



AGENDA

City of Beaufort

DESIGN REVIEW BOARD

Thursday, December 10, 2020 2:00 p.m.

~~City Hall, Planning Conference Room—1911 Boundary Street, Beaufort SC~~

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81116112228?pwd=Nk5WaFVPbXJ5V00rY2RSMzZoVncxZz09>

Password: 112260

Meeting ID: 811 1611 2228

Call in Phone# 1 929 205 6099

STATEMENT OF MEDIA NOTIFICATION:

"In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place and agenda of this meeting."

Note: A project will not be reviewed if the applicant or a representative is not present at the meeting.

I. Call to Order

II. Review of Minutes:

A. Minutes of November 12, 2020 Meeting

B. Minutes of November 20, 2020 Special Meeting

III. Old Business:

A. Harris Teeter Grocery and Convenience Store, PIN R123 015 000 587, 592 & 606, Intersection of Sams Point Road and Sea Island Parkway

Applicant: Ryan Lyle, P.E., Andrews Engineering, Inc. (20-18 DRB.1)

The applicant is requesting approval for change to Harris Teeter building, Convenience Store building and gas station canopy after Design Review Board final approval.

IV. New Business:

A. Wendy's Fast-Food Restaurant, PIN R100 029 000 004R & 004T 0000, 2506 Boundary Street and 6 Neil Road.

Applicant: Andrew Cronin, Tidewater Development Group (20-17 DRB.1)

The applicant is requesting preliminary approval for new construction of a 2,500 S.F. Wendy's Restaurant with a drive-thru window. The proposed improvements to the site will include the fast-food restaurant, patios, parking areas, landscaping, and associated infrastructure for future uses.

V. Discussion

VI. Update of pending applications/status of approved projects.

VII. Adjournment



Design Review Board

Meeting Minutes – November 12, 2020

1 CALL TO ORDER

12:55

A regular meeting of the Design Review Board was held via Zoom on Thursday, November 12, 2020 at 2:13 pm.

2 ATTENDEES

Members in attendance: Rett Bullard (Chairman), Benjie Morillo (Vice-Chair), and Witt Cox.

Absent: Kimberly McFann

Staff in attendance: Jeremy Tate (Meadors Architecture), Heather Space (City of Beaufort Planning Tech of Community and Economic Development).

3 APPROVAL OF MINUTES

13:39

Motion: Mr. Morillo made a motion to approve the August 13, 2020 minutes; seconded by Mr. Cox. The motion passed unanimously.

All Design Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at iburgess@cityofbeaufort.org.

4 NEW BUSINESS

13:40

- A. **Harris Teeter Grocery and Convenience Store, PIN R123 015 000 587 & 592**, Intersection of Sams Point Way and Sea Island Parkway

Applicant: Ryan Lyle, P.E., Andrews Engineering, Inc. (20-13 DRB.1)

The applicant is requesting approval for change after certification for a Site Plan and Landscape Plan for a new Harris Teeter Grocery and Convenience Store at the intersection of Sams Point Way and Sea Island Parkway.

Motion: Mr. Bullard made a motion to grant preliminary approval of the site plan and landscape plan as submitted and subject to all staff comments and one Board comment; seconded by Mr. Morillo. The motion passed unanimously.

5 APPROVAL OF ADDITIONAL MINUTES

40:32

Motion: Mr. Morillo made a motion to approve the special August 27, 2020 minutes; seconded by Mr. Cox.

All Design Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at iburgess@cityofbeaufort.org.

6 ADJOURNMENT

42:28

Mr. Morillo made a motion to adjourn; seconded by Mr. Cox. The motion passed unanimously. The meeting ended at 2:44 p.m.

Chair

Date of approval



Design Review Board

Special Meeting Minutes - November 20, 2020

1 CALL TO ORDER

0:20

A special meeting of the Design Review Board was held via Zoom on Thursday, November 12, 2020 at 2:13 pm.

2 ATTENDEES

Members in attendance: Benjie Morillo (Vice-Chair), Kimberly McFann, and Witt Cox.

Absent: Rett Bullard (Chairman)

Staff in attendance: Dan Frazier (City of Beaufort Senior Planner of Community and Economic Development) and Jeremy Tate (Meadors Architecture).

3 NEW BUSINESS

4:18

A. Colonel Clean Express, PIN R120 029 000 0108 0000, 242 Robert Smalls Parkway.

Applicant: Lex Brown (20-12 DRB.1)

The applicant, Lex Brown/Hard 8 Real Estate, LLC, is requesting, approval for change after certification of a new construction car wash at 242 Robert Smalls Parkway.

Motion: Ms. McFann made a motion to gran final approval of all changes requested by the applicant including the add on of yaupon holly plants and planted; subject to staff's recommendations specifically that the lights have to stay on white and shinning down only and that the bright red tape color be changed to a red that is in the family of the brick that is already on the building and staff give final approval to the color. If the applicant and staff disagree then the applicant must come back to the Board for approval; seconded by Mr. Cox. The motion passed unanimously.

4 ADJOURNMENT

48:12

Motion: Mr. Cox made a motion to adjourn the meeting; seconded by Ms. McFann. The motion passed unanimously.

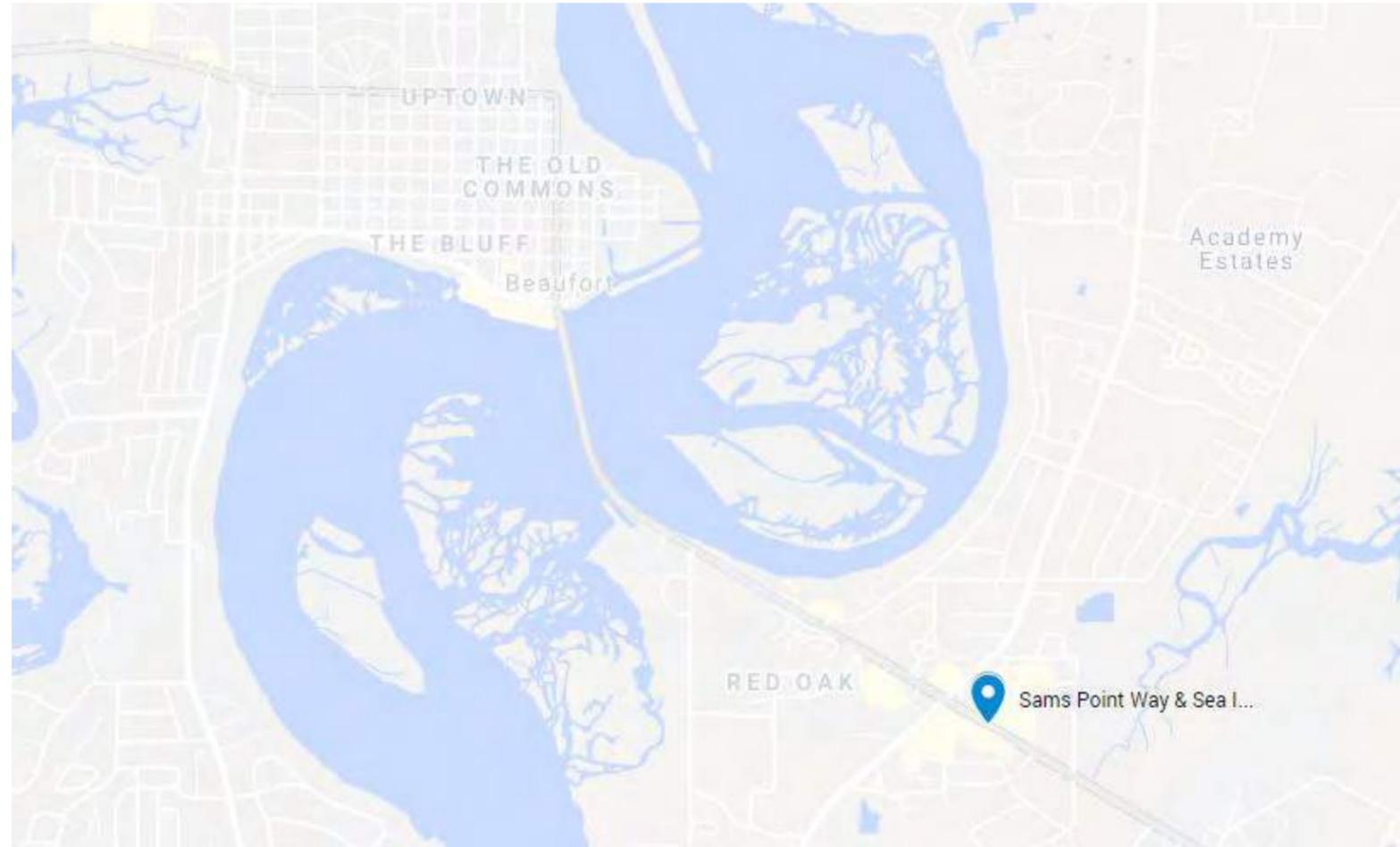
All Design Review Board Meeting minutes are recorded, and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>. Audio recordings are available upon request by contacting the City Clerk, Ivette Burgess at 843-525-7018 or by email at iburgess@cityofbeaufort.org.

Chair

Date of approval

CITY STAFF INTRODUCTION

163 SEA ISLAND PARKWAY



PROJECT LOCATION - 163 SEA ISLAND PARKWAY



IMAGE PROVIDED BY STAFF



IMAGE PROVIDED BY STAFF

APPLICANT PRESENTATION

163 SEA ISLAND PARKWAY



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Staff Review
 Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. Upon receipt of an application, staff will review the submittal and then contact the applicant letting them know when the meeting will be.

A complete schedule can be found at: <https://www.cityofbeaufort.org/379/Design-Review-Board>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Ryan Lyle, PE

Applicant Address: Andrews Engineering, Inc., 2712 Bull St. Suite A, Beaufort SC 29902

Applicant E-mail: ryan@andrews-sc.com Applicant Phone Number: 843-379-2222 x226

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Parcel 1 - PINES BEAUFORT LLC, 3301 PONCE DE LEON BLVD, CORAL GABLES, FL 33134

Owner Address: and Parcels 2 and 3- Michael Burdette, Director of Construction, Harris Teeter, 701 Crestdale Road, Matthews NC 28105

Project Name: Harris Teeter Grocery and Convenience Store

Property Address: Intersection of Sams Pt Way and Sea Island Parkway

Property Identification Number (Tax Map & Parcel Number): 1) R123 / 015 / 0587; 2) R123 / 015 / 0587; 3) R123 / 015 / 0592

Date Submitted: 10/14/2020



**DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION**

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Required Project Information

Project Name: Harris Teeter at Ladys Island

Property Size in Acres: 7.74 ac Proposed Building Use: Grocery and Convenience store

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
60,000sf (Grocery) and 850sf (Convenience Store) = 60,850sf Total

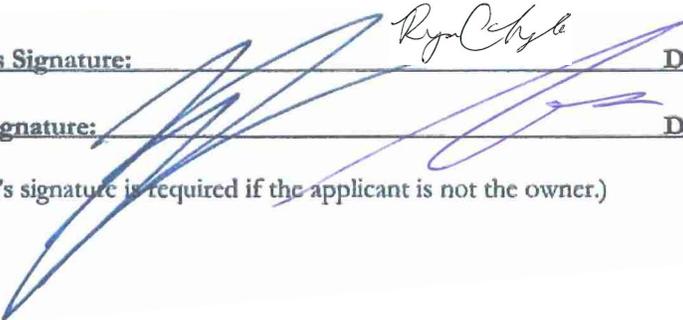
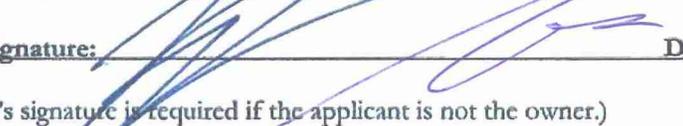
of Parking Spaces Required: 254 # of Parking Spaces Provided: 254

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative and outline any specific questions you would like addressed.

Please see attached narrative.

Applicant's Signature:  Date: 11 / 12 / 2020
Owner's Signature:  Date: 10-7-20
(The owner's signature is required if the applicant is not the owner.)

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606



DESIGN REVIEW BOARD FEE SCHEDULE

(As of July 1, 2020)

BOARD REVIEW FEES:

Single-family residential projects (board review)	\$100.00
Multifamily and commercial projects (board review)	\$250.00
Change After Certification	\$100.00
Demolition (whole structure)	\$250.00
Special Board Meeting	\$500.00

Post facto applications shall be triple the normal fee.

STAFF REVIEW FEES:

Single Family and 2/3-unit buildings not in a historic district are exempt.

Type 1

Renovations/Improvements (not including additions), $\leq 50\%$ of the value of the structures

<u>Value</u>	<u>Fee</u>
Improvements \leq \$5,000	\$50
Improvements $>$ \$5,000 but \leq \$25,000	$\$50 + 0.25\% \times \text{value above } \$5,000$
Improvements $>$ \$25,000	$\$100 + 0.20\% \times \text{value above } \$25,000$

Type 2

- Any single-family and 2/3-unit residential addition in a historic district: \$50
- All other additions: \$500 base fee + \$0.05/square foot of addition.

Type 3

Review for new construction and for renovations/improvements totaling over 50% of the value of the structure:

- Single-family and 2-3 unit residential in the historic district
- $\leq 10,000$ square feet: \$500 base fee + 0.05/square foot of building
- $> 10,000$ square feet: \$1,000 base fee + \$0.05/square foot of building for the first 100,000 square feet of building. For additional square footage over 100,000, \$0.02/square foot.

