Historic District & interior lots along Allison Rd.
- **Frontage Build-Out:** 60% min; 85% max.
- **Impervious Surface Coverage:** 70% maximum for rooftops, additional 10% allowed.
- **Permitted Uses:** Office use is permitted by right in the T4-N zoning classification.

References:

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement

3 STAFF COMMENTS

Staff Acknowledgements:

- A. The National Register of Historic Places Continuation Sheet, List of Noncontributing Resources dates this structure to 1955 and states that it is a “1-story frame dwelling; possibly older but altered”. Sanborn maps from 1905, 1912, and 1958 show a building on the property that is similar to what exists today that has a porch on the front façade. Staff believes it is likely that the main, rectangular footprint of this structure dates back to at least 1905, and it is likely that this structure originally had a porch fronting Prince Street. Staff research has confirmed that the porch was removed sometime between 1958 and 1980, and the rear addition was also added during that timeframe.
- B. Staff is in support of the addition of a porch to this structure.

Staff Conditions:

1. Page 18 of the Preservation Manual Supplement: “Decks are inappropriate on front or side facades and when on rear facades should be screened with landscaping completely from the street. Applicant to use landscaping to screen rear deck from view from Prince Street.
2. Continuous masonry infill between porch piers is “neither appropriate nor recommended..” according to page 29 of the Preservation Manual Supplement. Staff recognizes the applicant’s challenge to integrate an ADA ramp to a new porch and that the use of cast in place concrete is a suitable approach, especially regarding maintenance and durability. Given that approach, Staff recommends the applicant increase the depth of the recess at the hogspen so that the horizontal wooden slats have an air space behind them. Furthermore, Staff recommends that the recess be painted a dark color behind the hogspen.
3. As designed, the ramp is proposed to abut the existing historic structure on the east elevation. Staff recommendation is that the ramp is placed at least one foot away from the historic structure on both the east elevation and the north Elevation.
4. Applicant to submit a detail showing how the new porch will connect to the historic structure that also shows how this connection will be flashed.
5. If wood siding is found to exist beneath the existing asbestos siding, the wood siding must be retained and repaired in kind where necessary per Chapter 8 of the Preservation Manual Supplement. If no wood siding is found to exist beneath the asbestos siding, Staff recommendation is that the wood siding is installed on the main, historic portion of the structure. Staff supports the use of fiber cement siding on the rear addition.
6. Staff is not in support of the proposed gable vent head casing and recommends that the applicant reduce the height of the vent casing.

7. Staff recommendation is that the replacement metal roof is a double lock, mechanically seamed standing seam roof with folded ridges. Applicant to submit roofing cut sheets and termination details (ridge, rake edge, drip edge, slope transitions, valley).
8. Staff feels that the proposed standing seam height of 1 1/2" – 1 3/4" as noted on Sheet 1, Roof Plan, is out of scale for this structure. Staff recommendation is that a mechanical lock 1" standing seam is used.
9. The wall section through the porch on Sheet 1 lacks the column capitals and bases shown in the proposed elevations, and the column appears to have a different relationship to the porch foundation. Applicant to verify which condition is correct and ensure all drawings are consistent in future submissions. Staff recommendation is that the columns have a base and cap and that the outside face of the column base aligns with the outside face of the foundation below.

STAFF RECOMMENDATION:

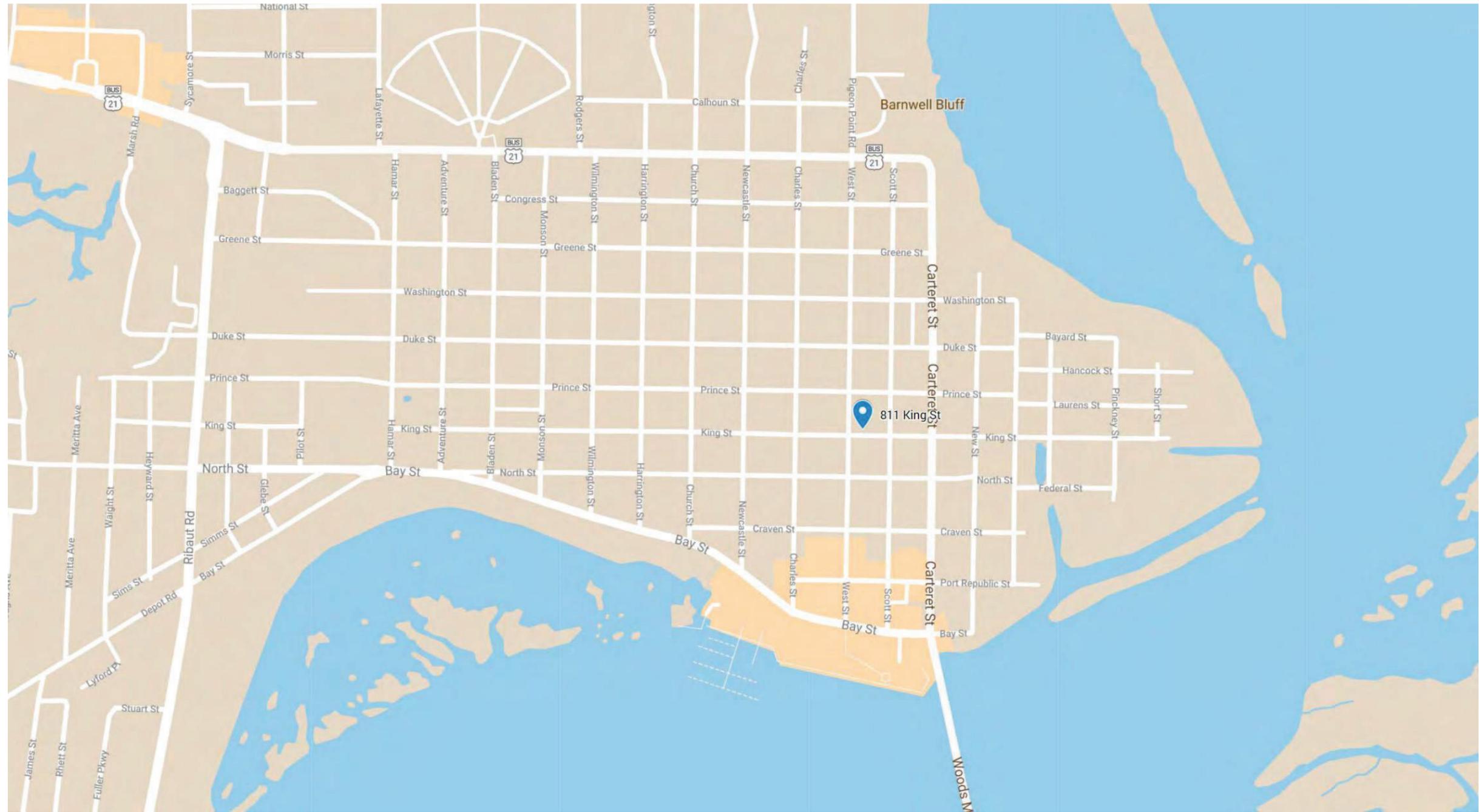
Preliminary Approval with conditions noted above.

Further Recommendations Beyond Preliminary to Guide Applicant:

1. *The color rendered elevation does not match the proposed elevations on sheet 3. Applicant to submit consistent drawings in future submissions.*
2. *Applicant to submit a section detail through the proposed ramp that shows materiality and height of the proposed curb.*
3. *Applicant to provide a cut sheet for the proposed shutters on the front elevation.*
4. *Applicant to provide a section detail through the proposed rear deck.*
5. *The typical porch section on Sheet 1 calls out the proposed roof as Asphalt Shingle, but the rest of the submission proposes a metal roof. Applicant to clarify and ensure all documents are consistent in future submissions.*

CITY STAFF INTRODUCTION

811 KING STREET



PROJECT LOCATION- 811 KING STREET











1899 Sanborn Map,
811 King Street



1905 Sanborn Map,
811 King Street

JUNE 1905
BEAUFORT
S.C.

E. PRINCE

E. KING

CHARLES

WEST

SCOTT

1912 Sanborn Map,
811 King Street



1958 Sanborn Map,
811 King Street

SEPT. 1924
BEAUFORT
S.C.



1979 Inventory and Repair Guide - 811 King Street



City enforced portion of the District

JOHN MILNER ASSOCIATES
west chester, pennsylvania 19380

1959 Inventory and Repair Guide, 811 King Street

Historic Building Data Sheet
Beaufort Historic District
National Historic Landmark
City-Enforced Sector
Beaufort, South Carolina



View: 16:12

Camera Facing: N

NAME: Common

Historic

LOCATION: 811 King Street

Map Ref. Key #56(619)-1

3. CLASSIFICATION										
OWNERSHIP <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Both	Public Acquisition: <input type="checkbox"/> In Process <input type="checkbox"/> Being Considered	STATUS <input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Work in Progress <input type="checkbox"/> Pres. <input type="checkbox"/> Altera.								
ACCESSIBLE TO PUBLIC Yes: <input type="checkbox"/> Restricted <input type="checkbox"/> Unrestricted <input checked="" type="checkbox"/> No										
PRESENT USE (Check One or More if Applicable)										
<input type="checkbox"/> Agriculture <input type="checkbox"/> Commercial <input type="checkbox"/> Educational <input type="checkbox"/> Government	<input type="checkbox"/> Industrial <input type="checkbox"/> Military <input type="checkbox"/> Museum <input type="checkbox"/> Park	<input type="checkbox"/> Professional <input type="checkbox"/> Religious <input checked="" type="checkbox"/> Residence								
<input type="checkbox"/> Scientific <input type="checkbox"/> Transportation <input type="checkbox"/> Other (_____)										
ORIGINAL USE: _____										
4a. OWNERSHIP (Present)										
Name: <u>Hiers of Caroline Grayson c/o T. G. Grayson</u>		Street and Number: <u>P.O. Box 133</u>								
City or Town: <u>Beaufort</u>		4b. ORIGINAL OWNER (if known)								
5. DESCRIPTION										
Features (exterior) Facade <u>3 bay, side entrance bay</u> Foundations <u>cellar</u> Roof Type: <input type="checkbox"/> flat <input checked="" type="checkbox"/> gable <input type="checkbox"/> shed <input type="checkbox"/> "French" <input type="checkbox"/> gambrel <input type="checkbox"/> hip <input type="checkbox"/> saltbox	Materials <u>asbestos shingles</u> <u>CMU</u> <u>see "Comments"</u>									
Chimney(s)-architectural _____ utilitarian _____ Porch(es)-architectural _____ utilitarian _____ Addition(s) <u>none visible</u>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">No.</th> <th style="text-align: center;">Location</th> <th style="text-align: center;">Materials</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">stack of west side</td> <td style="text-align: center;">brick</td> </tr> <tr> <td></td> <td style="text-align: center;">frontal</td> <td style="text-align: center;">brick base</td> </tr> </tbody> </table>	No.	Location	Materials	1	stack of west side	brick		frontal	brick base
No.	Location	Materials								
1	stack of west side	brick								
	frontal	brick base								
Structural System (if known):										
<input type="checkbox"/> wood frame, interlocking joints <input checked="" type="checkbox"/> wood frame, light member <input type="checkbox"/> log <input type="checkbox"/> metal <input type="checkbox"/> masonry load bearing walls (describe) _____ <input type="checkbox"/> other (_____)										
Number of Stories <u>2</u>										

Feiss-Wright



5. DESCRIPTION (CONT'D.)

Notable Features: good crown moulding, cornice, and vergeboard

Condition: EXTERIOR Excellent Good Fair Deteriorated Ruins
 INTERIOR Excellent Good Fair Deteriorated Ruins

Integrity: a. Original Site b. Moved If so, when and from where _____

Major Alterations or Additions: aluminum awnings

Date(s) (if known) _____

Related Outbuildings and Property:

barn carriage house garage(s) shop shed wash house smoke house
 kitchen slaves' quarters gardens orchards fencing (type) chain link
 walling (type) retaining, CMU, front other (_____)

Threats and/or intrusions to Building:

none known zoning roads development deterioration other (_____)

6. INTERRELATIONSHIPS OF BUILDING AND SURROUNDINGS

a. Relationship to Street: Pivotal Positive Neutral Negative

b. Relationship to District: Pivotal Positive Neutral Negative

Basis for relationship: a. age, condition

b. _____

7. SIGNIFICANCE

Date of Initial Construction: pre-1800 c.1800 c.1810 c.1820 c.1830
 c.1840 c.1850 c.1860 c.1870 c.1880 c.1890 c.1900
 c.1910 after 1910 Specific Date (if known) _____

Style Georgian Second Empire Georgian Revival Art Deco
 or Federal Italianate Neo-Classical Revival Ranch Style
 Classic Revival Romanesque Revival Federal Revival Split-Level
 Influence: Gothic Revival Queen Anne Bungalow Other
 Tuscan Villa Eastlake Cottage (_____)

Historical Association: Early Settlement _____ Community Development _____
 Civil War: Hospital _____ Headquarters _____ Office _____

8. SOURCES

9. COMMENTS: Doubled colonnettes of porch suggest Beaux Arts influence freely interpreted from 1890 - 1910 but house may be later (c.1925). Roofing material does not relate architecturally to cornice, no gutter.

**1959 Inventory and Repair
Guide, 811 King Street**

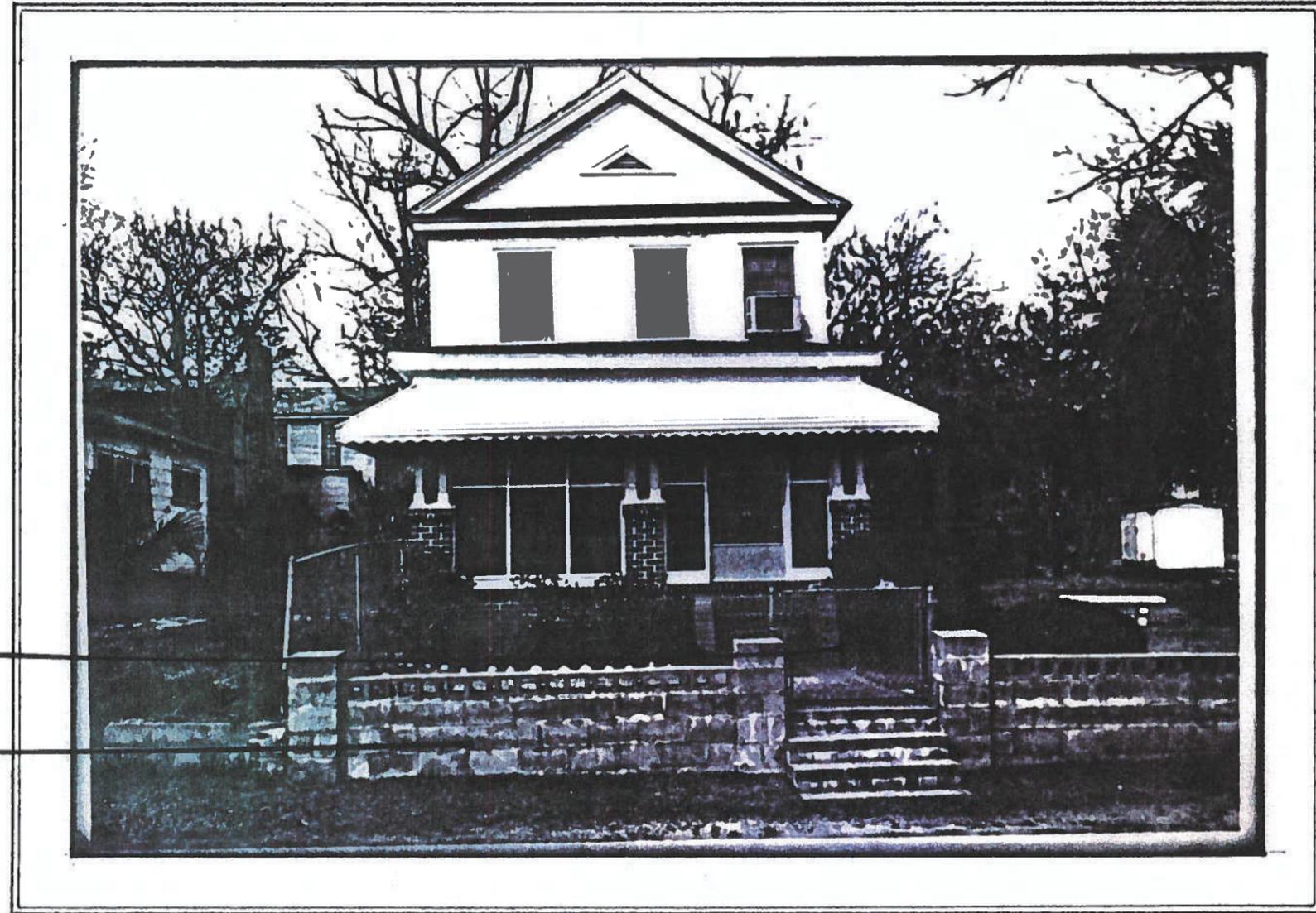
Recorder: Schooler Date of Inventory: 2/12/79
 Photographer: Hollenberg Date of Exposure: 2/79

- 811 KING STREET
SOUTH ELEVATION

1979 Inventory and Repair Guide - 811 King Street

RECOMMENDED REPAIRS:

- Replace chain-link gate
and fencing
- Stucco over concrete
masonry wall



**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 943
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): _____ Map Ref.: BFT 09 (BR) Tax Number: R120 004 000 0619 0000
Common name(s): _____ City Block Ref.: 56 .02 Island: Port Royal Is.
Address/location: 811 King St. City/Vicinity of (vic.): Beaufort
Date: 1890 ca. Alteration date: _____
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

Notes: 2 story gable front dwelling faces street S. 1 story porch rebuilt, structure with asbestos siding

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other _____
 Feiss-Wright (1969) _____
 Historic Resources of the Lowcountry (1979) _____
 Milner Historic District Inventory (1979) 056 (619) -1 Vol. 12; full form
 A Guide to Historic Beaufort (1995 ed.) _____

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 9/12/97

Recorder: C. Brooker, Brooker Arch. Cons.

Roll # B-16 Neg. 36 View of: South facade

Brockington Associates, Inc. • Brooker Architectural Design Consultants • Historic Beaufort Foundation • Preservation Consultants, Inc.

APPLICANT PRESENTATION

811 KING STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Staff Review
 Board Review

✓ meadows
P.D. ✓

Application Fee:
see attached schedule

21-54 HRB-2

OFFICE USE ONLY: Date Filed: 11/2 Application #: 22829 Zoning District: T4-HN
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill – Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: CHRISTOPHER COOK AS AGENT FOR OWNERS - TOLLEY

Applicant Address: POB 1351 CAMDEN, SC 29021

Applicant E-mail: CTC.NGYN@GMAIL.COM Applicant Phone Number: 843 812 9551

Applicant Title: Homeowner Tenant Architect Engineer Developer AND RESIDENTIAL DESIGNER

Owner (if other than the Applicant): BENTON AND EVANGELINE TOLLEY

Owner Address: 2621 NATOMA ST MIAMI, FL 33133

Project Name: TOLLEY RESIDENCE

Property Address: 811 KING ST BEAUFORT

Property Identification Number (Tax Map & Parcel Number): R120 001 000 0619 0000

Date Submitted: 7-27-2021

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 7-27-2021 - 10-14-2021

Owner's Signature: [Signature] Date: 7-27-2021 - 10-14-2021

(The owner's signature is required if the applicant is not the owner.)

UPDATED 11-1-2021
TOLLEY PG 1/2

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021



**DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION**

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Project Name: TOLLEY RESIDENCE

Property Size in Acres: .07 Proposed Building Use: SF DWELLING

Nature of Work (check all that apply):

- New Construction, Primary Structure New Construction, Primary Structure Alterations / Additions
 Demolition* Relocation* *Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

FIRST FLOOR 846 SF + FRONT PORCH 119 SF - 2ND FLOOR 612 + ROOF DECK 170 SF
+ FRONT PORCH 119 SF

Is this project a redevelopment project: Y N - REHAB

Are there existing buildings on the site? Y N If yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

RESTORE EXISTING BUILDING - ENLARGE FRONT PORCH
TO 136 SF VS 119 SF - ADD 2ND FLOOR FRONT PORCH
OF 136 SF AND REAR ROOF DECK OF 170 SF - ALL PER
MILNER REPORT.

- 10-17-2021 - UPDATES: - EMAILED 11-1-2021
1. NO CHANGE TO SIZE OF FRONT PORCH
2. THIS IS A 'REHABILITATION PROJECT' VS A 'RESTORATION PROJECT'
3. SEE ATT NARRATIVE
4. SEE ATT PICTURES

TOLLEY P 20

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021

We intend to restore 811 King Street to its original appearance as much as we can determine what that was; the current condition of the house and the included 12/08 report on 811 King, prepared for the HBF, permit us to determine what that was with the following exceptions, which we describe below and our intent with respect to same:

(a)Front Porch: we know from history research that the original house was built around 1890 and by 1899 it had a two story porch; we have been unable to locate any information as to exactly what that porch looked like, despite checking in with living neighbors and the Historic Foundation information—we note that 813 King, a larger more grand home but a home built at about the same time, 1850, has the two story porch design (picture included) and the house at 804 West Street, a more modest home comparable to 811 King (picture included) also has the same porch design and it was built in 1875 circa and is a similar house in terms of size. Many homes in Beaufort built in the late 1800s have similar two story porches. Our request is that we be permitted to remove the current porch, built we think after 1924, and replace it with a two story porch that follows the design of 804 West St; we would NOT expand the porch and we would locate the access to the new porch in front of the first floor entry door; the planned materials, as consistent with the porches we intend to follow, will be wood framing and Savannah gray used brick (support system) and we would replace the east most window on the second floor with a new door for access from one of the upstairs bedrooms to the second floor porch which appears to be consistent with the original design based on the interior assessment of that space. **We urge the board to permit the addition of the two story porch—this will doubtless return the house close to its condition in the late 1800s, it will match its neighbor, 813 King, it will follow 804 West St and it will be consistent with many other homes of similar period and design in Beaufort. It also was the recommendation of the 12/08 report, which is attached hereto, where on page 9 the report says: “Consequent rehabilitation will**

1/4

involve reconstruction of the south porch to include two stories.” As we will not expand the porch, it of course will meet the lot front setback requirements and is wholly consistent with the setbacks on every other king street house in our block.

(b)Addition: this addition was not original to the house but it may now be historic in that it may have been in existence for 50 years; we intend to retain and use the addition but we ask for one minor change to the East façade—there currently are two windows and one door whose glass and framing do not match all of the other period consistent windows. We would request two changes: first, to replace the front facing window in the addition with a replacement window that matches the design and size of the existing first floor windows on the east façade; second, we request that the window and door combination facing east be replaced with only a period appropriate new door—this request not only returns the addition fenestration to be consistent with the balance of the house but it also permits us to achieve maximum size inside for our planned interior renovation of the first floor bedroom area by moving the location of the side door entry further to the south.

(c)West Façade and Rear Façade: we request permission to add a period appropriate new door and window on the rear of the addition; this will permit access to the outside from the planned first floor bedroom; we also request the addition of period appropriate windows on the first floor of the west façade which will permit a window in each of the planned living area and kitchen area of the home; otherwise, we intend to clean up the rear façade and eliminate a jog from that rear façade and we intend to use the existing west façade window locations and sizes in our interior design plan. We also request permission to add a 2X2 brick chimney, Savannah gray used brick, on the west facade just

2/4

behind the line of the west facade upper and lower windows closest to the front.

We are requesting to add a wooden deck placed on top of the existing rear addition roof. This deck would be in wood materials approved by the HB— dry kiln pressure treated wood. The rear facade upper windows would be replaced with casement double pane windows approx 2X5.5 in dimensions each of which can provide egress from the rear second floor bedroom.

(d) The Roof: we intend to replace the existing asphalt shingle roof with a standing seam metal seam roof on the main house roof, the porch roof and the addition roof—the current asphalt shingle roof is not original to the house and the proposed new metal roof is consistent with the many homes of similar vintage in Beaufort.

(e) Windows and doors: Our plan is to restore all front windows (4) and the upper and lower existing windows in the first row closest to the front located on the east and west façade (3). We will replace the balance of the windows located on the east and west facade with replacement wood windows of a style and size similar to existing— double hung, divided lite, six pane sashes with new glass. We will save and use in the seven restored windows any historic glass with bubbles or other historic features. The replacement windows are likely Marvin wood double hung windows with divided lites and six pane per sash— hurricane rated, if possible. The size will match ,+/-, the current size and location of windows to be replaced. Any new windows will be of the same make and style as the replacement windows and will be sized as set forth in the elevations.

We will have four doors in the house—the two front doors for the upper and lower porch will be Milner consistent design wood exterior doors—the Andersen Panel style #179 is similar to what we have in mind; if we can find historic doors we will use them; if we use Andersen, the door glass will be six pane. The east side and rear door

3/4

will be Milner consistent doors—currently thinking Andersen wood doors, Arts and Craft #403 style, with six pane glass—all doors will be mahogany inside and outside. Hurricane rated doors if possible without sacrificing style and look.

(f) Piers: You will note that the piers for the house tend to be taller in the front of the house and shorter toward the rear; this permits the first floor to be flat and consistent throughout the house because the land surface rises from king street to the rear; we do not intend to alter this in any way though we certainly may need to be sure the existing sills and piers are sound from an engineering perspective; if any foundation work must be done it will be done in all respects to match existing materials and will not raise the first floor in any way.

(g) Exterior Color: We request a color scheme that may differ slightly from original as we simply do not know original —but our requested exterior color scheme is consistent with the Green Schepper house at 502 Scott Street.

4/4



GASQUE & ASSOCIATES INC.

LAND SURVEYORS & PLANNERS

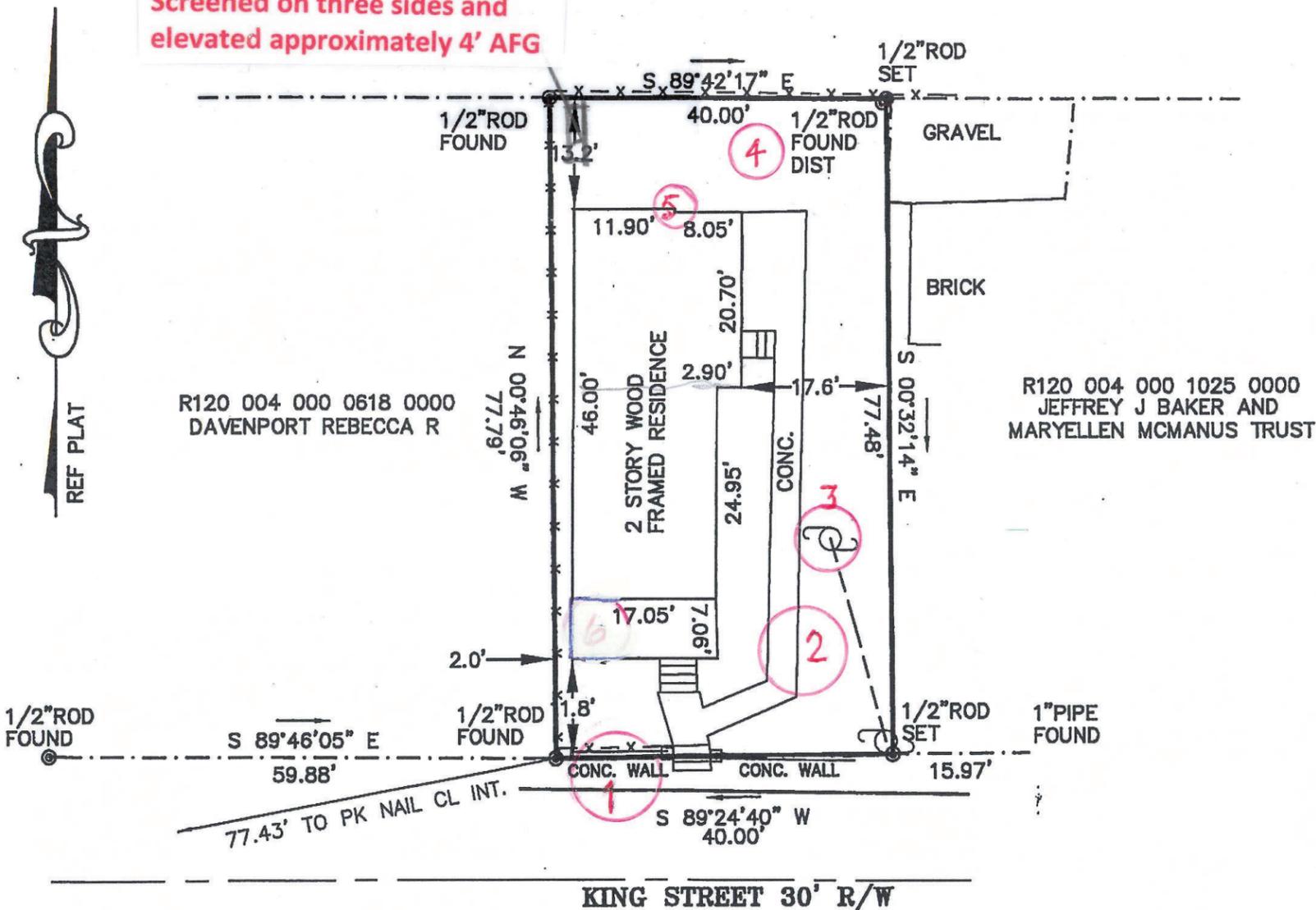
28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 PHONE (843) 522-1798



VICINITY MAP NOT TO SCALE

New HVAC platform (4' x 6')
Screened on three sides and
elevated approximately 4' AFG

R120 004 000 0617 0000
 IN PARRISH EVELYN ETAL % ESTER M SMALLS



R120 004 000 0618 0000
 DAVENPORT REBECCA R

R120 004 000 1025 0000
 JEFFREY J BAKER AND
 MARYELLEN MCMANUS TRUST

ASBUILT SURVEY PREPARED FOR

BENTON C. TOLLEY III AND EVANGELINE S. TOLLEY

BEING LOT 4 A PORTION OF BLK 56 CITY OF BEAUFORT AS SHOWN ON A PLAT BY DAVID S. YOUMANS DATED 1/14/2014 RECORDED IN R.M.C. OFFICE LOCATED IN THE CITY OF BEAUFORT BEAUFORT COUNTY SOUTH CAROLINA TAX MAP R120 004 000 0619 0000

THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INFORMED OF THE NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS ENVIRONMENTAL ISSUES.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL PLATS. THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE PROJECT SHOWN. THIS PLAT REPRESENTS A SURVEY BASED ON THE LATEST AVAILABLE RECORDS. THE RESULT OF A TITLE SEARCH.

BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS PLAT MUST BE VERIFIED BY PROPER BUILDING CODES OF THE CITY OF BEAUFORT. THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "X" 1988 NAVD.

THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY IS FREE OF RESTRICTIVE CONVEYANCES OR ANY CITY AND/OR COUNTY ORDINANCES.

I, DAVID E. GASQUE, HEREBY CERTIFY TO BENTON C. TOLLEY, III AND EVANGELINE S. TOLLEY, THAT THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL.

Changes to footprint shown:

1. Remove concrete wall along front of property
2. See landscape plan for new off-street parking and other landscape changes along this side of the house
3. Temporary power pole to be removed at end of construction and new electrical service to be brought in underground.
4. See landscape plan for area behind house
5. Remove jog during reconstruction of back wall

20 10 0 20 40 60

SCALE: 1"=20' SCALE IN FEET DATE: 3/29/2021

DAVID E. GASQUE, R.L.S. JOB # 54225
 S.C. REGISTRATION NUMBER 10506 FB#1087/MH DSGN#7
 THIS PLAT IS NOT BINDING UNLESS ACCOMPANIED BY AN ORIGINAL SIGNATURE AND AN EMBOSSED SEAL.

