



AGENDA

The City of Beaufort

HISTORIC DISTRICT REVIEW BOARD

Wednesday, January 8, 2020, 2:00 P.M.

City Hall, Planning Conference Room – 1911 Boundary Street, Beaufort, SC

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

I. Call to Order:

II. Minutes:

A. Minutes of the December 11, 2019 Meeting

IV. Old Business: None

V. Review of Full Board Projects:

A. 1301 Greene Street, PIN R120 004 000 0149 0000, Change After Certification.

Applicant: Stacy Applegate

The applicant is requesting approval for a Change After Certification for a change of material.

B. 905 Port Republic Street, PIN R120 004 000 0859 0000, New Construction.

Applicant: The Beaufort Inn, LLC

The applicant is requesting conceptual approval for demolition of a non-contributing structure and construction of new building.

VI. New Business

VII. Discussion

VIII. Adjournment

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.



Historic District Review Board Meeting Minutes – December 11, 2019

1 CALL TO ORDER

A regular meeting of the Historic District Review Board was held at the City Hall Planning Conference Room on Wednesday, December 11, 2019 at 2:00 pm.

2 ATTENDEES

Attendees included all four Board members including Vice-Chairman John Dickerson, Bill Allison, Katherine Pringle, and Edward Mouton, and staff members Joan Furlong and Julie Bachety.

3 MEMBERS NOT IN ATTENDANCE

The fifth board position is currently vacant.

4 APPROVAL OF MINUTES

A motion was made to approve the meeting minutes of November 13, 2019 by John Dickerson and seconded by Katherine Pringle. The motion passed unanimously.

5 ADDITION TO THE AGENDA

A motion to add an item to the agenda entitled “Introductions” was made by John Dickerson and seconded by Katherine Pringle. The motion passed unanimously.

John Dickerson then introduced and welcomed the newest Board member, Edward Mouton. Mr. Mouton spoke about his background in preservation in Washington, DC and stated that he had moved to Beaufort for its historic significance.

6 PUBLIC HEARINGS

1. **502 Prince Street (PIN R120 004 000 0643 0000)** - Major Demolition
Vice-Chairman John Dickerson opened the hearing. Joan Furlong presented the staff report which recommended that the demolition be approved on the basis that it was consistent with the Certificate of Appropriateness for modifications to this property that had been issued by HRB in November 2019.

Mr. Dickerson then asked for public comment. Maxine Lutz commented on behalf of Historic Beaufort Foundation (HBF) that HBF had provided comments at the November meeting.

There were no other comments, so Mr. Dickerson closed the hearing.

2. **504 Prince Street** - Major Demolition

Vice-Chairman John Dickerson opened the hearing. Joan Furlong presented the staff report which recommended that the demolition be approved on the basis that it was consistent with the Certificate of Appropriateness for modifications to this property that had been issued by HRB in November 2019.

Mr. Dickerson then asked for public comment. No public comments were made so Mr. Dickerson closed the hearing.

7 REVIEW OF FULL BOARD PROJECTS

1. **502 Prince Street (PIN R120 004 000 0643 0000)** - Demolition of rear screened porch

Joan Furlong noted that Staff had no additional comments. John Dickerson asked if a Bailey Bill application had been submitted, and Ms. Furlong said that the Department had so far not received any documentation and gave a brief description of the proposed demolition.

The applicant, Rob Montgomery of Montgomery Architecture and Planning responded to questions from the Board regarding the proposed demolition, age of the existing addition (unknown), and whether existing second floor windows were included (they are not).

A motion to approve the request for demolition was made by Mr. Allison and seconded by Katherine Pringle. The motion passed unanimously.

2. **504 Prince Street (PIN R120 004 000 0642 0000)** - Demolition of rear addition

Joan Furlong noted that Staff had no additional comments.

Again, Rob Montgomery responded to questions from the board regarding the extensive termite and water damage. The age of the addition is unknown, but Mr. Montgomery noted that the building had been designated a contributing building only since 2000-2001.