Revisions from 2016 Approved Architecture Elevations

- Building Elevations
 - Harris Teeter:
 - Across the entire elevation, the field brick has been revised from Richfield Blend by Oldcastle to Red Velour by General Shale. The main masonry accent brick has changed from Autumn Blend by Oldcastle to Oatmeal Velour by General Shale. Other accents bricks are as indicated on the elevations.
 - Revisions to the rear elevation are required to reflect the new orientation of the loading dock. Accent brick has been added to the upper left side as you view the rear elevation.
 - On the left-side elevation, the covered area has increased in depth as evidenced by 8 stone columns on the current elevation, as opposed to 6 on the 2016 elevation. Architectural detail is added to the rear of the left elevation. The material on the upper area has been revised to Oatmeal Velour Brick. The brick material on the vertical columns along the front left corner has been revised to a stone veneer (Autumn Brown Stackstone).
 - On the right-side elevation, the number of glazing elements has been revised from 6 to 5, in order to more closely confirm with interior elements. The upper area material has been revised to the Oatmeal Velour accent brick.
 - On the front façade, the glazing elements on the upper right front façade (right of the pharmacy pick-up canopy) have been reduced from 6 to 4, in order to balance out number of glazing elements on the left side of the pharmacy pick up canopy. The siding material in that area has been replaced by Oatmeal Velour brick. The vertical column material has been revised to the Autumn Brown Stackstone.
 - On the front elevation, the upper square windows will be spandrel glass
 - On the left elevation, all windows will be spandrel glass
 - The patio will now include a metal fence/railing painted black as illustrated on the elevation and shown in example photos
 - Harris Teeter C-Store:
 - The C-store design (footprint and elevations), has changed, to meet Harris Teeter's current operational needs. The C-Store elevation has been revised to
 - a) reflect the revisions needed for the pedestrian access point along the south side of the building, and
 - b) to tie the elevation more closely to the Harris Teeter store elevation.
 - c) The Red Velour field brick and Autumn Stone Stackstone exterior, as indicated on the elevations, will be used to match the Harris Teeter store.
 - C-Store Canopy:
 - The masonry materials covering the columns supporting the C-Store canopy have been revised to match the materials used in the C-Store elevation.

November 19, 2020

Mr. Dan Frazier
City of Beaufort
1911 Boundary Street
Beaufort, SC 29902

RE: 150027 Harris Teeter @ Lady's Island –DRB (Architectural Modifications)

Mr. Frazier:

Please find enclosed the revised Final DRB project application package for the architecture. The list of modifications we received via email on 11/16 are listed below with responses in *red*:

1. Submit in a format that has the previously approved sheets interlaced between the current proposed. Please submit this in a single file.
 - a. *See dropbox link containing revisions as requested.*
2. Please clearly label all proposed materials on elevations and cloud those that have changed from prior submissions.
 - a. *See dropbox link containing revisions as requested.*
3. The proposed fence at the corner of the Harris Teeter Building Patio area is not shown in all proposed drawings. Please submit consistent drawings as well as a detail for the fence that shows sizing and materials of fence components.
 - a. *See dropbox link containing revisions as requested. Fence photos provided in addition to elevations.*
4. Please include a list of previously approved materials for both the C-Store and Harris Teeter, and please provide a list of current proposed materials. If changes have been made to windows and doors, please include cut sheets for new proposed windows and doors in revised submission and ensure that their locations are clearly noted on the drawings.
 - a. *See dropbox link containing revisions as requested.*
5. Lighting
 - a. *Lighting plans and cut sheets have been removed from this application. They will be submitted along with the site and landscape in future*

Dropbox link:

<https://www.dropbox.com/sh/afcn4hk098p57dc/AAB4ZcxjgFRdebmoS9fPgtvTa?dl=0>

We look forward to discussing these changes during the virtual DRB meeting scheduled for Thursday, December 10th, 2020.

Please contact our office at (843) 379-2222 if you have any questions or concerns.

Sincerely,



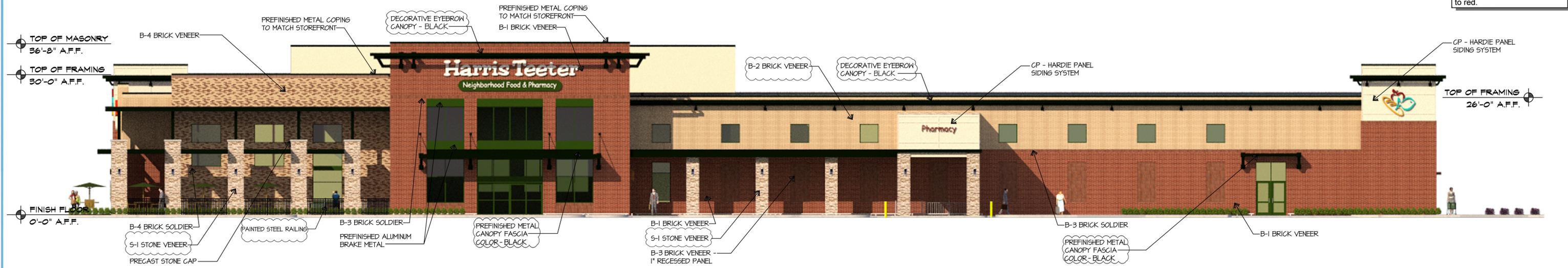
Ryan Lyle, P.E.



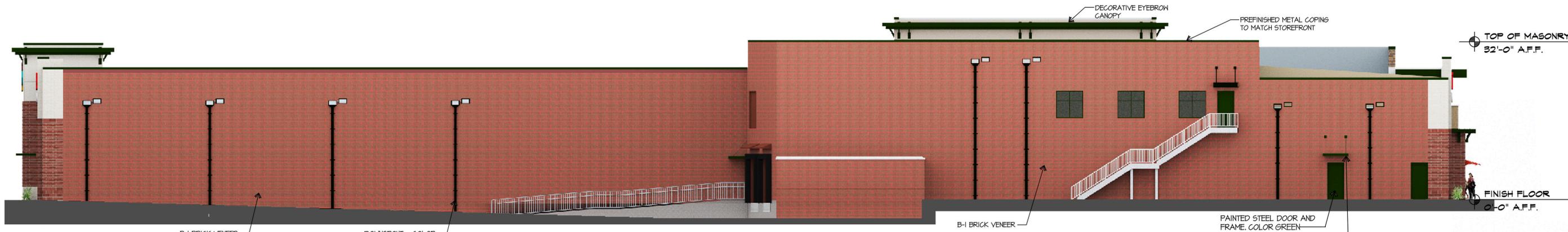
OLD FRONT ELEVATION

Legend	
Brick B-1: Red Velour	
Brick B-2: Oatmeal Velour	
Brick B-3: Winestone Velour	
Brick B-4	
Stone Veneer: Autumn Brown Stackstone	

Notes:
 1. Window specification has not changed. Only the total number is different.
 2. Mortar color for brick B-1 has been changed from grey to red.



NEW FRONT ELEVATION



OLD REAR ELEVATION

Legend	
Brick B-1: Red Velour	
Brick B-2: Oatmeal Velour	
Brick B-3: Winstone Velour	
Brick B-4: 20% B-1 60% B-2 20% B-4	
Stone Veneer: Autumn Brown Stackstone	

Notes:
 1. Window specification has not changed. Only the total number is different.
 2. Mortar color for brick B-1 has been changed from grey to red.



NEW REAR ELEVATION



OLD LEFT SIDE ELEVATION



NEW LEFT SIDE ELEVATION

Legend	
Brick B-1: Red Velour	
Brick B-2: Oatmeal Velour	
Brick B-3: Winestone Velour	
Brick B-4 30% B-1 50% B-2 20% B-4	
Stone Veneer: Autumn Brown Stackstone	

Notes:
 1. Window specification has not changed. Only the total number is different.
 2. Mortar color for brick B-1 has been changed from grey to red.



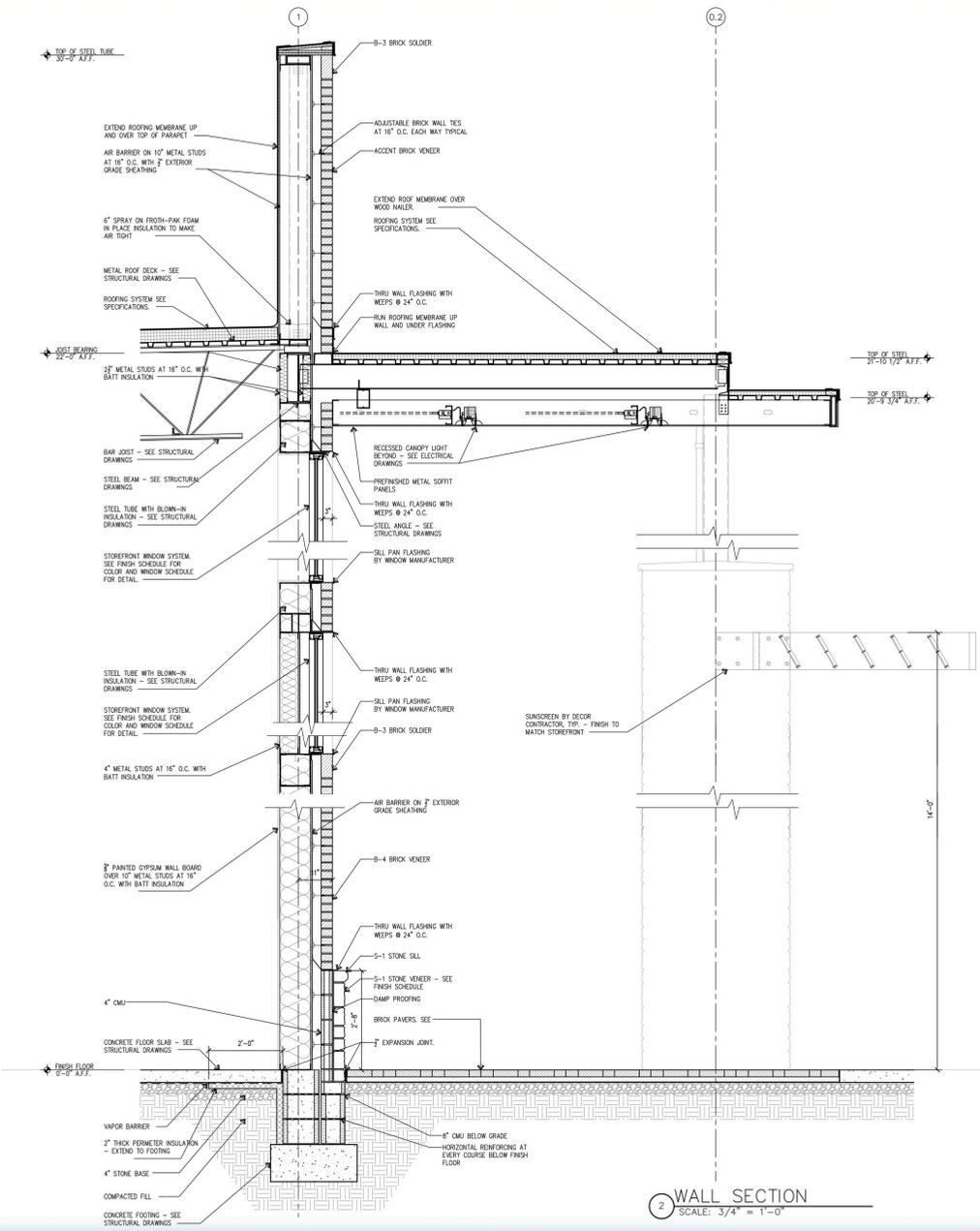
OLD RIGHT SIDE ELEVATION



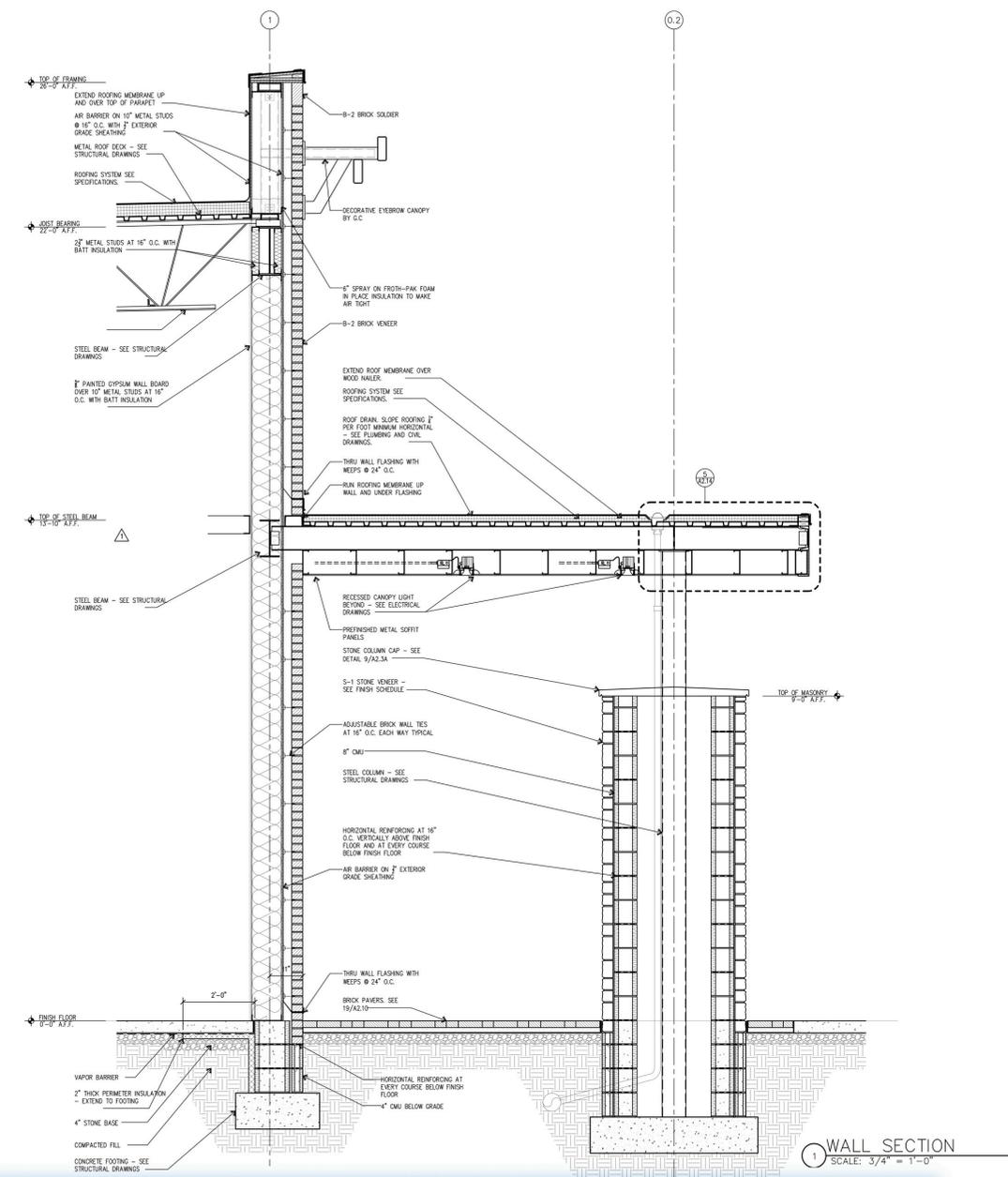
NEW RIGHT SIDE ELEVATION

Legend	
Brick B-1: Red Velour	
Brick B-2: Oatmeal Velour	
Brick B-3: Winestone Velour	
Brick B-4	
Stone Veneer: Autumn Brown Stackstone	