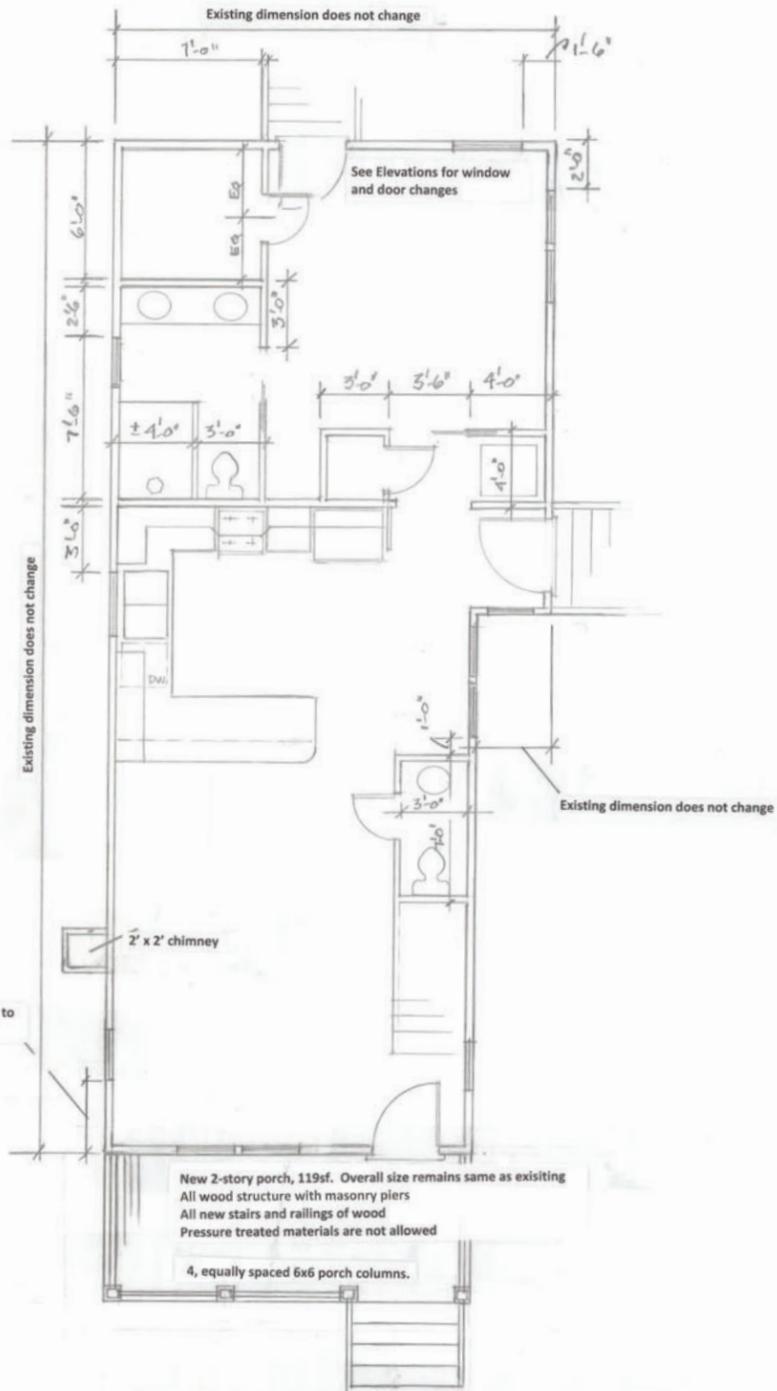






FIRST FLOOR PLAN.....1/4" = 1'-0"
 See Survey for overall sizes
 Existing Conditions
 Approximately 845sf conditioned
 Ceiling height 7'-5"
 Front porch 119sf

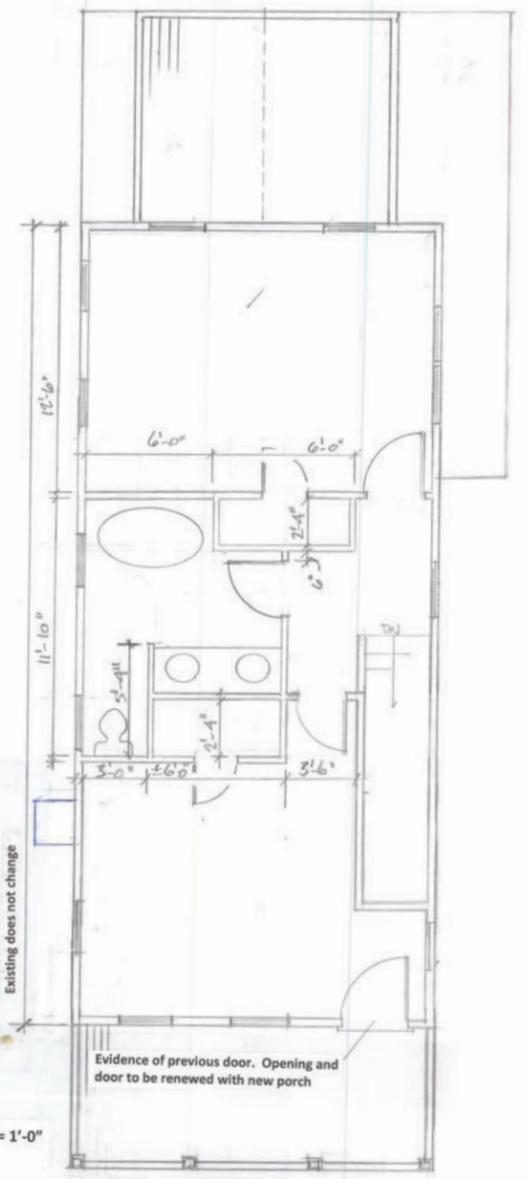
+/- 3'-6" same size as above to align with existing above



FIRST FLOOR PLAN.....1/4" = 1'-0"
 Proposed Conditions. No changes to overall existing footprint
 -Approximately 845sf conditioned
 Note
 All dimensions shown are +/- to prevailing site conditions once basic structural repairs have been made. Contractor to site verify all and contact designer/owner as needed.
 During the rehabilitation process exterior walls will be 2x6, 16"cc Interior walls will be 2x4, 16"cc unless larger are needed for structural/mechanical reasons. Final decisions to be made by structural engineer
 -Ceiling height to be raised from existing (7'-5" to 8'-0") See Cross Section on Front Elevation drawing
 -Window and door schedule to follow after determination of exact sizes, and based on windows/doors that can be repaired and those that must be new



SECOND FLOOR PLAN.....1/4" = 1'-0"
 Existing Conditions
 Approximately 612sf conditioned
 Ceiling height 7'-3"

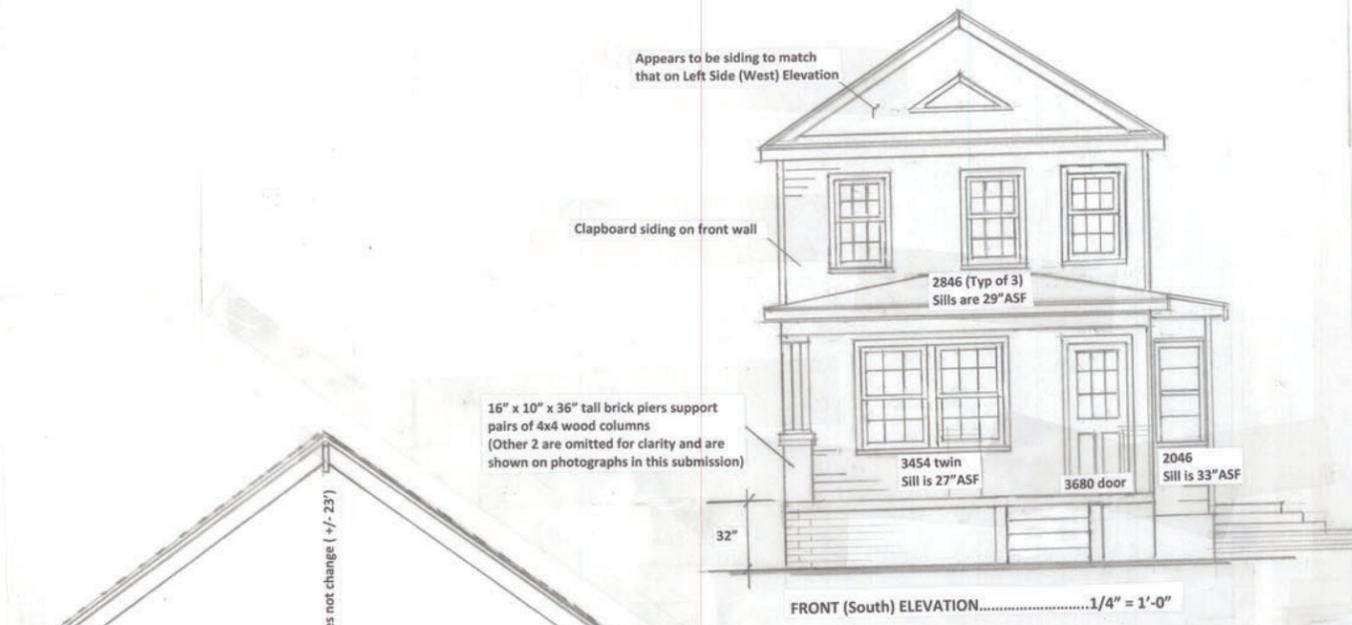


SECOND FLOOR PLAN.....1/4" = 1'-0"
 Proposed Conditions
 -Approximately 612sf conditioned
 -Front porch 119sf. All new wood structure with details to match new first floor porch
 -Ceiling height to be raised from existing 7'-3" to 8'-0"
 See Cross Section on Front Elevation
 Note
 All dimensions shown are +/- to prevailing site conditions once basic structural repairs have been made. Contractor to site verify all and contact designer/owner as needed.
 During the rehabilitation process exterior walls will be 2x6, 16"cc Interior walls will be 2x4, 16"cc unless larger are needed for structural/mechanical reasons.
 Final decisions to be made by structural engineer
 Window and door schedule to follow after determination of exact sizes.
 List of windows and doors to be replaced and/or repaired to be provided by owner

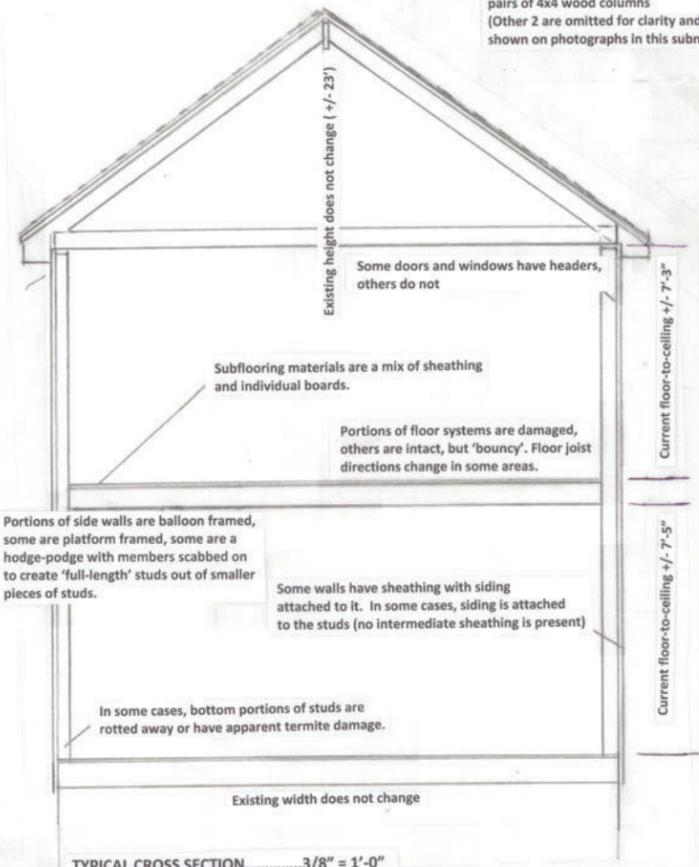
TOLLEY RESIDENCE
 811 KING STREET
 BEAUFORT, SC 29920

FIRST AND SECOND FLOOR PLANS
 EXISTING AND PROPOSED

OCTOBER 2021

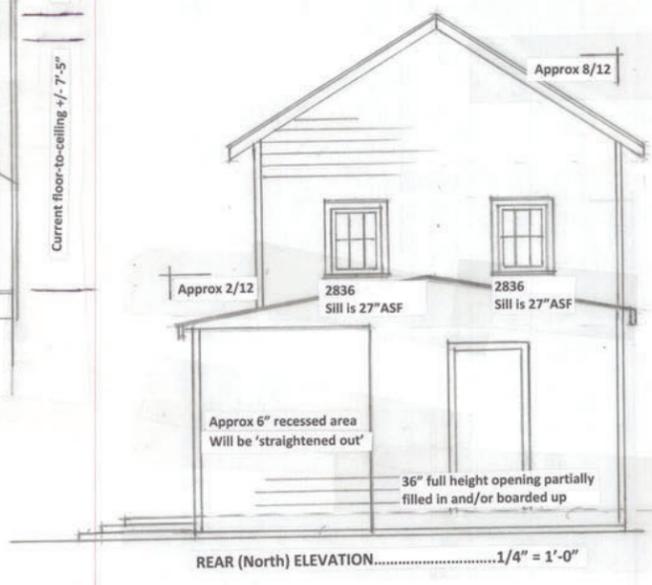


FRONT (South) ELEVATION.....1/4" = 1'-0"



TYPICAL CROSS SECTION.....3/8" = 1'-0"

In short, this project will replace and/or repair all floor, wall, ceiling, and roof systems to be in accordance with the 2018 South Carolina Residential Code for One-and Two Family Dwellings, et seq.



REAR (North) ELEVATION.....1/4" = 1'-0"

Additional notes:

There is evidence in the files that the foundation has been recently repaired, and /or that new piers have been installed. Conditions will be inspected by the structural engineer and will be brought into compliance as necessary as part of the reconstruction.

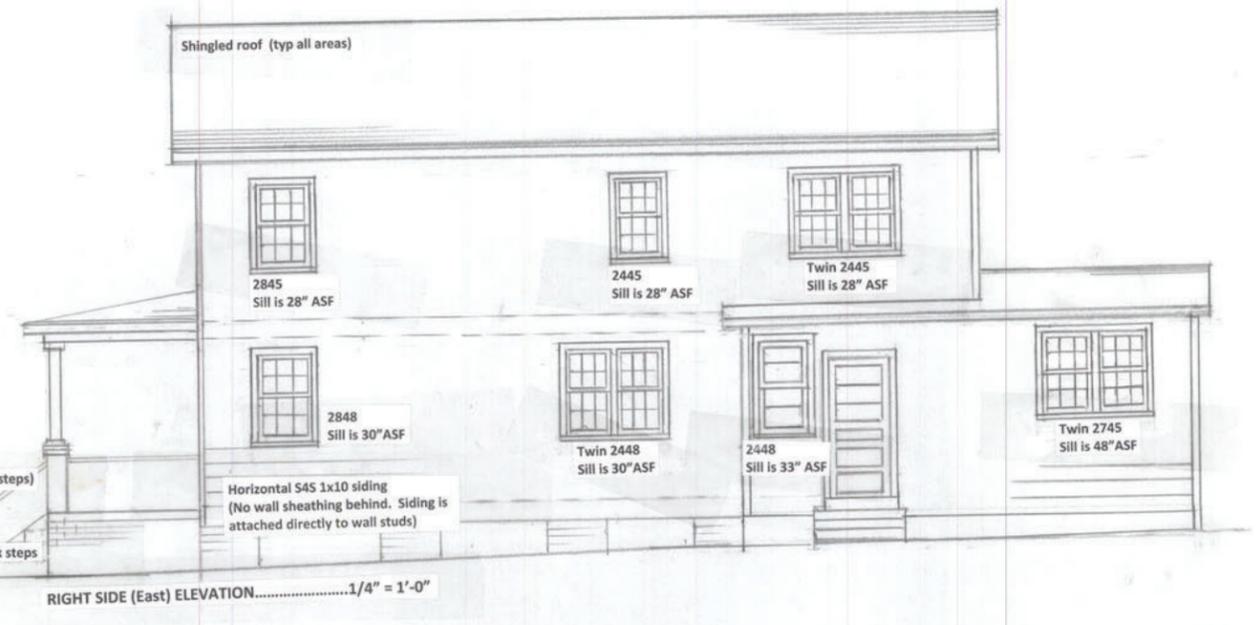
The interiors of both the first and second floors have been gutted and the only remaining framing appears to be in place for temporary structural purposes. Most window and door openings are not square or plumb, and as can be seen in the photographs many of these components are broken, missing, or otherwise compromised to the point that they cannot be reasonably re-used. Sizes shown on the As-built drawings are nominal and are +/- to the nearest inch that can be accurately determined on site.

Deterioration of framing members is such that the entire structure (except perhaps the rafters), will have to be replaced from the treated sills to the top plates. All such work will be detailed and shown as part of the engineer's review and recommendations.

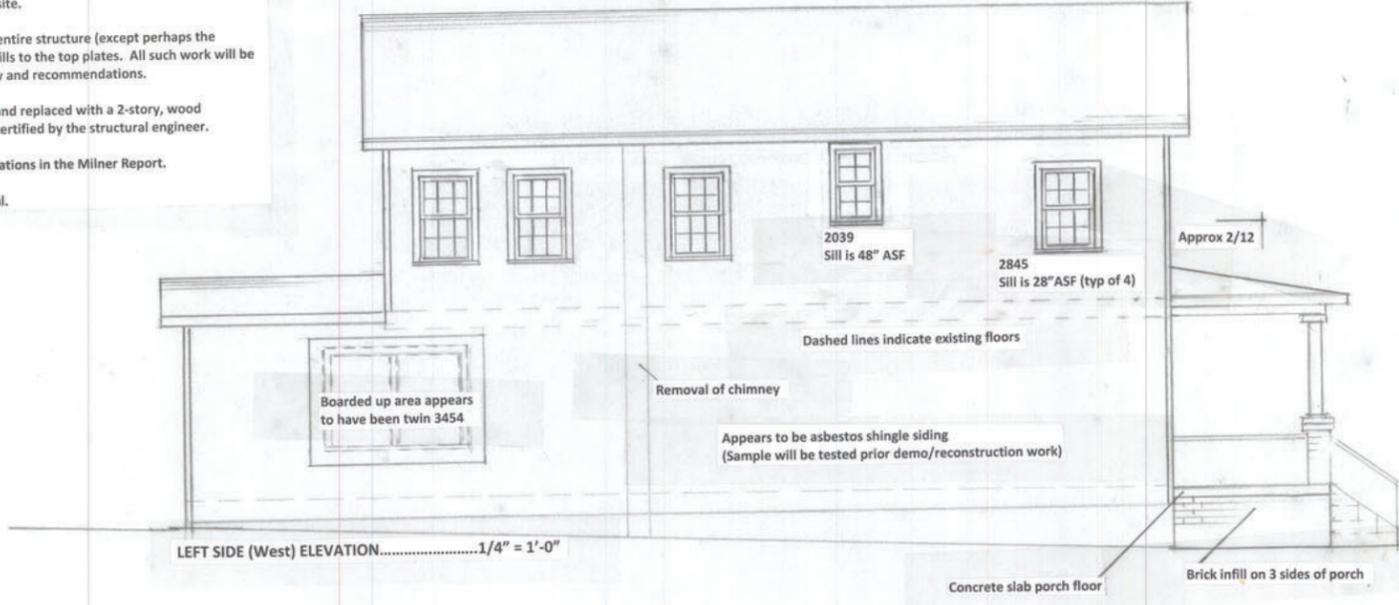
The existing masonry front porch will be removed and replaced with a 2-story, wood structure. Details will appear on the plans and be certified by the structural engineer.

All siding will be replaced according to recommendations in the Milner Report.

All shingles will be replaced by standing seam metal.



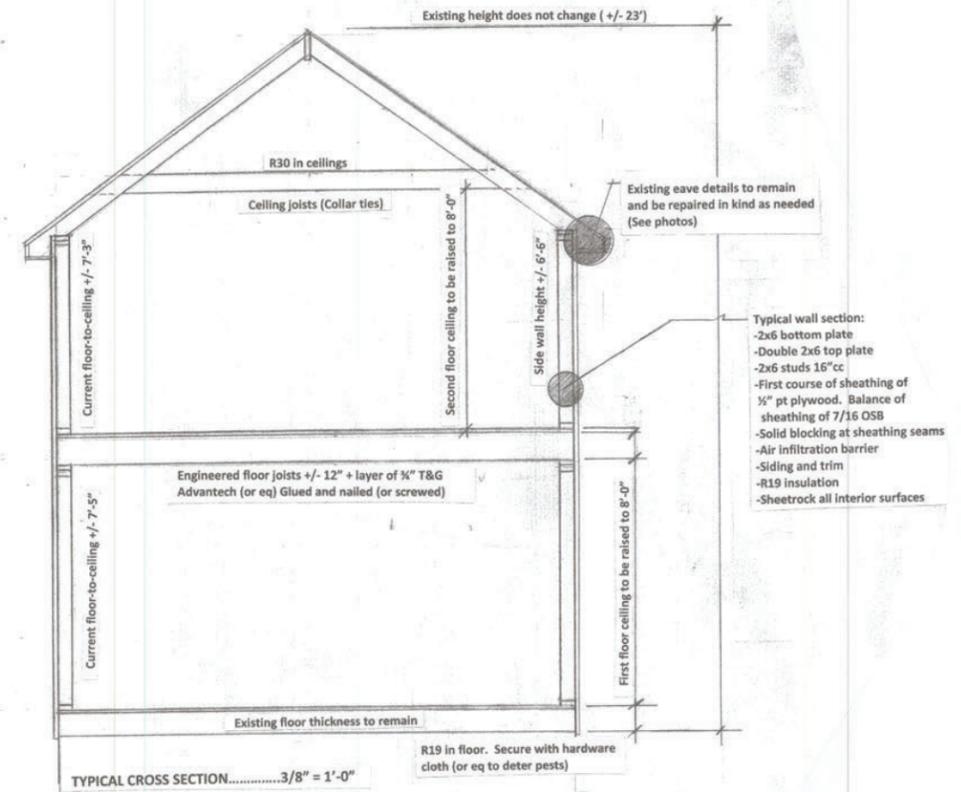
RIGHT SIDE (East) ELEVATION.....1/4" = 1'-0"



LEFT SIDE (West) ELEVATION.....1/4" = 1'-0"

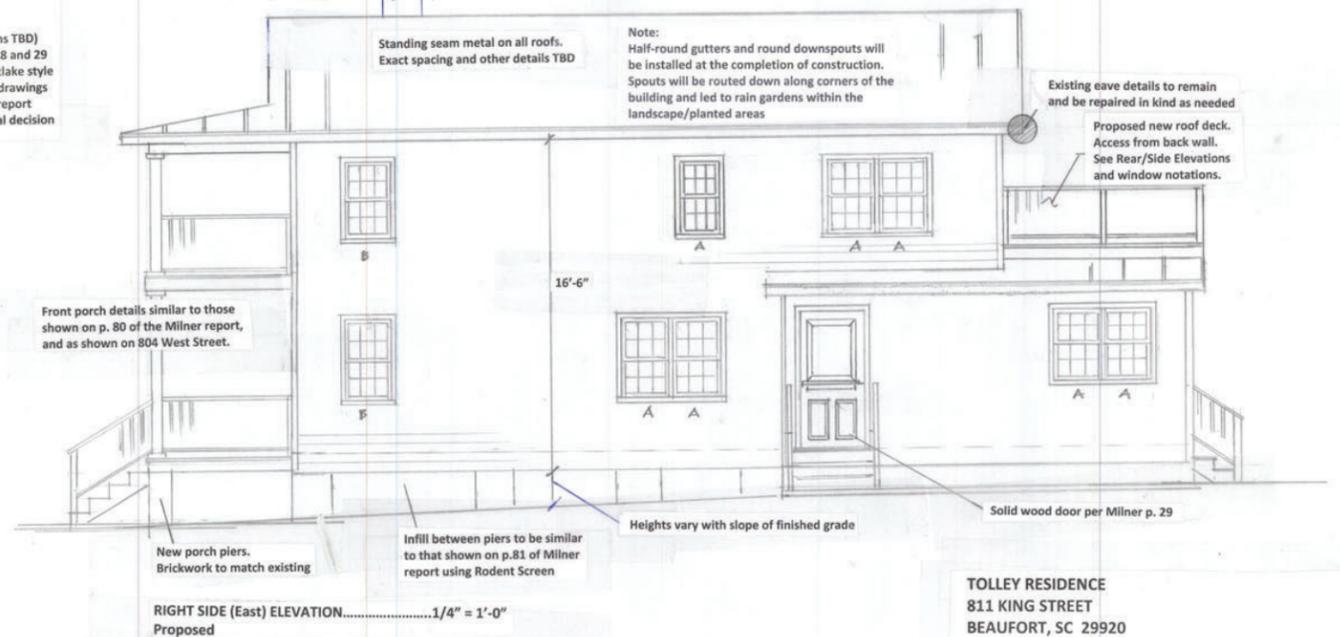
TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29920

AS BUILT ELEVATIONS
AS BUILT CROSS SECTION
AUGUST 2021



NOTES ON THE ELEVATIONS:

- Portions of railings shadowed in or omitted for clarity. Railings to be in accordance with those shown on page 39 of the Milner report, and on 804 West Street (Picture in this submission)
- Horizontal clapboard siding on all sides
- Gutters and downspouts to be installed and led to rain gardens (size and locations TBD)
- Window and door trim as shown on pp.28 and 29 of the Milner report in Queen Anne/Eastlake style
- Mullion patterns as shown on elevation drawings
- Door styles as shown on p. 29 of Milner report Queen Anne/Eastlake. Staff to make final decision



Window notations:

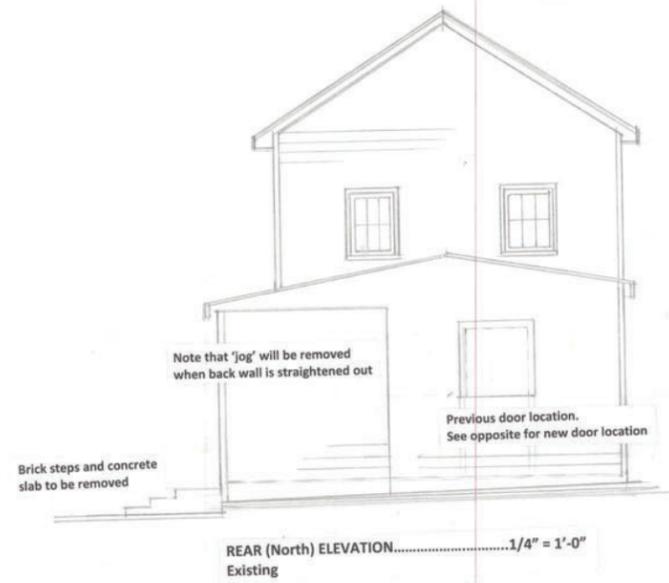
A = New, custom made wood windows to match size and configuration of existing. True divided light 6/6, double hung sash. Where practicable use IG.

B = Repair/restore existing to functional 6/6

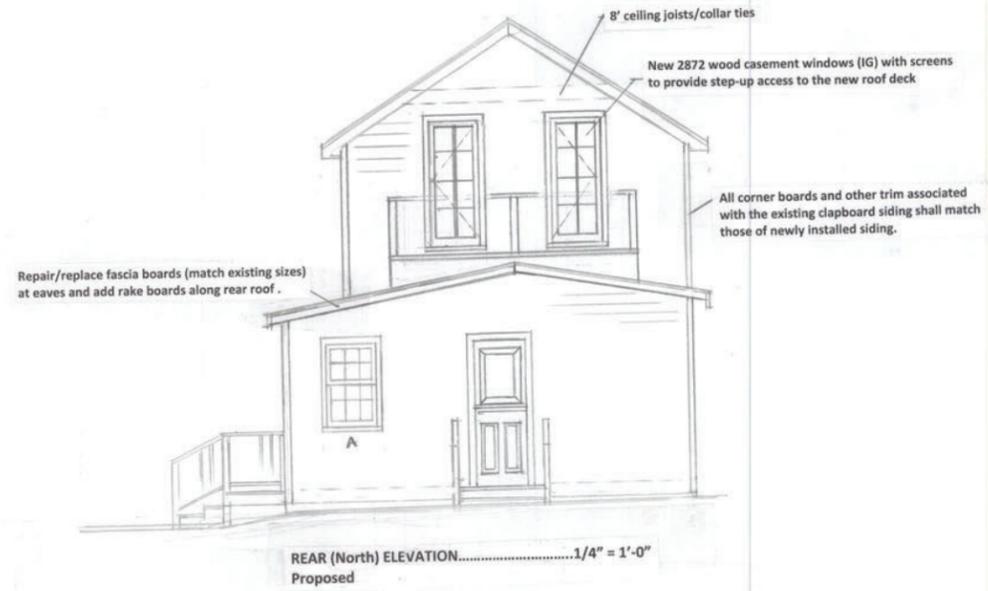
TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29920

FRONT (South) and RIGHT SIDE (East) ELEVATIONS
Existing and Proposed
TYPICAL CROSS SECTION
Proposed

OCTOBER 2021



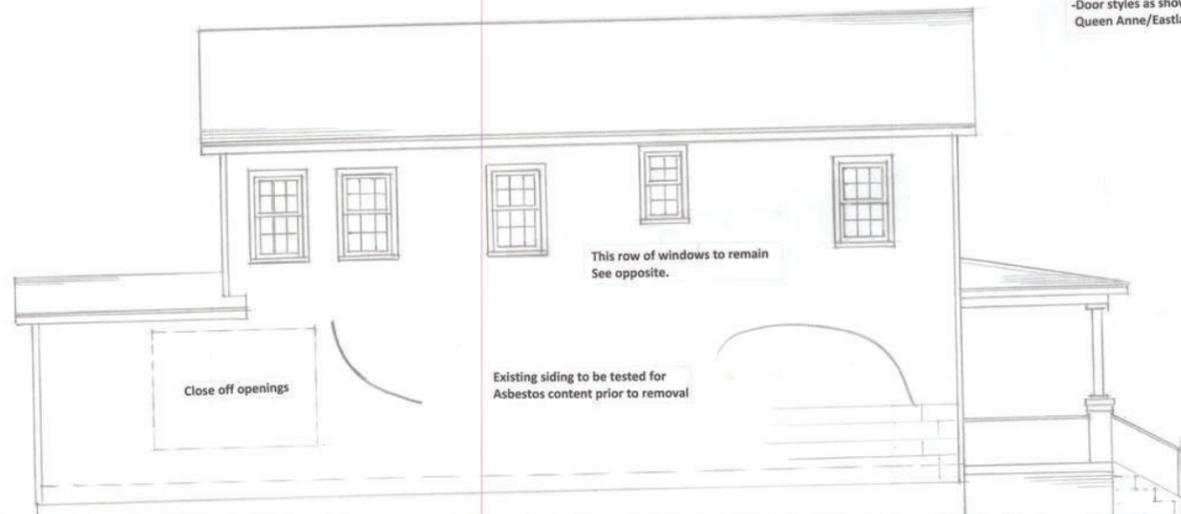
REAR (North) ELEVATION.....1/4" = 1'-0"
Existing



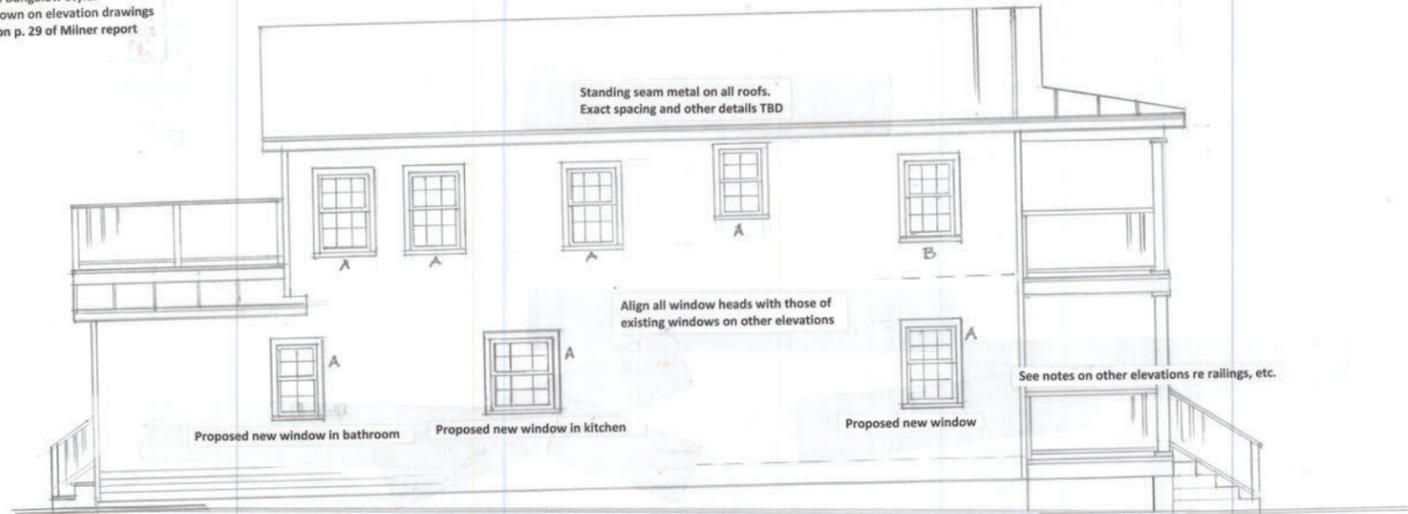
REAR (North) ELEVATION.....1/4" = 1'-0"
Proposed

NOTES ON THE ELEVATIONS:

- Portions of railings shadowed in or omitted for clarity. Railings to match those shown on page 39 of the Milner report, and 804 West Street
- Horizontal clapboard siding on all sides
- Gutters and downspouts to be installed and led to rain gardens (size and locations TBD)
- Window and door trim as shown on pp.28 and 29 of the Milner report in Bungalow Style.
- Mullion patterns as shown on elevation drawings
- Door styles as shown on p. 29 of Milner report Queen Anne/Eastlake



LEFT SIDE (East) ELEVATION.....1/4" = 1'-0"
Existing



LEFT SIDE (East) ELEVATION.....1/4" = 1'-0"
Proposed

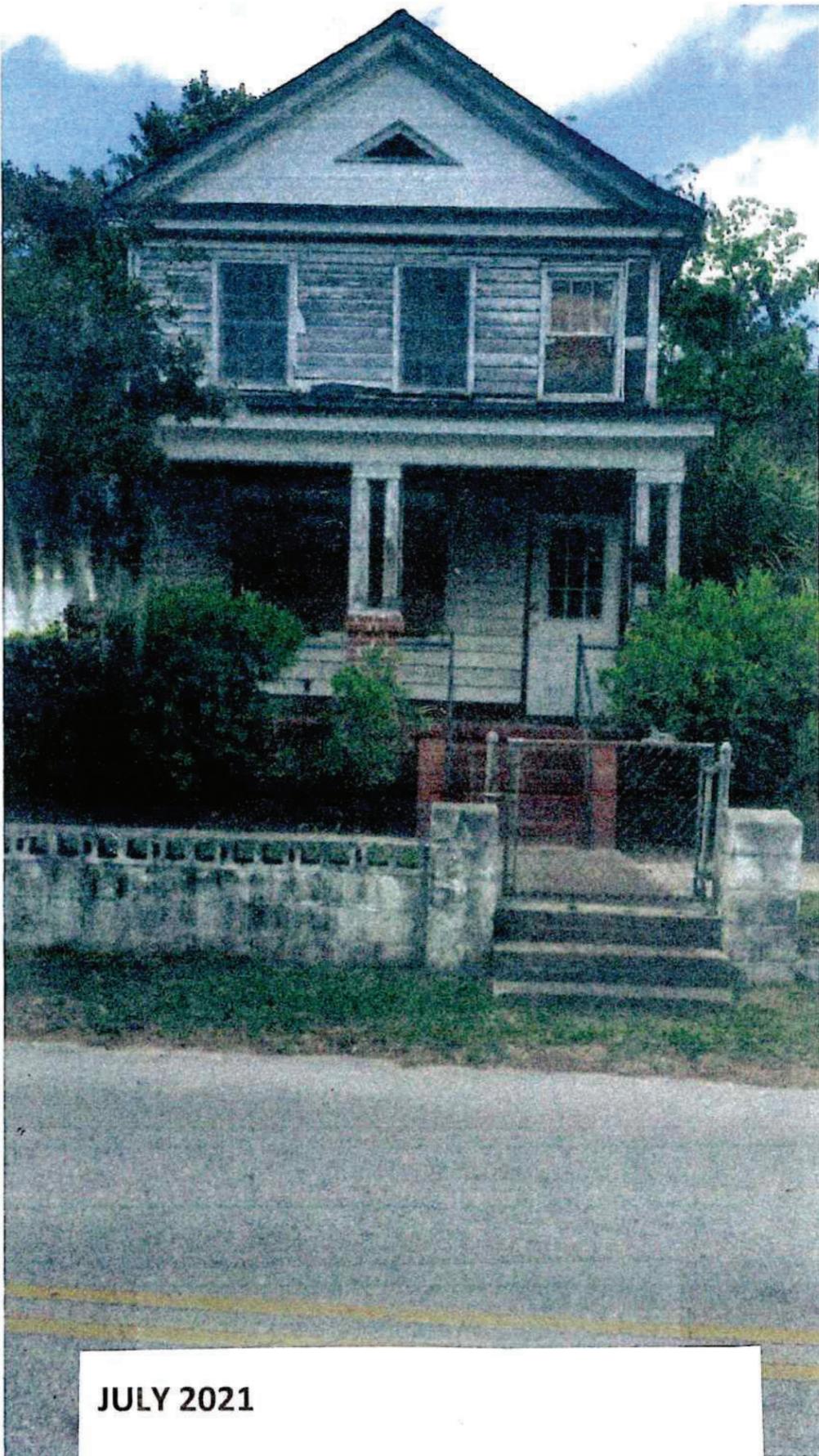
A = New, custom made wood windows to match size and configuration of existing.
True divided light 6/6, double hung sash.
Where practicable use IG.