Ms. Pringle made a motion to approve the request for demolition which was seconded by Mr. Allison. The motion passed unanimously.

3. **500 Port Republic Street (PIN R120 004 000 0642 0000)** - Alterations and Additions

Joan Furlong presented the staff report, noting that two addenda had been issued to provide clarification as to the side setback requirement in The Point, and to provide an alternative design option (Option 2) for the proposed addition. She noted that staff takes no exception to the proposed application.

The applicant, Rob Montgomery, described the proposed alterations including the Option 2 “conservatory” design for the addition. John Dickerson invited the public to comment. Maxine Lutz commented on behalf of HBF that HBF had met with the applicant to review the application and that HBF preferred the Option 2 design.

HBF had made recommendations regarding the siding and the chimney, which the applicant adopted with the agreement of the Owners.

Cynthia Jenkins of HBF commented that the correct name for the neighborhood is The Point, not the “Old” Point.

Mr. Montgomery reviewed the modifications to the ground floor foundation screening, and replacement of a door and window with steel windows that match the existing ground floor windows. Mr. Montgomery reviewed a catalog cut for A&S steel windows which have been in continuous manufacture since 1905. The “conservatory” addition would feature this steel window.

Mr. Dickerson invited the Owners to comment on their project. Mr. Wiener said he had initially preferred the original design but has since been moved to the “conservatory” style.

Ms. Pringle asked about the stucco color. Mr. Montgomery said that it would be similar to Savannah Gray.

Mr. Allison commented that the “conservatory” design is a very good solution and example of our time, modern. He asked if the chimney height had been checked, and Mr. Montgomery confirmed that it was far enough away.

Mr. Mouton asked if the steel windows would change the look of the house. Mr. Montgomery responded downstairs, no.

Mr. Dickerson thanks the Owners and expressed appreciation for the investment in the historic district.

Mr. Allison made a motion to approve the application as submitted, which was seconded by Mr. Mouton. The motion passed unanimously.

8 NEW BUSINESS

1. John Dickerson noted that the appointment of the fifth Board member may take a while, based on the City Council’s decision the night before and suggested that the Board proceed with the election of officers.

Mr. Allison made a motion to nominate John Dickerson as Chairman, which was seconded by Ms. Pringle. The motion passed unanimously.

Ms. Pringle made a motion to nominate Bill Allison as Vice-Chairman, which was seconded by . The motion passed unanimously.

2. Vice-Chairman Allison brought up the motion that had been tabled at the City Council meeting the night before and whether the Board should weigh in. Chairman Dickerson commented that the matter directly impacts the Board and said that Board members could make their feelings known as citizens, but not as Board members, in order to keep the focus of the Board on what it is tasked with as a reviewing board. He also noted that the Board has

a responsibility to help people make their investment in the historic district go well.

3. Ms. Furlong updated the Board on the City's contract with the firm of Meadors, Inc. based in Charleston, SC. She reported that the contract was soon to be finalized and that staff and the Board would have access to architecture and preservation expertise.
4. A resident commented that the Board currently has four members and said it's imperative to have the 5th seat filled as soon as possible.

9 ADJOURNMENT

Ms. Pringle made a motion to adjourn, seconded by Mr. Mouton. The motion passed unanimously.

The meeting ended at 2:30 p.m.

Chair

Date of approval



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
08 January 2020

1 SUMMARY OF REQUEST

The applicant, Stacy Applegate, is requesting approval of a Change After Certification for a change in materials and paint color.

2 FACTS

Property Address:	1301 Greene Street
Parcel ID:	R120 004 000 0149 0000
Case Number:	HR19-xx
Applicant:	Stacy Applegate, Owner
Type of Request:	Change after certification
Zoning:	T4-HN
Use:	Residential

3 BACKGROUND

The subject property was reviewed by HRB December 12, 2018 and received approval with conditions as per the original application and Certificate of Appropriateness dated January 3, 2019, see attached.