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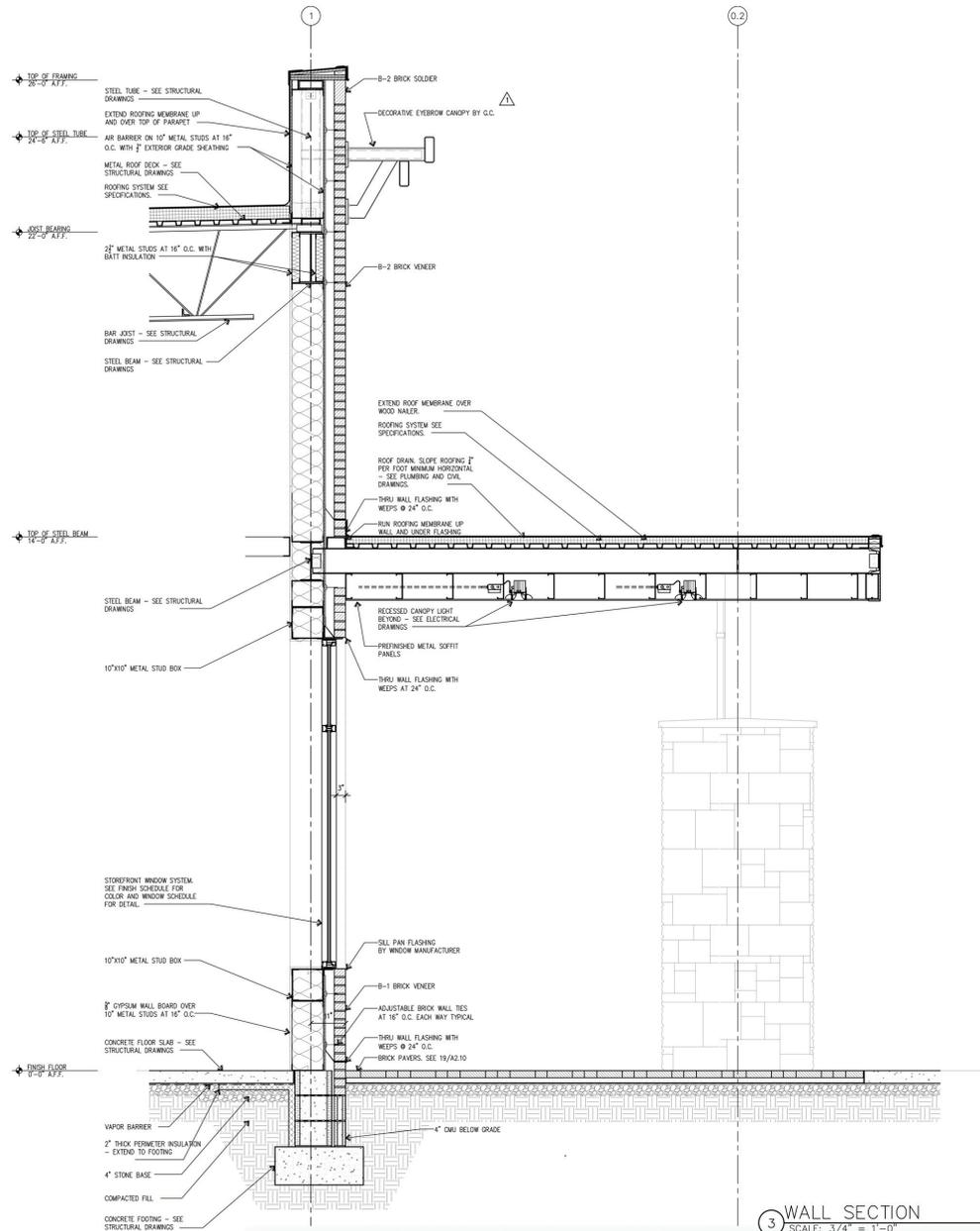
2 WALL SECTION
SCALE: 3/4" = 1'-0"



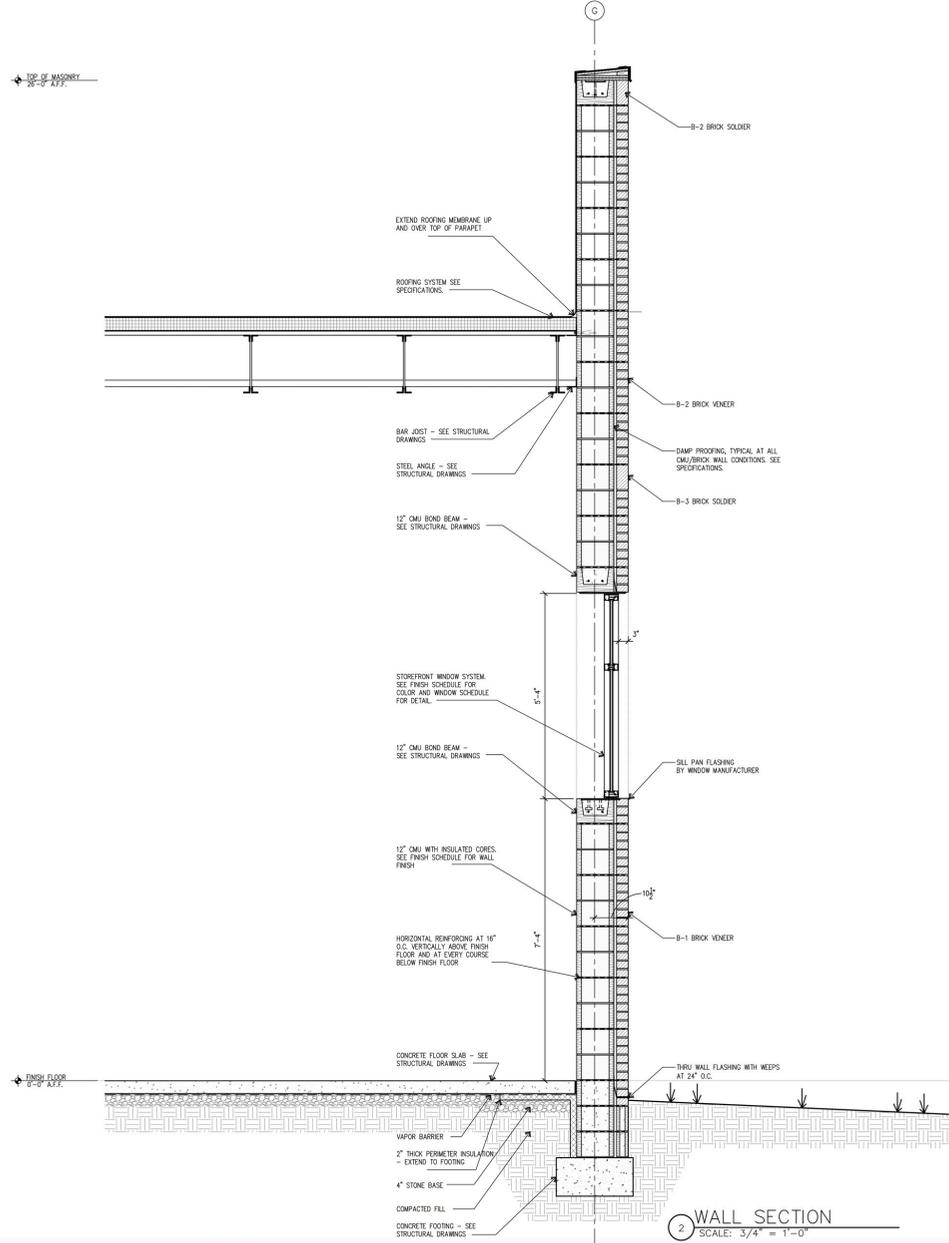
1 WALL SECTION
SCALE: 3/4" = 1'-0"

Legend

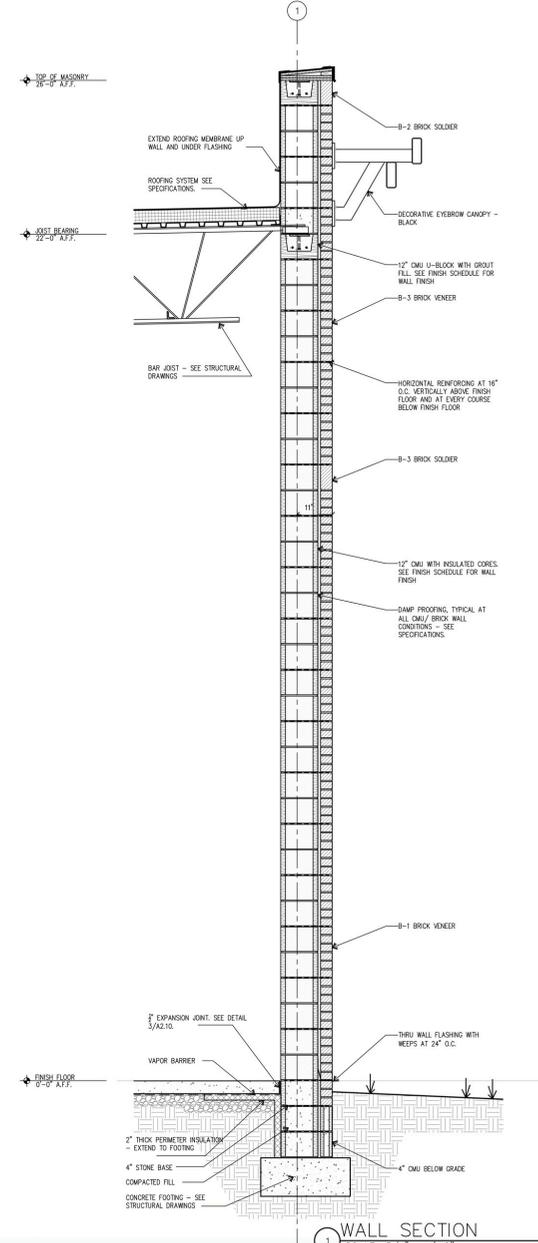
- Brick B-1: Red Velour 
- Brick B-2: Oatmeal Velour 
- Brick B-3: Winestone Velour 
- Brick B-4: 20% B-1, 60% B-2, 20% B-4 
- Stone Veneer: Autumn Brown Stackstone 



3 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"



1 WALL SECTION
SCALE: 3/4" = 1'-0"

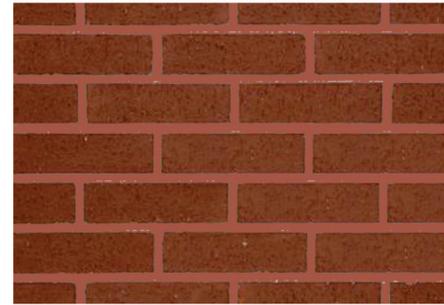
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Stone Veneer: Autumn Brown Stackstone	





SEEGARS

FINISH MATERIALS



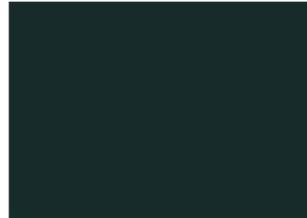
BRICK B-1: RED VELOUR
 - MORTAR COLOR FOR BRICK B-1 HAS BEEN CHANGED FROM GREY TO RED



GLAZING G-1: EVERGREEN TINT



STONE VENEER: AUTUMN BROWN STACKSTONE
 - IN LIEU OF PREVIOUSLY PROPOSED ROCKCAST - CREME BUFF



STOREFRONT SF-1: HARTFORD GREEN



SHEET METAL SM-1: BLACK

STEEL EYEBROW & BRACKETS TO MATCH COLOR OF SM-1

PREFINISHED METAL CANOPY SM-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

FRONT ELEVATION (CURRENT PROPOSED)

PREFINISHED METAL PARAPET EDGE TRIM SM-1

FIELD BRICK B-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

DRY STACK STONE VENEER-AUTUMN BROWN

STOREFRONT SF-1 & CLEAR TINTED GLAZING G-1, TYP.

RIGHT SIDE ELEVATION (CURRENT PROPOSED)

PREFINISHED METAL CANOPY SM-1

FIELD BRICK B-1 BASKET WEAVE

PREFINISHED METAL CANOPY SM-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

FRONT ELEVATION (PREVIOUSLY PROPOSED)

PREFINISHED METAL PARAPET EDGE TRIM SM-1

FIELD BRICK B-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

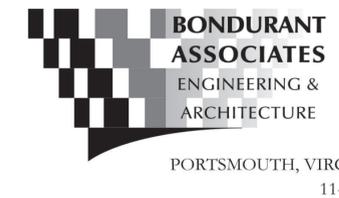
STONE VENEER-CREME BUFF

STOREFRONT SF-1 & CLEAR TINTED GLAZING G-1, TYP.

RIGHT SIDE ELEVATION (PREVIOUSLY PROPOSED)

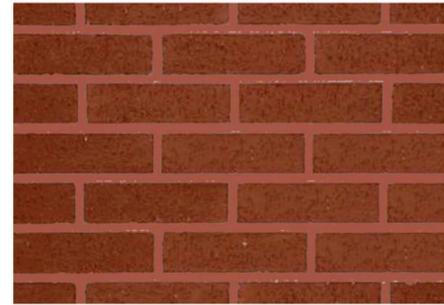


Convenience Store
 Sam's Point Road
 Lady's Island, Beaufort County, South Carolina



SHEET 1 of 4

FINISH MATERIALS



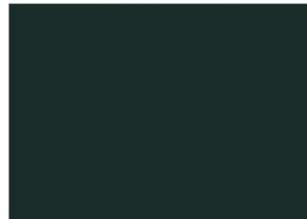
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GLAZING G-1: EVERGREEN TINT



STONE VENEER: AUTUMN BROWN STACKSTONE
 - IN LIEU OF PREVIOUSLY PROPOSED ROCKCAST - CREME BUFF



STOREFRONT SF-1: HARTFORD GREEN



SHEET METAL SM-1: BLACK

STEEL EYEBROW & BRACKETS TO MATCH COLOR OF SM-1

PREFINISHED METAL CANOPY SM-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

PREFINISHED METAL CANOPY SM-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

PREFINISHED METAL PARAPET EDGE TRIM SM-1

FIELD BRICK B-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

DRY STACK STONE VENEER-AUTUMN BROWN
 STOREFRONT SF-1 & CLEAR TINTED GLAZING G-1, TYP.