B = Repair/restore existing to functional 6/6

TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29920

REAR (North) and LEFT SIDE (West) ELEVATIONS
Existing and Proposed

OCTOBER 2021



JULY 2021

**TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902**

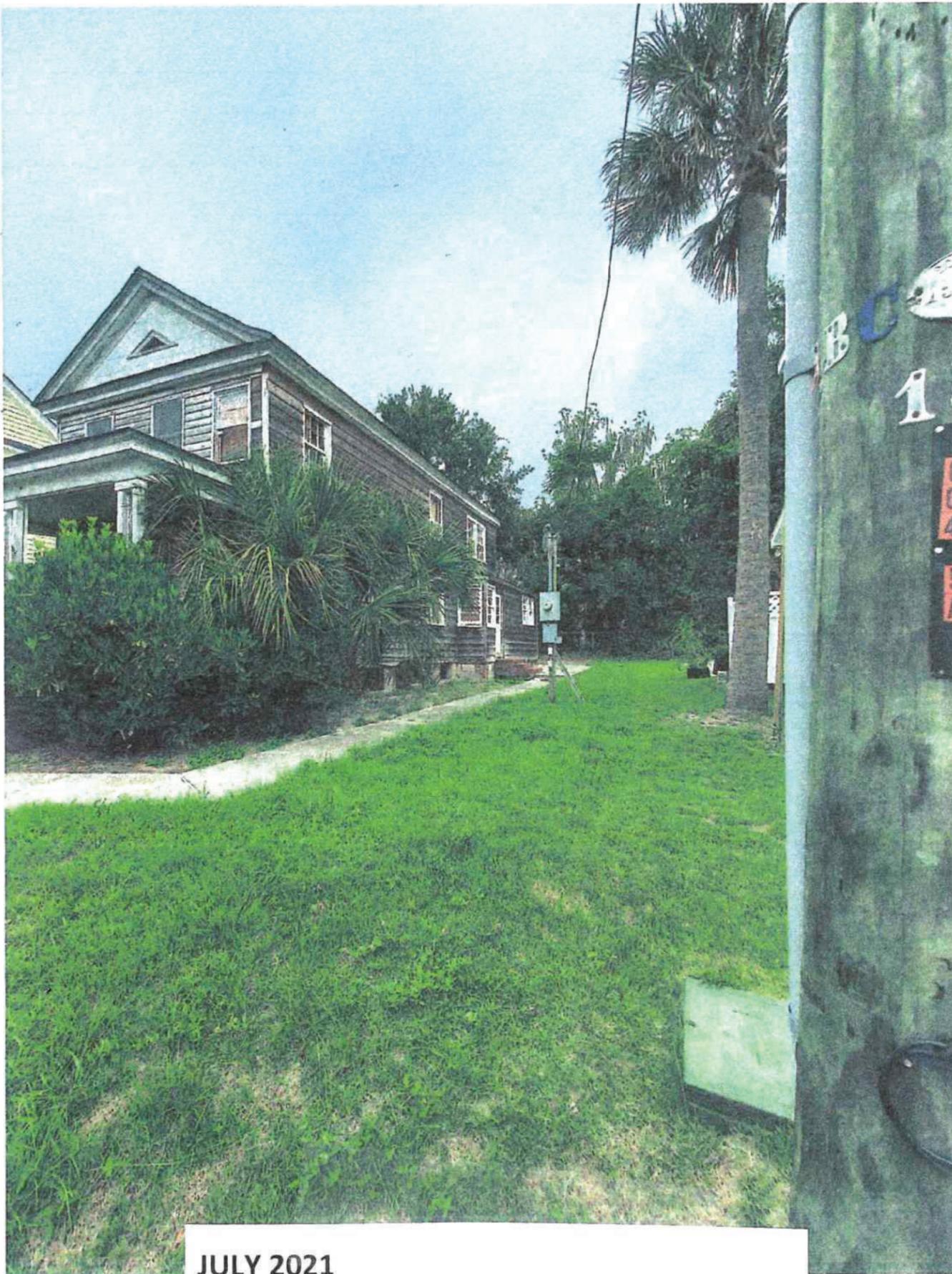
FRONT



JULY 2021

**TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902**

LEFT SIDE

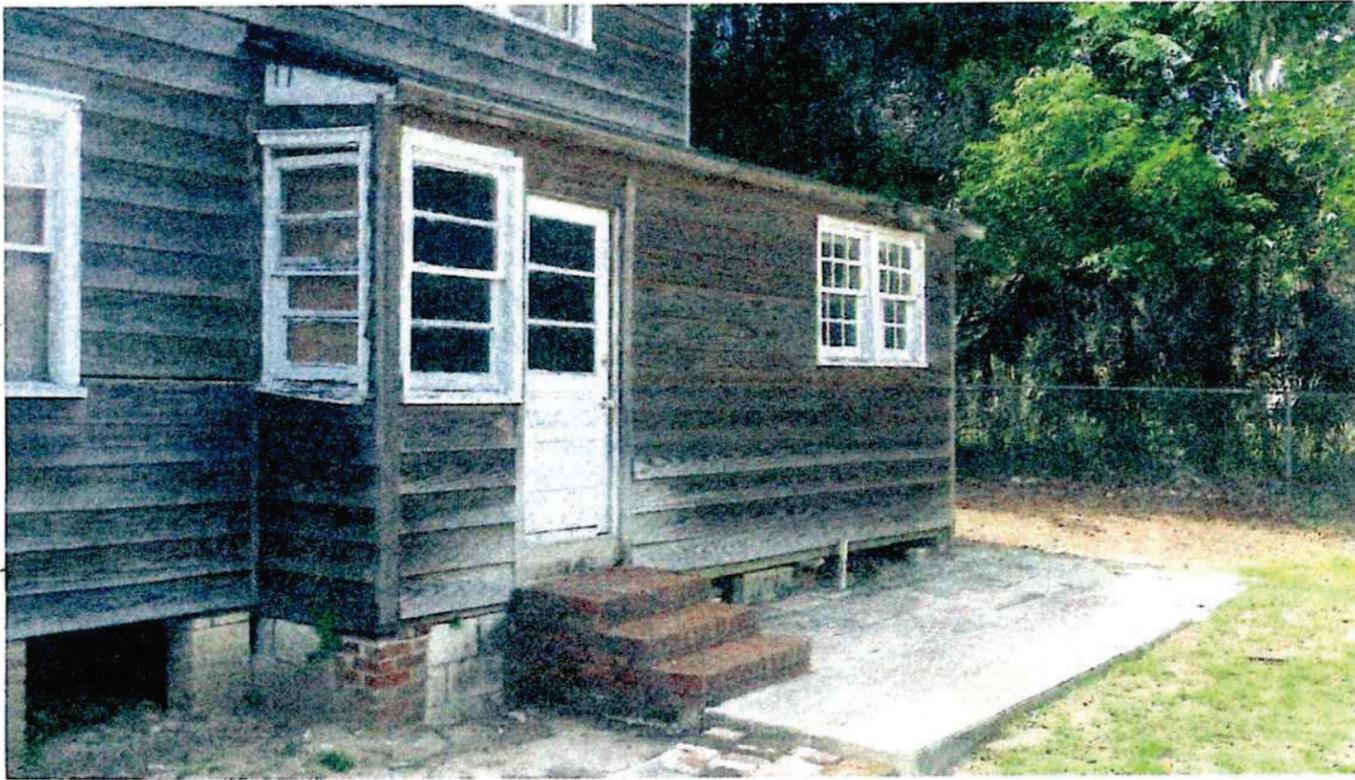


JULY 2021

**TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902**

RIGHT SIDE

All landscape materials will be removed in favor
of new landscape plan shown elsewhere in this set



JULY 2021

**TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902**

RIGHT SIDE
The addition shown will remain



JULY 2021

**TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902**

REAR ELEVATION

Note that 'jog' will be removed
when back wall is straightened out



JULY 2021

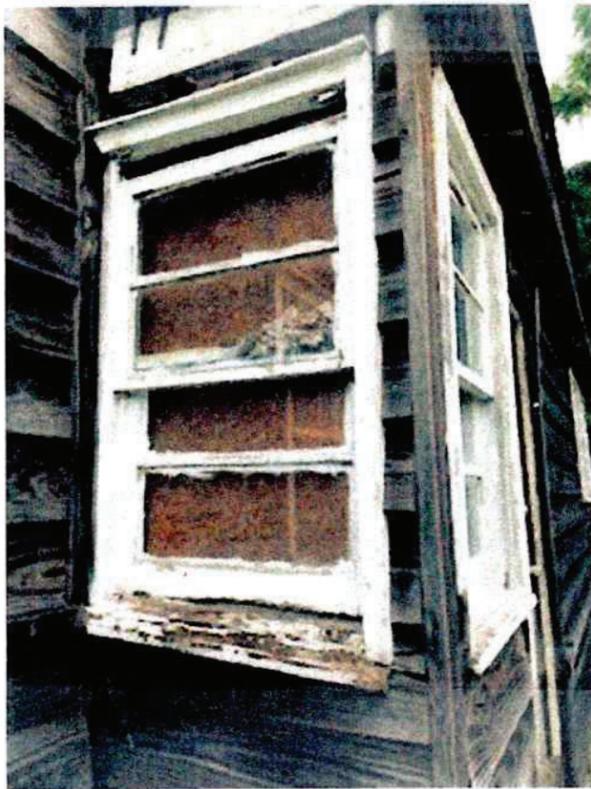
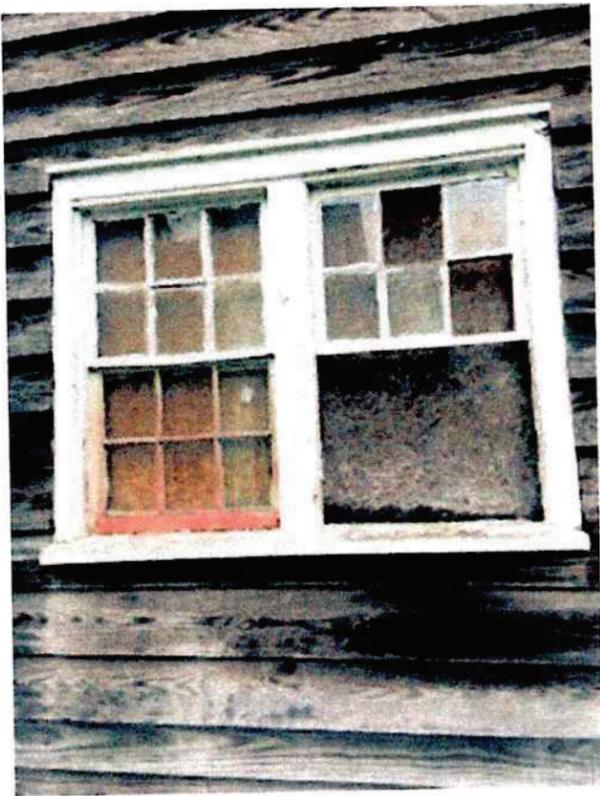
**TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902**

**ELEVATION SHOWING PIERS
Pier heights vary**

OCTOBER 2021

TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC

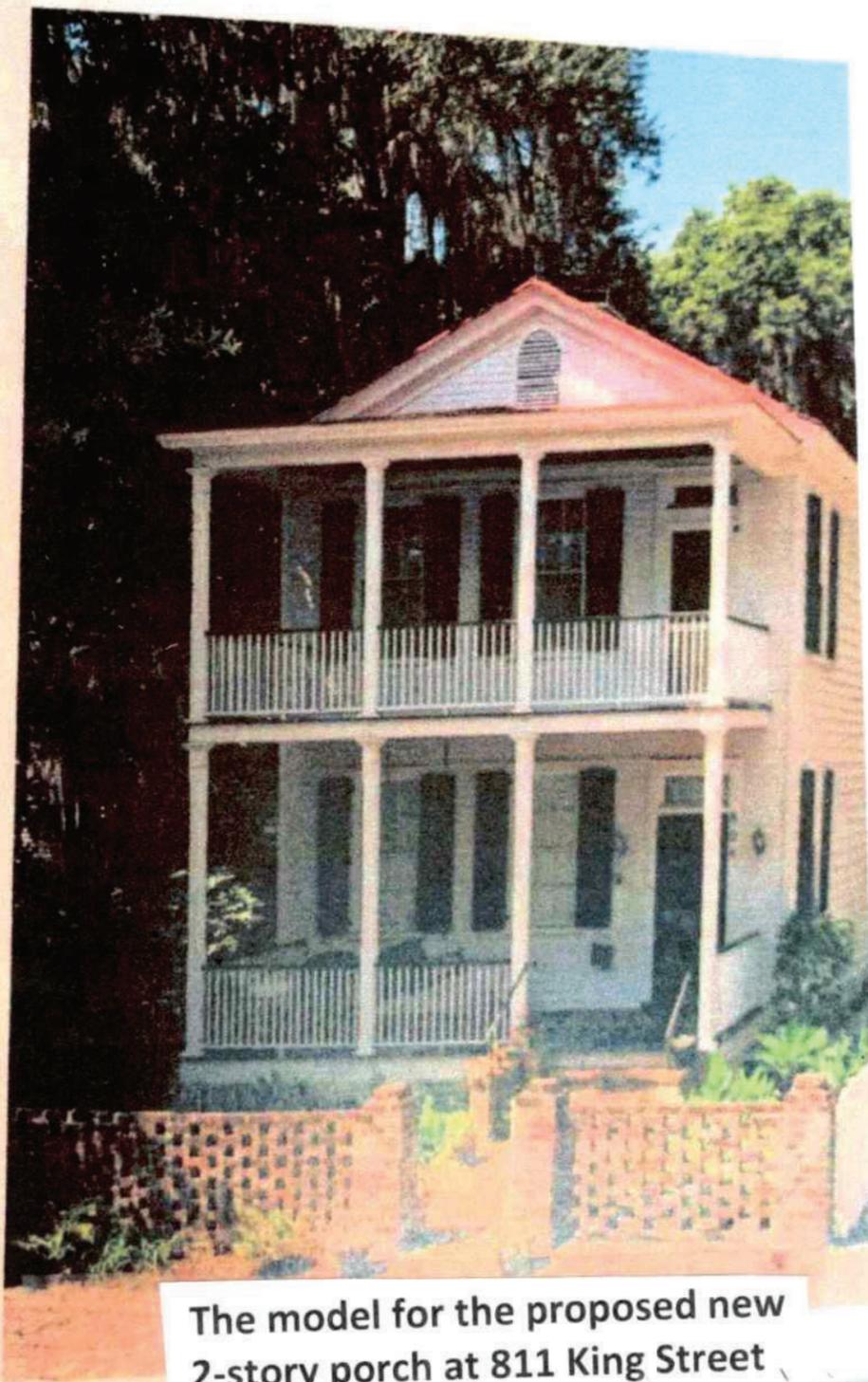
EXAMPLES OF CURRENT WINDOW CONDITIONS



90. 804 West Street

ca. 1870

This folk-style house with the gable front is similar to others built post-Civil War. There is some indication that Northern land speculator and Reconstruction-era politician Richard Gleaves was associated with it. See 801 Prince Street, 607 West Street and 813 King Street.



The model for the proposed new 2-story porch at 811 King Street

HVAC Platform

11.2.2021

TOLLEY RESIDENCE
811 KING STREET
BEAUFORT, SC 29902

PROPOSED LANDSCAPE PLAN...NTS

Outline of house, porch, and steps

All plantings of Boxwood hedge

All paved areas of Savannah Gray brick.
Several patters shown. Final decision
by HDRB. See next page for
Permeable Paving Detail

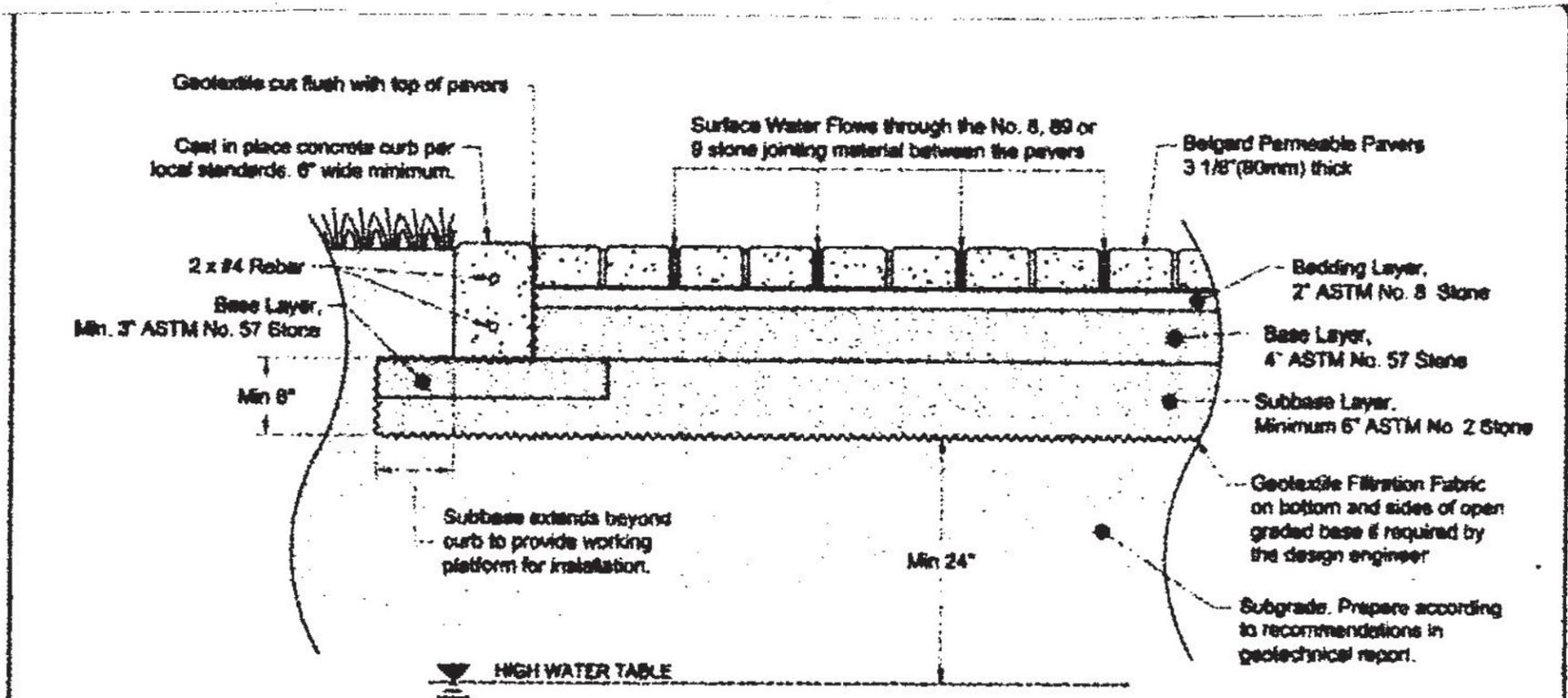
Off-street parking pad

Sod

Piers of Savannah Gray brick
24" X 24" X 48" high (Typ of 3)

Wall of Savannah Gray
brick approximately 36" high

Tolley



Design Notes:

1. Depth of subbase subject to site specific hydraulic and structural requirements. Contact Belgard Commercial for design assistance.
2. Paver dimensions subject to aspect and plan ratio requirements based on traffic loading.
3. Geotechnical engineer needs to balance structural stability and soil infiltration when recommending subgrade conditions.
4. Where the filtration geotextile is used, verify with the manufacturer that the material is not subject to clogging and meets requirements of AASHTO M-288.
5. ASTM No. 2 stone may be substituted with No. 3 or No. 4 stone
6. Strictly pedestrian applications may substitute base/subbase layers with one 6 inch base layer of ASTM No. 57 stone.

 belgardcommercial.com 877-326-4273 details@belgard.com	This drawing is for illustrative purposes only and should not be used for construction without the signature of a registered professional engineer.	Belgard Permeable Paving Detail PICP Pavement		Title N T S	Drawn by MAH
		Date 5/7/16	Drawing number PICP_1		

11.2.2021

TOLLEY RESIDENCE
 811 KING STREET
 BEAUFORT, SC 29902

October 24, 2021

**Tolley Residence
811 King Street
Beaufort, SC 29902**

Area Calculations:

**Using the survey dated 3.29.2021 I show the following:
Lot Area 3111.6 sf**

Existing Impervious areas:

**House footprint..... 838.3625 sf
Front porch..... 120.373sf
Slab and brick steps on right side..... 112sf
Concrete walkway..... 165sf
Masonry steps in front..... 40sf
Masonry wall along front boundary..... 22sf**

Total impervious as-built.....1297.7355sf

Lot coverage of impervious areas = .417%

Proposed conditions:

All existing masonry steps, walkways, CMU wall along the front, slab and brick steps on the right side will be removed

**House footprint..... 838.3625 sf
-Two sets of stairs.....28sf
-Brick retaining wall and columns along front of property will add approximately..... 30sf
-HVAC platform of 4 x 6 adds.....24sf**

Total impervious area after completion of project, and assuming that project details shown in this submission are followed, will be.....920.362sf

This represents a pervious to impervious area of approximately .296%

A reduction of impervious area of approximately12%

**The model for the proposed new
2-story porch at 811 King Street**

Note:

**Half-round gutters and round downspouts will
be installed at the completion of construction.
Spouts will be routed down along corners of the
building and led to rain gardens within the
landscape/planted areas**

Chimney cricket

East











































**811 King Street, Beaufort, South Carolina.
History and Preservation, an Architectural Appraisal.**

a report prepared for the Historic Beaufort Foundation

by

Colin Brooker Dip. Arch.; M. Arch.

Ashley Hefner.

December 23, 2008

Brooker Architectural Design Consultants
Historic Preservation and Heritage Planning
208 Carteret Street, Beaufort
South Carolina.
Telephone 843 838 5555

811 King Street, Beaufort, South Carolina. History and Preservation, an Architectural Appraisal.

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Ashley Hefner.

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Historic Preservation and Heritage Planning
Beaufort, South Carolina.

Introduction

The following report concerns a two storey timber framed dwelling commonly known as the Grayson House dating back to the latter half of nineteenth century located at 811 King Street, Beaufort, SC on Block # 56 near the intersection of West and King streets. In March 2008, its present owner, the Baptist Church of Beaufort made application for demolition submitting in support of their application a report by Moulton Clemson Jones, Inc., Structural Engineers, Bluffton, SC dated November 29, 2007 which concludes that the dwelling is currently unsafe for use.

The present submission, prepared under contract with the Historic Beaufort Foundation, presents another interpretation based upon separate examination of the subject property and review of its history. It includes summaries of historic findings based on documentary sources, an appraisal of the buildings significance in the context of Beaufort's Historic Landmark District and recommendations concerning the building's future preservation. Sketch drawings, photographs of the house and an outline proposal for its rehabilitation are attached.

Generally, while we do not dispute the fact the house is unfit for habitation in its present condition, we cannot agree that it is beyond repair, presents a threat to public safety or does not merit preservation. On the contrary, the dwelling appears a good candidate for careful renovation, such renovation having the potential to act as a catalyst for further rehabilitation of related historic structures standing in its immediate vicinity on Block 56, three quarters of which is now used by the Baptist Church of Beaufort for vehicular parking.

History and Development.

Facing south onto King Street, the subject property stands on a relatively narrow plot constituting part of Lot B in Block No. 56 as designated on the plan of Beaufort adopted by the U.S. Direct Tax Commission in 1864.

Immediately prior to the Civil War one manuscript variant of this plan (copy Beaufort County

Library) shows that Lot A, which comprised the southwest quadrant of Block 56, belonged to William Wigg, a planter who distinguished himself in the American Revolution.¹ If any structure stood on the property at this period is not clear although late nineteenth century Sanborn maps show a dwelling at the corner of King and West streets organized about a traditional “T” shaped plan which might conceivably have pre-dated anything now standing on the site. It is certain the remainder of the block, designated Lot B in 1864, was then occupied by William Wigg Barnwell and his wife Sarah (Reeve Gibbes) Barnwell whose impressive three storey house stood adjacent to the corner of Scott and Prince streets down until 1973 when moved to 501 King Street.

Following Beaufort’s occupation by Union forces in 1863, the majority of real estate in town was sold to satisfy delinquent taxes imposed by the U.S. Direct Tax Commission which, on June 7, 1862, had been authorized by Congress to collect “*direct taxes in insurrectionary districts within the United States.*” Sales of Beaufort Town lots began on March 13, 1863, the majority of properties then being bought in for the Federal government. Property thus acquired was (after much political maneuvering) offered again during the following year at auction.

Sale results published in the New South on January 30 show that Lot B of Block 56 was struck off to George Noble for the sum of \$325, one quarter of which was payable at the time of sale, the balance to be paid within three years. Described “*as a Volunteer in the Army of the United States*” Noble received title to his purchase via Army, Navy or Marine Certificate No. 24.

Conversely, the much larger parcel designated Lot A of Block 56 went unsold until November 1866 when bought for \$200 by Bower W. Barnwell (1825-1895) who thereby acquired his parent’s former town residence where he himself had lived for most of his life.² Barnwell apparently moved to Abbeville in 1871, but the property stayed in the family until 1882 when sold to W. H. and Charles H. McCleod.

A	56	600	1100	S. C. Millette.
B	56	600	815	J. W. Collins, soldier.
C	56	600	1150	J. M. McAlamus.
D	56	600	200	Robert M. Tull.
E	56	600	200	Serjt. I. Middleton.
F	56	600	200	Maj. E. Porter.
G	56	600	1100	D. Grayson, soldier.
H	56	600	110	Maj. C. A. Rice.
I	56	1800		
J	56	50	325	Geo. Noble, soldier.
K	56	500	1800	Wm. Jenkins, navy.
L	56	500	1800	S. Hrucey, soldier.
M	56	300	700	Lt. J. O'Neill, (sold).
N	56	100	50	Almshouse & Semmer.
O	56	50	100	Capt. Blake, navy.
P	56	50	110	Emanuel Haines.
Q	56	100	50	N. Braen, soldier.
R	56	100	1000	Capt. G. H. Moore.
S	56	60	250	Samuel Chaplin.
T	56	600		
U	56	300		
V	56	300		
W	56	200	250	Wm. Seabrook.
X	56	150	100	E. G. Nichols.
Y	56	200	500	T. Crowell, soldier.
Z	56	600		

Figure 1 Free South, January 30, 1864. Results of land auction ordered by U.S. Direct Tax Commissioners. Tables left list Block designations.

¹Measuring about 166 feet north/south x east/west.

²Like almost all other local residents, Bower Barnwell probably fled inland in advance of Union forces who occupied Beaufort after the Battle of Port Royal. Unlike the majority of his former neighbors, he returned to Beaufort after hostilities ceased, opening and operating a dry goods store.

Noble's period of occupation (if he ever occupied the site) was very brief, U.S. Census records showing that he most likely had left South Carolina some time before 1870. Subsequently, the parcel constituting Lot B of Block 56 was subdivided and sold off piecemeal. Land now occupied by the subject house along with other portions of Lot B were acquired by Samuel Mulligan in 1875 and remained in his ownership down until the first decade of the twentieth century.

According to the US Census of 1870, Mulligan, then aged 35 and described as "black" was a carpenter. Born in South Carolina he was unable to read or write suggesting that his trade had been learned in the context of plantation or possibly urban slavery.³ Whatever the case, by 1870 he was married with two children, the US Census of 1880 attesting that the family lived on King Street along with two "boarders" who may or may not have been related to the Mulligans.⁴

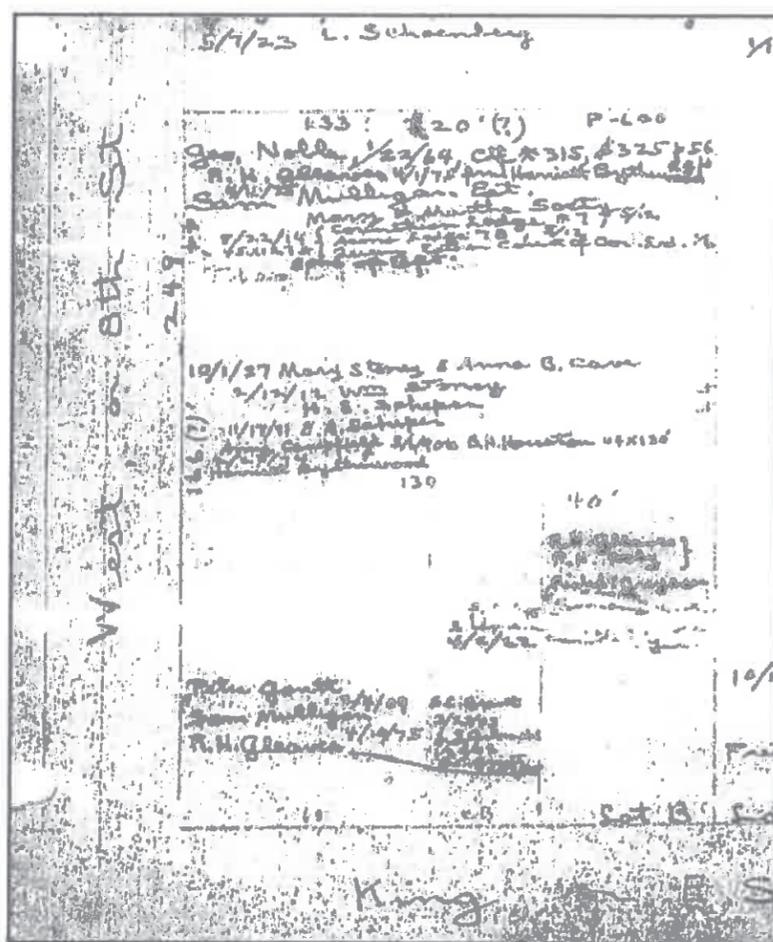


Figure 2 Beaufort, SC. Block 56, Lot B. Sequence of ownership compiled by Neils Christianson, no date. (Beaufort County. RMC).

His trade (reported as "house carpenter" in 1900) and the fact that he was then able to rent out living space strongly suggests that Sam Mulligan was responsible for initial construction of the present house at 811 King Street most likely during the late 1870's or early 1880's.⁵ This supposition is strengthened by Sanborn Insurance maps issued between 1898 and 1924 which show the evolution of a structure clearly identical with the subject dwelling, and the earliest portions of the house itself which are characterized by carefully detailed timber framing consistent with local late nineteenth century practice. This evolution is described in more detail below, four principal

³No free blacks with the name Mulligan are reported by the 1860 US Census of Beaufort District. Two white Mulligan families, one in St. Luke's Parish and the other in St. Peter's Parish were headed by schoolmasters, neither of whom appear to have been slave owners.

⁴US Census for 1900 records that in addition to his wife Chloe (born in 1849), two sons, James (born in 1875) who was employed as a tailor and John (born in 1888) were then living under the same roof. Chloe was probably Mulligan's second wife, earlier Census returns recording his spouse's name as Celia. Chloe Mulligan had given birth to seven children, four of whom were living in 1900.

⁵If Sam Mulligan occupied the subject dwelling or a neighboring house to the west is not clear. Both buildings were in his ownership, but Mr. Evan Thompson informs us that he has information indicating that the Mulligan's lived in the house (now substantially modified or rebuilt) at the corner of West and King streets.

building phases being identified on the basis of cartographic sources and framing patterns observed within the house.

Evolution of the House, circa 1875 -1960

Phase I (after 1875)

The earliest known representation of the house at 811 King Street is given by the Sanborn Insurance map of Beaufort dated November 1899 (see Plate I) at time when the property was owned by Samuel Mulligan. Inspection in December 2008 revealed that this illustration does not depict an original configuration, but rather the building's footprint after addition of new accommodation to the north. Although obscured by later rebuilding, enough early framing survives to attest that before alteration the Phase I dwelling incorporated two storeys measuring about 10'-11" north/south x 16'-10" east/west in plan excluding a single storey porch or outshut (about 6'-0" wide) extending along the full length of its north face.

All original partitions have either been demolished or altered. The original stairway has also been replaced, chimneys removed, roof framing reconfigured, window arrangement changed and the north porch absorbed into later construction. Such drastic modification makes it difficult to reconstruct the dwelling's initial organization and appearance although it may safely be assumed that the Phase I house was just one room deep. If a two storey south porch shown on the 1899 Sanborn map was an original or additive feature is far less certain, the present single storey south porch being entirely modern. The original roof shape is also a matter for speculation, the plan form suggesting either a hipped or gable ended solution with gables east and west.⁶

Early framing is incompletely preserved. Among extant elements are timber ground cills measuring 6" x 6" in section which define the Phase I house body and a now redundant cill measuring 6" x 4 ½" which once supported the north facade of the rear porch or outshut.

Corner joints are carefully morticed and tenoned, all examples seen still remaining tight and firm despite clumsy modifications to or replacement of supporting brick piers. Running north/south, ground floor joists measuring 6" x 2" in section spaced about 2'-5" on center span between north and south cills without intermediate support, joists being notched at their extremities over the cills.

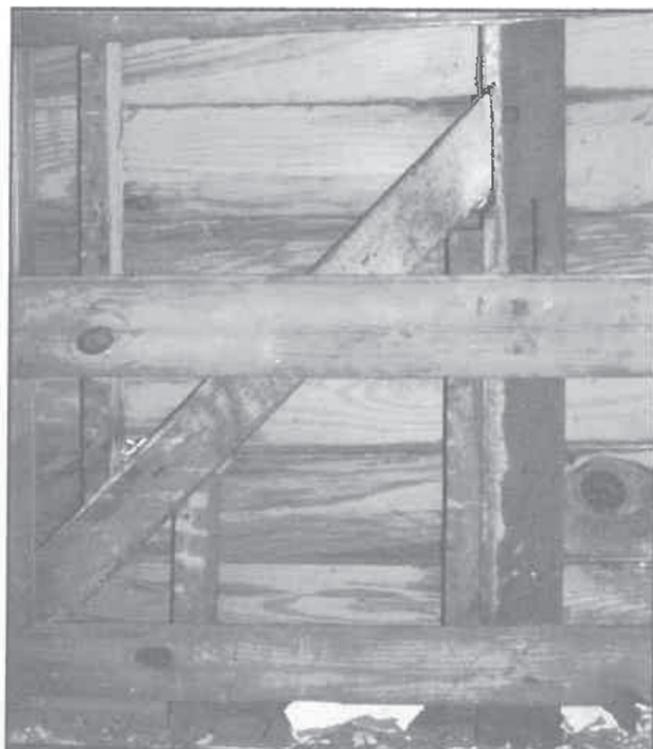


Figure 3 Phase I wall framing showing corner brace and mortice for original north wall.

⁶Considering the interior's low headroom we are inclined to believe that the original south porch incorporated a single storey, reconstruction of the Phase I porch with two storeys creating unconvincing structural and aesthetic results.

A timber plate measuring about 4" x 5" receives wall studs (typically 4" x 2 ½" in section), wall framing featuring corner angle braces at first and second floor levels carefully morticed into 4" x 4 ½" corner posts and supporting wall plates. Second floor joists, now modified run north/ south these being set to give a floor to ceiling height of 7'-2 ¾ " (on average).

On the second floor, an inner wall finish of lath and plaster survives in part, but it is not certain if this is original or replaced. Paint lines show that the exterior timber siding has been extensively restored, some early material being re-used and repositioned in the process. As elsewhere in the building, all facades are now clad in asbestos tile nailed over timber boards. All roof framing seen is replaced.



Figure 4 Block 56, Beaufort SC. 605 West St. East facade.



Figure 5 605 West Street, view from northwest.

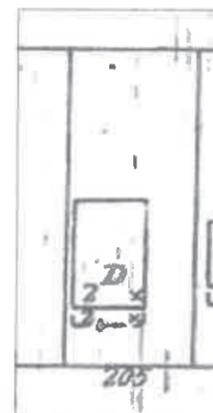
Reconstructed as a one room deep, two storey dwelling with a single storey north porch or outshut, single storey south porch and gabled roof, the Phase I building presents striking formal and dimensional parallels to a house standing on Block 56 at 605 West Street. Like the King Street dwelling, this building occupies land bought by Samuel Mulligan in

1875 and was most likely built by him. If so it supplies details lost at the subject property including evidence for a through hall with staircase running parallel to and against the interior north facade, single brick end chimney, rear porch or outshut and the original roof form. Although the south porch here has been altered it is clear from Sanborn maps that it was (as conjectured at 811 King Street) originally one storey high.

Phase II (before 1899).

Judging from cartographic sources, the Phase I dwelling saw addition of a new accommodation to

the north at both first and second floor levels some time before 1899. This additive process almost doubled the available floor area and involved, besides new work, extensive remodeling of existing construction. The north porch or outshut was demolished, the original staircase replaced and roof reconfigured to give a gable ended form running north/south. If the Phase I plan was changed from some kind of central hall or through-hall arrangement is difficult to say, although it is clear that the current side hall plan was established if not before then certainly during Phase II.

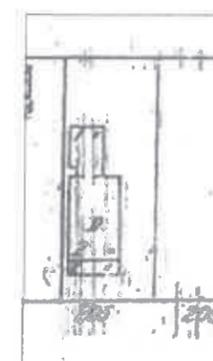


Sanborn 1899

Why the dwelling underwent such major adaptation cannot be said. It is possible (but entirely speculative) that the house suffered damage in the “great” hurricane of 1893, a circumstance which might explain why it appears to have been entirely re-roofed before 1899.

Phase III (before 1912).

A single storey unit was added to the rear of the dwelling some time before 1912, the scheme being shown on the Sanborn Insurance map for that year. Since the property changed hands at least three times between 1902 and 1908 it is impossible in the absence of corroborative evidence to attribute Phase III construction to any specific owner. Nor is it now possible to determine how this extension, which probably incorporated a kitchen, was organized internally, later additions and alterations having obscured the layout.



Sanborn 1912

Phase IV (before 1924).

Yet another building phase was completed according to Sanborn maps before 1924. Work included extending the Phase III addition eastwards, perhaps modifying existing accommodation and installing new finishes. Recent demolition and alterations made after 1924 have obscured the sequence of operations, extensive re-use of framing materials (some perhaps salvaged from other buildings) further complicating interpretation.



Sanborn 1924

Later twentieth century alteration.

Alterations, additions and modifications to the dwelling continued through the twentieth century, ancillary spaces (kitchen and bathroom areas) being updated, the rear addition enlarged and south porch rebuilt. Again the full scope of such work is now difficult to determine owing to recent demolition on the interior. On the exterior, installation (during the 1950's or 1960's?) of asbestos tile over existing timber cladding had a negative impact on the entire building, fundamentally altering its historic appearance and initiating cycles of decay in the underlying fabric.

Significance

If (as appears almost certain) Samuel Mulligan was responsible for its initial construction then the subject dwelling would join a small but historically important group of houses known to have been erected in Beaufort Township by named black artisans during the first few decades after Emancipation. Additionally, the house demonstrates that traditional building skills developed during the Antebellum era were kept alive by carpenters like Mulligan, whose work is typified by Phase I timber framing with its careful attention to detail such as morticed joints and wall bracing. Later phases tell a different story showing that such standards fell away over time, the dwelling with its multiplicity of building episodes encapsulating the history of house carpentry in Beaufort over a one hundred year long period.

Despite problems related to questions of structural and historical integrity (see discussion below) we are of the opinion, that the house makes a significant contribution to Beaufort's Historic Landmark District. Largely residential in character with at least one institutional building (now the Sons of Beaufort Lodge) erected by the local black community, Block 56 was considered blighted in the 1950's and 1960's. Consequently, a key building of exceptional architectural interest, the William Wigg Barnwell House was moved from the northeast corner in 1973. By contrast, the block's southwestern quadrant has retained its historic aspect, the scale, density, function, number of buildings and individual lot sizes remaining essentially the same as existed in 1912. Aside from its intrinsic historic value, the house at 811 King Street, plays an important visual role in anchoring this assemblage of buildings which despite neglect still attests the character of an urban development phase which mixed private and communal activities during the early years of Reconstruction.

Integrity

Unsympathetic late 20th century additions and alterations have compromised the subject dwelling's historic aspect. Use of inappropriate materials such as brick piers supporting columns of the rebuilt south porch, an aluminum awning and door added to the west kitchen entrance, insertion of concrete block piers to support ground cills, asbestos tile cladding fixed over timber weather boarding throughout and a concrete block retaining wall running along the site's southern boundary are especially unfortunate features though generally not irreversible ones given adequate funds for

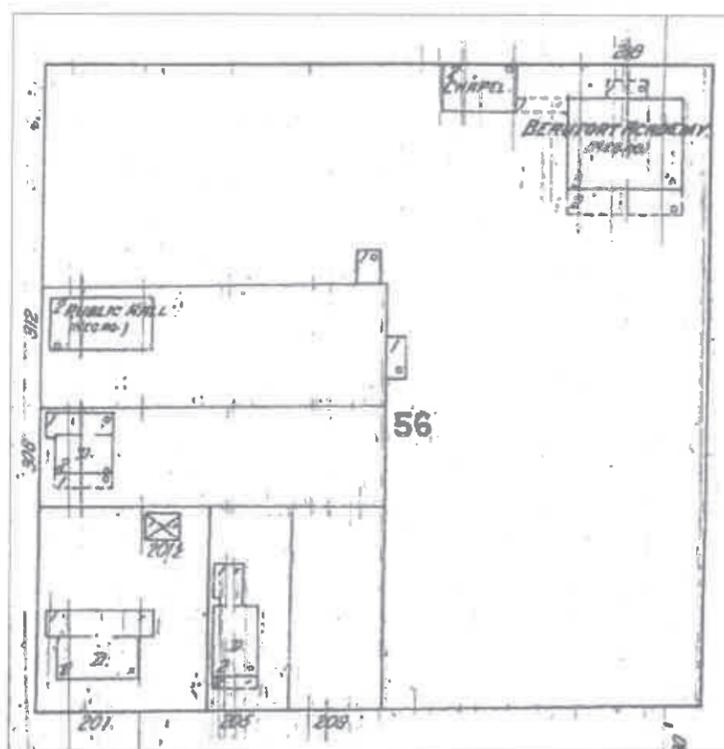


Figure 9 Detail of block 56, Sanborn map 1912.

proper restoration.