4 STAFF COMMENTS

Staff notes that the HardiePlank wood grain siding installed by the Contractor differs from the smooth siding approved by HRB. The Owner was not consulted prior to the installation.

The applicant is also requesting a change in exterior paint color from white to Sherwin Williams "Cottage Cream" SW7678, sample attached.

5 STAFF RECOMMENDATION

Staff takes no exception to this request.



MINOR PROJECT PERMIT APPLICATION

Community and Economic Development Department

1911 Boundary Street, Beaufort, South Carolina, 29902

p. (843) 525-7049 / f. (843) 986-5606 / permits@cityofbeaufort.org / www.cityofbeaufort.org

OFFICE USE ONLY: Date Filed: _____ Zoning District: _____ Permit Fee: _____ Application #: _____

RESIDENTIAL COMMERCIAL HISTORIC DISTRICT ARB/HOA Neighborhood (copy of approval required)

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

The owner of the property is aware of and has authorized the proposed work as described in this application. Yes No

Applicant, Property, and Project Information

Applicant/Contractor Name: Stacy Applegate SC State License No.: _____

Applicant E-mail: scapplegate@hotmail.com Applicant Phone Number: 704-577-3623

Applicant Title: Homeowner Tenant Architect Engineer Developer Contractor

Property Owner: Stacy Applegate Hiring subcontractors? YES NO TBD

Property Address: 1301 Greene St Beaufort SC 29902

Required Application Information

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Storage Shed (Under 200 SF -Res / Under 120 SF - Comm'l) – Site Plan required showing location/setbacks of shed. | <input type="checkbox"/> Awning - Replacement/recover – no signage |
| <input type="checkbox"/> Fence (Site Plan required to show location & describe type and height) | <input type="checkbox"/> Moving Structure - Additional Paperwork Needed |
| <input type="checkbox"/> Demolition (Minor) | <input type="checkbox"/> Temporary Use Permit - Special Event, Food Truck, Farmers Market, Circus, Weekend Flea Market |
| <input type="checkbox"/> Demolition (Complete) | <input checked="" type="checkbox"/> Miscellaneous/Other |
| <input type="checkbox"/> Banner (Max size 3' x 10') | |

COST OF PROJECT: _____

SCOPE OF WORK - DESCRIBE IN DETAIL:

Exterior painting - Cottage Cream

Applicant Signature: Stacy Applegate Date: 12/20/19

Approved By: _____ Date: _____

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1162
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): Watkins Hse. Map Ref.: BFT 09 (TL) Tax Number: R120.004.000.0149.0000
Common name(s): _____ City Block Ref.: 101 Island: Port Royal Is.
Address/location: 1301 Greene St. City/Vicinity of (vic.): Beaufort
Date: 1948 Alteration date: ca. 1960
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