PREFINISHED METAL PARAPET EDGE TRIM SM-1

FIELD BRICK B-1

STOREFRONT SF-1 & SPANDREL TINTED GLAZING G-1

STONE VENEER-CREME BUFF

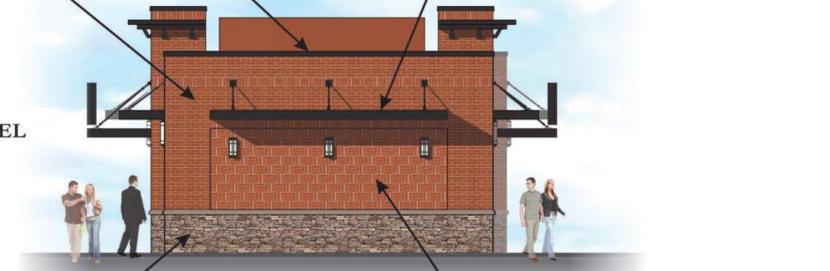
STOREFRONT SF-1 & CLEAR TINTED GLAZING G-1, TYP.

PREFINISHED METAL CANOPY SM-1

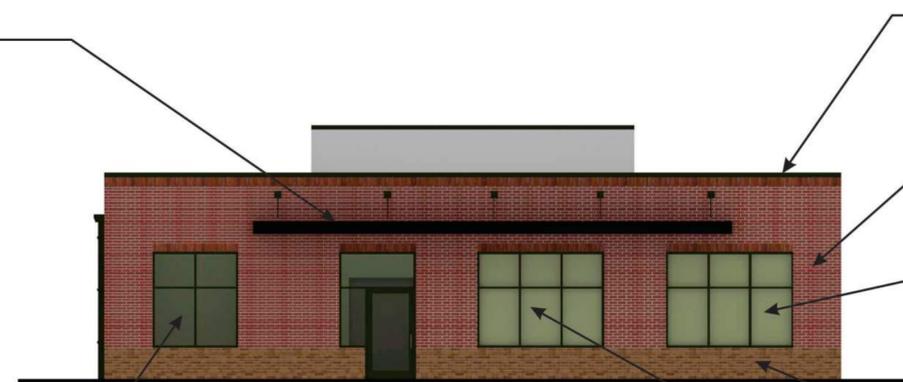
FIELD BRICK B-1 BASKET WEAVE



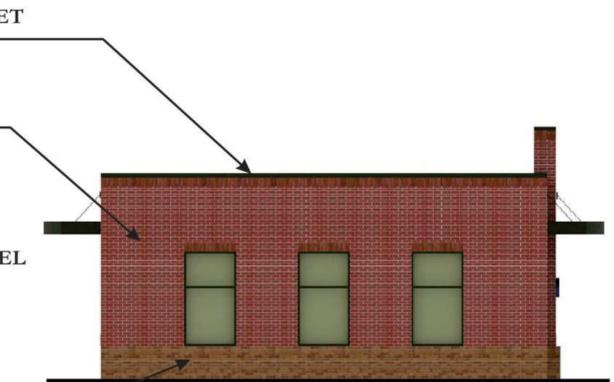
REAR ELEVATION (CURRENT PROPOSED)



LEFT SIDE ELEVATION (CURRENT PROPOSED)



REAR ELEVATION (PREVIOUSLY PROPOSED)



LEFT SIDE ELEVATION (PREVIOUSLY PROPOSED)

Convenience Store

Sam's Point Road

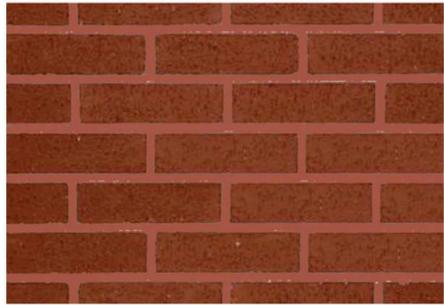
Lady's Island, Beaufort County, South Carolina



PORTSMOUTH, VIRGINIA
 11-19-20

SHEET
 2 of 4

FINISH MATERIALS



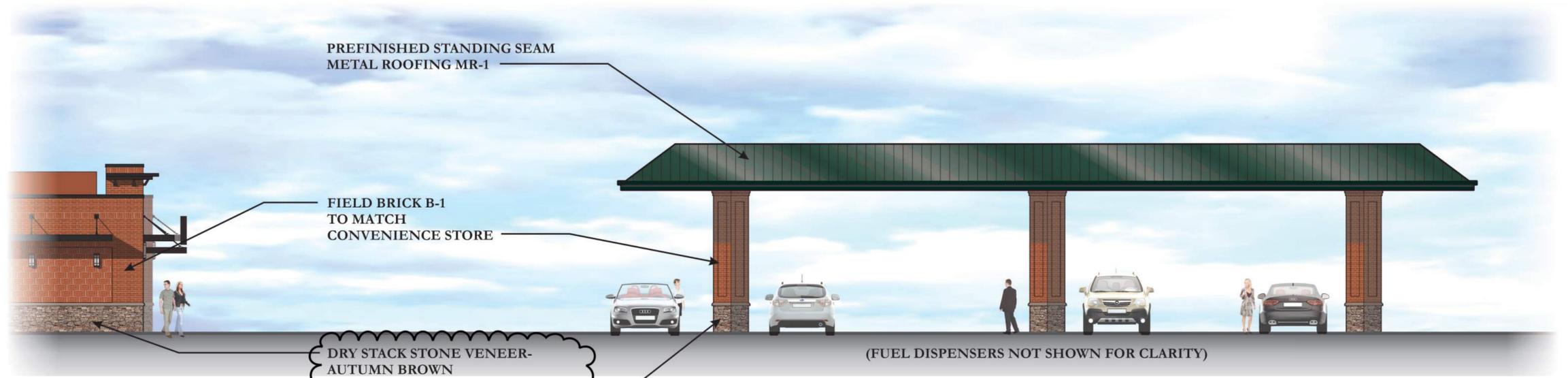
**BRICK B-1:
RED VELOUR** - MORTAR COLOR FOR
BRICK B-1 HAS BEEN
CHANGED FROM GREY
TO RED



**STANDING SEAM
METAL ROOFING MR-1:
HARTFORD GREEN**



**STONE VENEER:
AUTUMN BROWN
STACKSTONE** - IN LIEU OF PREVIOUSLY
PROPOSED ROCKCAST -
CREME BUFF



**FRONT ELEVATION
(CURRENT PROPOSED)**



**FRONT ELEVATION
(PREVIOUSLY PROPOSED)**

Fuel Island

Sam's Point Road

Lady's Island, Beaufort County, South Carolina



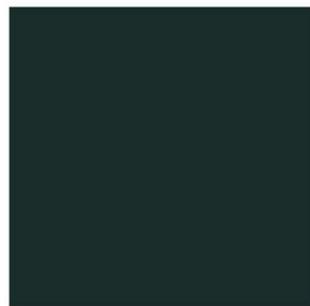
FINISH MATERIALS



BRICK B-1: RED VELOUR
 - MORTAR COLOR FOR BRICK B-1 HAS BEEN CHANGED FROM GREY TO RED



STONE VENEER: AUTUMN BROWN STACKSTONE
 - IN LIEU OF PREVIOUSLY PROPOSED ROCKCAST - CREME BUFF



STANDING SEAM METAL ROOFING MR-1: HARTFORD GREEN

PREFINISHED STANDING SEAM METAL ROOFING MR-1

FIELD BRICK B-1 TO MATCH CONVENIENCE STORE

DRY STACK STONE VENEER-AUTUMN BROWN TO MATCH CONVENIENCE STORE

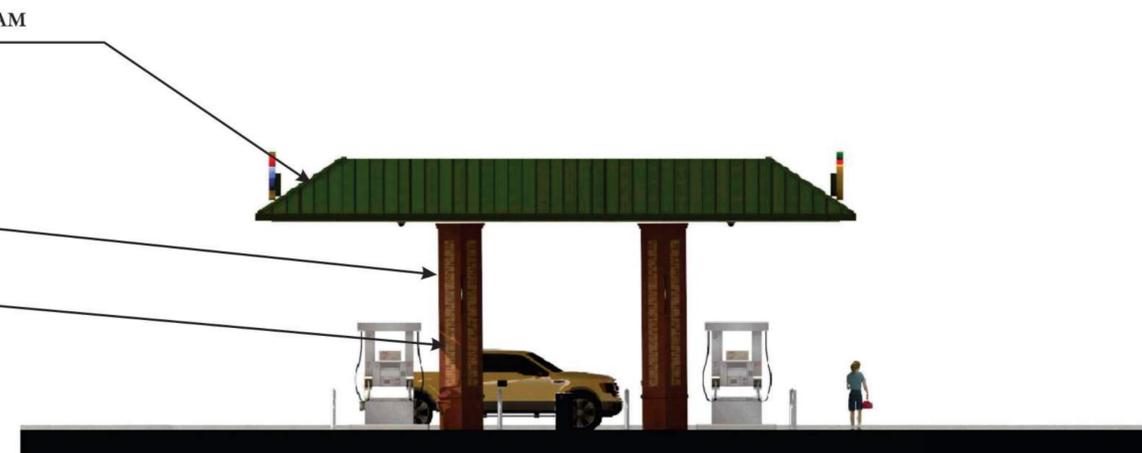


RIGHT SIDE ELEVATION (CURRENT PROPOSED)
 (FUEL DISPENSERS NOT SHOWN FOR CLARITY)

PREFINISHED STANDING SEAM METAL ROOFING MR-1

FIELD BRICK B-1

ACCENT BRICK B-4



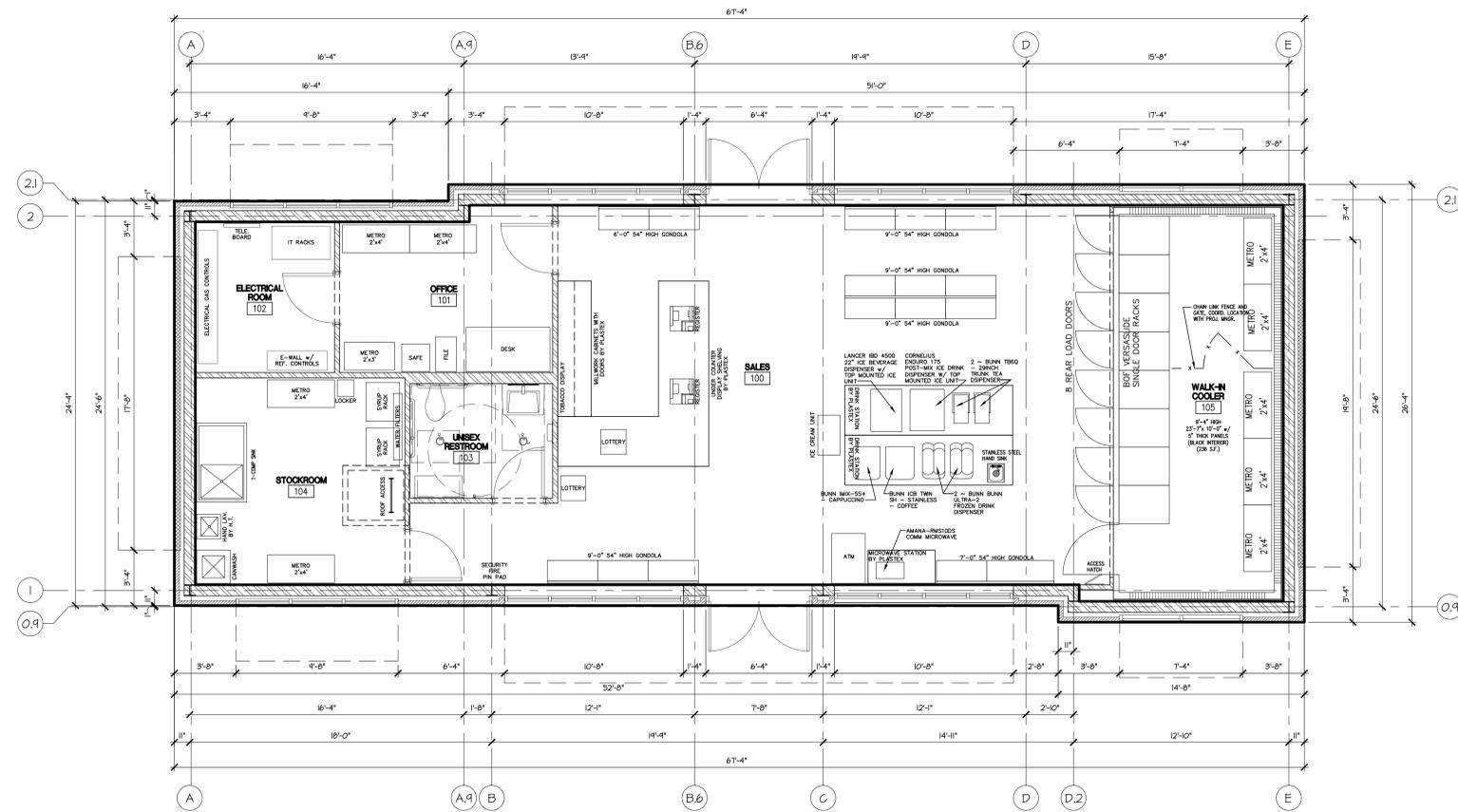
RIGHT SIDE ELEVATION (PREVIOUSLY PROPOSED)

Fuel Island

Sam's Point Road

Lady's Island, Beaufort County, South Carolina

REVISIONS
 1. PLAN CREATED FOR INITIAL REVIEW
 2. DATE: 10.15.20 - REVISED BY: JAH
 3. REVISED FOOTPRINT AREA CALCULATION TO REFLECT HIGH WIND STRUCTURAL DESIGN.