A history of neglect, inadequate repair and indiscriminate demolition on the interior carried out with reckless disregard for the building's structural integrity have been far more damaging. Indeed, failure to provide adequate foundation support over the latter half of the twentieth century coupled with fact that framing used in later construction phases is often somewhat inadequately sized and includes a proportion of clumsily re-used timber has contributed significantly to settling and movement of the building as a whole evidenced by failure of certain roof members. Such disability is likely to have been compounded and settlement accelerated by recent removal of partition walls and wall finishes including plaster and plaster lath.

Nevertheless, our own observations confirm findings by Moulton Clemson Jones Inc., Structural Engineers who conclude that "*where not affected by decay or termites the wood framing materials appear to have maintained the majority of its original strength*" this fact being particularly evident in Phase I and Phase II portions of the building. Indeed, the house is far from being impaired to a point "beyond repair" and should not be considered as a candidate for demolition on structural grounds.

Recommendations

- Current use of Lot B Block 56 (which includes almost three quarters of the block's surface area) as an open parking area for vehicles is detrimental to the quality and character of the Historic Landmark District likely to exert a continuing and negative effect on neighboring properties. It is recommended that any application to enlarge parking by demolition of the subject property be denied by the City of Beaufort. If, despite findings presented here demolition is permitted we strongly urge that such permit be made contingent upon presentation by the Owner of proposals for a new DOMESTIC building on the site which respects the form and mass of surrounding buildings.
- In consideration of the subject building's historic significance (see discussion above); integral relationship to a group of neighboring structures dating back to Reconstruction (two of which are currently in course of restoration); importance in maintaining the character of existing streetscapes and continuity of domestic usage it is recommended that it be preserved through rehabilitation in accordance with the US Secretary of the Interior's Standards.
- Since its major building phases (as defined above) fall within the period of significance for the Historic Landmark District, the entire structure merits such rehabilitation. However, in recognition of the fact that later building episodes now appear impaired and/or have been adversely impacted by use of inappropriate materials we recommend that consideration be given to reducing the present built envelope through selective demolition.
- In our view, restoration to the configuration extant before 1912 as attested by Sanborn

Insurance maps represents a viable option which will maintain the two earliest building phases while allowing removal of poorly constructed rear extensions including those added after 1924. Consequent rehabilitation will involve reconstruction of the south porch to include two storeys, replacement of the present asbestos siding and comprehensive structural repair. Drawings attached show this proposal in outline. It is anticipated that design development will include re-working of the interior space (now essentially undifferentiated) to accommodate living and service requirements. An opportunity also exists with this approach for addition of new space at the rear, either linked to or separated from the existing building.

Restoration of the dwelling to its original Phase I footprint and appearance represents a more radical solution. This option should only be pursued if no other solution is acceptable to the owner and evidence can be found that the house at 605 West Street does in fact offer a model for accurate reconstruction. Such determination will require excavation at 811 King Street to establish the position of the original chimney and sufficient exposure of framing to establish the original form of its south porch.

- **To prevent further deterioration of the dwelling it is essential that it be stabilized.** We recommend that a qualified structural engineer with experience of historic construction be retained as soon as possible to develop and oversee a structural stabilization plan.

Conclusion

As pointed out by previous investigators, the house at 811 King Street cannot be rehabilitated to fully meet current building codes or building practice. It is also true that any restoration will involve introduction of new materials on an extensive scale and substantial reworking of the existing structure. However, the same conclusions can be reached about many buildings listed as contributing to the Beaufort Historic Landmark District and should not, if the integrity of the District itself is to be maintained, be considered adequate grounds for demolition except in the most exceptional circumstance (see Milner Supplement 18-19). Neither does the issue of a threat to public safety apply in the present instance. The house at 811 King Street is obviously impaired but not critically so. Indeed in our opinion structural capability would be significantly improved by temporary application of plywood sheet to interior wall faces (particularly those of cross partitions) where the original or early finishes have been removed.

It must also be noted that determination of the subject property's status as contributing to the Historic District has already been made (see Beaufort County Historic Sites Survey, 1997). Additionally, this dwelling is intimately linked through its history to neighboring buildings standing on Block 56 such as the Sons of Beaufort Lodge and 605 West Street which after a long period of neglect are currently in process of stabilization. It would be a unfortunate to say the least if the subject building which, in our view is in comparable condition, be lost to demolition when salvage, as shown in the case of the Sons of Beaufort Lodge is a viable proposition.



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
8 December 2021

1 SUMMARY OF REQUEST

811 King Street, Alterations/Additions

The applicant is requesting preliminary approval for alterations to a historic structure.

This is a contributing structure in the Historic Preservation Neighborhood.

Background: This is the first application received for the proposed alterations to the residence at this address.

2 FACTS

Property Address: 811 King Street
Parcel ID: R120 004 0619 0000
Case Number: 21-54 HRB.1
Applicant: **Christopher Cook,**
Developer and
Residential Designer
Zoning: T4-HN
Use: Single Family Dwelling

District Development Standards for T4-HN:

- **Setback requirements – Primary Structure:**
 - *Front Setback—Average prevailing setback on block*
 - *Rear setback – 15' min.*
 - *Side Corner/Alley – 5' min.*
 - *Side Interior – 6' min.—10' min. in The Point*
- **Impervious Surface Coverage:** 55% maximum



References:

Beaufort Preservation Manual Supplement
Beaufort Preservation Manual Supplement
Beaufort Preservation Manual
Secretary of the Interior's Standards for Treatment of Historic Properties

3 STAFF COMMENTS

Staff Acknowledgements

- A. Staff is grateful that the Applicant has endeavored to restore this historic structure. Staff would like to thank the Applicant for allowing Staff to walk through the building and site and for working closely with Staff throughout this process.
- B. Since this project does not enlarge this structure as noted in section 5.7.2, parking requirements of Section 5.7.2 are not required to be met for this property. However, Staff is in support of the proposed on-site parking spot to the side of the structure since there is no street parking currently available on this block of King Street.
- C. Staff is in support of the applicant's desire to bring back the original two-story porch on the front façade. Since there is documentation that a two-story porch once existed, and since the applicant is basing the design off of similar porches on similar structures of the same age, Staff feels that this approach is consistent with the referenced standards.
- D. Staff understands from discussions with the applicant that the applicant desires to reuse as much of the historic windows as possible and supports this approach. For those windows that are deteriorated beyond repair, Staff supports the proposed replacement windows as described at this preliminary stage in the project.
- E. Staff is in support of the proposed removal and replacement of the horizontal light windows and door within the east façade of the addition. Staff finds these windows to be non-historic and supports the proposed replacement with new divided light wood windows.
- F. Staff is in support of the proposed new windows on the West façade.
- G. From site visits and discussions with the Applicant, Staff understands that the siding on the structure is from many different time periods and it is difficult to understand which siding is original and which siding could be considered to be historic. Staff is in support of the applicant's proposed approach of replacing all existing siding as needed to match the siding that exists at the upper level of the front façade, as this siding exposure appears to be appropriate to the scale and time period of the original house.

Staff Conditions:

- 1. Page 62 of the Beaufort Preservation Manual Supplement states that "'Over-paving' to create formal gardens is not recommended in the Historic Beaufort District." Staff is generally in support of the pavers shown on the site plan but recommends that the applicant introduce more green space where possible to avoid "over-paving". As designed, the Applicant is proposing too much paving.
- 2. Staff is not in support of the proposed size of the new windows on the rear façade. While Staff supports replacement of the existing rear windows for egress purposes, Staff recommendation is that the new window head heights do not exist above the bottom of the roof eaves.
- 3. As currently proposed, the hipped roof of the new porch is directly tying into the existing main roof. A more appropriate solution would be to pull back the porch roof edges so that that new

porch roof does not engage with the main house roof. The detailing of the porch at 804 West Street as referenced in the submission should be the basis for the detailing of the new porch.

4. The proposed roof deck at the rear is only detailed at a conceptual level in this submission. Much more information is needed to understand its detailing and construction as it relates to the existing structure.

STAFF RECOMMENDATION:

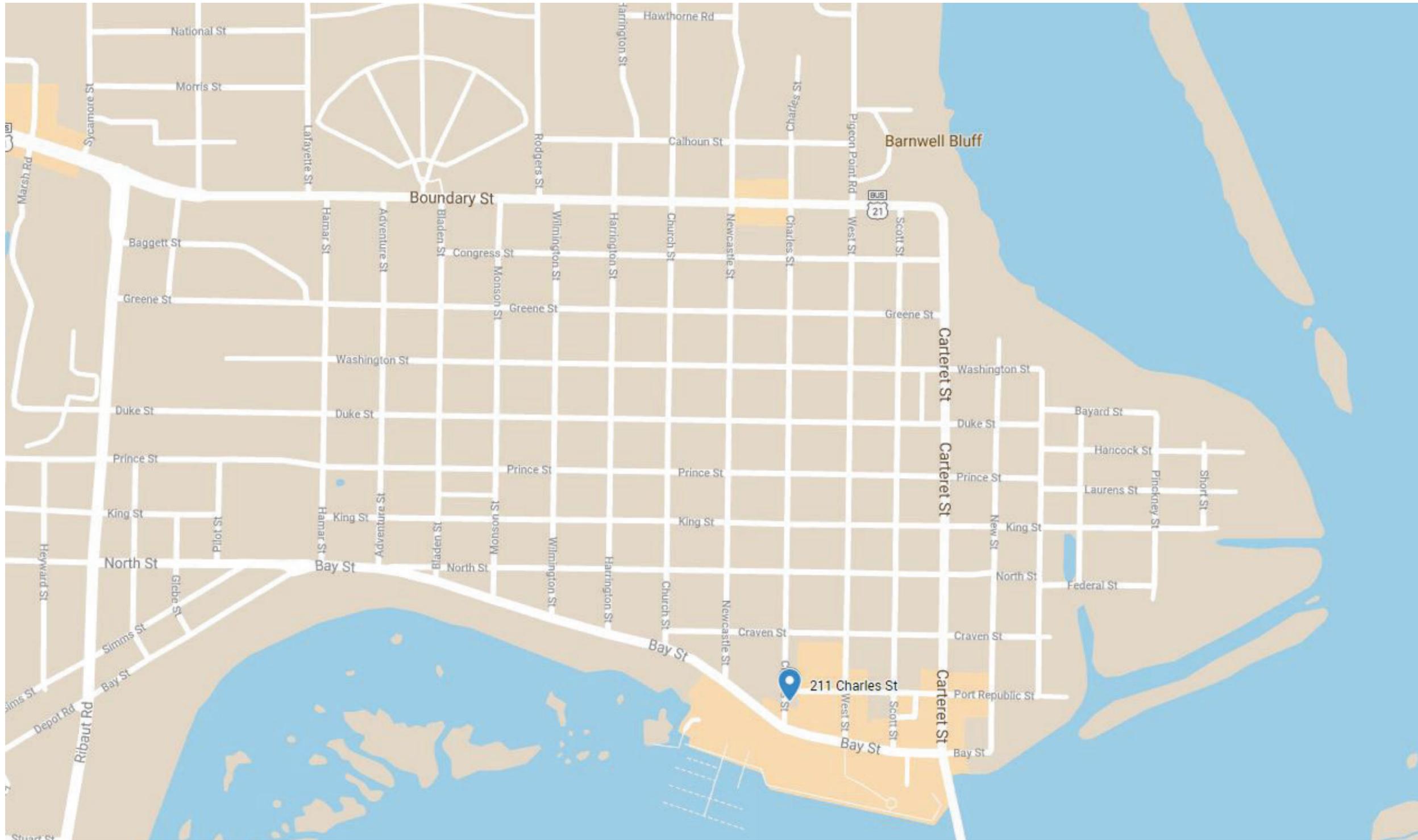
Preliminary Approval with noted conditions.

Further Recommendations Beyond Preliminary to Guide Applicant:

1. Applicant to submit wall sections through the proposed new porch that show the proposed foundation, foundation screening, columns, railings, porch stairs, column capitals, and column to beam to eave condition.
2. Applicant to note that decks on rear facades should be screened completely from view of the street. Applicant to demonstrate how the rear deck will be screened from view along the street.
3. Applicant to clearly depict proposed railings in elevations in future submissions.
4. Applicant to note whether new proposed wood windows will have true divided lights as required by the Preservation Manual Supplement.
5. Applicant to provide a wall section through the proposed rear, second story deck and the existing roof below.
6. Applicant to provide typical details for all proposed new exterior stairs that show proposed construction and materiality.
7. Applicant to provide a detail through the proposed foundation lattice screening.
8. Applicant to submit larger scale drawings in future submissions.
9. The proposed chimney is currently only shown on the front elevation and is not shown on the west elevation. Applicant to ensure all drawings are consistent in future submissions.
10. Applicant to submit a detail of the proposed chimney cap.
11. Applicant to submit roof details that show proposed metal panel profile, height of standing seams, ridge, hip, rake edge, and drip edge details and demonstrate compliance with Chapter 9 of the Beaufort Preservation Manual Supplement.
12. Applicant to submit actual proposed exterior paint colors and roof color in future submissions.
13. Applicant to ensure and demonstrate that siding repair and replacement will be in accordance with Chapter 8 of the Preservation Manual Supplement.

CITY STAFF INTRODUCTION

211 CHARLES STREET



PROJECT LOCATION - 211 CHARLES STREET

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9:07:49 PM



VIEW FROM CORNER OF CHARLES AND PORT REPUBLIC STREET LOOKING EAST



VIEW FROM CHARLES STREET LOOKING NORTHEAST



VIEW FROM CHARLES STREET LOOKING EAST



VIEW FROM CORNER OF CHARLES AND BAY STREET LOOKING NORTHEAST



OLD BAY MARKETPLACE (EAST OF SITE) ON PORT REPUBLIC STREET



TABBY PLACE EVENT VENUE ACCROSS PORT REPUBLIC STREET FROM SITE

coast
architects
671 St. Andrews Blvd., Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
www.coastarchitects.net

08.11.2021

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM
CHECKED BY: FAM
DATE: 08.11.2021

COAST PROJECT NO.: 2015.00

CONTEXT
PHOTOGRAPHS

G002

HRB FINAL REVIEW 11.10.2021 MEETING

DECISION LETTER FROM CONCEPTUAL APPROVAL, FEBRUARY 2021



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

DECISION LETTER

February 16, 2021

Arnie McClure
Coast Architects, Inc.
671 Saint Andrews Boulevard
Charleston, SC 29401

RE: 21-02 HRB.1.A 211 Charles Street – New Construction

Dear Mr. McClure:

On February 10, 2021, the City of Beaufort Historic District Review Board (HRB) met to review your application for new construction at 211 Charles Street. The HRB granted conceptual approval subject to the following staff comments:

1. In future applications, applicant to demonstrate that the proposed development meets the bicycle and motor vehicle parking requirements of Section 5.7 of the Beaufort Code.
2. Per Section 5.3.1 of the Beaufort Code, in the T5-DC district there is no minimum baseline tree canopy coverage requirements.
3. Staff believes that this building contains two different building types: The west mass along Charles Street is Livework/Mixed Use (defined in Section 4.5.8 of the Beaufort Code), and the rest of the building is an Apartment House (defined in Section 4.5.7 of the Beaufort Code).
 - a. The Livework/Mixed Use portion of the building contains a Shopfront/Awning frontage type, which complies with Section 4.5.8 of the Beaufort Code. Applicant to note Section 2.5.6.A of the Beaufort Code, Encroachments over Sidewalks: “With approval of the City, county or SCDOT (whichever has authority over a street), awnings, arcades, canopies, and galleries (See Section 4.4) may encroach over a sidewalk to within 2 feet of the curb, but they shall provide a vertical clearance of at least 8 feet from any sidewalk.” The current proposed design of the awnings appears to encroach over the existing sidewalk to within less than 2 feet of the curb. Applicant to ensure and demonstrate compliance with this code section in future submissions. Charles Street is maintained by SCDOT.
 - b. Regarding the Apartment House Portion of the building, Staff views the primary entrance of the apartment building to be the lobby entrance off Charles Street, in accordance with Section 2.5.1.3 of the Beaufort Code, since this is the street from which the building derives

DECISION LETTER FROM CONCEPTUAL APPROVAL, FEBRUARY 2021

its street address. This entrance is required by Section 4.5.7.B.1 of the Beaufort Code to have one of the following frontage types: stoop, forecourt, or balcony, and Staff prefers stoop or balcony with the current design. Applicant to refine the design of this entrance to have a code compliant frontage type. Frontage types are described in detail in Section 4.4 of the Beaufort Code.

4. Applicant to refer to Section 4.5.7 of the Beaufort Code for additional requirements for Apartment houses that will affect the design of the rest of the building:
 - a. 4.5.7.A: "...The ground floor [must be] raised a minimum 18" for privacy."
 - b. 4.5.7.B.1: "[Required frontage types are] Stoop, Forecourt, Balcony. Porches are not preferred, but may be used in buildings containing 12 units or less if they provide direct access to the unit from the street or sidewalk.
 - c. 4.5.7.B.2: "In buildings with more than 6 residential units, all ground floor units facing a frontage line shall have individual entrances from that frontage line. Buildings with formal entry courtyards or lobbies are exempt from this requirement."

The current proposed design of the rest of the building also includes 19 units and proposes porches at the ground level, which is not preferred per Section 4.5.7.B.1 noted above. Given the commercial nature and feel of Port Republic, staff prefers that the ground floor units do not have porches. Applicant to also demonstrate compliance with Section 4.5.7.A noted above, ensuring that the Apartment House portion of the building is raised a minimum of 18" off the ground level for privacy. Since the project includes a formal lobby, the project does not have to comply with Section 4.5.7.B.2 regarding ground floor unit entrances.

5. For the tenant portion of the building, Staff recommends altering the design so that the ADA entrance is not separated from the main entrance to allow all users the opportunity to use the main entrance.
6. The proposed roof design for the central apartments along Port Republic Street is currently too complex. In the elevations, renderings, and roof plan, it appears that each structure has two roofs at different levels. Applicant to simplify this design in future submissions. The same applies to the South Elevation.
7. Staff notes that the northeast corner of the project is portrayed differently in the renderings than it is shown in plan and elevation. Staff assumes the floorplan and elevations are the most up to date. Applicant to ensure all drawings are consistent in future submissions.
8. On the north elevation, the intersection between the apartment mass and the east stairwell is not appropriate or consistent with the language established on the west side of this elevation. Staff recommends aligning the north face of the east stairwell with the north face of the west stairwell and cladding both in the same material to establish a more consistent language of materials around the building. Staff supports the use of the apartment mass material in both locations.
9. Also, on the north elevation, the porch column spacing and their relationship to fenestration beyond does not provide good balance and not consistent with Section 4.6.1.B of the Beaufort Code or page 28 of the Preservation Manual Supplement. The mix of double columns and single columns is unresolved. Applicant to study the rhythms of the fenestration and space porch column bays more appropriately. Applicant to consider removing the shutters from the project. The same comment applies to the porch masses on the south elevation.
10. Applicant to ensure that all residential egress requirements by the IBC are met in this design. If egress needs to be provided from the courtyards of the ground floor units, this must be shown on

DECISION LETTER FROM CONCEPTUAL APPROVAL, FEBRUARY 2021

the plan so that these changes may be reviewed by the Board.

11. Staff is in support of the overall massing of the corner brick portion of the building. It has nice proportional relationships that begin to establish a strong presence on the corner of the block. However, the current design of the balconies and patios on the north and south elevations of this building take away from this strong presence.
 - a. Staff recommends removing the roof canopies from the third level on both north and south elevations.
 - b. Staff recommends altering the placement of the canopies on the first level on the Port Republic elevation so that they are not installed immediately beneath the second-floor balconies.
 - c. On the south elevation, the intersection of the second-floor balconies with the first-floor wall at the southwest mass is too complex. Staff recommends separating the first-floor masonry wall from the second-floor balcony thereby turning the first-floor masonry wall into a garden wall. This will cause the lobby to be revised. Staff also recommends making the balconies on this façade stylistically match those on the north façade and give them a lightness compared to the heavy masonry building mass behind them. The goal of the applicant should be to simplify this area so that the architectural language is clearly understood.
12. In future applications, applicant to include more street context to show how this building relates to its surrounding historic context. Specifically, the historic structure across Port Republic Street and the historic structure across Charles Street should be included in drawing context in future submissions.
13. Staff recommends that Coast Architects meets with Staff Architects during preparation of a preliminary application to help expedite the design, review, and approval process for this project.

If you have any questions, feel free to call the Planning Department at (843) 525-7011. Thank you for your patience and cooperation during the review process.

Sincerely,

John Dickerson,
Chairman

John Dickerson
Historic Review Board

 Digitally signed by John Dickerson, Chairman
DN: cn=John Dickerson, Chairman, o=City of
Beaufort, ou=Historic District Review Board,
email=john@sleepinhistory.com, c=US
Date: 2021.04.13 08:54:34 -04'00'

cc: Dick Stewart

APPLICANT PRESENTATION

211 CHARLES STREET



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

PAID
6/15/21 CK

- Staff Review
- Board Review

Application Fee: see attached schedule

21-02 HRB

OFFICE USE ONLY: Date Filed: 6/15 Application #: 22160 Zoning District: TS-DC
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill – Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: ARNIE MCCLURE, COAST ARCHITECTS, INC.
Applicant Address: 671 SAINT ANDREWS BLVD. CHARLESTON, SC 29407
Applicant E-mail: arnie@coastarchitects.net Applicant Phone Number: 843.763.7064

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): 303 ASSOCIATES
Owner Address: 2015 BOUNDARY STREET, SUITE 300 BEAUFORT, SC 29902

Project Name: THE CANNON BUILDING

Property Address: 211 CHARLES STREET

Property Identification Number (Tax Map & Parcel Number): R120-004-000-909-000

Date Submitted: 06.15.2021

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 6/15/2021

Owner's Signature: [Signature] Date:

(The owner's signature is required if the applicant is not the owner.)

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated April 16, 2021

Meredith Jacobs

From: arnie@coastarchitects.net
Sent: Wednesday, November 17, 2021 11:55 PM
To: Meredith Jacobs; Jeremy Tate
Cc: Courtney Worrell
Subject: Cannon Building-updated drawings for HRB meeting

Meredith,

Here's the dropbox link for the updated drawings for the December HRB meeting: <https://www.dropbox.com/sh/vlf7j01fqj19918/AAC0yJ4Yb3y5phkxBqUdzCe4a?dl=0>

I've noted the changes I've made below:

- Lowered total building height an additional 1' (now 3'4" lower than previously approved submittal)
- Added 2nd Windows to eastern stair
- Added the transparency diagram to the elevation sheets
- Revised the diagram to take out the floor structure (increased % above requirements)
- Added the freeze board back under the soffit on walls with siding.
- Added soldier course at 1st floor level of brick facades to emphasize base.
- Added "red line" to show façade and parapet heights of original building (BTW, my rough estimate is that we've reduced the building mass by about 10% from the approved conceptual submittal)..
- Added additional mullions to the storefront windows.
- Tweaked the apartment building entrance details.
- Added additional info about the shutters & hardware. They are composite wood. I've requested a sample for the meeting.
- Added the bike rack cut sheet (y'all didn't ask for it, but I realized we hadn't submitted it).
- Added the parking diagram & calcs.

I will update the code review sheets and get you a revised video tomorrow (Thursday).

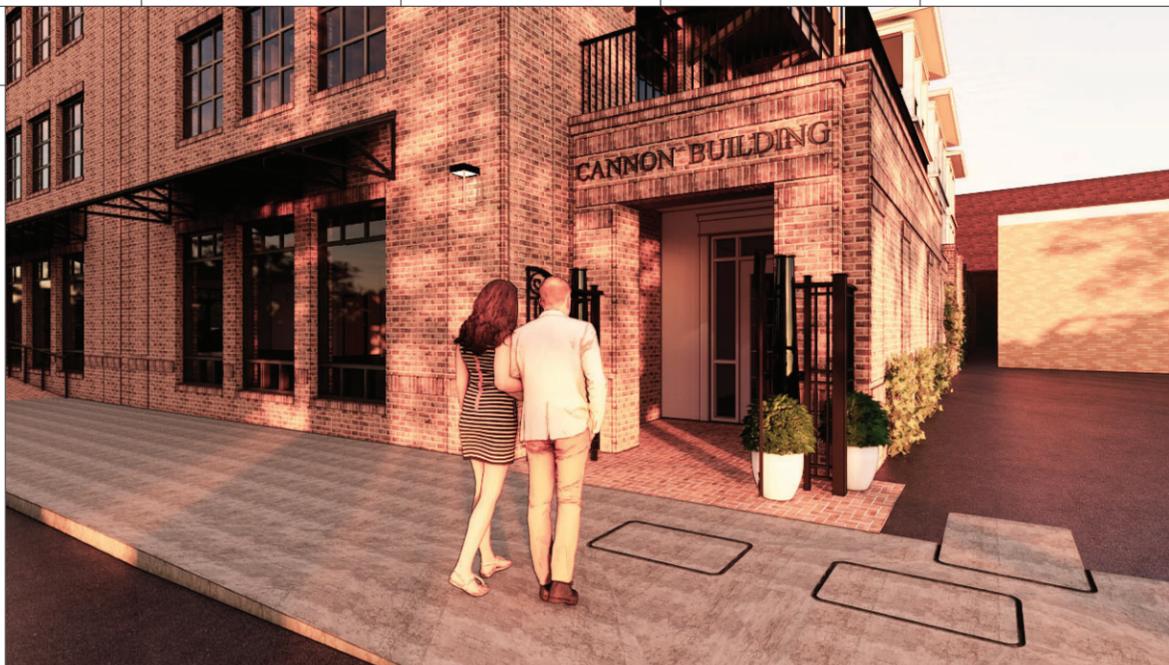
Thanks!

Arnie McClure, NCARB, LEED AP
Coast Architects, Inc.
843.763.7064

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ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
ARCH.	ARCHITECTURAL/ARCHITECT
@	AT
BRG.	BEARING
BTM.	BOTTOM
BLDG.	BUILDING
(C)	CAULK
CAB.	CABINET
C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.F.O.I.	CONTRACTOR FURNISHED, OWNER INSTALLED
CLG.	CEILING
CPT.	CARPET
CTR.	CENTER
CLOS.	CLOSET
COL.	COLUMN
CONC.	CONCRETE
C.J.	CONTROL JOINT
DTL.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRIC/ELECTRICAL
E.W.C.	ELECTRIC WATER COOLER
ELEV.	ELEVATION-GRADE OR BLG.
E.J.	EXPANSION JOINT
EPS.	EXTRUDED POLYSTYRENE
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.F.	EXHAUST FAN
EXIST.:(E)	EXISTING
EXT.	EXTERIOR
FT.	FEET
FIN.	FINISH
FIN.	FIRE EXTINGUISHER (WALL BRACKET)
F.E.C.	FIRE EXTINGUISHER CABINET (SEMI-RECESSED WALL CAB.)
FLR.	FLOOR
FRT.	FIRE RETARDANT TREATED
F.D.	FLOOR DRAIN
GALV.	GALVANIZED
GA.	GAUGE
GYP.BD.	GYP. BOARD
HC	HANDICAP ACCESSIBLE
HDWR.	HARDWARE
HT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
J.T.	JOINT
K.S.	KNEE SPACE
LAM.	LAMINATE
LAV.	LAVATORY
MFR.	MANUFACTURER
M.O.	MASONRY OPENING
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.H.	OPPOSITE HAND
O.R.D.	OVERFLOW ROOF DRAIN
(P)	PAINT
PLYWD.	PLYWOOD
PR	PAIR
PREF.	PREFINISHED
PREFAB.	PREFABRICATED
P.T.	PRESSURE TREATED
RAD., R.	RADIUS
RE.	REFERENCE
REINF.	REINFORCE/REINFORCING
REQ'D.	REQUIRED
R.D. (L)	ROUGH OPENING
R.O.	ROUGH OPENING
SHT.	SHEET
SIM.	SIMILAR
SPECS.	SPECIFICATIONS
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
TEL.	TELEPHONE
TR.	TREATED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
(V)	VERIFY
V.A.T.	VINYL ASBESTOS TILE
V.C.T.	VINYL COMPOSITE TILE
VERT.	VERTICAL
V.T.R.	VENT THROUGH ROOF
W.C.	WATER CLOSET
WD.	WOOD



THE CANNON BUILDING

211 CHARLES STREET BEAUFORT, SOUTH CAROLINA

OWNER

303 ASSOCIATES
2015 BOUNDARY STREET
SUITE 300
BEAUFORT, SC 29902
843.521.9000

ARCHITECT

COAST ARCHITECTS, INC.
671 SAINT ANDREWS BLVD.
CHARLESTON, SC 29407
843.763.7064

INDEX OF DRAWINGS

- G001 TITLE SHEET
- G002 CONTEXT PHOTOGRAPHS SURVEY
- C101 DEMOLITION AND PROPOSED SITE PLANS (PREV. SUBMITTAL)
- C101 DEMOLITION AND PROPOSED SITE PLANS
- L1.1 LANDSCAPE PLAN
- A002 CANNON GATE ELEVATION AND DETAILS
- A101 FIRST FLOOR PLAN (PREV. SUBMITTAL)
- A101 FIRST FLOOR PLAN (CURRENT PROPOSED)
- A102 SECOND & THIRD FLOOR PLANS (PREV. SUBMITTAL)
- A102 SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)
- A103 ROOF PLAN
- A200 STREET ELEVATIONS
- A201 NORTH EXTERIOR ELEVATION
- A202 WEST EXTERIOR ELEVATION
- A203 SOUTH EXTERIOR ELEVATION
- A211 EXTERIOR MATERIALS AND LIGHTING
- A221 EXTERIOR PERSPECTIVE
- A222 EXTERIOR PERSPECTIVE
- A223 EXTERIOR PERSPECTIVE
- A224 EXTERIOR PERSPECTIVE
- A251 BUILDING SECTIONS
- A252 BUILDING SECTION
- A301 WALL SECTIONS
- A302 WALL SECTIONS
- A303 WALL SECTIONS
- A304 WALL SECTIONS
- A305 WALL SECTIONS
- A401 DOOR SCHEDULE AND DOOR & WINDOW ELEVATIONS
- A402 DOOR & WINDOW DETAILS
- A403 DOOR & WINDOW DETAILS

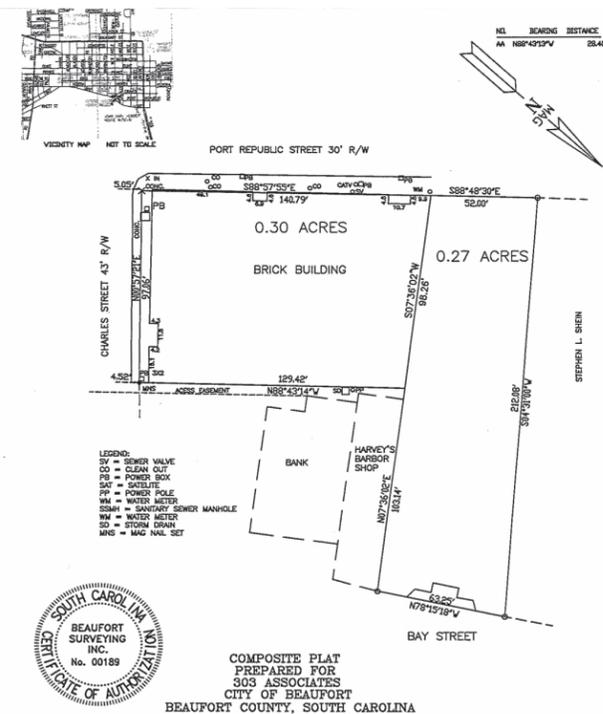
PARKING INFORMATION



REMOTE PARKING DIAGRAM
Showing 34 designated spaces within 400' of site along path of public ROW/walk on Charles Street

	REQUIRED SPACES	PROVIDED SPACES
Retail	0	0
Apartments	33.25	34

PLAT



THE SAME BEING A PORTION OF BLOCK 71, CITY OF BEAUFORT AS SHOWN ON A PLAT BY R. D. TROGDON IV, DATED 12/31/1985 AND RECORDED IN THE REGISTER OF DEEDS OFFICE FOR BEAUFORT COUNTY IN PLAT BOOK 33, PG 152.
THE SAME BEING A PORTION OF BLOCK 71, CITY OF BEAUFORT AS SHOWN ON A PLAT BY R. D. TROGDON IV, DATED 12/27/1994 AND RECORDED IN THE REGISTER OF DEEDS OFFICE FOR BEAUFORT COUNTY IN DEED BOOK 753, PG 2070.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN. THIS PROPERTY IS LOCATED IN ZONE A-11 (13.0) AS DETERMINED BY FEMA, FIRM COMMUNITY-PANEL NUMBER 450026 0005 D, DATED 9/29/86.