Notes: Rectangular 1 story 5 x 1 bay frame dwelling w/lateral gable roof

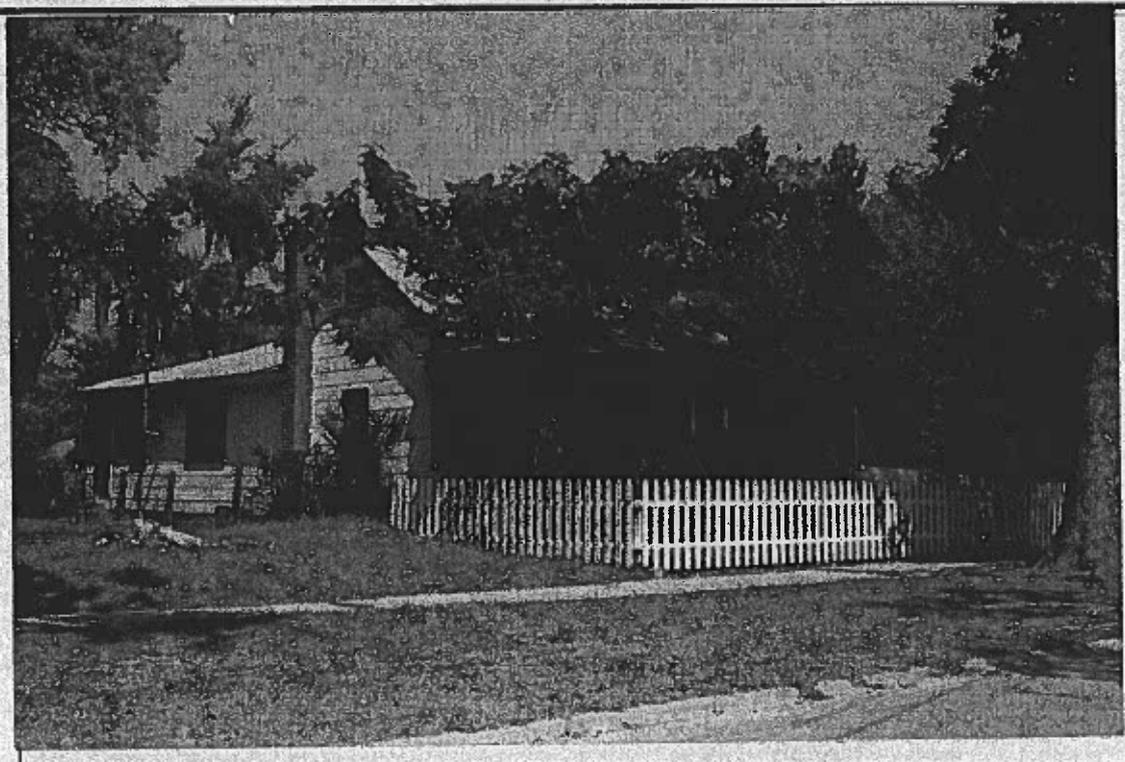
National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Does not contribute to listed district Name: Beaufort Historic District

Consultant Recommendation: May contribute to district w/expanded period of signif. Name: Beaufort Historic District

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other _____
 Feiss-Wright (1969) _____
 Historic Resources of the Lowcountry (1979) _____
 Milner Historic District Inventory (1979) _____
 A Guide to Historic Beaufort (1995 ed.) _____

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 8/1/97

Recorder: D. Schneider, Historic Beaufort Fdn.

Roll # S-12 Neg. 11 View of: S. elev., & W elev., fac. NE

1301 GREENE ST.

Proposed change in
paint color:



Sherwin Williams
"Cottage Cream"
SW 7678



CITY OF BEAUFORT
HISTORIC REVIEW BOARD
1911 BOUNDARY STREET
BEAUFORT, SOUTH CAROLINA 29902
(843) 525-7011 FAX: (843) 986-5606

CERTIFICATE OF APPROPRIATENESS

January 3, 2019

Mr. Mark Sutton
via email: markwsutton@yahoo.com

RE: 18-26 BB.1 1301 Greene Street – Preliminary Approval

Dear Mr. Sutton:

On December 12, 2018, the City of Beaufort Historic District Review Board (HRB) met to review your application for the alterations and additions to 1301 Greene Street. The HRB granted Approval to the Bailey Bill application. They also granted approval to the HRB application with the following conditions:

- All new windows are to be 6-over-1 clad, with Simulated Divided Lites;
- The replacement siding is to be hardie siding—smooth only;
- The 3-bay porch is accepted;
- The kitchen window on the east elevation is approved to be removed; and
- The two windows shown on the east elevation will be changed to the three widows as exists today.

This Certificate of Appropriateness applies only to the requirements of the Beaufort Historic District and does not supersede other City ordinances. Compliance with all other provisions of the City of Beaufort Code of Ordinances is required. Please contact the City Building Codes Office located at 1911 Boundary Street, (843) 525-7049, to apply for the necessary permits. A copy of this letter should be submitted with your application for a permit.

Be advised that the certificate will expire two years from the date of this letter as per Section 9.4.1 of the *Beaufort Code*. If you make any changes in your project that are not part of the approved plan, you will need to submit an application for a Change After Certification.