FUEL CENTER THIS SIDE

1 FIXTURE PLAN
 F-1 SCALE: 1/4" = 1'-0"

BUILDING AREA: BA1
 BUILDING FOOTPRINT - 1704 S.F.
 BUILDING INTERIOR - 1476 S.F.

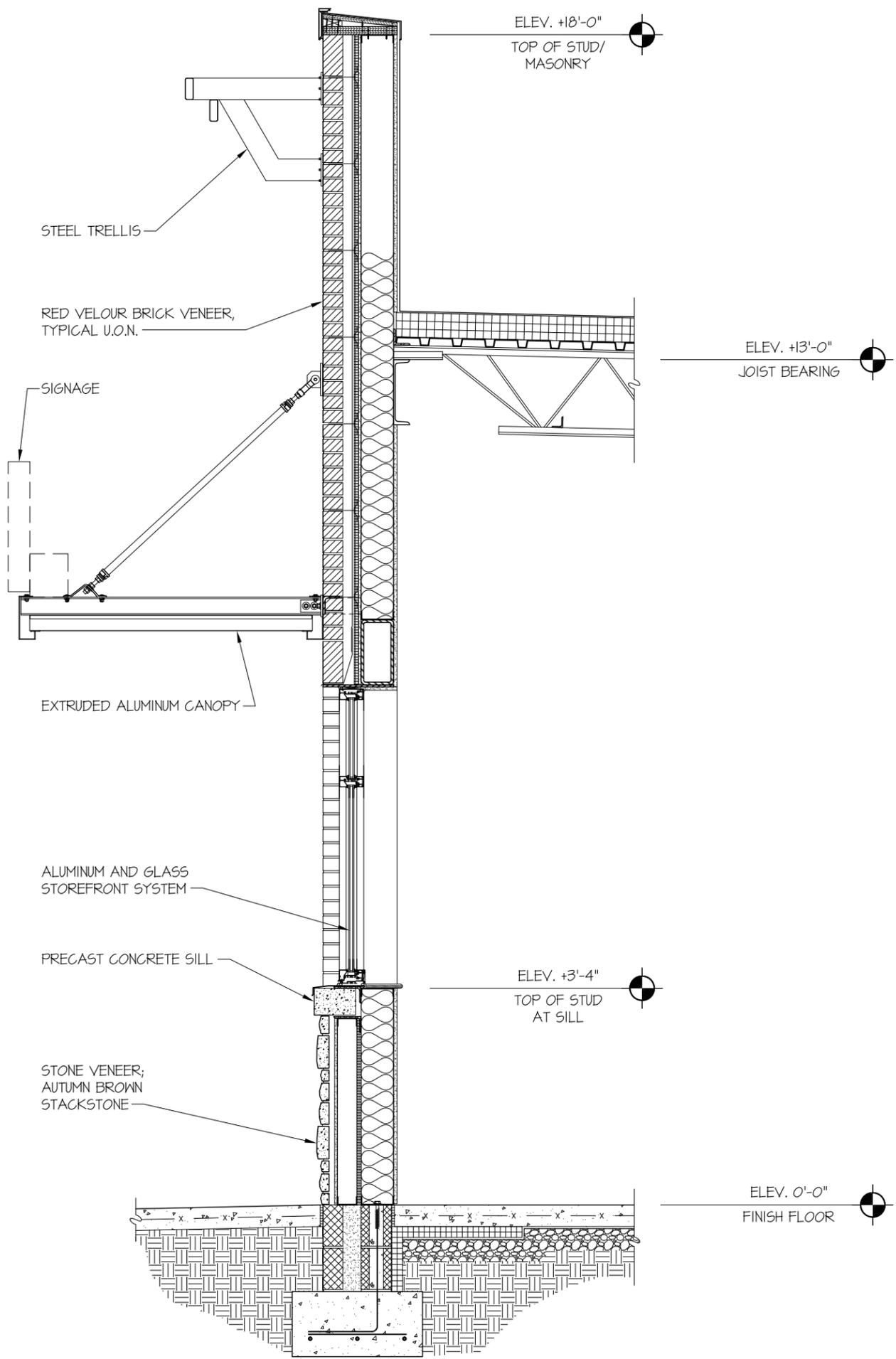
DRAWN ADM FOR HT
 SCALE 1/4" = 1'-0"
 DATE 09-09-2020



JOB DESCRIPTION
 SAM'S POINT ROAD
 LADY'S ISLAND, SC
 STORE NO # 429

SHEET DESCRIPTION
 FIXTURE PLAN

SHEET NUMBER
F-1
 1 OF 1



Convenience Store

Sam's Point Road
 Lady's Island, Beaufort County, South Carolina



**BONDURANT
 ASSOCIATES
 ENGINEERING &
 ARCHITECTURE**

444 CRAWFORD STREET
 SUITE 300
 PORTSMOUTH, VIRGINIA



Design Review Board Meeting Staff Report

From the Department of Community and Economic Development
10 December 2020

1 SUMMARY OF REQUEST

Harris Teeter Grocery and Convenience Store, PIN R123 015 000 0587 0000, R123 015 000 0592 0000, and R123 015 000 0606 0000, located at the northeast corner of Sams Point Road and Sea Island Parkway.

Applicant: Ryan Lyle / Andrews Engineering & Surveying

The applicant is requesting approval for change to Harris Teeter building, Convenience Store building and gas station canopy after Design Review Board final approval.

Background: The Applicant received final approval of the Site Plan including the Convenience Store portion of this project in April of 2016, final approval for the Harris Teeter and Liner Buildings portion of this project in August of 2016, and the applicant received final approval for the landscaping and gas station canopy portion of this project in November of 2016. Final Approvals for this project have since been extended until 2021 by the Administrator. The applicant submitted changes to the site plan and landscaping plan of this project in November 2020 and was granted preliminary approval.

2 FACTS

Property Address: Intersection of Sams Pt. Road and Sea Island Parkway
Parcel ID: R123 015 000 0587 0000, R123 015 000 0592 0000 & R123 015 000 0606 0000
Case Number: 20-18 DRB.1
Applicant: Ryan Lyle
Zoning: T5-UC
Use: Commercial - Retail

District Development Standards for T5-UC:

- **T5 – UC Setback requirements:**
 - *Front-0' min. – 15' max.*
 - *Rear – 5' min.*
 - *Side Corner/Alley – 0' min – 15' max.*
 - *Side Interior – 0' min.*
 - *Impervious Surface Coverage: 100%*

References:

The Beaufort Code



3 STAFF COMMENTS/ RECOMMENDATIONS

Harris Teeter Building:

1. Changes to the Harris Teeter Building footprint are minimum and are positive: the loading dock orientation has changed for better truck maneuverability along Sams Point Road. A covered patio area has been extended on the Southwest corner of the building. Staff supports these changes.
2. The Autumn Brown Stackstone material selection for the columns of the Harris Teeter Building does not comply with Section 4.6.3.A.7.d of the Beaufort Code, which lists Stone as a material that is prohibited in the T5-UC district. Applicant to select a material that complies with Section 4.6.3.A.3, which lists allowable materials for columns in the T5-UC district. The proposed multi-color brick (Mixture of B1-B3) is visually distracting, and the color range of the brick is too great. Staff prefers a brick that has less contrast between the dark elements and the light elements. Staff recommends bringing back fenestration in top band on left and right elevations and replacing the upper band of brick with panelized cladding as originally submitted.
3. Section 4.6.1.G of the Beaufort Code states that Buildings and additional site elements...shall not be painted in a color or pattern that expresses corporate identity, to the extent that the paint color or pattern is not consistent with the design standards of the district...". It appears that the color of storefront, windows, and associated panels have changed to a brighter green from what was originally submitted. Staff has no record of previous materials list to include the paint color selection of the project. Applicant to include this list in future submissions.
4. Applicant to provide details of brick veneer recessed panels.

Convenience Store and Gas Canopy:

5. The inclusion of a true pedestrian entrance along Sea Island Parkway is a positive move that is in compliance with Section 2.5.1.D.1-3 of the Beaufort Code: 1.) Buildings shall have their principal pedestrian entrances on a frontage line. 2.) All buildings with shared entrances shall be oriented so that the primary entrances face the street. 3.) In the case of corner lots, the primary entrance(s) shall face the street from which the building derives its street address." Staff is in support of the creation of a primary entrance on both the street frontage and the parking lot frontage. The new design for both elevations creates a stronger sense of entrance at both access points.
6. The revised elevations of the C-Store are generally positive. The relationship between the base, field, cornice, and the doors and windows is more pleasing to the eye, and the addition of the canopies on the side facades is positive. As noted in comment 9 below, stone is an inappropriate material choice and cannot be used.
7. Applicant to include cut sheets for storefront in future submissions and clarify which units and panes will be spandrel and which will be clear.
8. In future submissions, applicant to ensure and demonstrate compliance with Section 4.6.3.C.1 of the Beaufort Code. Since this building faces a street, adequate amounts of fenestration must be provided. It appears that less than 40% transparent fenestration has been provided.

9. The Autumn Brown Stackstone material selection for the base of the C-Store and the base of the Gas Canopy columns do not comply with Section 4.6.3.A.7.d of the Beaufort Code, which lists Stone as a material that is prohibited in the T5-UC district. Applicant to select a material that complies with Section 4.6.3.A.3, which lists allowable materials for columns in the T5-UC district.
10. In future submissions, applicant to add dimensions to the Convenience Store wall section to show the depth of the proposed extruded aluminum canopy. Applicant to note that canopies must be 5' deep and 8' above the sidewalk per Section 4.4.F of the Beaufort Code.
11. The applicant has noted that lighting has been removed from this application and that it will be included in the site and landscaping application for this project. Staff notes that sconces are proposed on the Convenience Store elevations that are different from those that were previously approved. Applicant to ensure that these sconces are submitted for review in future applications.

STAFF RECOMMENDATION:

Preliminary Approval due to conditions noted above.

CITY STAFF INTRODUCTION

2506 BOUNDARY STREET



PROJECT LOCATION - 2506 BOUNDARY STREET

North Elevation
(Front)



South Elevation
(Rear)



West Elevation
(Right Side)



East Elevation
(Left Side)



Miscellaneous



APPLICANT PRESENTATION

2506 BOUNDARY STREET



DEVELOPMENT REVIEW PROCESS DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Required Project Information

Project Name: Wendy's - Boundary Street

Property Size in Acres: 1.28 AC Proposed Building Use: Commercial

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

Proposed Building = 2,468 SF

of Parking Spaces Required: 10 spaces # of Parking Spaces Provided: 27 spaces

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative and outline any specific questions you would like addressed.

Please see attached.

Applicant's Signature: [Signature] Date: 10/30/20

Owner's Signature: [Signature] Date: 10/31/20

(The owner's signature is required if the applicant is not the owner.)

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

PROJECT NARRATIVE

Wendy's – 2506 Boundary Street

Applicant: Tidewater Development Group
Engineer: Eric Hoover, PE, Ward Edwards, Inc.
Architect: Appalachian Architecture
Date: November 10, 2020

Project Description

The site is located at 2506 Boundary Street & 6 Neil Road in Beaufort, SC. The 1.28 acre site is a redevelopment of the existing Discount Tire and Auto and Mother Earth Landscaping. The property is bound to the north by Boundary Street, to the south by Trask Farm Road, to the east by Neil Road, and to the west by B&M Mobile Home Supply. The proposed improvements to the site will include a fast food restaurant (2,500 ft² building footprint), patios, parking areas, landscaping, and associated infrastructure for future uses.

Zoning and Land Use

The proposed commercial use is in compliance with the development standards and density allowed within the City of Beaufort Development Code standards provided for T5-Urban Center (T5-UC).

Tree Removal

The site is currently developed and contains minimal existing vegetation. The existing trees located onsite are listed below. The proposed site plan requires some tree removal, trees which will need to be removed with the proposed site plan are marked with an (X).

<u>Trees to be preserved</u>	<u>Trees to be removed</u>
20 PA	25 SB (X)
8 LO	19 16 13 SB (x)
8 WO	30 23 17 SB (X)
10 LO	
20 LA	
17 SB	
23 LA	
21 LA	
10 WO	
13 RO	
9 SB	
9 SB	
9 CH	
9 CH	
10 WO	
22 LA	
17 LA	
8 RO	
12 WO	
12 CH	

13 LA
30 WO
21 WO
19 LO
28 SB
13 PEC
20 LO

Access:

The site can be access from two proposed entrances. A right-in-right out entrance is proposed along Boundary Street. A second entrance is proposed along Neil Road. Sidewalks are proposed to connect to the existing sidewalk along Boundary Street.

Stormwater Management

Stormwater runoff treatment of the site will be accomplished using an infiltration basin and permeable parking.

Wetland Impacts

There are no wetlands on site.

Water and Wastewater Lines

Existing water and sewer mains, owned and maintained by BJWSA, are available for the subject property. Water service to the site will connect into an existing 16" water main running along Boundary Street. Sewer service will be provided by connecting to exiting gravity sewer along Neil Road.

Electrical & Telecommunications:

Existing services are located in close proximity to the site. Electrical service to the site will be provided by Dominion Energy, Inc. and telecommunications by Hargray Communications.

Erosion Control

Erosion control practices for the site will include silt fencing, construction entrance, inlet protection, and temporary/permanent seeding.

Maintenance Responsibility

The owner will be responsible for maintenance.