R120 -004-000-0911-0000
R120 -004-000-0909-0000

0 20' 40' 80' 160'

SCALE 1" = 40'

JANUARY 26, 2016
P15885C7/LWP

DAVID S. YOUMANS RLS 9765
BEAUFORT SURVEYING, INC.
2201 BOUNDARY ST., SUITE 103
BEAUFORT, S.C. 29902
PHONE (843) 524-3261

coast architects
671 St. Andrews Blvd., Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
www.coastarchitects.net

11.18.2021

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 12.08.2021 MEETING

Revisions	
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COAST PROJECT NO.: 2015.00

TITLE SHEET & DRAWING INDEX

G001

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VIEW FROM CORNER OF CHARLES AND PORT REPUBLIC STREET LOOKING EAST



VIEW FROM CHARLES STREET LOOKING NORTHEAST



VIEW FROM CHARLES STREET LOOKING EAST



VIEW FROM CORNER OF CHARLES AND BAY STREET LOOKING NORTHEAST



OLD BAY MARKETPLACE (EAST OF SITE) ON PORT REPUBLIC STREET



TABBY PLACE EVENT VENUE ACCROSS PORT REPUBLIC STREET FROM SITE

coast architects
671 St. Andrews Blvd., Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
www.coastarchitects.net

11.18.2021

THE CANNON BUILDING
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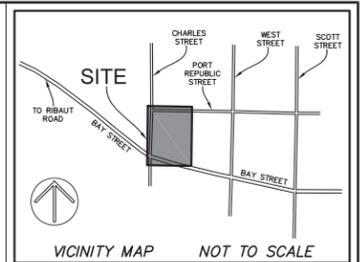
COAST PROJECT NO.: 2015.00

CONTEXT PHOTOGRAPHS

G002

HRB FINAL APPROVAL - 12.08.2021 MEETING

NORTH
SC GRID (NAD 83)



VICINITY MAP NOT TO SCALE

- LEGEND
- ▲ CALC POINT - CORNER NOT SET
 - XF ● SCRIBED X FOUND
 - NF ● NAIL FOUND
 - RBF ● IRON REBAR FOUND
 - BOLLARD
 - oc# CABLE JUNCTION BOX
 - ⊕ ELECTRIC METER
 - ⊕ ELECTRIC MANHOLE
 - ⊕ FIRE HYDRANT
 - ⊕ GRATE INLET
 - ⊕ GAS METER
 - ⊕ HANDICAP PARKING
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊕ JUNCTION BOX
 - ⊕ LIGHT POLE
 - ⊕ PARKING METER
 - ⊕ POWER POLE
 - ⊕ STORM DRAIN MANHOLE
 - ⊕ SPOT ELEVATION
 - ⊕ SIGN
 - ⊕ SANITARY SEWER CLEAN OUT
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ SANITARY SEWER VALVE
 - ⊕ TRAFFIC SIGNAL BOX
 - ⊕ TRAFFIC SIGNAL POLE
 - ⊕ TELEPHONE JUNCTION BOX
 - ⊕ TELEPHONE MANHOLE
 - ⊕ TRANSFORMER-ELECTRIC
 - ⊕ WATER METER
 - ⊕ WATER VALVE
 - CEDAR
 - LIVE OAK
 - MAGNOLA
 - PALMETTO
 - DOUBLE YELLOW LINE
 - FINISHED FLOOR ELEVATION
 - INVERT ELEVATION
 - PIPE DIRECTION
 - PARKING SPOT
 - POLYVINYL CHLORIDE PIPE
 - REINFORCED CONCRETE PIPE
 - STOP BAR
 - SINGLE WHITE LINE
 - CONTOUR LINE
 - UNDERGROUND DRAINAGE LINE
 - UNDERGROUND SEWER LINE
 - BRICK
 - CONCRETE
 - EDGE OF PAVEMENT
 - GRAVEL

- REFERENCES
1. DB: 769 PG: 2341
 2. DB: 3458 PG: 1598
 3. DB: 3706 PG: 2787
 4. PB: 63 PG: 163
 5. DB: 1102 PG: 958

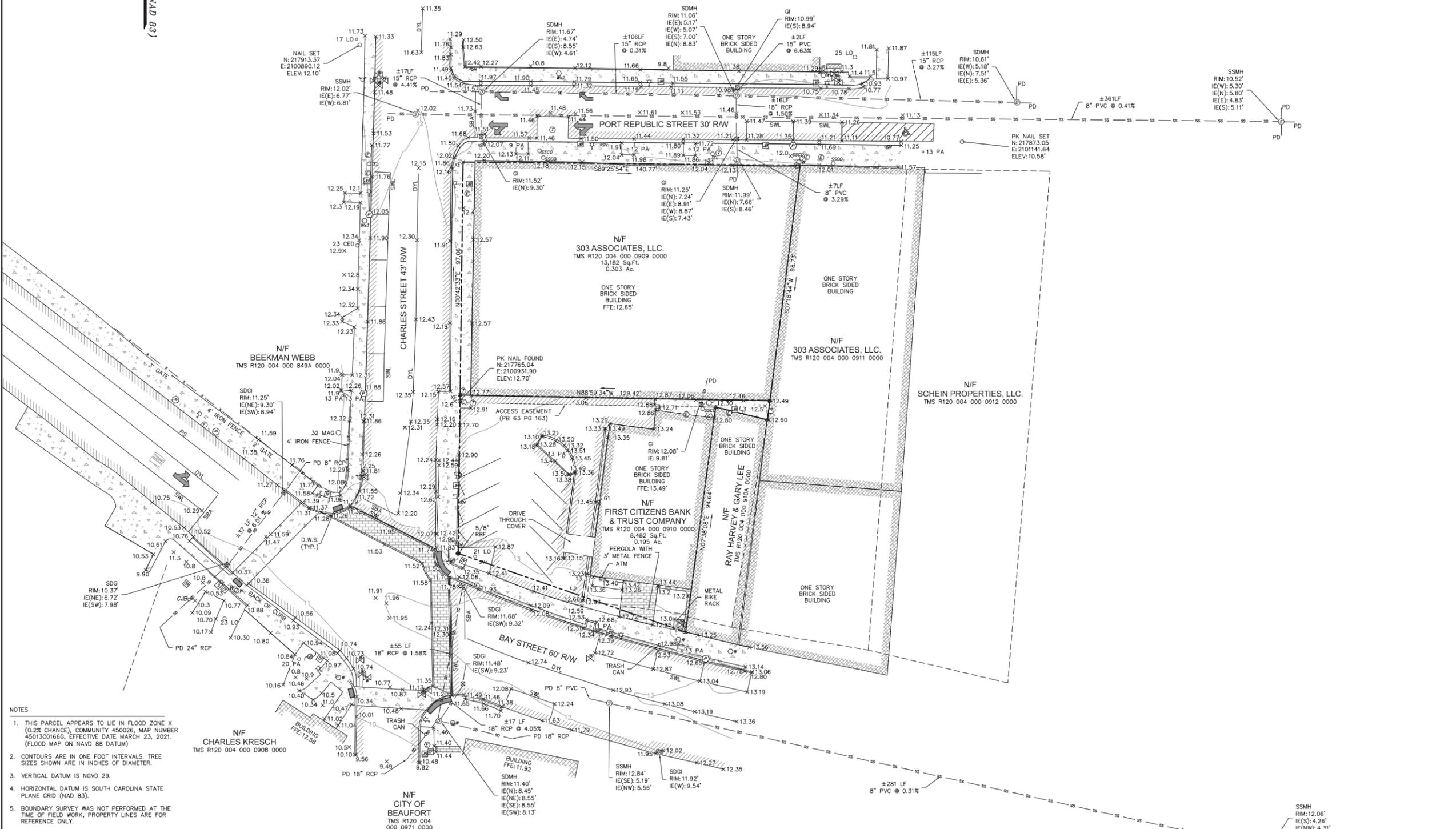
PREPARED FOR:
303 ASSOCIATES, LLC.
AN AS-BUILT, TREE AND TOPOGRAPHIC SURVEY OF
#209 CHARLES STREET
AND
#921 BAY STREET

TAX PARCEL No. R120 004 000 0909 0000
&
TAX PARCEL No. R120 004 000 0910 0000
THE CITY OF BEAUFORT
BEAUFORT COUNTY, SOUTH CAROLINA

FIELD WORK: CMW
FIELD CHECK: JWR
DRAWN BY: JWR
DATE: 04-28-2021
SCALE: 1"=20'
PROJECT No.: BFT-20203
FILE: BFT-20203 AT3.DWG

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JEREMY W. REEDER
S.C.P.L.S. No. 28139
NOT VALID UNLESS DRAINED WITH SEAL



- NOTES
1. THIS PARCEL APPEARS TO LIE IN FLOOD ZONE X (0.2% CHANCE), COMMUNITY 450026, MAP NUMBER 45013001660, EFFECTIVE DATE MARCH 23, 2021. (FLOOD MAP ON NAVD 88 DATUM)
 2. CONTOURS ARE IN ONE FOOT INTERVALS. TREE SIZES SHOWN ARE IN INCHES OF DIAMETER.
 3. VERTICAL DATUM IS NGVD 29.
 4. HORIZONTAL DATUM IS SOUTH CAROLINA STATE PLANE GRID (NAD 83).
 5. BOUNDARY SURVEY WAS NOT PERFORMED AT THE TIME OF FIELD WORK, PROPERTY LINES ARE FOR REFERENCE ONLY.
 6. PER EMAIL TO CITY OF BEAUFORT ZONING DEPARTMENT ON MARCH 18TH, 2021, THIS PARCEL IS ZONED T5-DC, NO SETBACKS REQUIRED, AND MUST BE VERIFIED PRIOR TO CONSTRUCTION.

LABEL	BEARING	DISTANCE
L1	S00°42'18"W	66.07'
L2	S70°58'07"E	100.47'
L3	S78°08'20"E	22.23'
L4	N07°35'55"E	8.15'

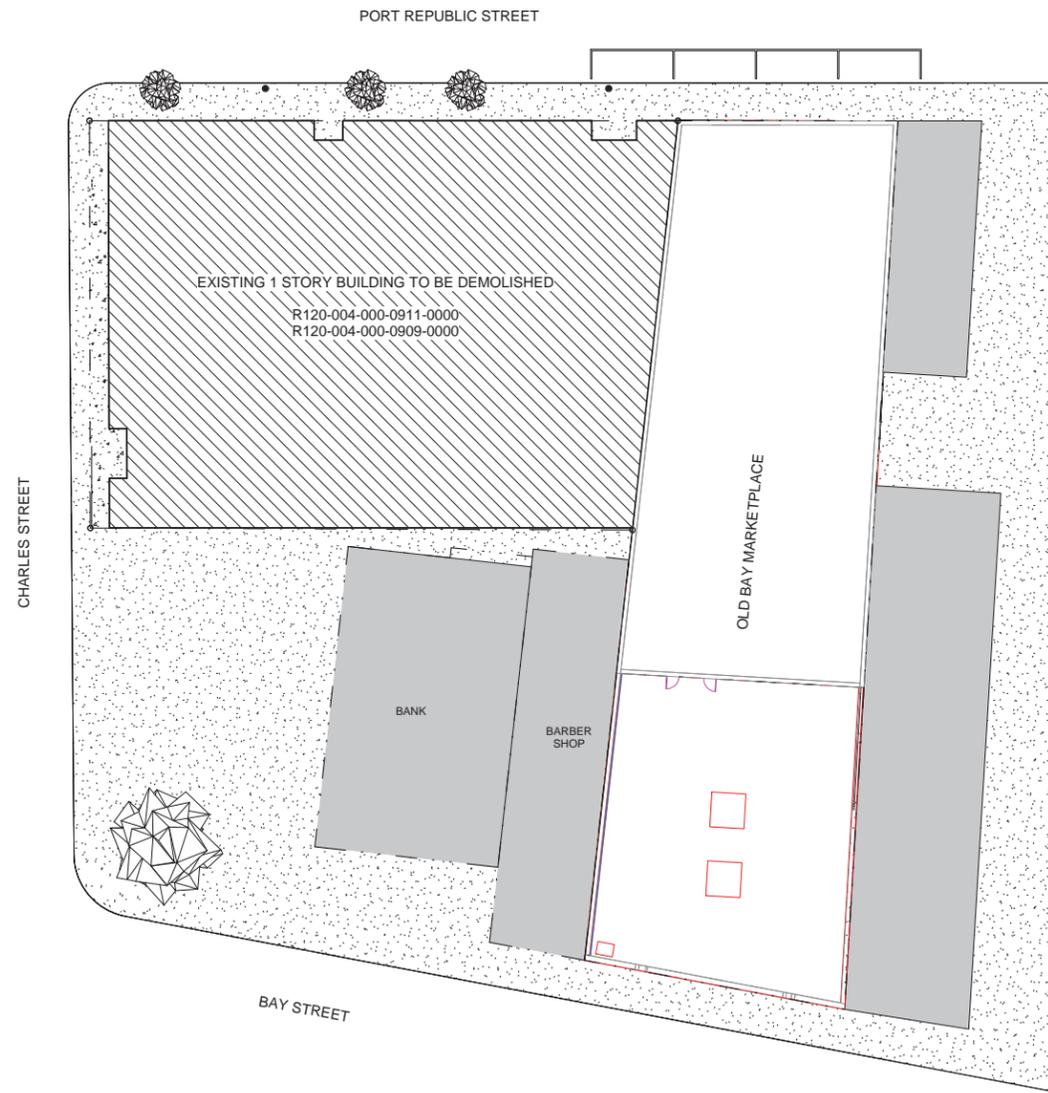


ATLAS SURVEYING, INC.
49 BROWN'S COVE ROAD, SUITE #5
RIDGELAND, SC 29936
PHONE: (843) 645-9277
WEBSITE: WWW.ATLASSURVEYING.COM

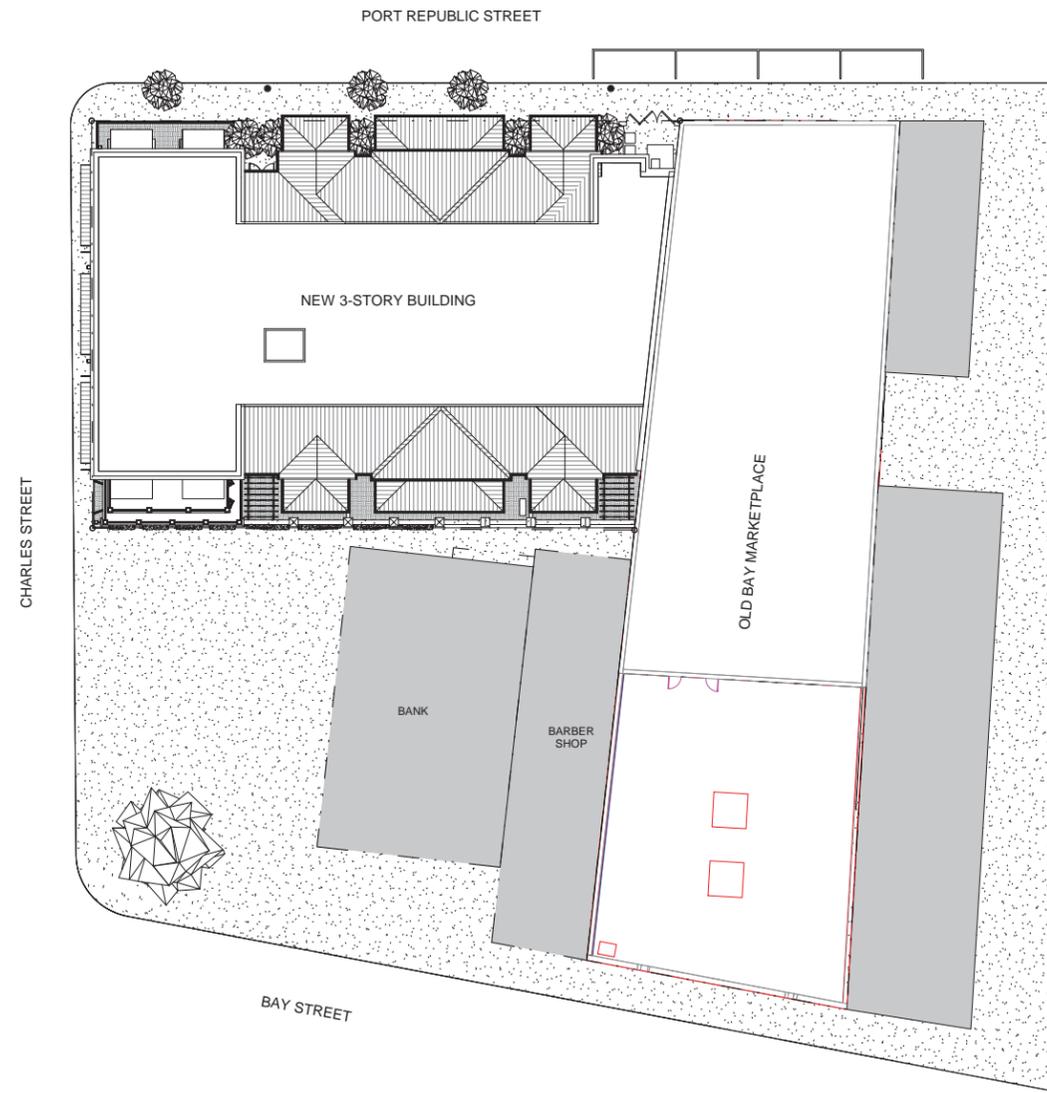
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H
G
F
E
D
C
B
A

1 2 3 4 5 6 7 8 9 10



B1
C101 DEMOLITION SITE PLAN
SCALE: 1" = 20'-0"



B6
C101 PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

PREVIOUS HRB SUBMITTAL

211 CHARLES 14 of 49

coast
architects
671 St. Andrews Blvd., Charleston, SC 29407
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01/08/21

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: Author
CHECKED BY: Designer
DATE: 01/08/21

COAST PROJECT NO.: 2015.00

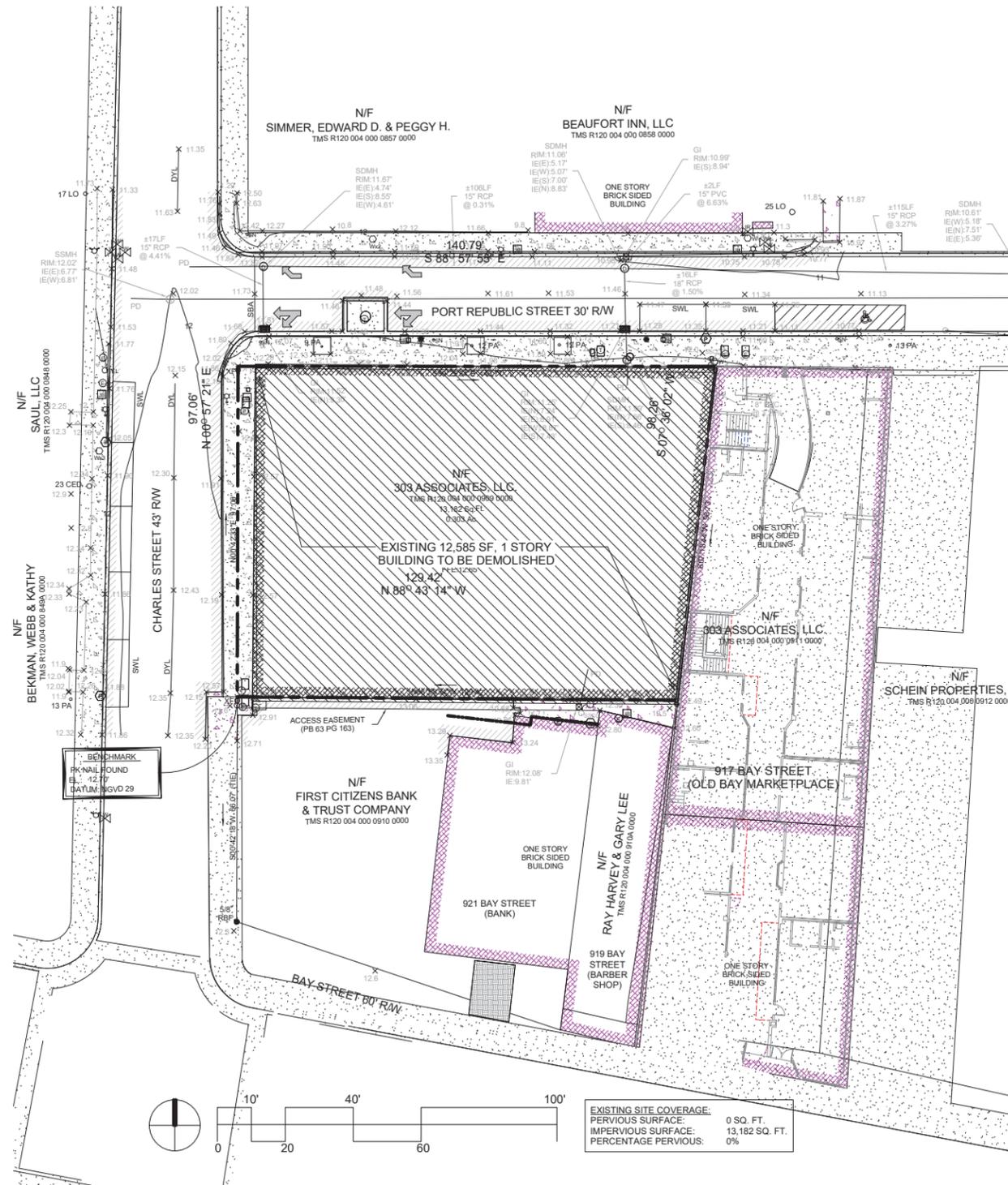
SITE DEMOLITION
& PROPOSED SITE
PLAN

HRB SUBMITTAL

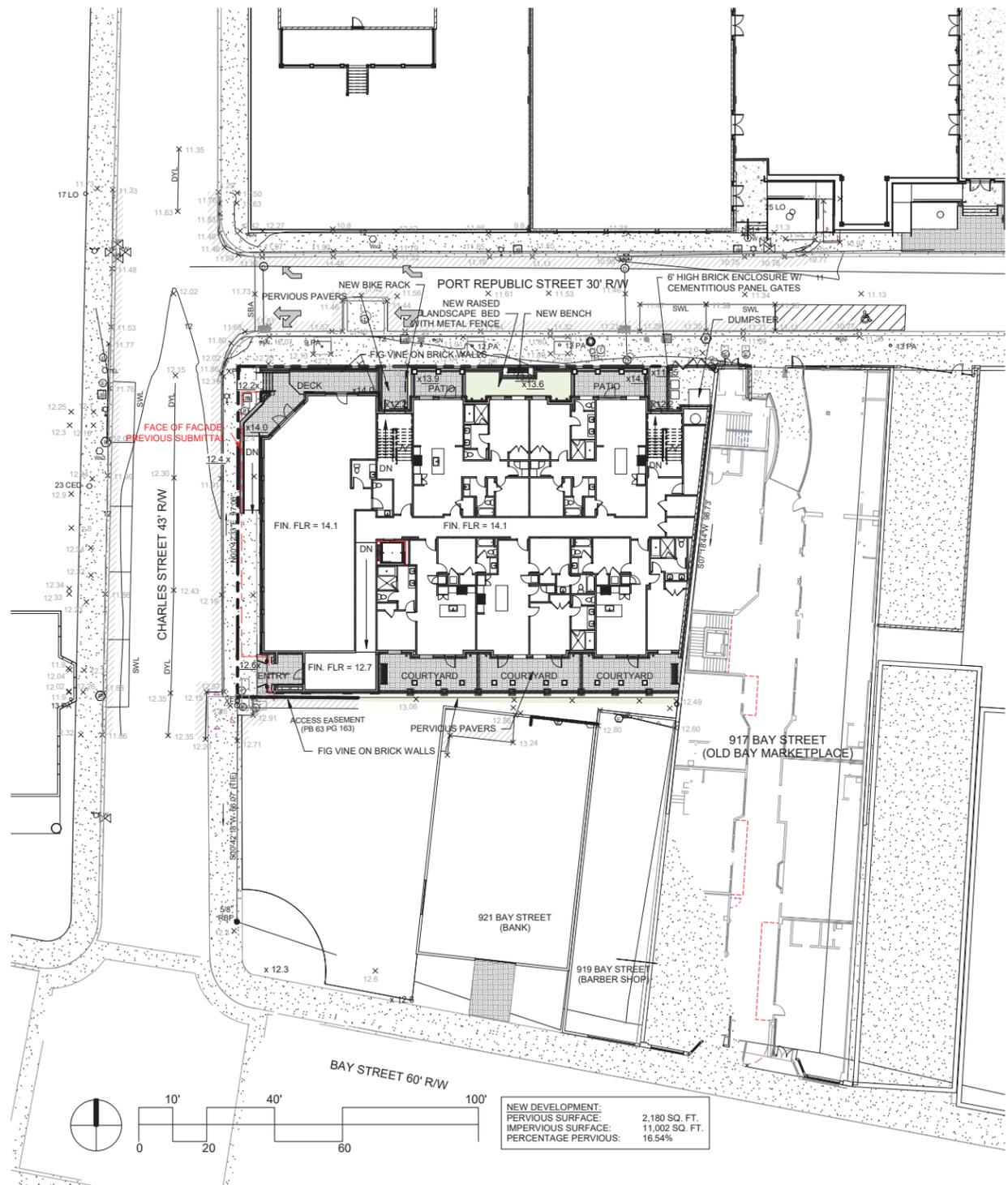
C101

1 2 3 4 5 6 7 8 9 10

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A1
C101 DEMOLITION SITE PLAN
 SCALE: 1" = 20'-0"



A6
C101 PROPOSED SITE PLAN
 SCALE: 1" = 20'-0"

HRB FINAL APPROVAL - 12.08.2021 MEETING

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM
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COAST PROJECT NO: 2015.00

SITE DEMOLITION & PROPOSED SITE PLAN

C101

THE CANNON BUILDING
 211 CHARLES STREET
 BEAUFORT, SOUTH CAROLINA

11.18.2021

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JACKSON & SMALL
ASSOCIATES
LANDSCAPE ARCHITECTURE

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THE CANNON BUILDING
21 CHARLES STREET
BEAUFORT, SC

Correct plan scale is based on a 24x36 sheet.
Do not scale dimensions from prints.
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Date: July 21, 2021

Project #:

REVISIONS:

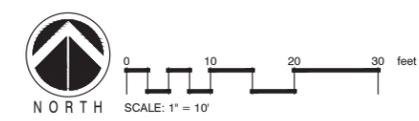
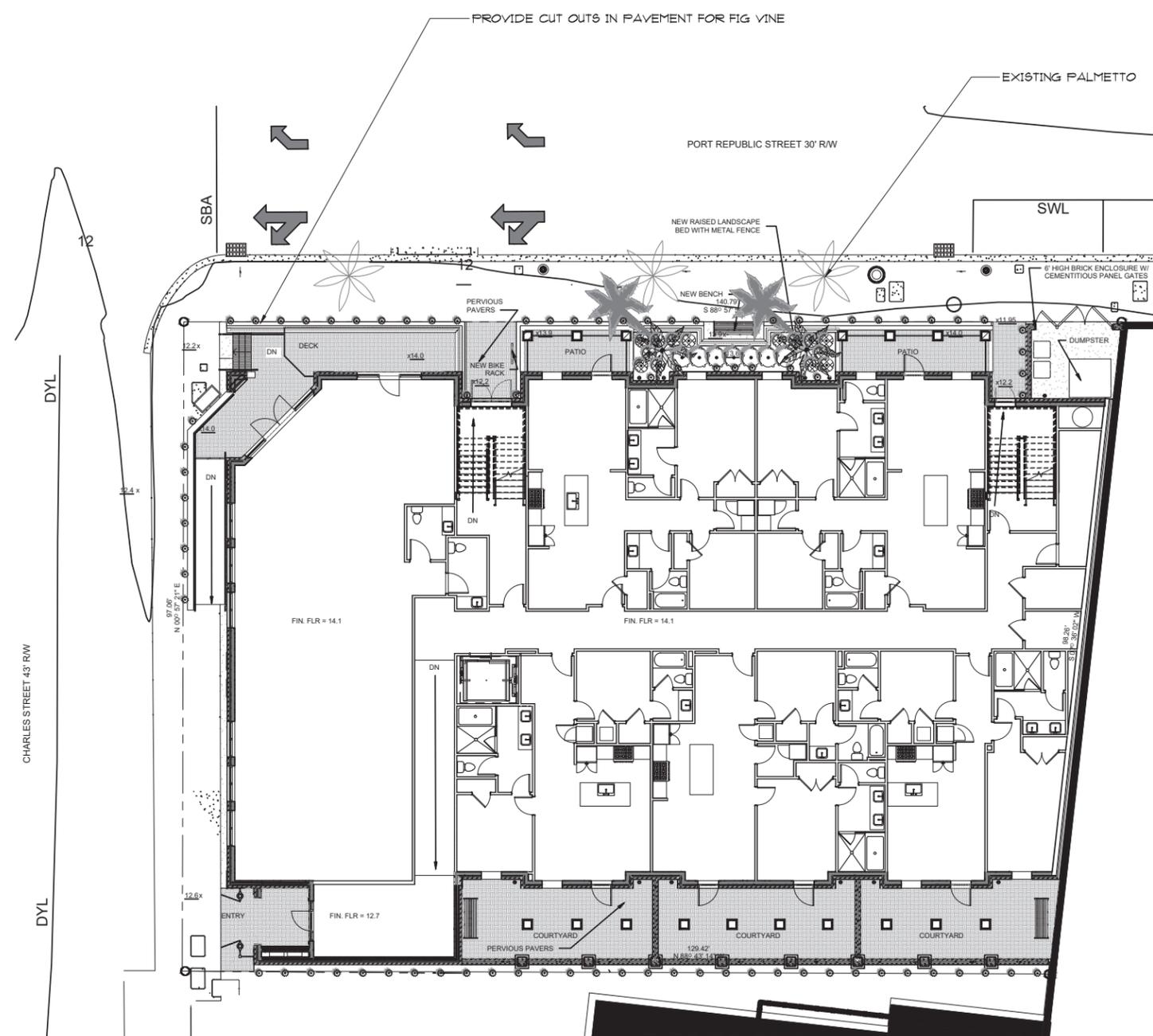
No. Date

PLANT SCHEDULE

UNDERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CAL	CONT.	HEIGHT/SPREAD	REMARKS
	2	Cabbage Palmetto	Sabal palmetto	N/A	Bare Root	12-15' H	
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HEIGHT/SPREAD	LQP	REMARKS
	14	Blue African Lily	Agapanthus africanus 'Blue'	3 gal	12-15"		
	79	Creeping Fig	Ficus pumila	1 gal	4-6"		
	7	Rose	Rosa x 'Pink Knockout'	3 gal	15-18"		

PLANTING NOTES:

- CONTRACTOR SHALL PROVIDE A SOIL ANALYSIS BY A QUALIFIED SOIL-TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT, AND CLAY CONTENT, CATION EXCHANGE CAPACITY, DELETERIOUS MATERIAL, pH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL. REPORT TO BE PROVIDED TO OWNER'S REPRESENTATIVE. CONTRACTOR TO FURNISH SUITABILITY REPORT OF TOPSOIL FOR LAWN AND PLANT GROWTH. STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHOROUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL. IF ADDITIONAL TOPSOIL IS REQUIRED, CONTRACTOR TO PROVIDE STOCKPILED TOPSOIL OR IMPORTED OR MANUFACTURED TOPSOIL FREE OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEEOUS MATERIALS HARMFUL TO PLANT GROWTH AND HAVING THE APPROPRIATE PERCENTAGES AS RECOMMENDED BY SUITABILITY REPORT.
- ANY DEVIATION FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NOTIFY LANDSCAPE ARCHITECT OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. LANDSCAPE ARCHITECT SHALL, IF NECESSARY, MAKE "IN-FIELD MODIFICATIONS".
- FINE GRADING SHALL CONSIST OF HAND RAKED SMOOTH, FREE OF DEBRIS, ALL AREAS TO RECEIVE LANDSCAPE PLANTING AND/OR PINE STRAW MULCH.
- CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING AND PROPOSED UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING AND PROPOSED UTILITIES.
- CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS AND BACKFLOW CONTROLLER, AND TO PROVIDE 100% COVERAGE OF ALL SOD, SPRIG AND PLANTING BEDS. SEE IRRIGATION PLANS FOR INFORMATION.
- MULCH ALL PLANTING BEDS WITH PINE STRAW TO A 4" DEPTH.
- CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID/PROPOSAL IS SUBMITTED.
- PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED-IN-BURLAP OR CONTAINER. OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- AREAS SHOWN WITH SOD ARE APPROXIMATE. ADDITIONAL SOD MAY BE REQUIRED DURING INSTALLATION.
- ALL TREE SHRUBS, & GROUNDCOVERS ARE TO BE GUARANTEED FOR A PERIOD OF 1 YEAR BEGINNING UPON ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE FOR STAKING ANY PLANT MATERIALS IN HIGH WIND SITUATIONS OR ANY OTHER THAT WOULD REQUIRE STAKING. CONSULT L.A. FOR PROPER STAKING TECHNIQUES.

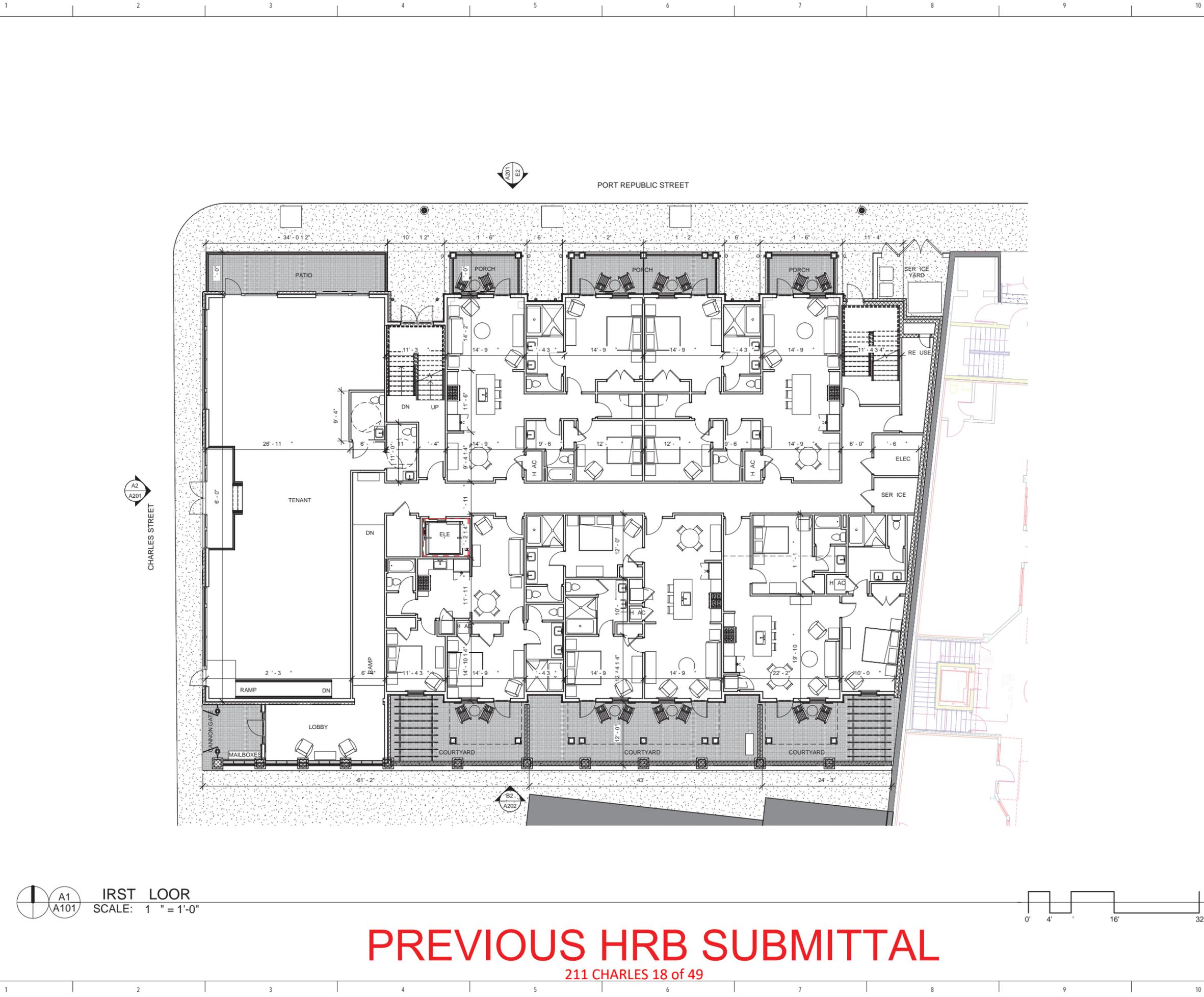


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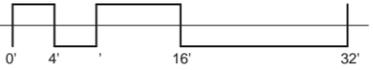
L1.1

Planting Plan

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A1 A101 IRST LOOR
SCALE: 1" = 1'-0"



PREVIOUS HRB SUBMITTAL

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211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

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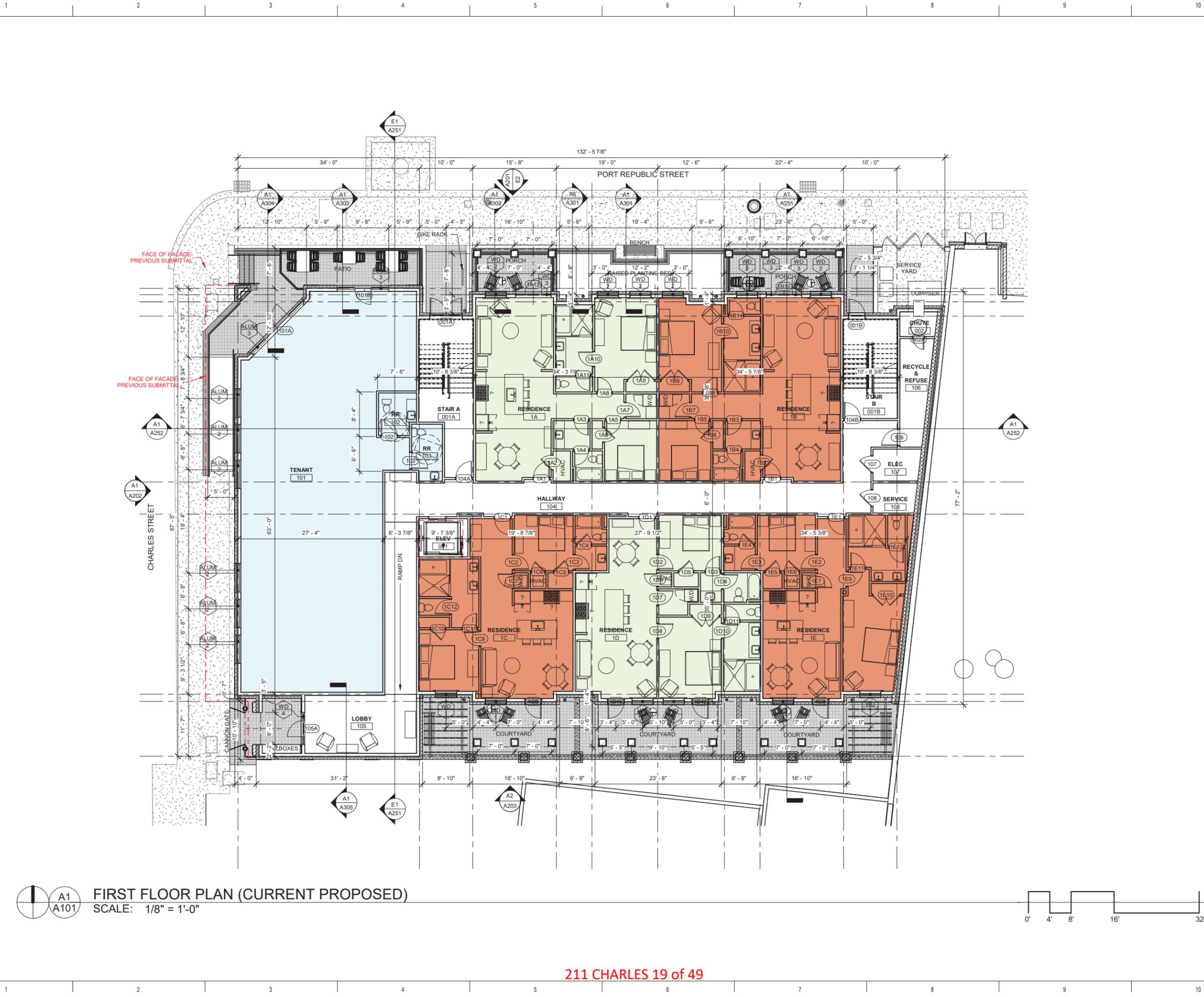
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1ST FLOOR PLAN