If you have any questions, feel free to call the Planning Department at (843) 525-7011 or email me at lkelly@cityofbeaufort.org. Thank you for your patience and cooperation during the review process.

Sincerely,

Lauren Kelly / jkb

Lauren Kelly
City Architect / Senior Planner

Next Meeting Dec 12
Filing Deadline Nov 30



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: _____ Application #: _____ Zoning District: _____
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/historic-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
**Requires a Bailey Bill - Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Mark Sutton

Applicant Address: #22 1 Landing Rd, Port Royal, SC 29935

Applicant E-mail: markwsutton@yahoo.com Applicant Phone Number: (843) 310-9848

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): Stacey Applegate

Owner Address: 1204-B Green St. Beaufort, SC 29902

Project Name: 1301 Green St.

Property Address: 1301 Green St.

Property Identification Number (Tax Map & Parcel Number): R120 004 000 0149 0000

Date Submitted: 11/30/2018

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Mark Sutton Date: _____

Owner's Signature: Stacey Christine Applegate Date: 11/28/18

See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated December 22, 2017



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

Project Name: 1301 Greene St / Watkins House

Property Size in Acres: .14 Proposed Building Use: Residential

Nature of Work (check all that apply):

- Checkboxes for New Construction, Demolition, Relocation, and Alterations/Additions. Alterations/Additions is checked.

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

1410

Is this project a redevelopment project? Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

Project scope includes new windows on rear addition, minor exterior siding & trim repair, new rear screen porch (within existing roof line), exterior painting, foundation repair, new interior walls, doors, trim, & finishes.

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Department of Planning & Development Services
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

City of Beaufort Department of Planning and Community Development
1911 Boundary Street, Beaufort, SC 29902
Phone (843) 525-7011 / Fax (843) 986-5606
Website: www.cityofbeaufort.org

CITY OF BEAUFORT REHABILITATED HISTORIC PROPERTY / BAILEY BILL APPLICATION
PART A – PRELIMINARY REVIEW FORM

PLANNING DEPARTMENT USE ONLY: Application #: _____ Date Received: _____ Date Responded: _____	
_____ Certificate of Appropriateness Received #HR _____	_____ Project Approved
_____ Project Approved with Conditions (see attached sheet)	_____ Project Denied (see attached sheet)
_____	_____
Authorized Signature	Date

This application is used by the City to review rehabilitation work on historic properties, in accordance with South Carolina 1976 Code Sections 12-120 through 12-125, and pertinent regulations. A separate application should be submitted for each historic building, unless they were functionally-related during the historic period, in which case they can be submitted as a historic complex. Applications must include attachments as listed below and the required review fee to be considered complete. *Fee: \$150 for single family residences or duplexes; \$300 for all other properties.*

1. PROPERTY INFORMATION

Historic Name of Property (if known) Watkins House Parcel Id. Number: R120 004 000 0149 0000
 Street Address: 1301 Greene St Beaufort SC 29902 Use: Owner-occupied, or _____ Income-producing
 Estimated project start date January 2019 Estimated project completion date December 2019
 Fair market value (FMV) of building \$ 14,400 Estimated project costs \$ 100,000
 How was FMV determined? SC Licensed appraisal within 45 days Bona fide sales contract within 12 months County Assessor
 Has an application for any other tax incentives been filed for this property? Yes _____ No
 If Yes, please describe State historic rehabilitation tax credit

2. HISTORIC DESIGNATION

The property must have been designated "historic" by the local government allowing this incentive.