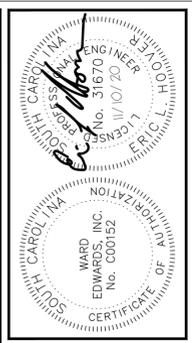
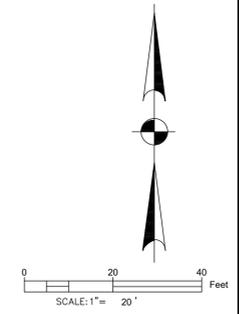
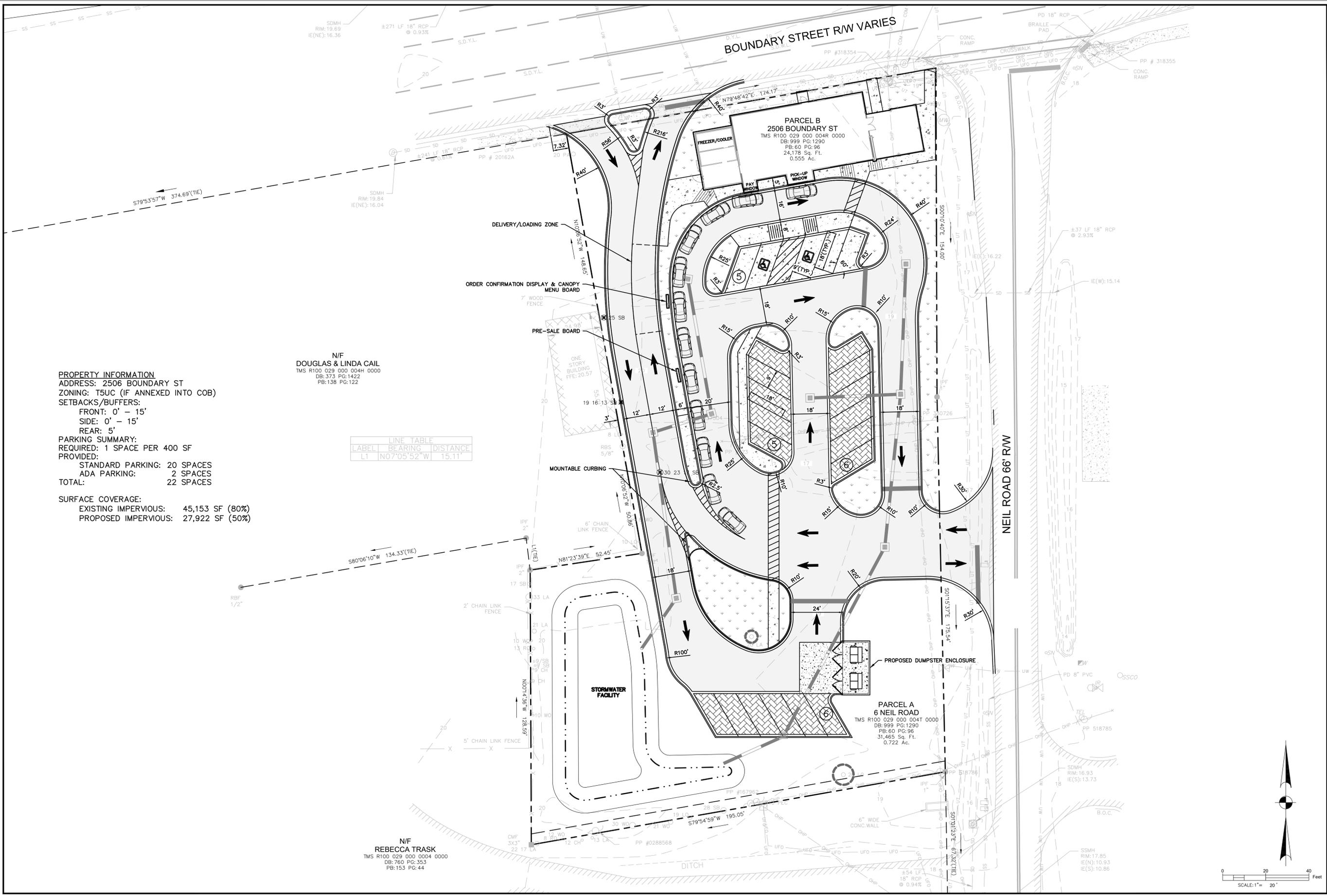
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PROPERTY INFORMATION
 ADDRESS: 2506 BOUNDARY ST
 ZONING: T5UC (IF ANNEXED INTO COB)
 SETBACKS/BUFFERS:
 FRONT: 0' - 15'
 SIDE: 0' - 15'
 REAR: 5'
PARKING SUMMARY:
 REQUIRED: 1 SPACE PER 400 SF
 PROVIDED:
 STANDARD PARKING: 20 SPACES
 ADA PARKING: 2 SPACES
 TOTAL: 22 SPACES
SURFACE COVERAGE:
 EXISTING IMPERVIOUS: 45,153 SF (80%)
 PROPOSED IMPERVIOUS: 27,922 SF (50%)

N/F
DOUGLAS & LINDA CAIL
 TMS R100 029 000 004H 0000
 DB: 373 PG: 1422
 PB: 138 PG: 122

LABEL	BEARING	DISTANCE
LI	N07°05'52"W	15.11'

N/F
REBECCA TRASK
 TMS R100 029 000 0004 0000
 DB: 760 PG: 353
 PB: 153 PG: 44



NO.	DESCRIPTION	DATE
7		
6		
5		
4		
3		
2		
1		

Ward Edwards
 ENGINEERING
 P.O. BOX 381, BILFINGTON, SOUTH CAROLINA 29910
 PH: (843) 837-5750 / FAX: (843) 837-2556
 WWW.WARDEDWARDS.COM

WENDY'S - BOUNDARY ST. & NEIL RD.
 CITY OF BEAUFORT, SOUTH CAROLINA
CAROLINA RESTAURANT GROUP
 CHARLOTTE, NORTH CAROLINA
SITE LAYOUT PLAN

VERTICAL DATUM:
 NGVD29
 PROJECT #: 200256
 DATE: 11/10/20
 DESIGNED BY: TCR
 CHECKED BY: ELH

SHEET C401

NOT FOR CONSTRUCTION

IF THIS SHEET IS LESS THAN 22" X 34" IT IS A REDUCED PRINT. SCALE ACCORDINGLY.



TYPICAL PROTOTYPE RENDERING

SHOWN ONLY FOR COLOR REFERENCE AND 3D PERSPECTIVE. PLEASE REFER TO EXTERIOR ELEVATIONS - SHEETS A2.1 AND A2.2 FOR PLACEMENT OF WINDOWS/DOORS (%), LADDER, PARAPET HEIGHTS AND ETC.

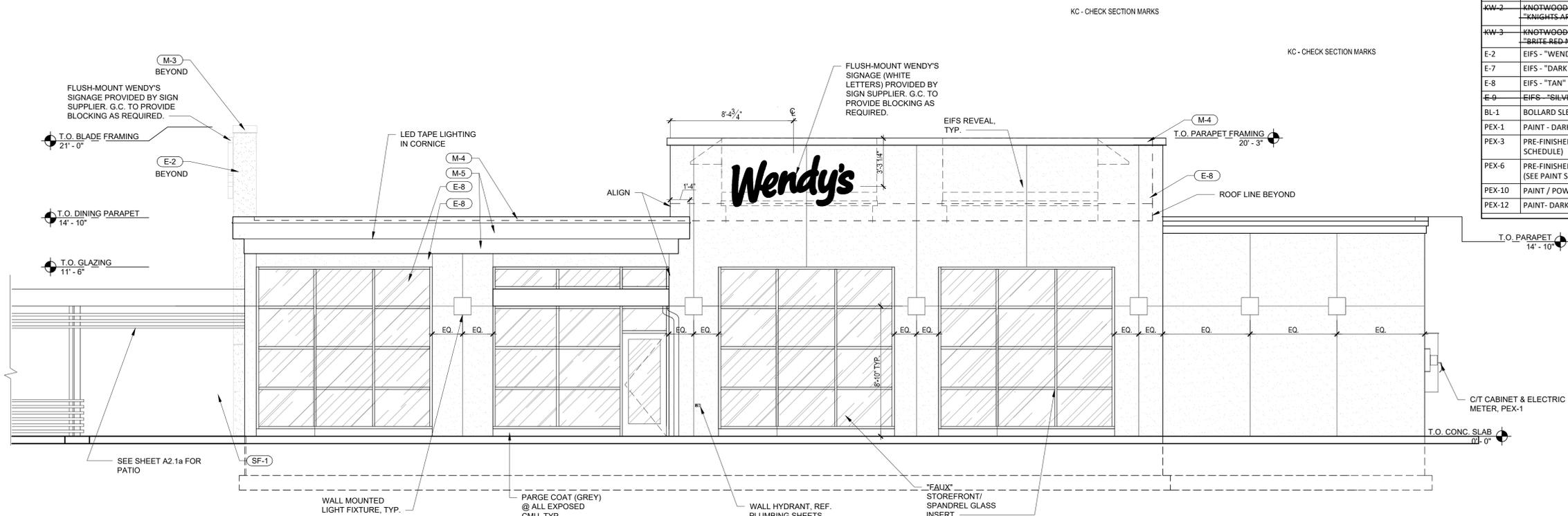
10/23/20 - 2506 BOUNDARY ST.—BEAUFORT, SC - SUBMITTALS



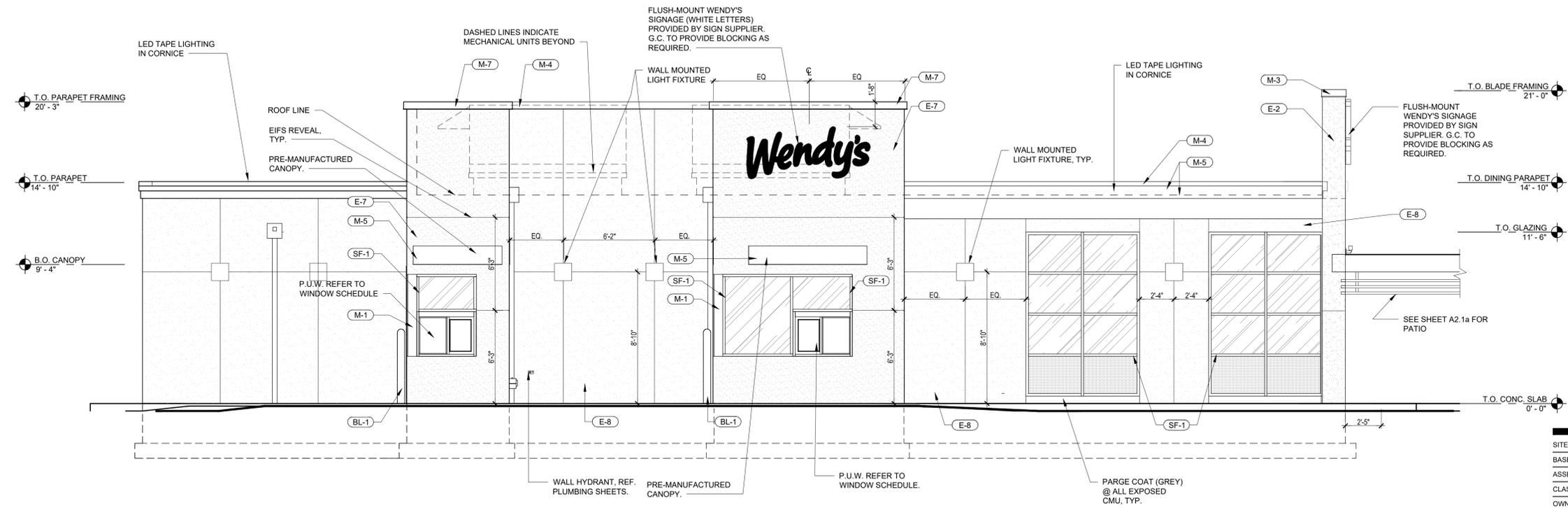
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10/23/20 - 2506 BOUNDARY ST.—BEAUFORT, SC - SUBMITTALS



RIGHT SIDE ELEVATION 2
1/4" = 1'-0"



LEFT SIDE ELEVATION 1
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

SF-1	STOREFRONT - "DARK BRONZE"
P.U.W	PICK-UP WINDOW TO MATCH STOREFRONT
M-1	PARAPET CAP/ BRAKE METAL - "DARK BRONZE"
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANNOXIDIZED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
KW-1	KNOTWOOD-PREFINISHED ALUMINUM SIDING-MATERIAL - "LIGHT OAK"
KW-2	KNOTWOOD-PREFINISHED ALUMINUM SIDING-MATERIAL - "KNIGHTS ARMOUR"
KW-3	KNOTWOOD-PREFINISHED ALUMINUM SIDING-MATERIAL - "BRITE RED-MATTE"
E-2	EIFS - "WENDY'S RED"
E-7	EIFS - "DARK GREY"
E-8	EIFS - "TAN"
E-9	EIFS - "SILVER" (SMOOTH FINISH)
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT- BLACK (SEE PAINT SCHEDULE)
PEX-12	PAINT- DARK GREY (SEE PAINT SCHEDULE)

WALL SURFACE - 1305 SQ. FT.
GLAZING - 40% - 522 SQ. FT. - REQUIRED
528 SQ. FT. - PROVIDED

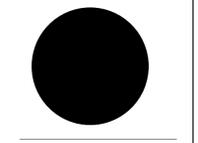


APPALACHIAN ARCHITECTURE, PA
BILL DIXON, NCARB
705 N. KING ST.
SUITE 201
BOONE, NC 28607
PAX: 828 285 2406
FAX: 828 285 2406
WWW.APPALARCH.COM

DATE: 11/9/20

REVISIONS:

NO.	DATE	REV.