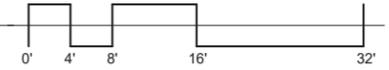
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FIRST FLOOR PLAN (CURRENT PROPOSED)
SCALE: 1/8" = 1'-0"



11.18.2021

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 12.08.2021 MEETING

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**FIRST FLOOR
PLAN (CURRENT
PROPOSED)**

A101

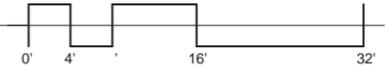
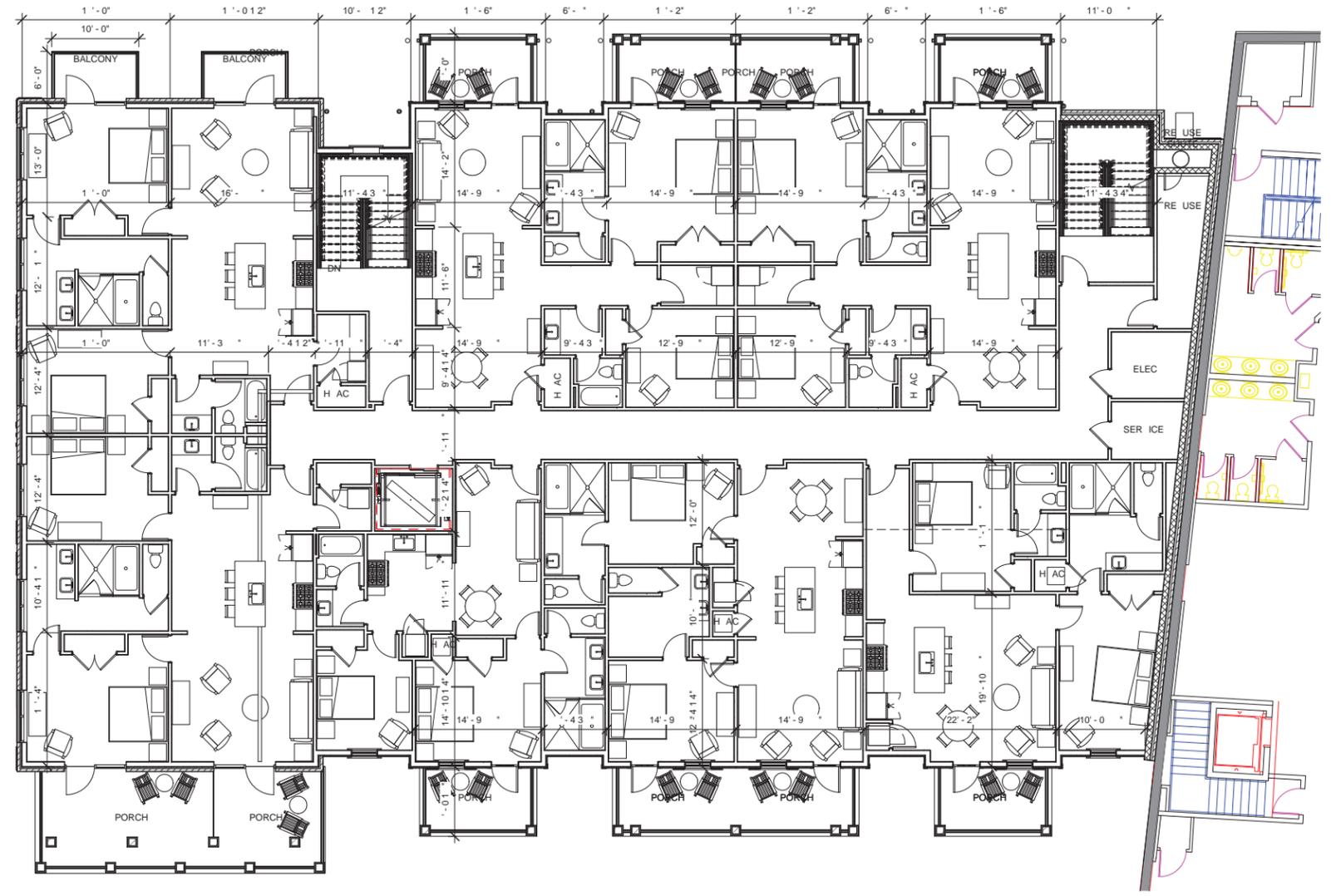
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H
G
F
E
D
C
B
A

1 2 3 4 5 6 7 8 9 10



SECOND THIRD LOOR PLANS
SCALE: 1" = 1'-0"



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SECOND & THIRD FLOOR PLANS

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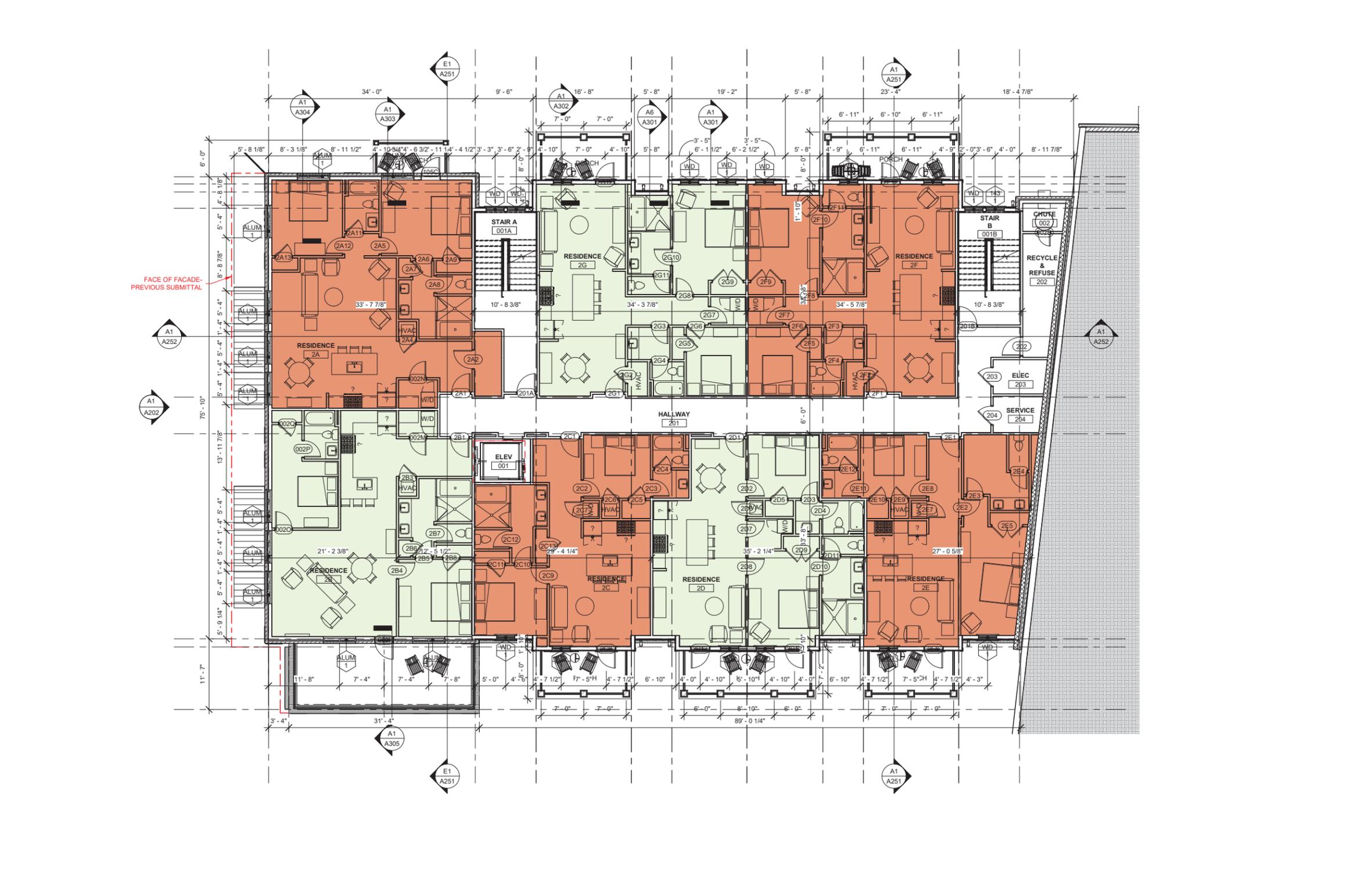
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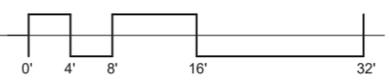
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1 2 3 4 5 6 7 8 9 10

A B C D E F G H



A1 A102 SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)
SCALE: 1/8" = 1'-0"



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211 CHARLES STREET
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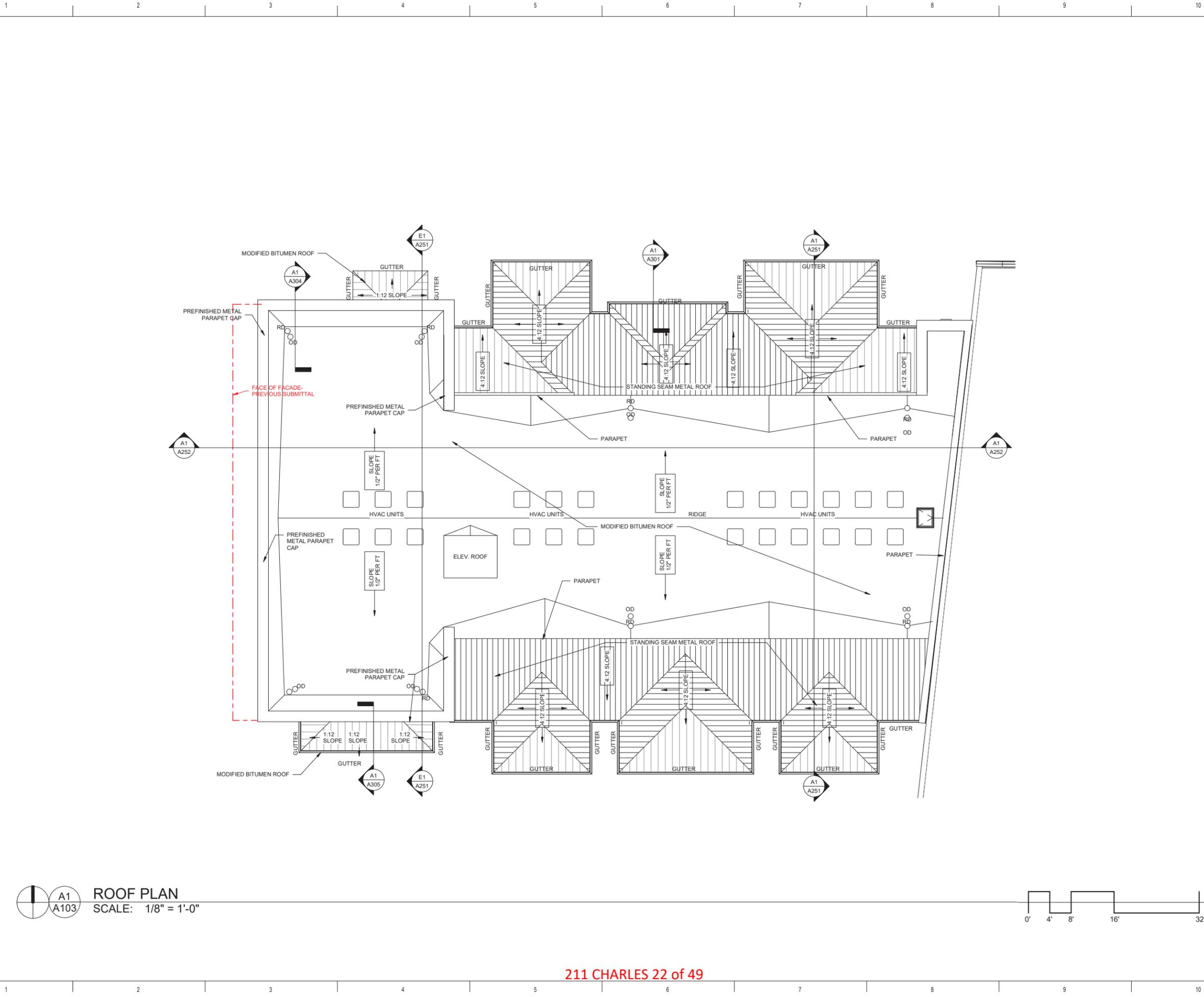
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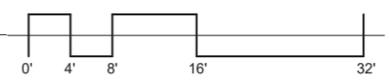
SECOND & THIRD FLOOR PLANS (CURRENT PROPOSED)

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ROOF PLAN
SCALE: 1/8" = 1'-0"



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ROOF PLAN

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F1
A200
STREET ELEVATION-PORT REPUBLIC
SCALE: 1/16" = 1'-0"



D1
A200
STREET ELEVATION-CHARLES
SCALE: 1/16" = 1'-0"



A1
A200
STREET ELEVATION-BAY STREET
SCALE: 1/16" = 1'-0"

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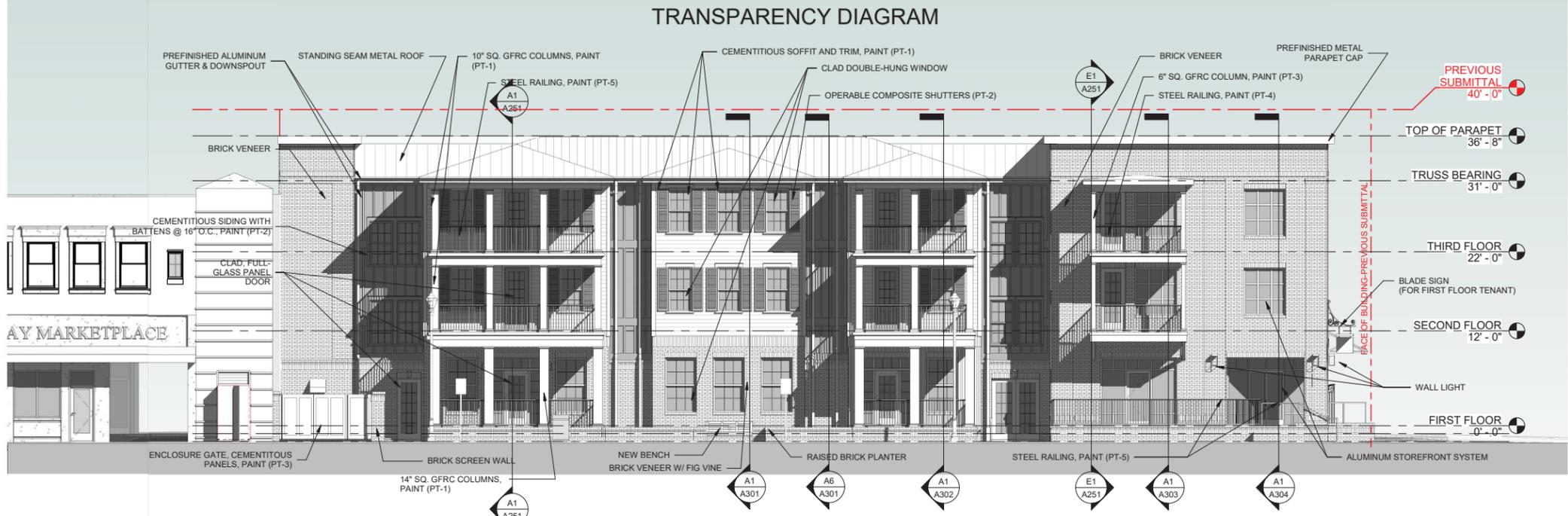
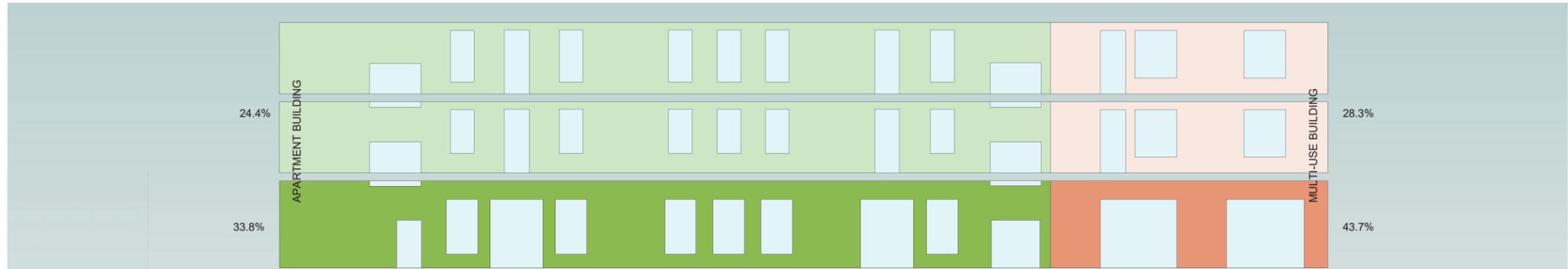
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STREET ELEVATIONS

A200

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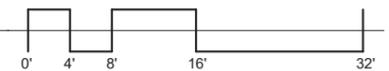
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NORTH ELEVATION (PORT REPUBLIC STREET) CURRENT PROPOSED

SCALE: 1/8" = 1'-0"

E2
A201



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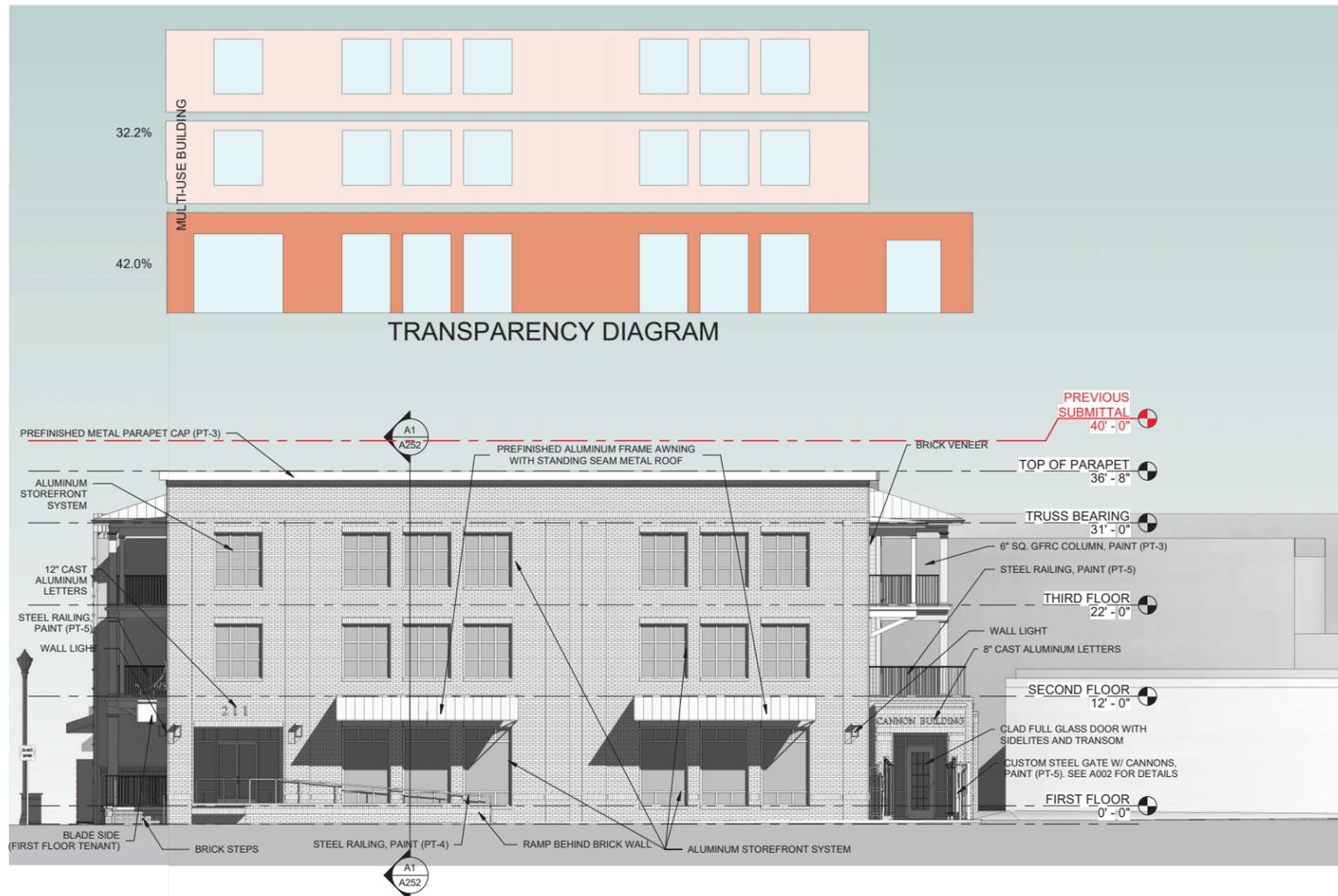
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NORTH EXTERIOR ELEVATION

A201

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A1
A202 WEST EXTERIOR ELEVATION (CURRENT PROPOSED)
SCALE: 1/8" = 1'-0"

211 CHARLES 25 of 49



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WEST EXTERIOR ELEVATION

A202

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211 CHARLES STREET
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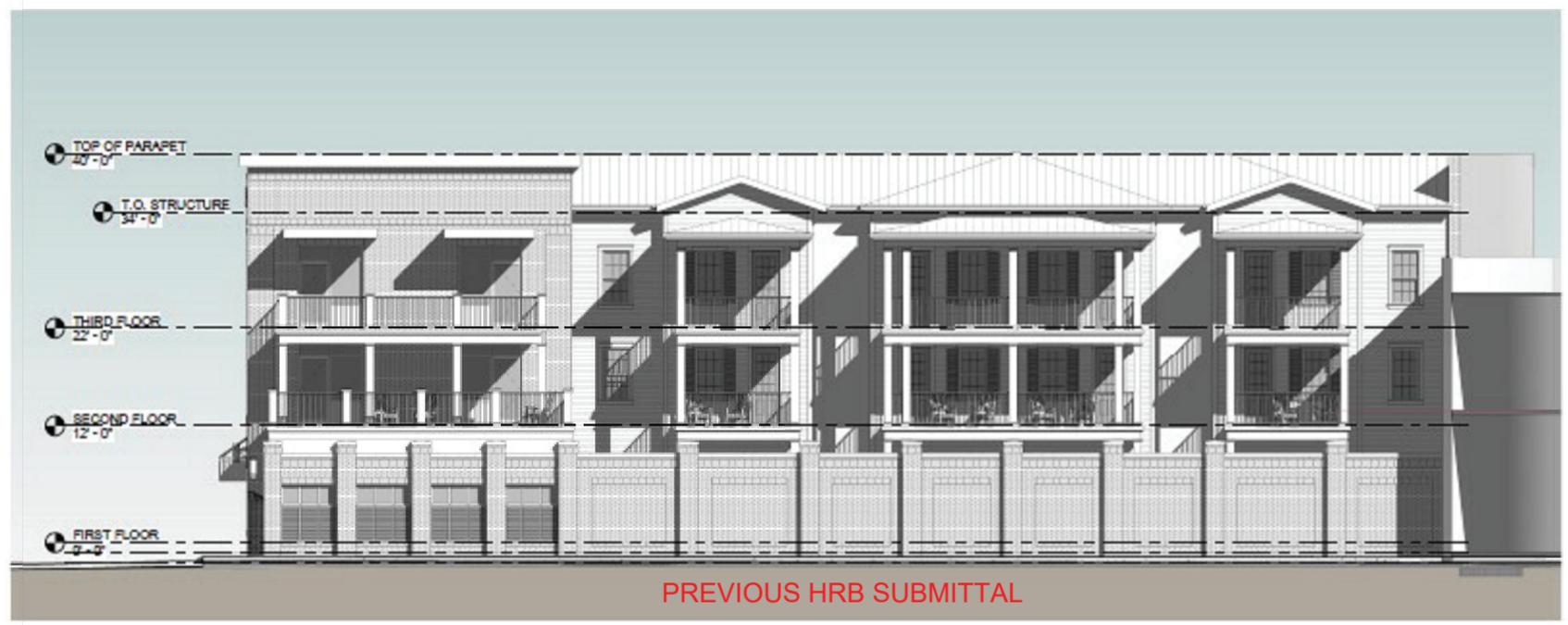
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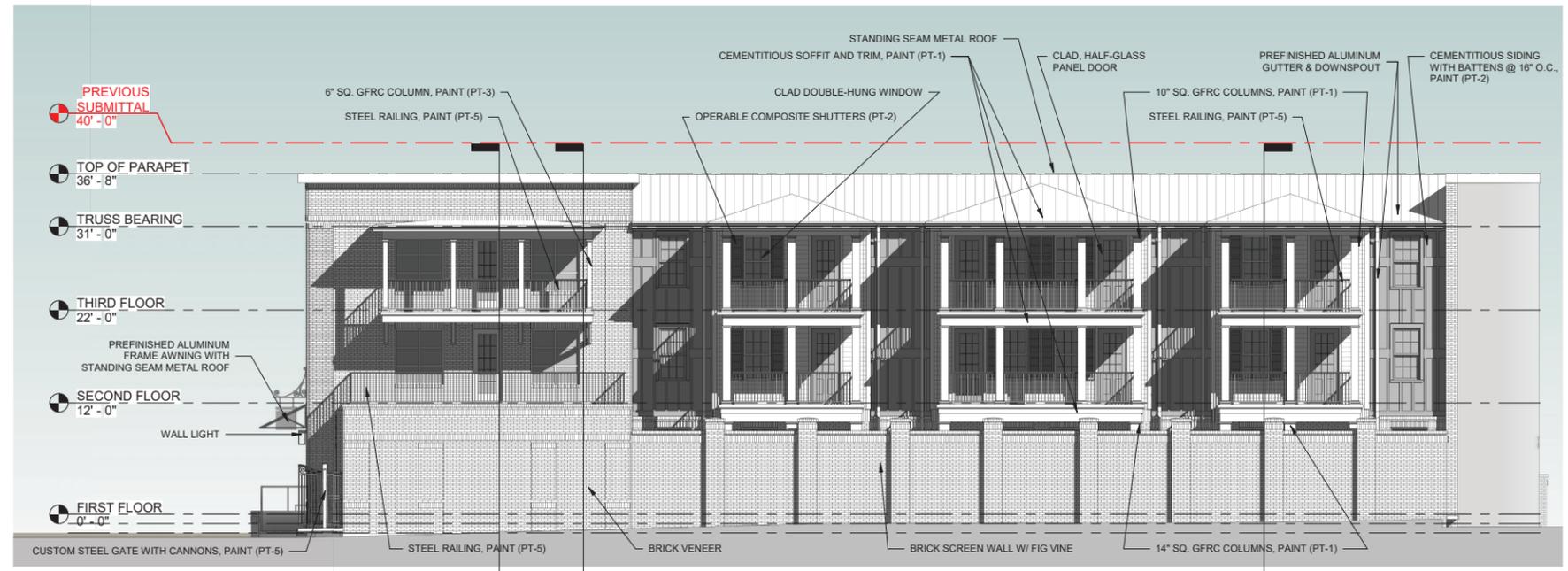
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SOUTH EXTERIOR ELEVATION

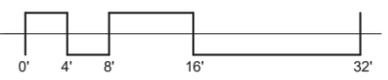
A203



PREVIOUS HRB SUBMITTAL



A2
A203 SOUTH ELEVATION (CURRENT PROPOSED)
SCALE: 1/8" = 1'-0"



EXTERIOR FINISH MATERIAL SCHEDULE

MATERIAL	DISCRIPTION - BASIS OF DESIGN
COLUMNS (ON PORCHES)	10" & 14" SQUARE PERMACAST COLUMNS (PAINT PT-1)
COLUMNS (ON BALCONIES)	8" SQUARE PERMACAST COLUMNS (PAINT PT-3)
PT-1 (WHITE)	"PURE WHITE" SW 7005 BY SHERWIN WILLIAMS
PT-2 (LIGHT WARM GRAY)	"AMAZING GRAY" SW 7044 BY SHERWIN WILLIAMS
PT-3 (MEDIUM WARM GRAY)	COLOR MATCH METAL ROOF
PT-4 (PALE BLUE)	"BATHE BLUE" SW-6771 BY SHERWIN WILLIAMS
PT-5 (BLACK)	"BLACK MAGIC" SW6991 BY SHERWIN WILLIAMS
STANDING SEAM METAL ROOF	"MAXIMA" 1.5 INCH HIGH BY MCELROY; COLOR: "CHAMPAGNE METALLIC"
GUTTER & DOWN SPOUTS	MCELROY METALS, COLOR: "REGAL WHITE"
ALUMINUM STOREFRONT AND ENTRANCES	IR-500 FRAMING WITH IR-350 ENTRANCES BY KAWNEER; COLOR: "ANTIQUE BRONZE" UC 100027
GLAZING	"SOLARGRAY" BY VITRO
ALUMINUM CLAD DOUBLE-HUNG WINDOWS (IN SIDING)	"RESERVE" WITH SIMULATED DIVIDED LIGHTS, BY PELLA; COLOR: "CLASSIC WHITE"
ALUMINUM CLAD DOUBLE-HUNG WINDOWS (IN BRICK)	"RESERVE" WITH SIMULATED DIVIDED LIGHTS, BY PELLA; COLOR: "SAND DRIVE"
BRICK	"LAUREL BAY" MODULAR, BY PALMETTO BRICK
MORTAR	"SEASHELL" BY HOLCIM
LAP SIDING	HARDIEPLANK SIDING, SMOOTH FINISH, 6" EXPOSURE (PAINT PT-1)
BOARD AND BATTEN SIDING	HARDIEPANEL SIDING, SMOOTH FINISH, WITH BATTENS @ 16" O.C. (PAINT PT-2)
RAILINGS AND GATES	CUSTOM STEEL FABRICATION (PAINT PT-5)
SHUTTERS	LOUVERED SHUTTER BY ATLANTIC SHUTTERS (MATCH PT-2)

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PALMETTO "LAUREL BAY" MODULAR BRICK, WITH HOLCIM "SEASHELL" MORTAR



COLUMNS PAINTED PT-1*
STEEL RAILING, PAINTED PT-5



Faux Louver

Atlantic's Faux Louver shutters are a unique patented process that delivers a beautiful, layered appearance. These shutters add a classic, traditional look with rhythmic, clean lines. Enhancing a variety of home styles, Faux Louver shutters offer the popular option of an additional rail, accentuating both horizontal and vertical appeal. Rails also accommodate optional sliding lock hardware for a more handsome operable shutter application. Arch and rafter shutters are also available through this process under design.

ATLANTIC SHUTTERS
OPERABLE SHUTTERS-PAINTED PT-2

CLASSIC COLLECTION - FAUX LOUVER

Rails: Proprietary Exterior Grade Composite Wood
Panels: Proprietary Exterior Grade Composite Wood
Sills: Proprietary Exterior Grade Composite Wood

Primer: Marine Grade

Paint Finish: Two-part Urethane

Width: 9" - 24" (in 1/2" increments)

Height: 13-1/2" - 96" (in 1/8" increments)

LOUVER

Thickness: 1-1/4"

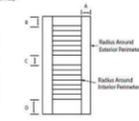
Vertical Sill Width (A): 2-1/2"

Top Rail Height (B): 2-1/2"

Middle Rail Height (C): 2-1/2"

Bottom Rail Height (D): 2-3/4" - 4"

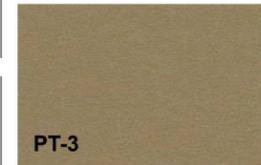
Louver Angle: 22°



PT-1
CEMENTITIOUS LAP SIDING AND TRIM
6" EXPOSURE, SMOOTH FACE



PT-2
CEMENTITIOUS BOARD AND BATTEN SIDING
1X3 BATTENS @ 16" O.C., SMOOTH FACE



PT-3
*COLUMNS & TRIM ON BRICK
PORTION OF BUILDING:
MATCH STOREFRONT

PT-4
PORCH CEILINGS

PT-5
STEEL RAILINGS AND GATE

EXTERIOR MATERIALS

Square PERMAcast® Columns

Square PERMAcast® INSIDE DIMENSIONS
Head dimension not over 6" 3/4"
Splicing columns will double inside diameter 1/2"

Column Size	Width	Height
6"	6"	6"
8"	8"	8"
10"	10"	10"
12"	12"	12"
14"	14"	14"
16"	16"	16"

Panel Moulding for Square PERMAcast®

Plumb-Fit®
To make installation even easier our 6-1/2" round and square poly-Toscan Cap and Base Sets with Flashing Cap now come with the Plumb-Fit®

Column-Loc™
Column-Loc™ creates a continuous connection from floor to beam/header without the expense of splinting and reanchoring the column. This labor saving product is easy to install and delivers wind uplift resistance especially important in coastal and high wind areas. Currently available for 8 and 10" round (tapered and non-taper) and square PermaCast® columns. Kits are available with and without threaded rod.

Square PERMAcast® COLUMN DIMENSIONS (in inches)

Column	A	C	D	E	F	G	J	K	L	N	O	R	Length (Actual)
6"	6"	29"	12"	12"	12"	12"	12"	12"	12"	12"	12"	12"	48.00"
8"	8"	31"	13"	13"	13"	13"	13"	13"	13"	13"	13"	13"	50.00"
10"	10"	33"	14"	14"	14"	14"	14"	14"	14"	14"	14"	14"	52.00"
12"	12"	35"	15"	15"	15"	15"	15"	15"	15"	15"	15"	15"	54.00"
14"	14"	37"	16"	16"	16"	16"	16"	16"	16"	16"	16"	16"	56.00"
16"	16"	39"	17"	17"	17"	17"	17"	17"	17"	17"	17"	17"	58.00"

Versatility of Square Columns
The design and versatility of an H86G square column has enhanced its popularity with today's architects. The H86G square PermaCast® column lineup includes plain, recessed panel, and fluted styles. An unlimited combination of styles can be achieved by various uses of the panel moulding, neck moulding, and caps and bases. Additionally, the square column is not tapered and can be cut to any height without affecting the fit of the caps and bases.

SQUARE GFRC COLUMNS, PAINTED PT-1 & PT-3

MAXIMA Standing Seam Roof System

Seaming Details

MAXIMA 1.5 BEFORE SEAMING
MAXIMA 1.5 180° FOLD

1.5" High / 180 degree seam
180 Degree Mechanically Seamed
Fluoropolymer Finish

Quality... Service... Performance

MCELROY METAL

STANDING SEAM METAL ROOF -
MCELROY CHAMPAGNE METALLIC



ALUMINUM STOREFRONT-KAWNEER
TRIFAB 451R ANTIQUE BRONZE UC100027

ETHEREA applique

standard finishes

IP65

small: IK 05
2,5 mm Photo-etched methacrylate

medium and large: IK08
4 / 6 mm thick white tempered glass

100 x 100 x h. 200 mm
150 x 150 x h. 300 mm
215 x 215 x h. 455 mm

Platek®

Outdoor Wall Sconce: "Eterea Applique"
Large & Medium in "Antrocite" finish with frosted glass

EXTERIOR LIGHTING

PELLA "RESERVE" ALUMINUM CLAD DOUBLE-HUNG WOOD WINDOWS & DOORS. WINDOWS HAVE SIM. DIVIDED LITES

EXTERIOR CLAD DOORS AND WINDOWS

CLASSIC WHITE

SAND DUNE

DERO Rolling Rack

Submission Sheet

CAPACITY RR2H: 5 Bikes
 RR3H: 7 Bikes
 RR4H: 9 Bikes
 RR5H: 11 Bikes

MATERIALS 2" schedule 40 pipe (2.375" OD)

FINISHES Galvanized
An after fabrication hot dipped galvanized finish is our standard option.
 Powder Coat
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick 100% polyester powder coat
 Stainless
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

MOUNT OPTIONS Surface
Fixed Mount has two 5" x 6" x .25" feet with four anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.
 In-Ground
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.