This building is a:

- Contributing structure in the Historic District
- Non-contributing structure, but over 50 years old, and in the Historic District
- Structure located outside of the Historic District, but listed on the Beaufort County 1997 Historic Survey

Significance:

Construction Date: 1890 Is this property individually listed on the National Register? Yes _____ No

Describe previous major alterations or additions (give dates): 1948/1960 Addition to original structure

3. ATTACHMENTS

The following information is needed to process your application. Please send complete information with the initial submission:

- An original signed and completed Part A application;
- An original signed and completed Historic Review Board Project Application;
- N/A Payment of \$150, for single family residences or duplexes; \$300 for all other properties – checks should be made out to the City of Beaufort
- Documentation of FMV determination
- An overall project narrative along with an itemized list describing the precise scope of work; and
- All HRB Submission Requirements (found on the Checklist, pages 8-10) including but not limited to:
 - Location map showing where the building is located;
 - Photographs clearly showing not only the areas to be rehabilitated, but also overall views of the building;
 - Site plan, architectural floor plans and elevations of pre-rehabilitation conditions;
 - Site plan, architectural floor plans and elevations of the proposed work.

4. OWNER INFORMATION

Name Stacy Christine Applegate Signature Stacy Christine Applegate Date 11/22/2018
 Mailing Address 1204-B Greene St Beaufort SC 29902 City Beaufort State SC Zip 29902
 Email Address scapplegate@hotmail.com Primary Phone Number 704-577-3623

**CITY OF BEAUFORT REHABILITATED HISTORIC PROPERTY / BAILEY BILL APPLICATION
 PART A – PRELIMINARY REVIEW FORM**

5. DESCRIPTION OF PROPOSED WORK

In addition to a separate narrative and itemized project list, use the spaces below to describe the proposed work in detail. Architectural elements would include items such as: roof; exterior brick or siding; porches; exterior elevations; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for any state or federal preservation Tax Credits, you may use a copy of the description of the proposed work from the state or federal forms for this section, but your submittal must still include the information in sections 1 through 4.

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

Architectural element: <u>Roofing</u> Approximate age: ___ original <input checked="" type="checkbox"/> added; if added <u>NEW</u> date ___ Interior ___ Exterior; Location: N S E W Describe feature and its condition: NEW SHINGLES INSTALLED APPROX. 2 YEARS AGO.	Describe work and impact on feature NO IMPACT TO EXISTING ROOFING
Photograph No. _____ Drawing No. <u>T1</u>	
Architectural element: <u>SIDING</u> Approximate age: <input checked="" type="checkbox"/> original ___ added; if added ___ date ___ Interior <input checked="" type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: EXISTING HARDBOARD SIDING INSTALLED SOMETIME IN THE 40'S	Describe work and impact on feature MINOR REPAIR, REPLACEMENT OF EXISTING SHINGLE SIDING.
Photograph No. _____ Drawing No. <u>T1, A200</u>	
Architectural element: <u>WINDOWS</u> Approximate age: <input checked="" type="checkbox"/> original ___ added; if added ___ date ___ Interior <input checked="" type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: EXISTING WINDOWS ARE ROTTED & SHOULD BE REPLACED.	Describe work and impact on feature NEW WINDOWS TO BE INSTALLED ON REAR PART OF STRUCTURE. EXISTING WINDOWS ON FRONT PORTION OF STRUCTURE TO BE REPAIRED.
Photograph No. _____ Drawing No. <u>T1, A200</u>	
Architectural element: <u>FOUNDATION</u> Approximate age: <input checked="" type="checkbox"/> original ___ added; if added ___ date ___ Interior <input checked="" type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: FOUNDATION IS COMBINATION OF BRICK & CMU. BRICK WILL BE REPOINTED.	Describe work and impact on feature NEW INTERIOR FOOTINGS WILL BE ADDED.
Photograph No. _____ Drawing No. <u>A200</u>	

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1162
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): Watkins Hse. Map Ref.: BFT 09 (TL) Tax Number: R120.004.000.0149.0000
Common name(s): _____ City Block Ref.: 101 Island: Port Royal Is.
Address/location: 1301 Greene St. City/Vicinity of (vic.): Beaufort
Date: 1948 Alteration date: ca. 1960
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

Notes: Rectangular 1 story 5 x 1 bay frame dwelling w/lateral gable roof

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Does not contribute to listed district Name: Beaufort Historic District