EXTERIOR ELEVATIONS
Wendy's
#13287 - 1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA

DRAWN BY: KSC

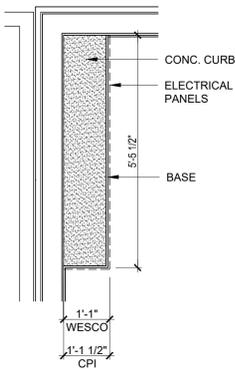
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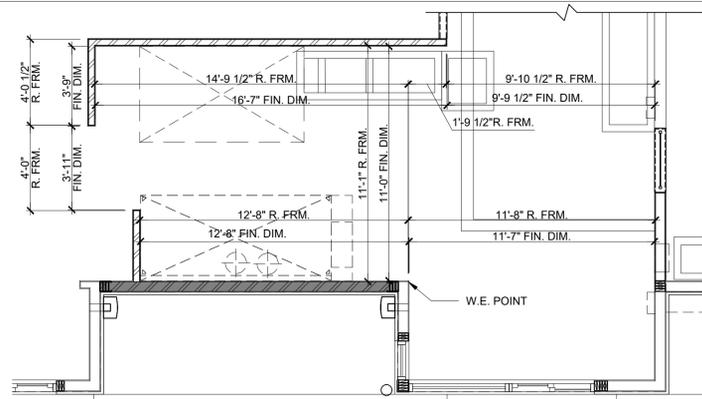
A2.2
OF



SITE NUMBER:	13287
BASE MODEL:	2.0 SMART 40+FR. PATIO
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	CRG
BASE VERSION:	2020
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2020
FURNITURE PACKAGE:	(2.0) U.M. BRITE
DESIGN BULLETINS:	SUMMER



PLAN DETAIL 3
1/2" = 1'-0"

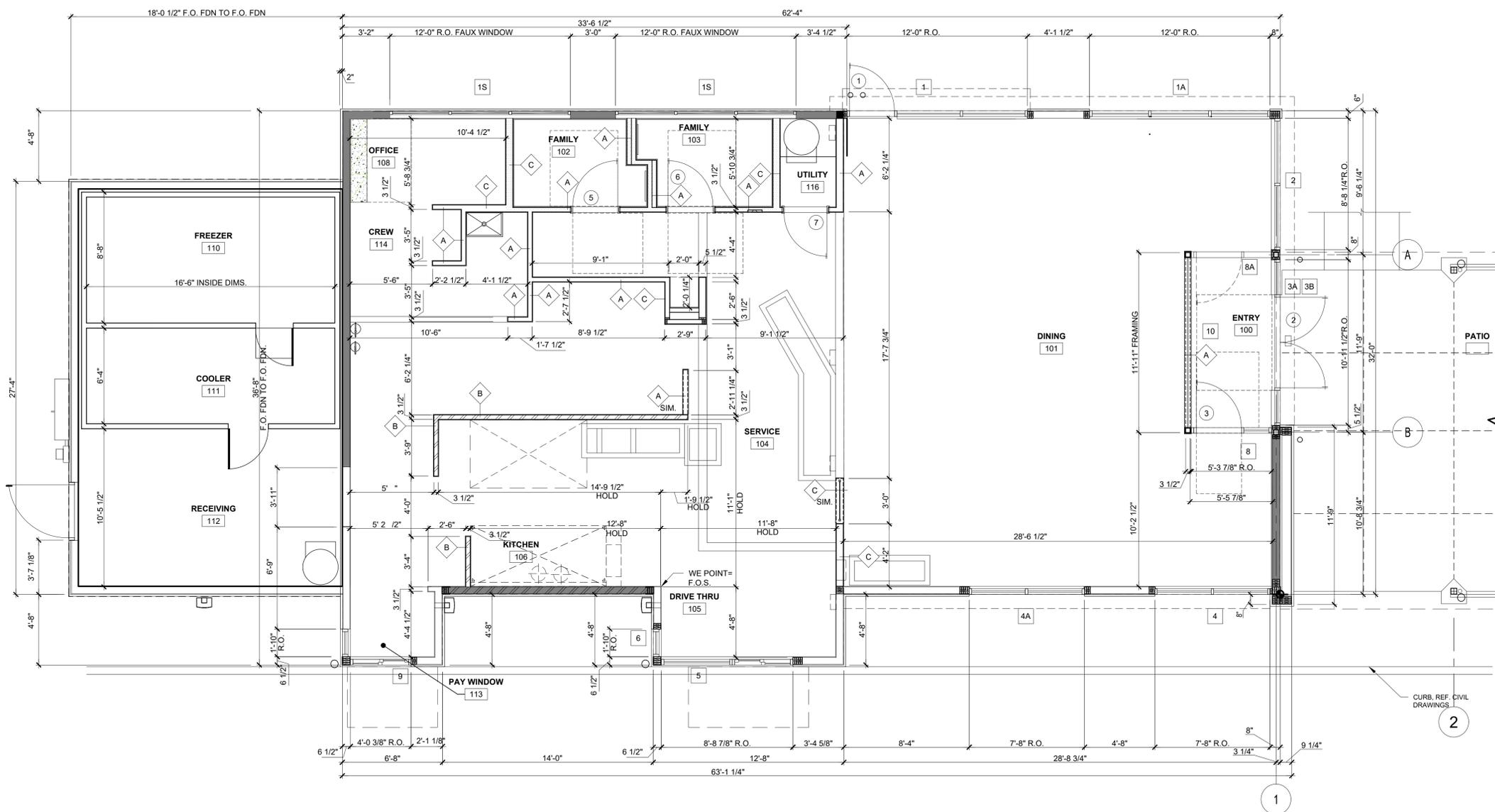


KITCHEN DIMENSION PLAN 2
1/4" = 1'-0"

SITE NUMBER:	13287
BASE MODEL(2.0) SMART 40+FR. PATIO	
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	CRG
BASE VERSION:	2020
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2020
FURNITURE PACKAGE:	(2.0) U.M. BRITE
DESIGN BULLETINS:	SUMMER

- A. EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING U.N.O. INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O.
- B. COORDINATE CURB CUTS AT DOORS WITH STOREFRONT MANUFACTURER PRODUCT DETAILS AND SHOP DRAWINGS.
- C. REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR EXTENT OF INTERIOR FINISHES.
- D. THE CONTRACTOR SHALL PROVIDE SOLID WOOD BLOCKING FOR WALL MOUNTED ITEMS, EQUIPMENT, MILLWORK, ETC. COORDINATE LOCATIONS WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.
- E. REFER TO WALL TYPES ON SHEET A4.3.
- F. REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A6.3.
- G. AN OPTIONAL PANELIZED EXTERIOR WALL SYSTEM IS AVAILABLE THROUGH RED-BUILT- SEE SUPPLIER LIST FOR CONTACT INFORMATION. G.C. MUST COORDINATE WITH AOR, OWNER, AND RED-BUILT TO VERIFY CODE COMPLIANCE, PERMITTING REQUIREMENTS, AND INSTALLATION CRITERIA.

- SHADED AREA = SHEAR WALL
 - DIAGONAL HATCH = METAL STUD WALLS
 - STIPPLE = SOUND BATT INSULATION
 - 2 X 4 FRAMING @ 16" O.C.
 - 3 1/2" METAL STUD @ 16" O.C.
 - 2 X 6 FRAMING @ 16" O.C.
- SEE A5.1 FOR ADDITIONAL INFORMATION
**Tags updated in plan



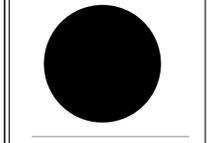
FLOOR PLAN 1
HEATED SQ. FOOTAGE - 2,445 SQ. FT. 1/4" = 1'-0"

- CODED NOTES:**
- WALK-IN FREEZER/COOLER MANUFACTURER TO PROVIDE REINFORCED FRAMED OPENING FOR DOOR AS SCHEDULED.
 - APPROXIMATE LOCATION OF FRONT COUNTER. REF. SHEET A5.1 FOR LOCATION.
 - G.C. TO INSTALL STAINLESS STEEL CORNER GUARD, REFER TO FINISH PLAN SHEET FOR LOCATIONS AND TYPE OF CORNER GUARDS.
 - SHADED AREA INDICATES SHEAR WALL, REF. STRUCTURAL DRAWINGS. COORDINATE FINISHES WITH NUM. OF PLIES PROVIDED. EXTEND PLYWOOD AS REQUIRED TO MAINTAIN FINISH PLANE.
 - ROOF/ PARAPET OVERHANG ABOVE, REFER TO ROOF PLAN, SECTIONS, AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
 - PREFABRICATED USED COOKING OIL MANAGEMENT ENCLOSURE. PROVIDE MIN. 6" THICK, 7'-4" X 3'-6" CONC. SLAB.
 - SOFFIT / BULKHEAD ABOVE, REFER TO REFLECTED CEILING PLAN.
 - 6" DIA. CONCRETE FILLED METAL PIPE BOLLARD W/ BOLLARD SLEEVE. INSTALL BOLLARD PER CIVIL DRAWINGS.
 - ROOF ACCESS LADDER RECEIVER & SAFETY GATE.
 - RECESSED MOP SINK, INSTALL WATERPROOF MEMBRANE IN MOP SINK RECESS TO TIE INTO DRAIN. REF DETAIL ON A5.1.
 - EXHAUST HOOD, REF. MECHANICAL DRAWINGS.
 - STAINLESS STEEL PANELS BEHIND AND BESIDE FRYERS & GRILL. REFER TO INTERIOR ELEVATIONS & FINISH PLAN FOR EXTENTS.
 - INTERMEDIATE SUPPORT FOR BATTEN PATIO ENCLOSURE. COORDINATE WITH MANUFACTURER.
 - EQUIPMENT CURB BY KITCHEN EQUIPMENT DISTRIBUTOR. REF. SHEET A5.1 FOR LOCATIONS. REF. SHEET A5.2 FOR EQUIPMENT CURB DETAILS.
 - 6" C.M.U. CURB BELOW STOREFRONT. REFER TO SECTION AND STRUCTURAL DRAWINGS.
 - PARTIAL HEIGHT WALL, REFER TO INTERIOR ELEVATIONS AND SECTIONS.
 - STAINLESS STEEL CLOSURE TRIM / ANGLES BY GC.
 - AWNING / CANOPY ABOVE.
 - SEMI-RECESSED FIRE EXTINGUISHER CABINET, SUPPLIED AND INSTALLED BY GC. REFER TO INTERIOR ELEVATIONS.
 - PRE-MANUFACTURED SWITCHGEAR CABINET ON 6" CONC. CURB. REF. DETAILS 3/A1.1 & 8/A5.2.
 - CLEAR FLOOR AREA TO BE MAINTAINED IN FRONT OF ELECTRICAL PANELS MIN 3'-0" AS REQUIRED BY NEC.
 - PRE-FINISHED DOWNSPOUT. EXTEND 6" PVC W/ CAP UNDERGROUND & CONNECT TO STORM. SEE CIVIL AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
 - HOT WATER TANK ON SHELF. TOP OF SHELF 4'-0" AFF. REFER STRUCTURAL DRAWINGS, DETAIL 04/S2.3.
 - 1/2" ISOLATION JOINT
 - EDGE OF CONCRETE SLAB / FOUNDATION FOR WALK-IN BOX. REF. STRUCTURAL DRAWINGS.
 - RAMP BY WIB MANUFACTURER.
 - PROVIDE IN WALL BLOCKING FOR MOUNTING ARM OF CUSTOMER ORDER PICKUP SCREEN - COORDINATE WITH MOUNTING ARM SPEC. BOTTOM OF SCREEN TO BE MOUNTED 6'-10" AFF.
 - WALK-IN-BOX. FREEZER SUPPLIED WITH INSULATED FLOOR.
 - CONTROL JOINT
 - HOLD DOWNS PROVIDED BY WIB MANUFACTURER G.C. TO DRILL AND EPOXY SET ANCHOR BOLTS AS REQUIRED. VERIFY LOCATIONS AND QUANTITY WITH MANUFACTURER.
 - OT CABINET AND ELECTRIC METER AT THIS LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - FACE OF SHEATHING / FACE OF FOUNDATION
 - INSTALL 1/2" PLYWOOD SHEATHING BEHIND GYPSUM BOARD TO MAINTAIN FINISH ALIGNMENT WITH BULKHEAD ABOVE.



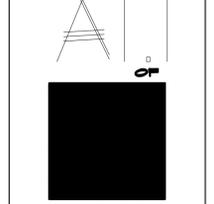
APPALACHIAN ARCHITECTURE, PA
BILL DIXON, NCARB
TOS M. KING ST.
SUITE 201
BOONE, NC 28607
828 285 2405
FAX: 828 285 2406
WWW.APPALACHIANARCH.COM

DATE: 11/9/20
REVISIONS:
DATE: REV: BY:



FLOOR PLAN
Wendy's
#13287 - 1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA

DRAWN BY: KSC
CHECKED BY: BD
SHEET TITLE



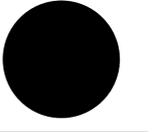
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 ASSET TYPE: FRANCHISEE
 CLASSIFICATION: NEW
 OWNER: CRG
 BASE VERSION: 2020
 UPGRADE CLASSIFICATION:
 NEW BUILD
 PROJECT YEAR: 2020
 FURNITURE PACKAGE: (2.0) U.M. BRITE
 DESIGN BULLETINS: SUMMER

- CODED NOTES:**
- FRONT OF HOUSE FIRE EXTINGUISHER.
 - BACK OF HOUSE FIRE EXTINGUISHER.
 - WATER HEATERS.


APPALACHIAN ARCHITECTURE, PA
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 BILL DIXON, NCARB
 708 W. KING ST.
 SUITE 201
 BOONE, NC 28607
 828 268 2408
 FAX: 828 268 2406
 WEBSITE: WWW.APPALARCH.COM

▲DATE: 11/10/20

▲ REVISIONS:
 ○ DATE: ▲ REV: BY:

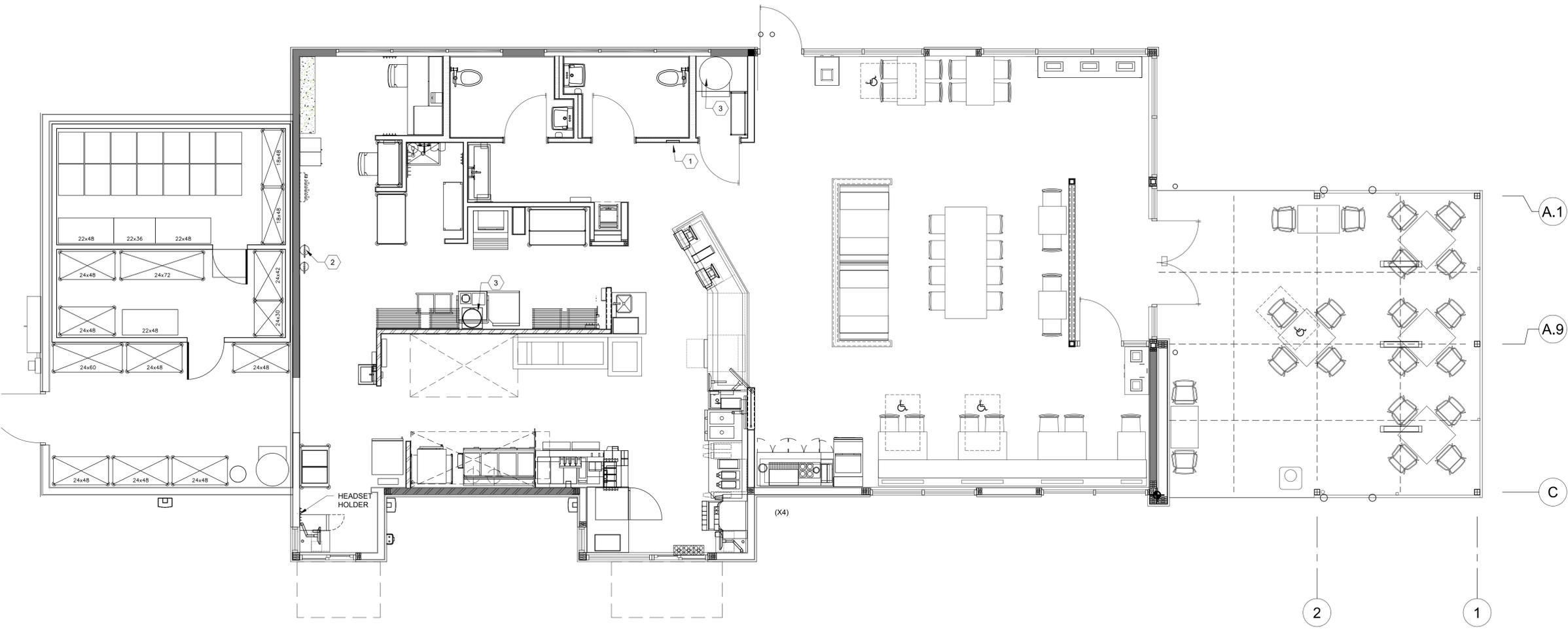
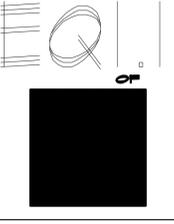