BICYCLE RACK

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THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

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EXTERIOR MATERIALS & LIGHTING

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PREVIOUS SUBMITTAL

VIEW FROM PORT REPUBLIC STREET LOOKING SOUTHWEST

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EXTERIOR
PERSPECTIVE

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VIEW FROM CORNER OF CHARLES AND PORT REPUBLIC STREETS LOOKING SOUTHEAST

211 CHARLES 29 of 49

PREVIOUS SUBMITTAL



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EXTERIOR
PERSPECTIVE

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VIEW FROM CHARLES STREET LOOKING NORTHEAST

211 CHARLES 30 of 49

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EXTERIOR
PERSPECTIVE

A223

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PREVIOUS SUBMITTAL

OVERALL VIEW OF PROPOSED DEVELOPMENT FROM THE CORNER OF CHARLES AND BAY STREETS LOOKING NORTHEAST

211 CHARLES 51 of 49

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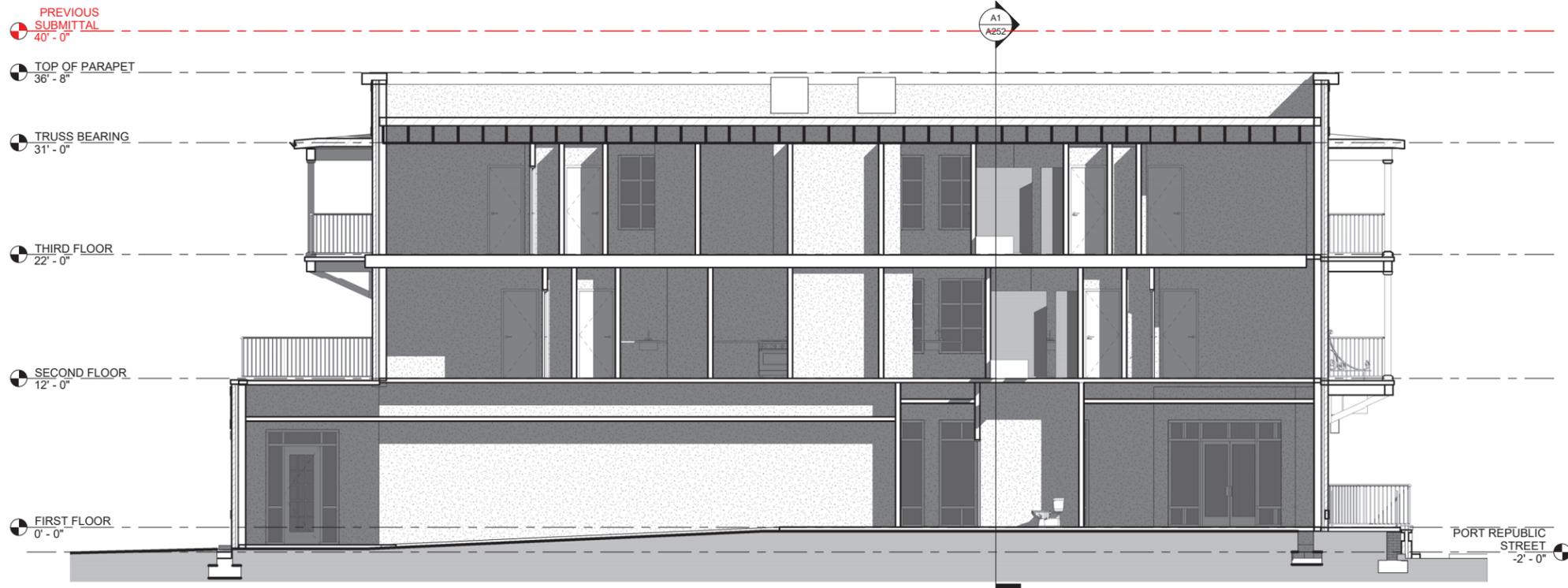
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EXTERIOR
PERSPECTIVE

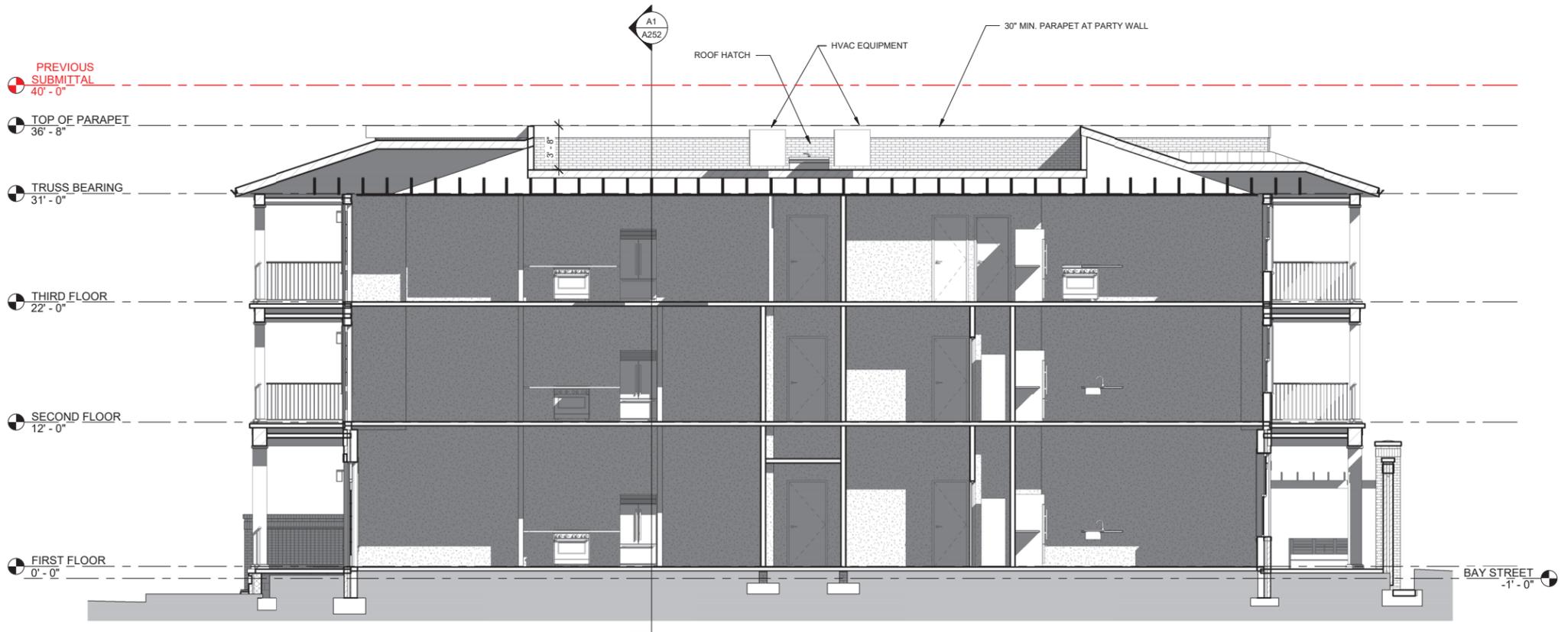
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E1
A251
TRANSVERSE BUILDING SECTION-LOOKING WEST
SCALE: 3/16" = 1'-0"



A1
A251
TRANSVERSE BUILDING SECTION LOOKING EAST
SCALE: 3/16" = 1'-0"

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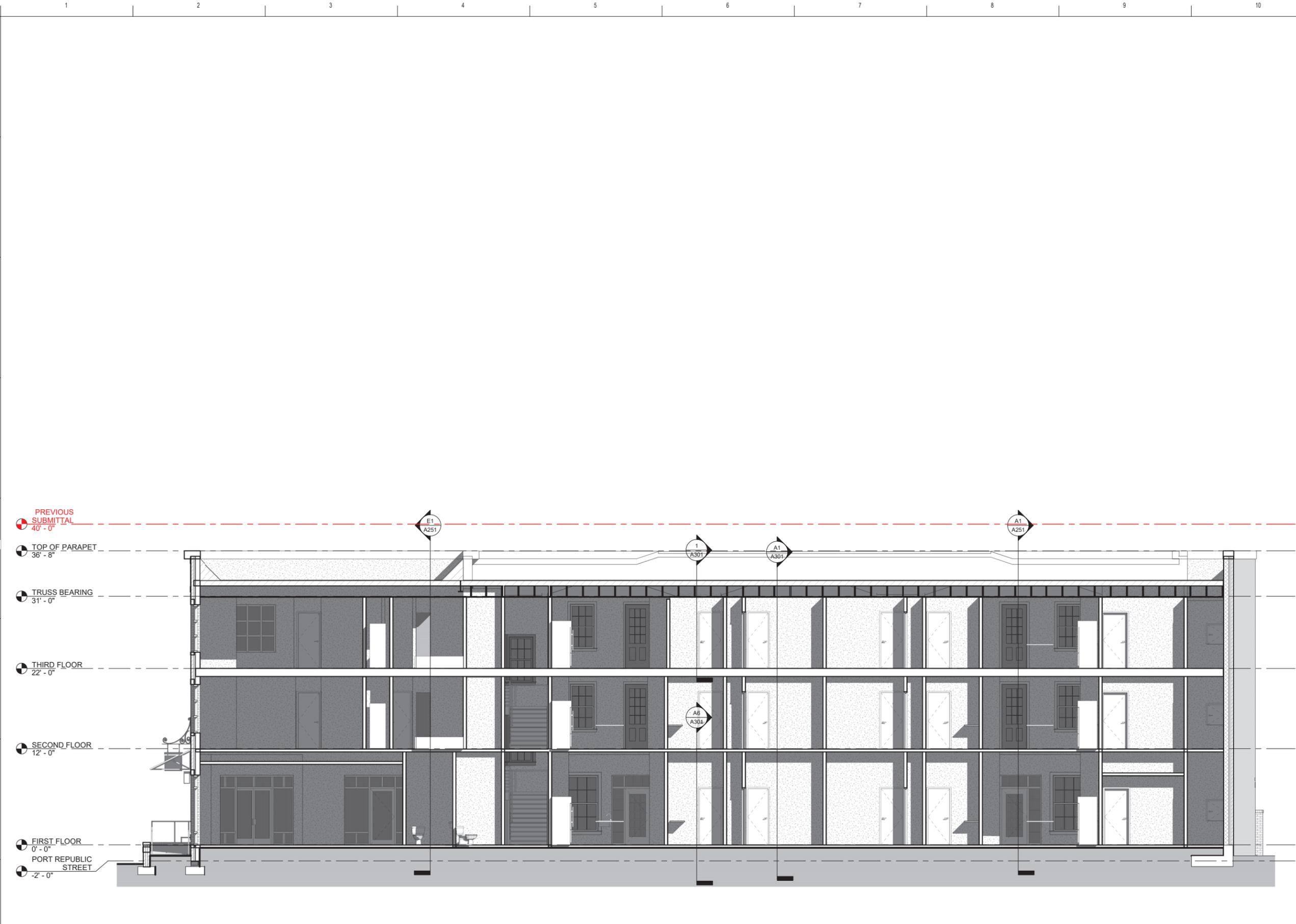
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BUILDING SECTIONS

A251

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A1
A252 LONGITUDINAL BUILDING SECTION-LOOKING NORTH
SCALE: 3/16" = 1'-0"

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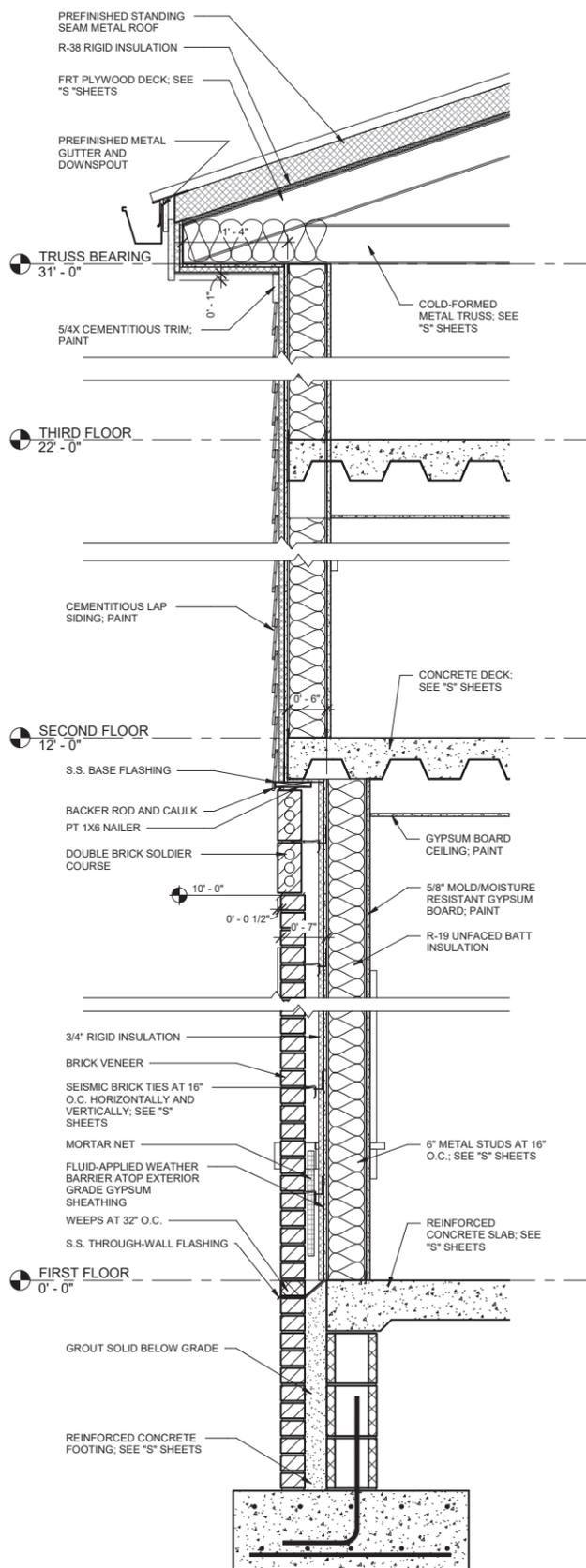
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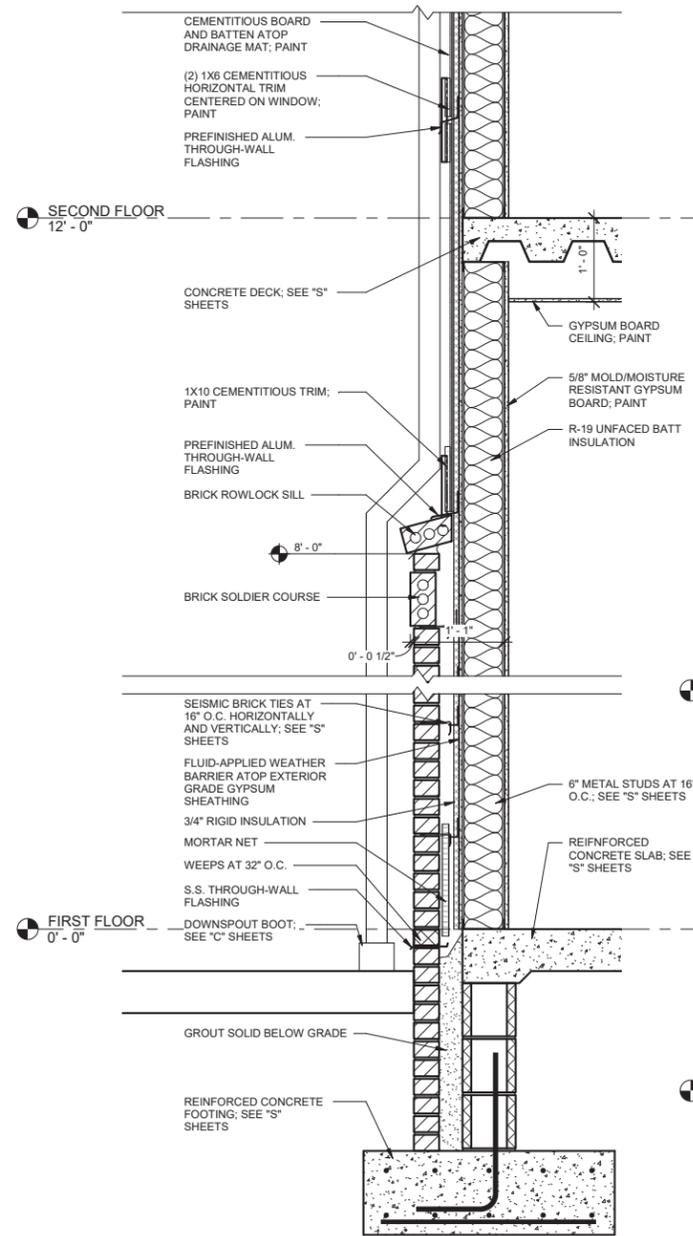
LONGITUDINAL BUILDING SECTION

A252

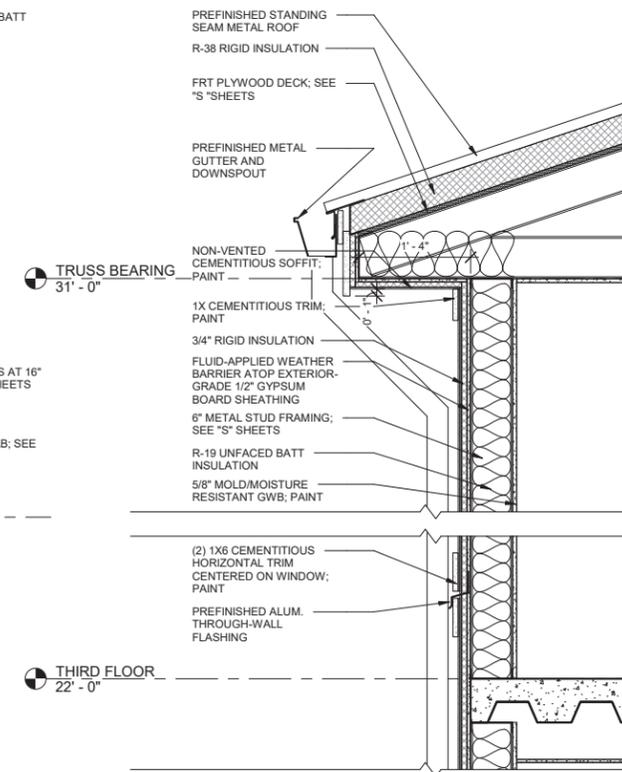
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A1
A301 WALL SECTION AT LAP SIDING OVER BRICK
SCALE: 1" = 1'-0"



A6
A301 WALL SECTION AT BOARD AND BATTEN
SCALE: 1" = 1'-0"



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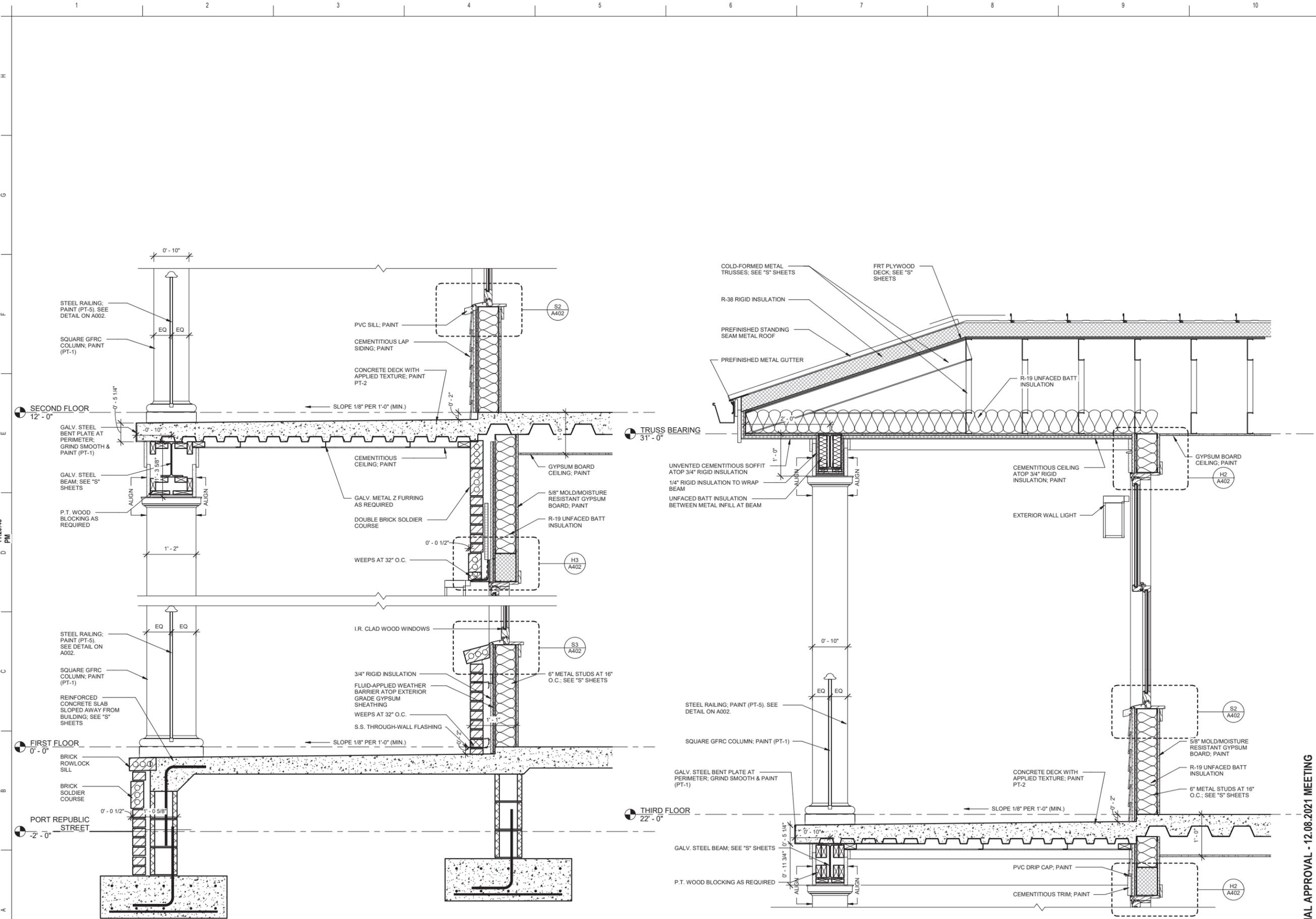
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WALL SECTIONS

A301

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A1 WALL SECTION THROUGH PORCH AT LAP SIDING
 A302 SCALE: 1" = 1'-0"

11.18.2021

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 211 CHARLES STREET
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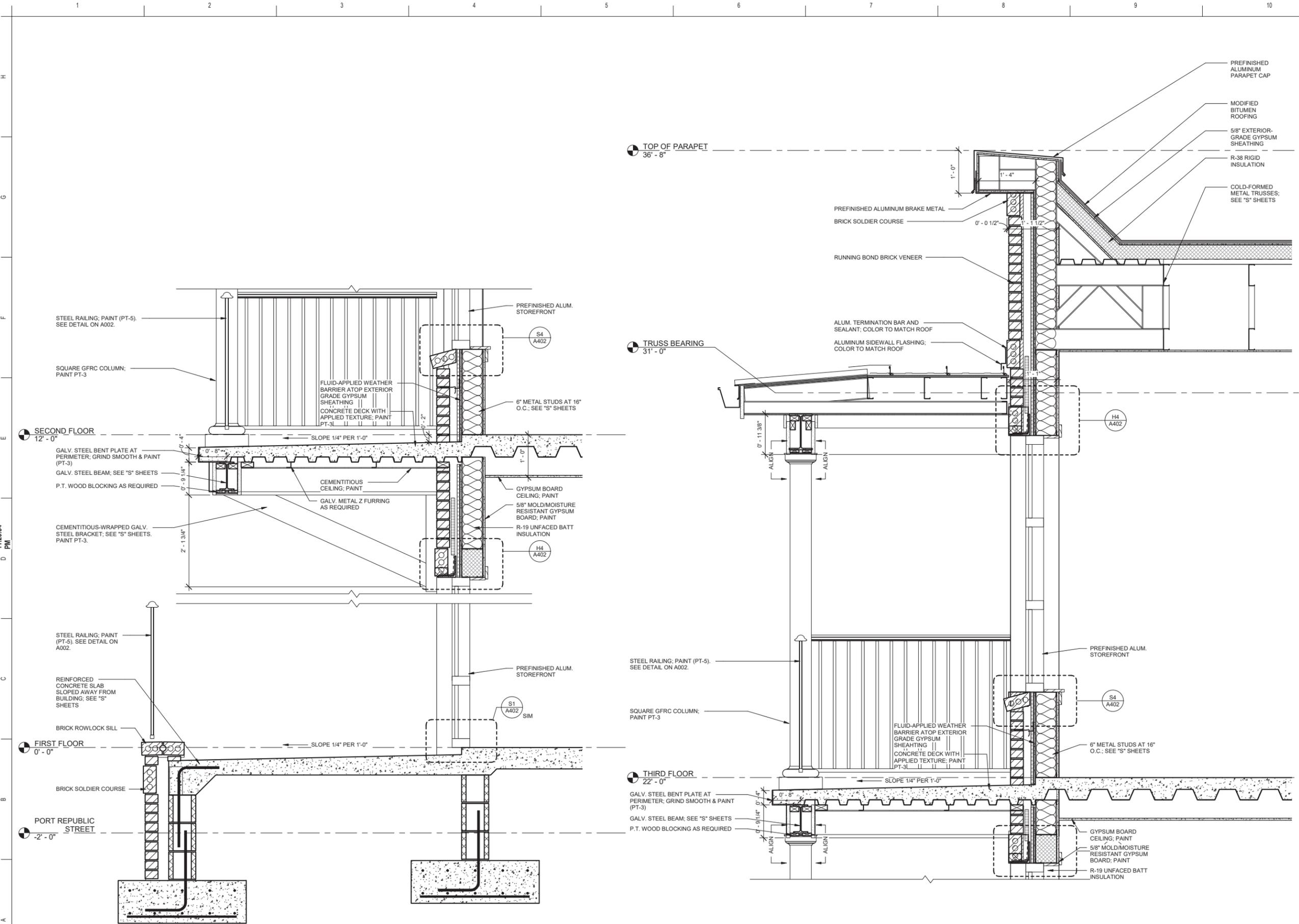
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WALL SECTIONS

A302

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A1
A303 WALL SECTION THROUGH BALCONIES AT BRICK FACADE
SCALE: 1" = 1'-0"

11.10.2021

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

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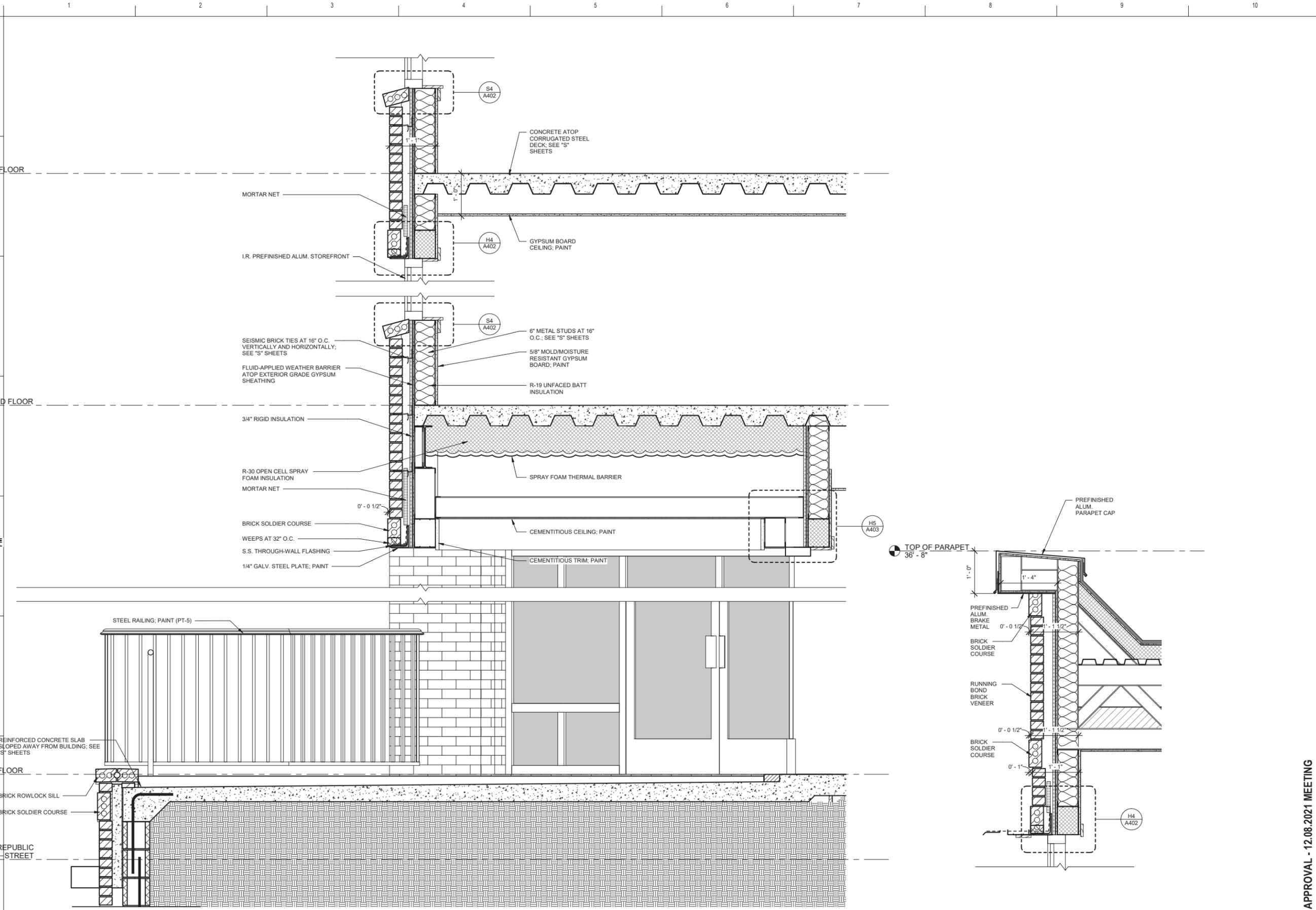
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WALL SECTIONS

A303

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WALL SECTION THROUGH BRICK FACADE AT CORNER OF PORT REPUBLIC AND CHARLES STREET
 SCALE: 1" = 1'-0"

A1
 A304

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THE CANNON BUILDING
 211 CHARLES STREET
 BEAUFORT, SOUTH CAROLINA

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WALL SECTIONS

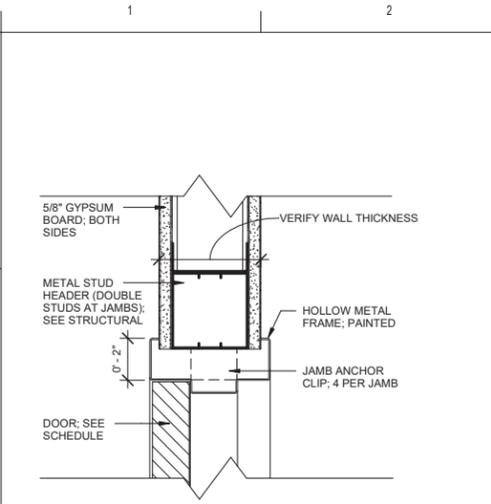
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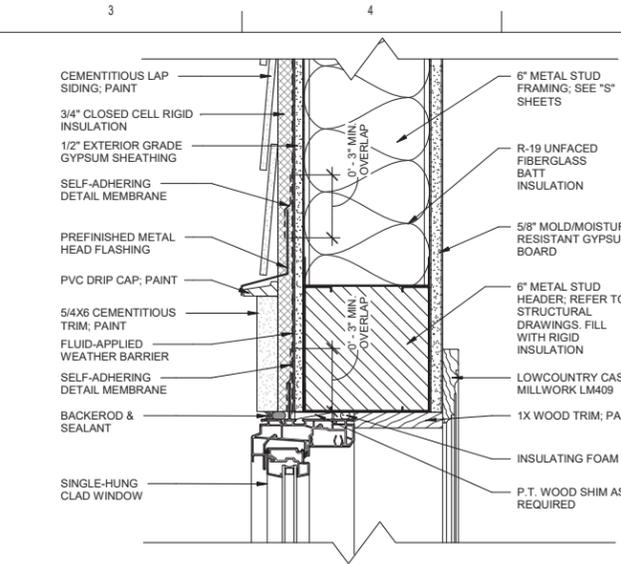
DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR TYPE	DOOR			FRAME TYPE	Fire Rating	COMMENTS		
			WIDTH	HEIGHT	THICKNESS					
001A	STAIR A	D	3'-0"	8'-0"	0'-1 3/4"					
1A1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
1A2		F	2'-8"	7'-0"	0'-1 3/4"					
1A3		F	2'-8"	7'-0"	0'-1 3/4"					
1A4		F	2'-8"	7'-0"	0'-1 3/4"					
1A5		F	2'-8"	7'-0"	0'-1 3/4"					
1A6		F	2'-8"	7'-0"	0'-1 3/4"					
1A7		F	2'-8"	7'-0"	0'-1 3/4"					
1A8		F	2'-8"	7'-0"	0'-1 3/4"					
1A9		G	5'-0"	7'-0"	0'-1 3/4"					
1A10		F	2'-8"	7'-0"	0'-1 3/4"					
1A11		F	2'-8"	7'-0"	0'-1 3/4"					
1A12		C.1	3'-1 1/2"	7'-0"	0'-1 3/4"					
1A15		F	3'-0"	7'-0"	0'-1 3/4"					
001B	STAIR B	C	3'-0"	7'-11"	0'-1 3/4"					
1B1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
1B2		F	2'-8"	7'-0"	0'-1 3/4"					
1B3		F	2'-8"	7'-0"	0'-1 3/4"					
1B4		F	2'-8"	7'-0"	0'-1 3/4"					
1B5		F	2'-8"	7'-0"	0'-1 3/4"					
1B6		F	2'-8"	7'-0"	0'-1 3/4"					
1B7		F	2'-8"	7'-0"	0'-1 3/4"					
1B8		F	2'-8"	7'-0"	0'-1 3/4"					
1B9		G	5'-0"	7'-0"	0'-1 3/4"					
1B10		F	2'-8"	7'-0"	0'-1 3/4"					
1B11		F	2'-8"	7'-0"	0'-1 3/4"					
1B12		C.1	3'-1 1/2"	7'-0"	0'-1 3/4"					
1C1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
1C2		F	2'-8"	7'-0"	0'-1 3/4"					
1C3		F	2'-8"	7'-0"	0'-1 3/4"					
1C4		F	2'-8"	7'-0"	0'-1 3/4"					
1C5		F	2'-8"	7'-0"	0'-1 3/4"					
1C6		F	2'-4"	7'-0"	0'-1 3/4"					
1C7		F	2'-8"	7'-0"	0'-1 3/4"					
1C8		C	3'-0"	7'-11"	0'-1 3/4"					
1C9		F	2'-8"	7'-0"	0'-1 3/4"					
1C10		F	2'-8"	7'-0"	0'-1 3/4"					
1C11		F	2'-8"	7'-0"	0'-1 3/4"					
1C12	RESIDENCE	F	2'-8"	7'-0"	0'-1 3/4"					
1D1		F	3'-0"	7'-0"	0'-1 3/4"					
1D2		F	2'-8"	7'-0"	0'-1 3/4"					
1D3		F	2'-8"	7'-0"	0'-1 3/4"					
1D4		F	2'-8"	7'-0"	0'-1 3/4"					
1D5		F	2'-8"	7'-0"	0'-1 3/4"					
1D6		F	2'-4"	7'-0"	0'-1 3/4"					
1D7		F	2'-8"	7'-0"	0'-1 3/4"					
1D8		F	2'-8"	7'-0"	0'-1 3/4"					
1D9		G	5'-0"	7'-0"	0'-1 3/4"					
1D10		F	2'-8"	7'-0"	0'-1 3/4"					
1D11		F	2'-8"	7'-0"	0'-1 3/4"					
1D12		C	3'-0"	7'-11"	0'-1 3/4"					
1D13		C	3'-0"	7'-11"	0'-1 3/4"					
1E1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
1E2		F	2'-8"	7'-0"	0'-1 3/4"					
1E3		F	2'-8"	7'-0"	0'-1 3/4"					
1E4		F	2'-8"	7'-0"	0'-1 3/4"					
1E5		F	2'-8"	7'-0"	0'-1 3/4"					
1E6		F	2'-8"	7'-0"	0'-1 3/4"					
1E7		F	2'-8"	7'-0"	0'-1 3/4"					
1E8		G	3'-0"	7'-11"	0'-1 3/4"					
1E9		F	2'-8"	7'-0"	0'-1 3/4"					
1E10		C	5'-0"	7'-0"	0'-1 3/4"					
1E11		F	2'-8"	7'-0"	0'-1 3/4"					
1E12		F	2'-8"	7'-0"	0'-1 3/4"					
002A	RECYCLE & REFUSE	F	2'-0"	2'-6"	0'-1 3/4"					
2A1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2A2		F	3'-0"	7'-0"	0'-1 3/4"					
2A4		F	2'-8"	7'-0"	0'-1 3/4"					
2A5		F	2'-8"	7'-0"	0'-1 3/4"					
2A6		F	2'-8"	7'-0"	0'-1 3/4"					
2A7		F	2'-4"	7'-0"	0'-1 3/4"					
2A8		F	2'-8"	7'-0"	0'-1 3/4"					
2A9		F	2'-8"	7'-0"	0'-1 3/4"					
2A11		F	2'-8"	7'-0"	0'-1 3/4"					
2A12		F	2'-8"	7'-0"	0'-1 3/4"					
2A13		F	2'-8"	7'-0"	0'-1 3/4"					
002B	RECYCLE & REFUSE	F	2'-0"	2'-6"	0'-1 3/4"					
2B1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2B3		F	2'-8"	7'-0"	0'-1 3/4"					
2B4		F	2'-8"	7'-0"	0'-1 3/4"					
2B5		F	2'-8"	7'-0"	0'-1 3/4"					
2B6		F	2'-4"	7'-0"	0'-1 3/4"					
2B7		F	2'-8"	7'-0"	0'-1 3/4"					
2B8		F	2'-8"	7'-0"	0'-1 3/4"					
002C		F	2'-0"	2'-6"	0'-1 3/4"					
2C1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2C2		F	2'-8"	7'-0"	0'-1 3/4"					
2C3		F	2'-8"	7'-0"	0'-1 3/4"					
2C4		F	2'-8"	7'-0"	0'-1 3/4"					
2C5		F	2'-8"	7'-0"	0'-1 3/4"					
2C6		F	2'-4"	7'-0"	0'-1 3/4"					
2C7		F	2'-8"	7'-0"	0'-1 3/4"					
2C8		C	3'-0"	8'-0"	0'-1 3/4"					
2C9		F	2'-8"	7'-0"	0'-1 3/4"					
2C10		F	2'-8"	7'-0"	0'-1 3/4"					
2C11		F	2'-8"	7'-0"	0'-1 3/4"					
2C12		F	2'-8"	7'-0"	0'-1 3/4"					
2C13		F	2'-8"	7'-0"	0'-1 3/4"					
2D1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2D2		F	2'-8"	7'-0"	0'-1 3/4"					
2D3		F	2'-8"	7'-0"	0'-1 3/4"					
2D4		F	2'-8"	7'-0"	0'-1 3/4"					
2D5		F	2'-8"	7'-0"	0'-1 3/4"					
2D6		F	2'-4"	7'-0"	0'-1 3/4"					
2D7		F	2'-8"	7'-0"	0'-1 3/4"					
2D8		F	2'-8"	7'-0"	0'-1 3/4"					
2D9		G	5'-0"	7'-0"	0'-1 3/4"					
2D10		F	2'-8"	7'-0"	0'-1 3/4"					
2D11		F	2'-8"	7'-0"	0'-1 3/4"					
2D12		C	3'-0"	8'-0"	0'-1 3/4"					
2D13		C	3'-0"	8'-0"	0'-1 3/4"					
2E1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2E2		F	2'-8"	7'-0"	0'-1 3/4"					
2E3		F	2'-8"	7'-0"	0'-1 3/4"					
2E4		F	2'-8"	7'-0"	0'-1 3/4"					
2E5		G	5'-0"	7'-0"	0'-1 3/4"					
2E6		C	3'-0"	8'-0"	0'-1 3/4"					
2E7		F	2'-8"	7'-0"	0'-1 3/4"					
2E8		F	2'-8"	7'-0"	0'-1 3/4"					
2E9		F	2'-8"	7'-0"	0'-1 3/4"					
2E10		F	2'-8"	7'-0"	0'-1 3/4"					

DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR TYPE	DOOR			FRAME TYPE	Fire Rating	COMMENTS		
			WIDTH	HEIGHT	THICKNESS					
2E11		F	2'-8"	7'-0"	0'-1 3/4"					
2E12		F	2'-8"	7'-0"	0'-1 3/4"					
2F1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2F2		F	2'-8"	7'-0"	0'-1 3/4"					
2F3		F	2'-8"	7'-0"	0'-1 3/4"					
2F4		F	2'-8"	7'-0"	0'-1 3/4"					
2F5		F	2'-8"	7'-0"	0'-1 3/4"					
2F6		F	2'-8"	7'-0"	0'-1 3/4"					
2F7		F	2'-8"	7'-0"	0'-1 3/4"					
2F8		F	2'-8"	7'-0"	0'-1 3/4"					
2F9		G	5'-0"	7'-0"	0'-1 3/4"					
2F10		F	2'-8"	7'-0"	0'-1 3/4"					
2F11		F	2'-8"	7'-0"	0'-1 3/4"					
2F12		C	3'-0"	8'-0"	0'-1 3/4"					
2G1	RESIDENCE	F	3'-0"	7'-0"	0'-1 3/4"					
2G2		F	2'-8"	7'-0"	0'-1 3/4"					
2G3		F	2'-8"	7'-0"	0'-1 3/4"					
2G4		F	2'-8"	7'-0"	0'-1 3/4"					
2G5		F	2'-8"	7'-0"	0'-1 3/4"					
2G6		F	2'-8"	7'-0"	0'-1 3/4"					
2G7		F	2'-8"	7'-0"	0'-1 3/4"					
2G8		F	2'-8"	7'-0"	0'-1 3/4"					
2G9		G	5'-0"	7'-0"	0'-1 3/4"					
2G10		F	2'-8"	7'-0"	0'-1 3/4"					
2G11		F	2'-8"	7'-0"	0'-1 3/4"					
2G12		C	3'-0"	8'-0"	0'-1 3/4"					
002J		C	3'-0"	7'-11"	0'-1 3/4"					
002K		C	3'-0"	7'-11"	0'-1 3/4"					
002M		F	2'-8"	7'-0"	0'-1 3/4"					
002N		F	2'-8"	7'-0"	0'-1 3/4"					
002O		F	2'-8"	7'-0"	0'-1 3/4"					
002P		F	2'-8"	7'-0"	0'-1 3/4"					
002Q		F	2'-8"	7'-0"	0'-1 3/4"					
002R		F	2'-6"	1'-0 19/32"	0'-1 3/4"					
3A1		F	3'-0"	7'-0"	0'-1 3/4"					
3A2		F	3'-0"	7'-0"	0'-1 3/4"					
3A3		F	2'-8"	7'-0"	0'-1 3/4"					
3A4		F	2'-8"	7'-0"	0'-1 3/4"					
3A5		F	2'-8"	7'-0"	0'-1 3/4"					
3A8		F	2'-8"	7'-0"	0'-1 3/4"					
3A11		F	2'-8"	7'-0"	0'-1 3/4"					
3B1		F	3'-0"	7'-0"	0'-1 3/4"					
3B2		F	2'-8"	7'-0"	0'-1 3/4"					
3B4		F	2'-8"	7'-0"	0'-1 3/4"					
3B5		F	2'-8"	7'-0"	0'-1 3/4"					
3B6		F	2'-4"	7'-0"	0'-1 3/4"					
3B7										

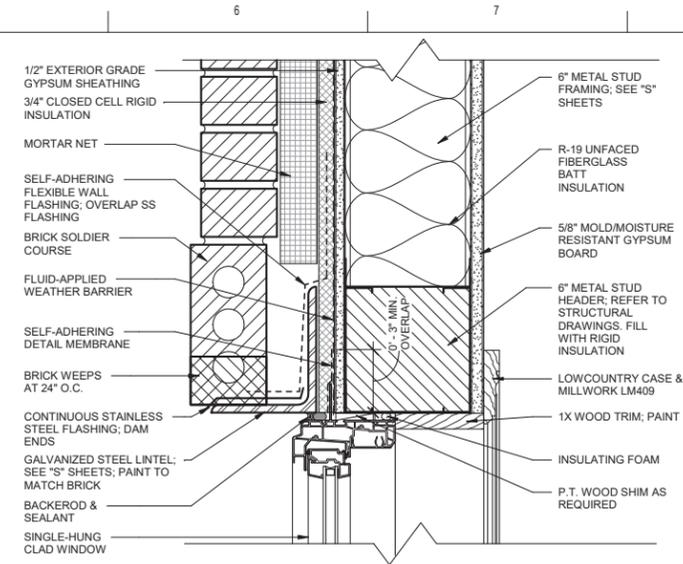
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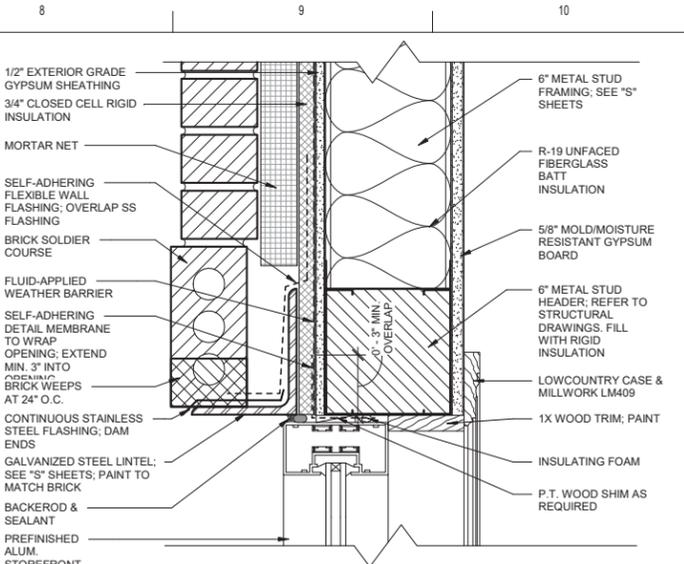
H1/J1
A402
HEAD/JAMB FOR INTERIOR HM FRAME DOOR
SCALE: 3" = 1'-0"



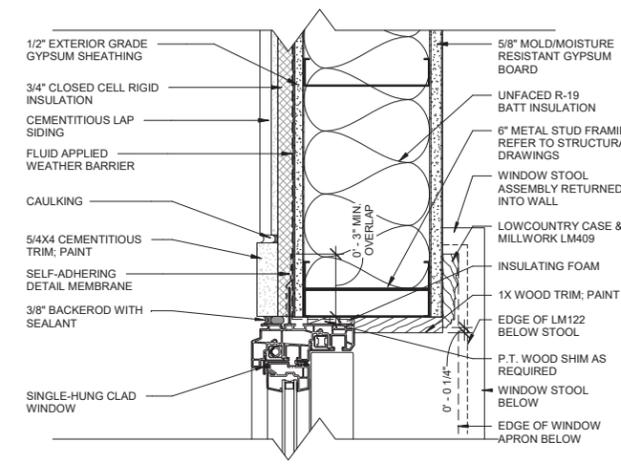
H2
A402
HEAD FOR DOUBLE-HUNG WINDOW AT CEMENTITIOUS SIDING
SCALE: 3" = 1'-0"



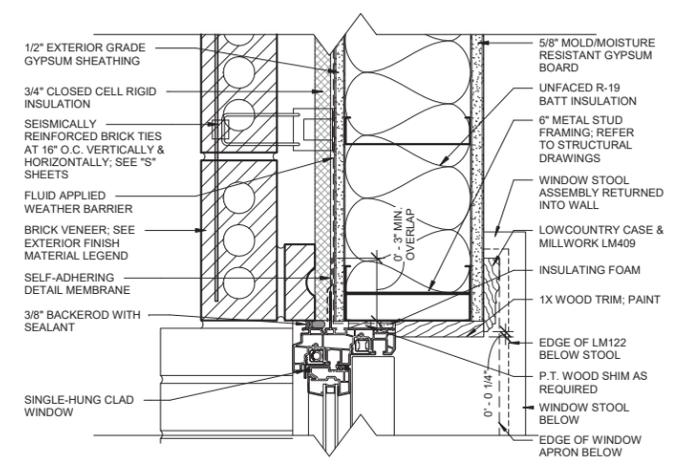
H3
A402
HEAD FOR DOUBLE-HUNG WINDOW AT BRICK SIDING
SCALE: 3" = 1'-0"



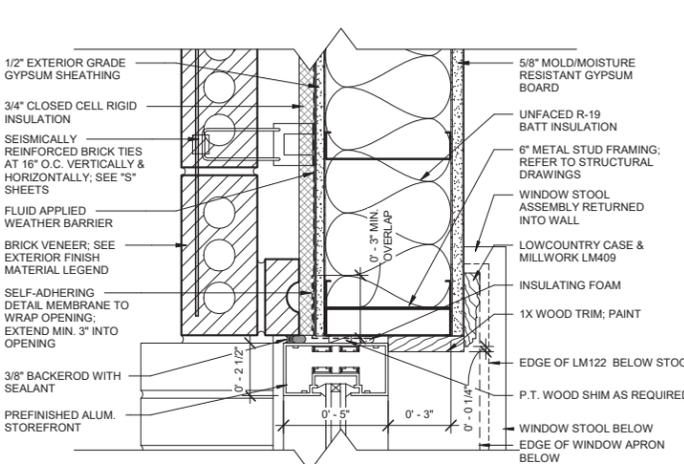
H4
A402
HEAD FOR ALUM. STOREFRONT AT BRICK SIDING
SCALE: 3" = 1'-0"



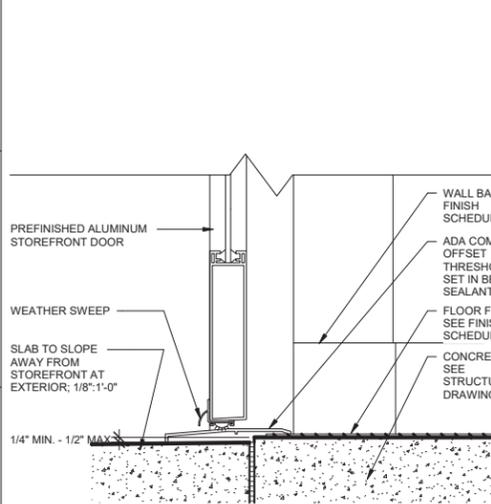
J2
A402
JAMB FOR DOUBLE-HUNG WINDOW AT CEMENTITIOUS SIDING
SCALE: 3" = 1'-0"



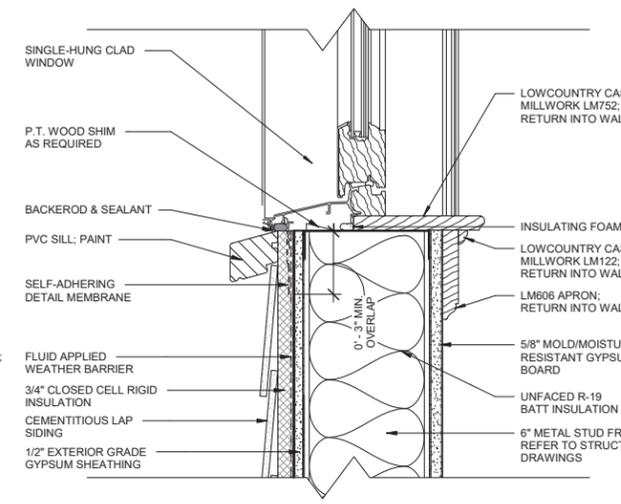
J3
A402
JAMB FOR DOUBLE-HUNG WINDOW AT BRICK SIDING
SCALE: 3" = 1'-0"



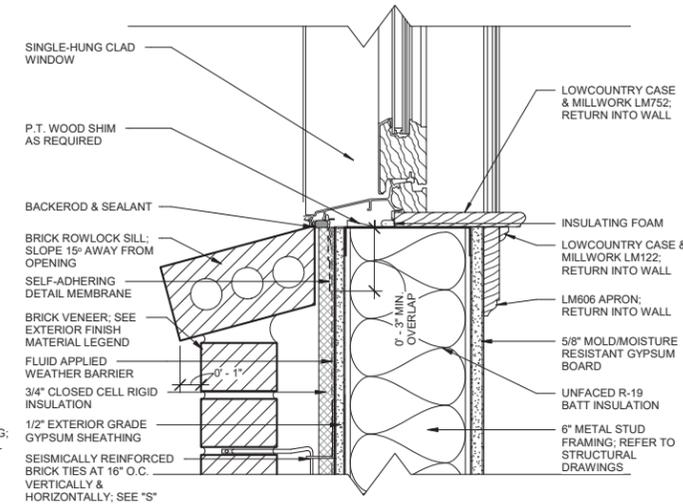
J4
A402
JAMB FOR ALUM. STOREFRONT AT BRICK SIDING
SCALE: 3" = 1'-0"



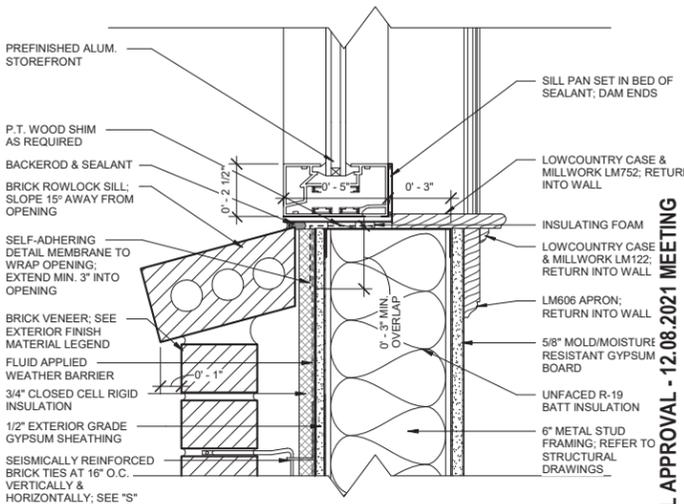
S1
A402
SILL FOR ALUM. STOREFRONT DOOR AT EXTERIOR WALL
SCALE: 3" = 1'-0"



S2
A402
SILL FOR DOUBLE-HUNG WINDOW AT CEMENTITIOUS SIDING
SCALE: 3" = 1'-0"



S3
A402
SILL FOR DOUBLE-HUNG WINDOW AT BRICK SIDING
SCALE: 3" = 1'-0"



S4
A402
SILL FOR ALUM. STOREFRONT AT BRICK SIDING
SCALE: 3" = 1'-0"

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11.18.2021

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: LWM
CHECKED BY: FAM
DATE: 11.18.2021

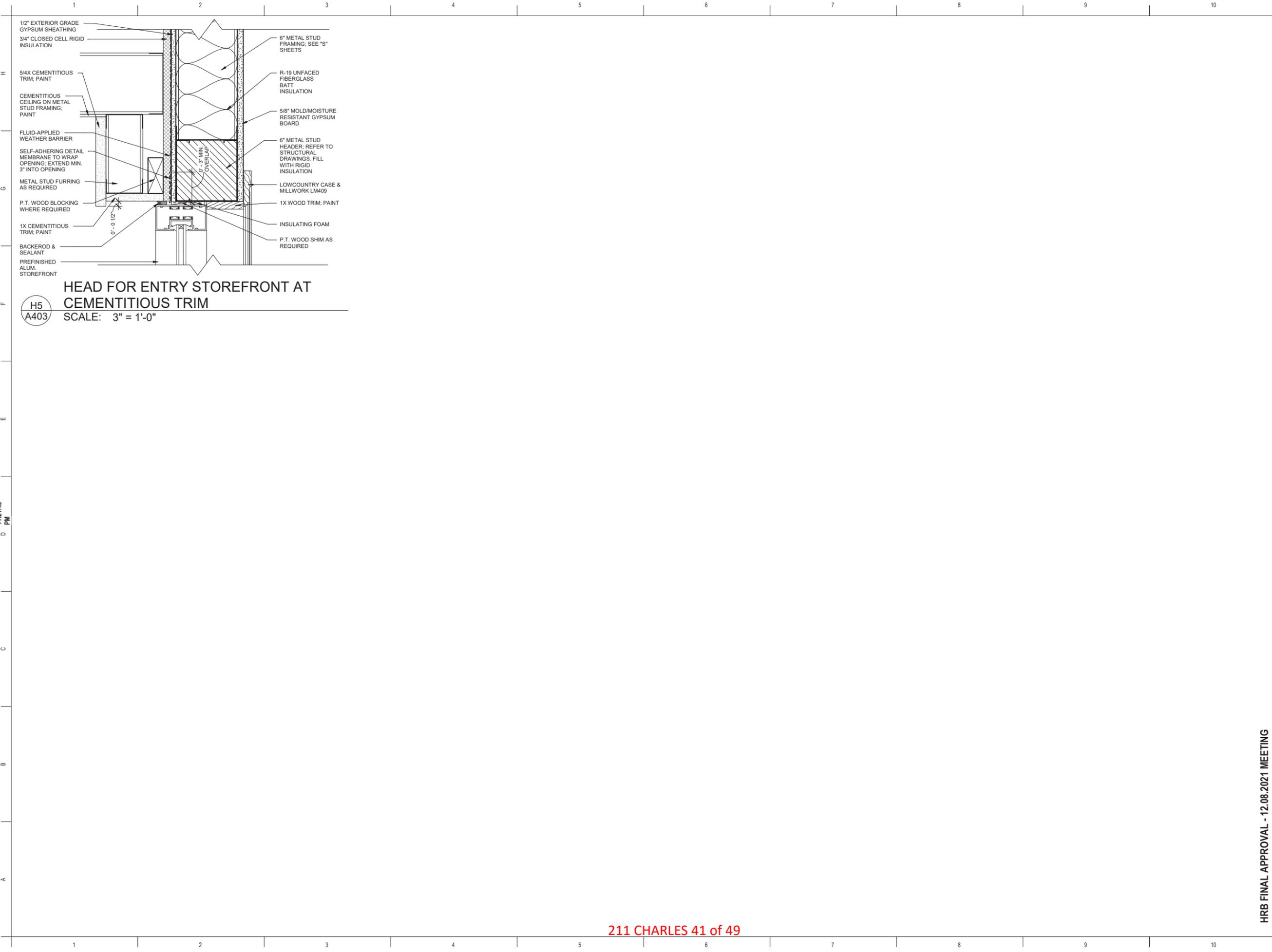
COAST PROJECT NO: 2015.00

DOOR & WINDOW DETAILS

A402

HRB FINAL APPROVAL - 12.08.2021 MEETING

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HEAD FOR ENTRY STOREFRONT AT CEMENTITIOUS TRIM

H5
A403

SCALE: 3" = 1'-0"

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11.18.2021

THE CANNON BUILDING
211 CHARLES STREET
BEAUFORT, SOUTH CAROLINA

HRB FINAL APPROVAL - 12.08.2021 MEETING

Revisions	
Rev. No.	Rev. Date

DRAWN BY: LWM
CHECKED BY: FAM
DATE: 11.18.2021

COAST PROJECT NO.: 2015.00

DOOR & WINDOW DETAILS

A403



Arnie McClure, NCARB, LEED AP • Connie Dyer Zafiris

**COMPLIANCE REVIEW – BEAUFORT CODE
211 CHARLES STREET**

TMS: R120 004 000 0909 0000

Zoning: T5-DC

Date Prepared: 11.18.2021

CODE	REQUIREMENT	AS DESIGNED	COMPLIES (Y/N)
2.4.1 District Development Standards			
A.1	Lot Width: n/a	97 ft	Y
A.2	Lot Size: n/a	0.303 Acres	Y
A.3	Max Lot Coverage: n/a	83.46%	Y
A.4	Frontage Buildout: 100%	100%	Y
B.1	Front Setback: 0 ft Min./Max. Prevailing Setback Max.	6'-6" on Charles Street	Y
B.2	Side Setback Corner: 0' Min./15' Max.	12'-8" max. on Port Republic Street	Y
B.3	Side Setback Interior: 0' Min.	0'	Y
B.4	Rear Setback: 0' Min.	0'	Y
D.1	Building Height: 3 Stories Max. at Property Line/4 Stories Max 15' back from Property Line	3 Stories at Property line and 15' back from property line	Y
D.2	Building Width at Frontage: 100 ft. max	132' (*BOZA Variance granted 08.09.2021)	Y*
2.5. General Lot Standards			
B	Facades shall be parallel to principal frontage, public streets, and right-of-ways	Facades are parallel to Charles and Port Republic Street	Y
D	Principal pedestrian entrance on front façade, corner entrance shall face street from which address is derived	The retail space utilizes the corner entrance, and the apartments have a separate entrance, both address Charles Street	Y
2.6 Height			
1.A	Max. Story Height: 15'	Max. Story Height: 14' (1 st floor)/10' (upper floors)	Y
1.G	Max 3 Stories at Property Line/Max 4 Stories 15' back from Property Line	3 Stories at Property line and 15' back from property line	Y
2.A	Min. 1' freeboard above floor/exception for floodproofed building	This project was initially conceived and received conceptual approval prior to the implementation of new flood maps on 3/23/2021. The Main floor was designed to be above the required 14.0 elevation (approx. 1.5 feet above Charles St.). The new flood maps changed the flood zone to "shaded X", which could have up to 1' of flooding. The main floor elevation will remain as designed, as the threat of up to 1' of floodwaters needs to be mitigated.	Y

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2.D.1	Apartment buildings shall be min. 18" above Grade.	Apartments are located approx. 24" above Port Republic Street	Y
2.D.2	Ground floor of residential structures shall be a min. of 10' ceiling height	Ground floor apartments ceiling height: 11'	Y
2.D.4 & 2.D.5	Ground floor ceiling height shall be min. 12' ceiling height, (*HRB may permit deviation for compatibility with context)	Ground floor commercial ceiling height: 11'	Y*
2.D.6	Stories above Ground Floor: 8' min. ceiling height	Upper Floor Ceiling Height: 9'	Y
2.6.3	2-story buildings required within 250 of any significant intersection	Building is 3 Stories	Y
4.4 Private Frontage Types			
4.4	In T5 Zoning the following types are allowed: C. Forecourt D. Stoop E. Balcony F. Shopfront/Awning G. Gallery/Colonnade H. Arcade	Building utilizes the following types: C. Forecourt (Port Republic St.) D. Stoop (Apt. Entrance on Charles St.) F. Shopfront/Awning (Charles St.)	Y
4.5.7 Building Types- Multi-Use and Apartment House			
A	Apartment House: Larger Scale Building containing 4 or more units on corner lots and/or full blocks	Building use is primarily Apartment House. It includes 19 apartments and is located on a corner lot.	Y
B.1 & B.2	Frontages Types/Building Entries: Stoop, Forecourt, Balcony, Porches are not preferred but may be used. Buildings with formal entry courts or lobbies are exempt from direct unit access from street	Port Republic Street has a Forecourt Entrance Charles Street has a Stoop Entrance	Y
B.3	Parking: On-site parking must be access off a rear ally	Parking is provided off-site in parking lot (<i>see diagram on sheet G001</i>).	Y
B.4	Size: No building dimension shall exceed 160' in any direction	Max. Building Dimension: 132'-10"	Y
4.6 Building Design Standards			
.1.A	Size, Mass, and Scale of buildings shall be appropriate with neighboring context	The Port Republic St. façade recognizes the residential scale of the adjacent homes, while the Charles St. façade addresses the more commercial context of Bay and Charles Street.	Y
1.B	Building bays, porches, openings, ect, proportions should be square or vertical	Building design features vertical masonry bays, window openings, and porches.	Y
1.C	Building wall material changes should be horizontal. A change in plane is required for vertical material changes.	Building material changes comply with this requirement	Y
1.D	Primary Sloped Roofs shall have a min. slope of 4:12	Primary roofs have a slope of 4:12	Y

1.F	Trash & Mechanical Equipment shall be screened.	Trash is screened by brick walls and gate. Mechanical Equipment is screened by building parapets.	Y
1.G	Building colors shall not express corporate identity	Building colors relate to the existing context and do not represent a corporate identity	Y
3.A.	Building wall materials, foundations, columns, railings, doors, roofs, shall be constructed of approved types listed in this section, and shall not be constructed of materials prohibited by this section.	Building is designed with brick walls, cementitious lap siding, and cementitious panel (<i>board and batten</i>) siding. Columns are "Permacast." Railings are wrought iron. Doors and double-hung windows are wood with metal cladding. Shutters are made of composite wood. Larger fixed window are aluminum storefront. Visible roofs are standing seam metal.	Y
3.B	Roof forms shall be of specific approved types, flat roofs shall be concealed from street, and gutters/downspouts shall be approved type of metal	The building utilizes hipped roofs that extend to a parapet, along with a brick parapet on the west end of the building. Gutters and Downspouts are prefinished aluminum.	Y
3.C.1	Window and Door openings shall be a min. of 40% on ground floor and 20% on upper floors. HRB may grant reduction to 30% for ground floor apartments. <i>*see design statement at end of table</i>	For the purpose of computing transparency, the Port Republic façade is divided into 2 segments: Apartment Building and Multi-Use Building. Openings in facades on Port Republic Street and Charles Street comply with the code requirements (see Transparency Diagrams above building elevations in drawings).	Y
3.C.2	Windows shall not be flush with the wall, have detailed surrounds, multi-story buildings shall have different sized windows, and mullions shall not be more than 2' apart.	The window design and placement meet the intent of these requirements	Y
3.2.D	Architectural details including operable shutters, maximum column spacing, and delineation of base, floor levels, and cornices are required	The building design incorporates both masonry and siding details that meet the intent of these requirements.	Y
5.3 Tree Planting and Protection			
.1	T5-UC has no min. tree requirements	Palmetto Trees are incorporated into the raised garden area on Port Republic Street	Y
5.5 Perimeter Landscaping and Screening			
.1	None required since side and rear abut same zoning district	No buffers provided on side and rear property lines	Y
5.7 Parking			
.3	Bicycle racks for 5% of required off-street vehicular parking, or a min. 2 bikes	A bike rack for 2 bikes is provided near the Port Republic Street entrance to the	Y

	(whichever is greater).	apartment building.	
.4	<p>Parking Space Requirements:</p> <p><u>Retail Uses: 1/300 gsf:</u> Note: 5.7.4.B.4 exempts parking for the retail space.</p> <p><u>Multi-Family (2 bedrooms): 1.75/unit</u></p> <p>Offsite parking must be within 400' and connected via walkway. A written parking agreement shall be provided to the City.</p>	<p>Designated parking spaces to be provided in off-site parking lot:</p> <p><u>Retail Use: 0 Required</u> <u>Residential: 19 units x 1.75/unit = 33 .25</u> Total parking required/provided = 34 A written parking agreement will be provided for approval at the time of permitting. Off-site parking will be provided in the Owner's current parking lot located at the corner of Charles and Craven Street. 34 spaces will be designated with signs for use by building residential occupants (See parking diagram on sheet G001)</p>	Y
5.8 Lighting			
.4	Post mounted lights shall not exceed 15' in height and shall be full-cutoff if they exceed 1800 lumens, and not exceed 2.5 foot-candles in adjacent T4 districts.	There are no post-mounted lights. All wall mounted lighting will be full-cutoff with a maximum average foot-candle along sidewalks not exceeding 2.5.	Y



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
08 December 2021

1 SUMMARY OF REQUEST

211 Charles Street, New Construction

Applicant: Arnie McClure/Coast Architects Inc.

The applicant is requesting Final Approval of a 3-story apartment/commercial building.

Background:

In February of 2021, demolition of the existing structure on this property was granted Final Approval by the Historic Review Board, with the condition that “the demolition permit will not be issued until after a building permit is issued for the replacement building.”

In February of 2021, a previous submission for this project was granted Conceptual Approval by the Historic Review Board with noted Staff Conditions.

In August of 2021, the Zoning Board of Appeals granted a Special Exception per Section 4.5.10.B.5 to allow a building with frontage in excess of 100 feet on a T5-DC zoned property.

The applicant has provided a video walkthrough of this project, which may be accessed through the following link:

<https://www.dropbox.com/s/yr5zcb09ytfu2d/211%20Charles%20Walk%20Around%202021-11-18.mp4?dl=0>

2 FACTS

Property Address:	211 Charles Street
Parcel ID:	R120 004 000 0909 000
Case Number:	21-02 HRB.2
Applicant:	Arnie McClure/Coast Architects Inc.
Type of Request:	New Construction
Zoning:	T5-DC
Current Use:	Commercial
Proposed Use:	Residential/Commercial



District Development Standards for T5-DC:

- **Setback requirements – Primary Structure:**
 - *Front- 0' min./Prevailing setback on block max.*
 - *Rear setback – 0' min.*
 - *Side Corner/Alley – 0'min./15' max.*
 - *Side Interior – 0'min.*
- **Maximum Lot Coverage:** 100%
- **Frontage Buildout:** 75% Min
- **Permitted Uses:** Includes Apartment House and Retail/Restaurant Use

References:

- The Beaufort Code
- The Beaufort Preservation Manual
- The Beaufort Preservation Manual Supplement

3 STAFF COMMENTS

Staff Acknowledgements:

- A. This building has been approved by the ZBOA as a large footprint building. Staff also continues to view the building as a single large footprint building that contains two building types per Section 4.4 of the Beaufort Code: The west mass along Charles Street is Livework/Mixed Use, and the rest of the building is an Apartment House.
- B. Staff finds all conditions of Conceptual Approval to be satisfied, with the following comments and clarifications:
 - a. Condition 3 of Conceptual Approval noted specific guidelines for the frontage types of the two building types included within this project. The current submission is compliant with the Code regarding frontage types, with the following Staff interpretations:
 - i. Staff considers the frontage of the Livework/Mixed Use portion of the building on the corner of Port Republic Street and Charles Street to be both shopfront/awning and arcade, as defined by Section 4.4 of the Beaufort Code.
 - ii. Staff considers the primary frontage of the Apartment House portion of the building to be the lobby entrance on Charles Street and views this to have a balcony frontage type that is compliant with Section 4.4.E of the Beaufort Code.
 - b. Condition 4 of Conceptual Approval recommended eliminating the previously proposed porches along Port Republic Street and asked the applicant to ensure compliance with Section 4.5.7 of the Beaufort Code. The current submission complies with Section 4.5.7 regarding apartment houses with the following Staff Interpretations:
 - i. Section 4.5.7.B.1: *Frontage Types: Stoop, Forecourt, Balcony. Porches are not preferred, but may be used in buildings containing 12 units or less if they provide direct access to the unit from the street or sidewalk.*
 - 1. The apartment house portion of the building has a balcony frontage type at its primary entrance on Charles Street, and the Port Republic

façade of the building contains porches. The term “may” used above is defined by Section 4.2.1.C to be used in “ideal guidelines...[which] would result in an outcome that is very compliant with the City’s goals and objectives; however, they are not specifically required to be met.” While porches are “not preferred”, the Code does not state that they are not allowed. While Staff was not in favor of the use of porches in the previous submission, Staff is in favor of the use of the porches in this area within the current submission now that one of the previous porches has been eliminated. Staff feels that the porches along Port Republic help to break down the scale of the Apartment House façade as currently designed.

ii. *Section 4.5.7.B.2: Building Entries: In buildings with more than 6 residential units, all ground floor units facing a frontage line shall have individual entrances from that frontage line. Buildings with formal entry courtyards or lobbies are exempt from this requirement.*

1. The Apartment House portion of this project is exempt from this requirement because a lobby has been provided.

- c. Condition 10 of Conceptual Approval required the applicant to ensure that residential egress requirements by the IBC are met in the design. Staff has not reviewed the plans with the IBC and assumes that the proposed drawings comply. If any egress components are added in the future that affect the exterior of the building, these must be brought back to the HRB for review.
- d. Staff is in support of the changes made to the balconies in response to Condition 11 of Conceptual Approval.

C. As designed, the ramp on Charles Street provides a usable pedestrian entry that is less than 50’ away from the entrance to the Apartment House. The project is compliant with Section 2.5.1.D.4.

D. The parapet cap of this building has been lowered 3’-4” since the conceptual approval, and the applicant has shifted the building façade along Charles Street back from the street significantly. It appears from Sheet A102 that this reduction in building length is slightly more than 5’.

E. The Applicant has taken the time to list code compliance with applicable sections for this project. Staff wants to acknowledge the following regarding this Code Review Document:

- a. The applicant has misidentified the proposed frontage types for this building within the code compliance sheet. As designed, the building frontage types comply with the Code, per Acknowledgement B.a above.
- b. The applicant has noted that the Beaufort Code requires a 12’ ceiling height for commercial structures (Section 2.6.D) and that the retail component along Charles street has an 11’ ceiling height. As noted by the Applicant, Section 2.6.2.D.5 notes that, in this district, the Historic Review Board may permit deviations from this minimum height requirement if “doing so would allow a structure to be more compatible with the surrounding context.” Staff agrees with the applicant that the proposed 11’ ceiling height in this area is compatible with the surrounding context.

- c. Staff is in support of the presented 33.8% transparency at the ground floor of the Apartment House portion of the building along Port Republic Street as this meets the Beaufort Code requirement section 4.6.3.C.1 if approved by the Board.

Staff Conditions:

1. On the Charles Street Elevation, Staff recommendation is that the Cannon Building entry is further differentiated from the strong adjacent Livework/Mixed use brick mass along Charles Street as well as the south courtyard wall to the rear of the entry on the south elevation. Staff recommends using a different color brick or stucco in this area.
2. Regarding the proposed columns:
 - a. On the South Elevation, the central bay of balconies on the upper levels currently has uneven column spacing. Staff recommendation is that the column spacing is equal in size in this area.
 - b. This project proposes Perma-cast columns. From the cut sheet provided, Staff assumes that the proposed columns will be the square plain column. Staff is in support of this Perma-Case Column because when it is painted out, it will provide a more low-maintenance option as opposed to a wood column. Applicant and Board to note that the use of this column must be approved by the Board per Section 4.6.3.A.8.
 - c. In drawings A1 on Sheet A302, Staff recommendation is that the outside face of the proposed column base aligns with the outside face of the foundation wall below. Staff recommends the Applicant revise design of porches to achieve this relationship.
3. Staff is not in favor of the utilization of cannons within the ironwork at the entry gate on Charles Street as drawn on Sheet A002, Drawing A1 because they begin to create a false sense of history on the project site.
4. On Sheet A301, Drawing A1, Staff recommendation is that a skirt board is added at the termination of the lap siding where it meets the brick below.
5. Regarding Drawing A1 on Sheet A305, Wall Section Through Lobby, Applicant to clarify if any drainage elements associated with this second-floor terrace will be visible. If so, Applicant to provide a detail.
6. Applicant to clarify material of awning framing, roofs, etc., along Charles Street and provide a detail of a typical awning.
7. Applicant to provide a detail of the mounting and framing of the proposed signage on the corner of Charles Street and Port Republic Street.
8. Applicant to provide cut sheets of the following:
 - a. The proposed cementitious service gate panels proposed on Port Republic Street
 - b. Proposed gutters and downspouts

STAFF RECOMMENDATION:

Final Approval with Staff Conditions noted.