Consultant Recommendation: May contribute to district w/expanded period of signif. Name: Beaufort Historic District

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other _____
 Feiss-Wright (1969) _____
 Historic Resources of the Lowcountry (1979) _____
 Milner Historic District Inventory (1979) _____
 A Guide to Historic Beaufort (1995 ed.) _____

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 8/1/97

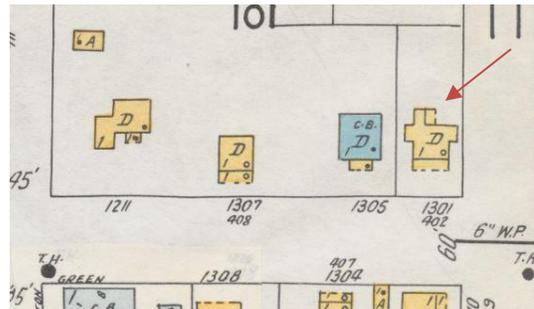
Recorder: D. Schneider, Historic Beaufort Fdn.

Roll # Neg. View of:
S-12 11 S elev., & W elev., fac. NE

CITY OF BEAUFORT
Historic District Review
Board Full Board
Staff Report
Meeting of December 12, 2018

Case Number: 18-27 BB.1
Property Address: 1301 Greene Street
Applicant: Mark Sutton
Type of Request: Bailey Bill + Alterations/Additions
Zoning: T4-HN (T4-Historic Neighborhood) – Northwest Quadrant

Historical: 1301 Greene Street is listed as non-contributing on the 1997 *Above Ground Historic Sites Survey*, but was updated to contributing status in 2001 when the period of significance changed. The survey lists the building as c.1948, however evidence indicates that the structure is actually from the late 1800s. Per the 1924 and 1958 Sanborn Maps, the building footprint was originally a “T” shape with a rear addition and porch, but that form has since been infilled and is no longer evident on the exterior.



Request: The applicant is requesting approval for the Bailey Bill and HRB approval for alterations to the structure. These include modifying and replacing non-original windows and materials, adding new windows, restoring a side porch, and converting the northeast corner of the structure into a rear porch.

Background: This project has not come before the board previously. Interior work, along with a new roof, has been permitted over the past several years. The cost of this work does not count towards the Bailey Bill investment requirement.

Zoning: T4-HN (T4-Historic Neighborhood) – The Point

There are no zoning impacts with this project as the building footprint is not being modified.

Size: There is no change to the building footprint.

Synopsis of Applicable Guidelines & Standards:

- The *Northwest Quadrant Design Principles* p. 35, 37, 39, and 42-43 discusses modifications to contributing historic buildings in the NWQ.
- The Secretary of the Interior Standards, #2 and 5 are applicable to this project.

Staff Questions, Comments & Suggestions:

- This building is an eclectic compilation of changes over time; few windows are the same, materials change from one façade to another, and even within the same façade. The front porch has been replaced and widened, and the side porch was added post-1958. Staff appreciates the effort to restore some significant elements of this building and bring it closer to its original design and form.
- On the proposed east elevation, consider adding one additional porch bay (for a total of 4) to create vertically-proportioned bays that are closer in proportion to those on the front (south) elevation.
- Are any original windows being replaced? All replacement windows should match the lite pattern of the original historic one. Window material (clad vs. wood) should be discussed by the HRB. Given the existing conditions - the plethora of aluminum windows and variety of materials and types - and the fact that all exterior walls, except for the central 24' of the front façade, are not original to the house, clad windows may be appropriate for this building. Regardless of the material, all windows should have at minimum Simulated Divided Lites.
- The detailing of the rear porch is in keeping with the applicable guidelines, and functionally is closer to the original building footprint than what currently exists.

Staff Recommendation: Staff recommends Final Approval, to these alterations, and the Bailey Bill, with the comment on the east porch bays to be considered by the HRB. The HRB's motion should include clear guidance on the window materials for the new windows.