EQUIPMENT PLAN

Wendy's

#13287 - 1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA

● DRAWN BY: KCC
 ● CHECKED BY: BD
 ● SHEET TITLE



EQUIPMENT PLAN
 1/4" = 1'-0" **1**

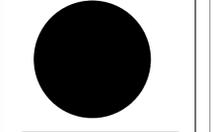


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DATE: 11/9/20

REVISIONS:

NO.	DATE	REV.	BY



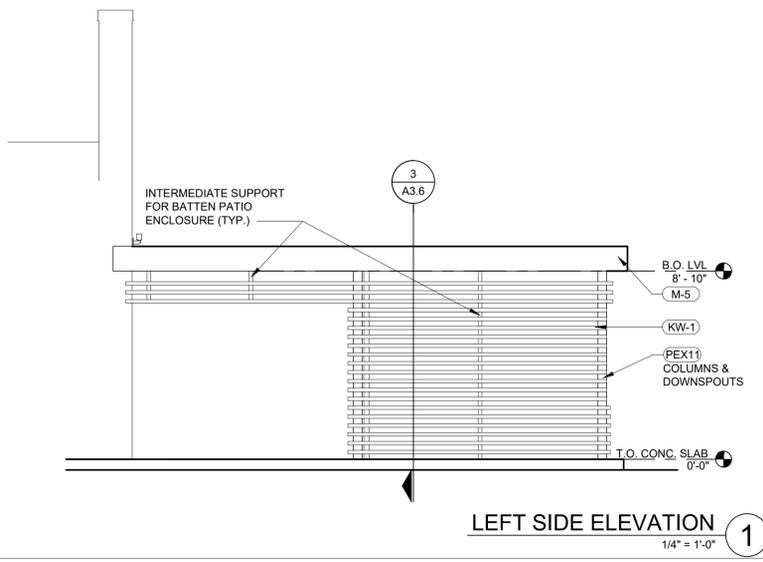
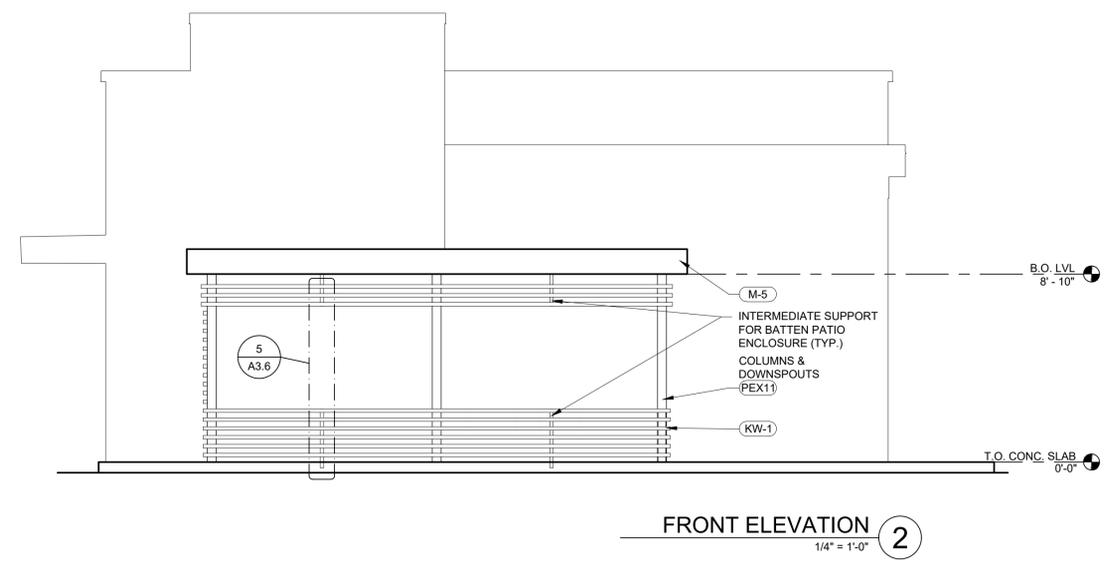
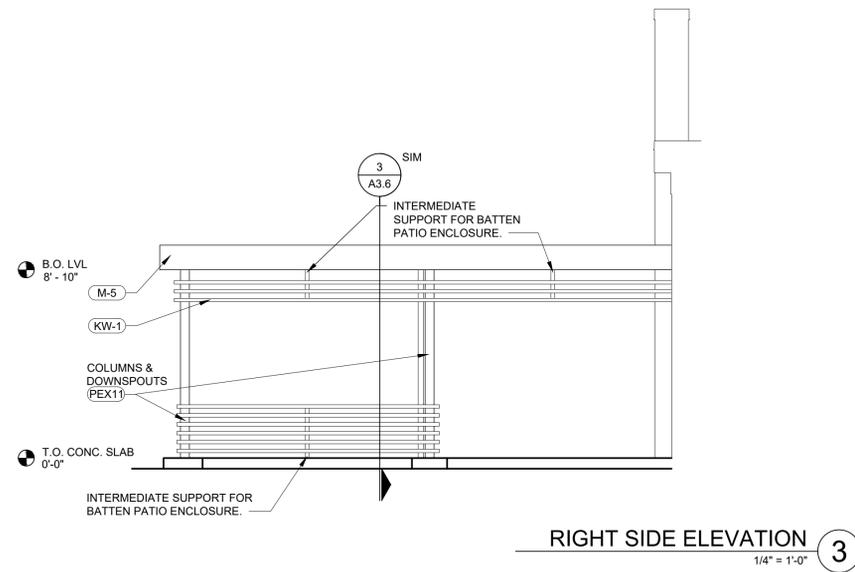
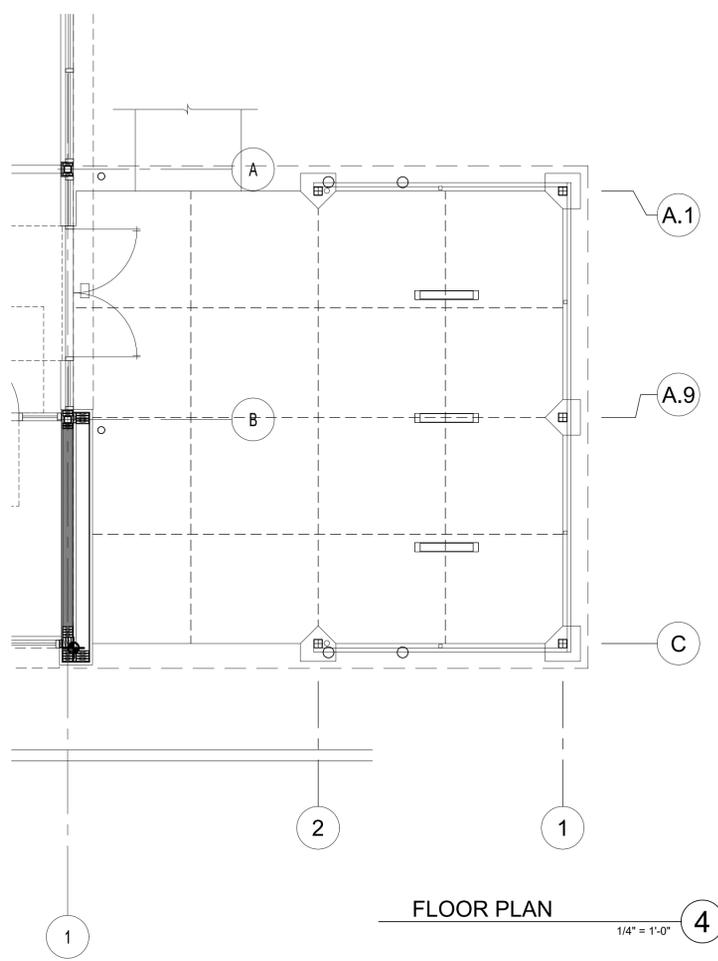
PATIO EXTERIOR ELEVATIONS
Wendy's
 #13287 - 1911 BOUNDARY STREET
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KCC
 CHECKED BY: BD
 SHEET TITLE

A210 OF

EXTERIOR FINISH SCHEDULE	
SF-1	STOREFRONT - "DARK BRONZE"
PUW	PICK-UP WINDOW TO MATCH STOREFRONT
M-1	PARAPET CAP/ BRAKE METAL - "DARK BRONZE"
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANNOXIDIZED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
KW-1	KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL "LIGHT OAK"
KW-2	KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL "KNIGHTS ARMOUR"
KW-3	KNOTWOOD PREFINISHED ALUMINUM SIDING MATERIAL "BRITE RED MATT"
E-2	EIFS - "WENDY'S RED"
E-7	EIFS - "DARK GREY"
E-8	EIFS - "TAN"
E-9	EIFS - "SILVER" (SMOOTH FINISH)
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)
PEX-11	PAINT - LIGHT TAN (SEE PAINT SCHEDULE)
PEX-12	PAINT - DARK GREY (SEE PAINT SCHEDULE)

SITE NUMBER:	13287
BASE MODEL(2.0) SMART 40+FR. PATIO	
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	CRG
BASE VERSION:	2020
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2020
FURNITURE PACKAGE: (2.0) U.M. BRITE	
DESIGN BULLETINS:	SUMMER





Design Review Board Meeting Staff Report

From the Department of Community and Economic Development
10 December 2020

1 SUMMARY OF REQUEST

Wendy's Fast-Food Restaurant, PIN R100 029 000 004R 0000 & R100 029 000 004T 0000, located at the southwest corner of the intersection of Boundary Street and Neil Road.

Applicant: Andrew Cronin/Tidewater Development Group acting on behalf of the property owner Corfe, LLC (20-17 DRB.1).

The applicant is requesting preliminary approval for new construction of a 2,500 S.F. Wendy's Restaurant with a drive-thru window. The proposed improvements to the site will include the fast-food restaurant, patios, parking areas, landscaping, and associated infrastructure for future uses.

Background: The new construction Wendy's fast-food restaurant will replace the existing businesses on the subject properties (Discount Auto Center and Mother Earth Landscaping). On November 10, 2020, at the request of the applicant and property owner, the subject properties were annexed into the City of Beaufort and designated as T5-Urban Corridor District (T5-UC). On November 23, 2020, the Zoning Board of Appeals granted the applicant's request for a variance to *The Beaufort Code Section 5.7.4.C.1*, Maximum Number of Parking Spaces, to allow for 22 parking spaces on site.

2 FACTS

Property Address: 2506 Boundary Street & 6 Neil Road
Parcel IDs: R100 029 000 004R 0000 & R100 029 000 004T 0000 (1.29 Ac. total)
Case Number: 20-17 DRB.1
Applicant: Andrew Cronin/Tidewater Development Group
Zoning: T5-UC (both properties)
Use: Restaurant w/ drive-thru facility

District Development Standards for T5-UC:

- **Setback requirements:**
 - *Front-0' min. – 15' max.*
 - *Rear – 5' min.*
 - *Side Corner/Alley – 0' min – 15' max.*
 - *Side Interior – 0' min.*
- **Impervious Surface Coverage:** 100% maximum
- **Frontage build-out:** 60% minimum



References:

The Beaufort Code

3 STAFF COMMENTS/ RECOMMENDATIONS

1. Per Section 3.2 Table of Permitted Uses, Retail & Restaurants land use is permitted in the T5-UC District subject to the conditions of Section 3.6.2.D. The proposed development meets these conditions.
2. Per Section 3.2 Table of Permitted Uses, the proposed drive-thru facility land use is permitted in the T5-UC District subject to the conditions of Section 3.7.2.B. The proposed development meets these conditions.
3. The Design Review Board is not responsible for the review and approval of signage, however monument signs require landscaping. Not including grass, landscaping shall equal the total surface area of the sign face, per section 6.5.1.A of the Beaufort Code. Any signage landscaping associated with proposed freestanding signs shall be shown on the landscaping plan submitted as part of a Design Review Board application for final approval.
4. Staff notes that the project will result in a decrease in impervious surface area from the existing 45,153 square feet to the proposed 27,922 square feet.
5. Section 4.6.1.G of the Beaufort Code notes that “Buildings and additional site elements – e.g., bollards, arbors, drive thru canopies, sign posts –shall not be painted in a color or pattern that expresses corporate identity, to the extent that the paint color or pattern is not consistent with the design standards of the district. Fluorescent colors, such as ASHTO safety yellow, are also prohibited except where required by a public agency. Applicant has proposed a “Wendy’s Red” EIFS sign structure as well as yellow bollards. Applicant to revise these color selections to comply with section 4.6.1.G of the Beaufort Code.
6. Applicant has demonstrated compliance with Section 4.6.3.C.1 of the Beaufort Code in that greater than 40% of transparent fenestration has been provide along the elevation facing Boundary Street.
7. Applicant to identify scupper boxes and downspouts on drawings and note proposed material.
8. Applicant to clarify material of canopy columns.
9. In future submissions, Applicant to submit cut sheets for lighting, storefront, doors, window, canopy materials, EIFS, etc., as required by the DRB Application Checklist.

STAFF RECOMMENDATION:

Preliminary Approval with Conditions noted.