Beaufort Historic Preservation Plan Update - Contributing Bldgs. Beaufort, South Carolina

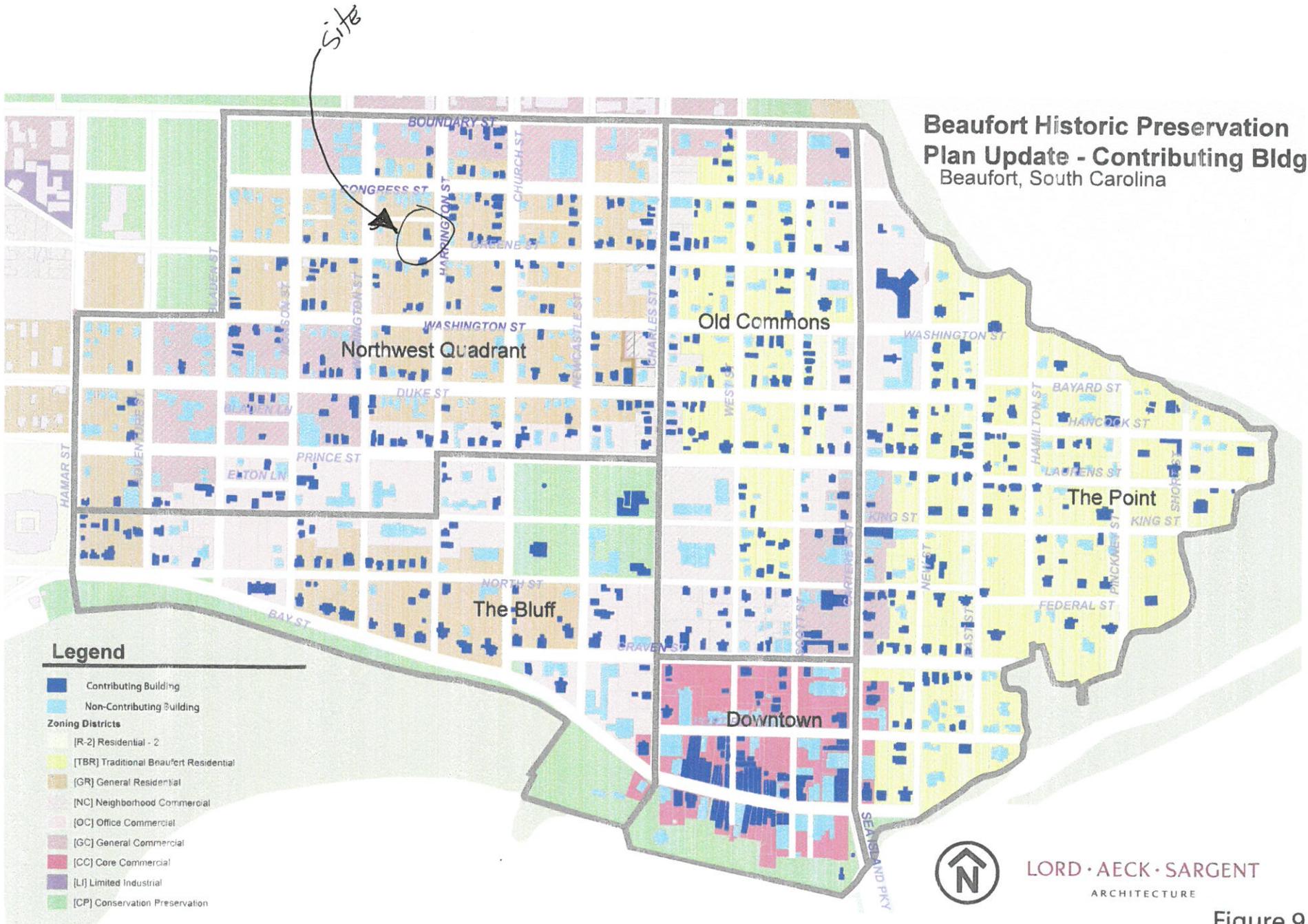
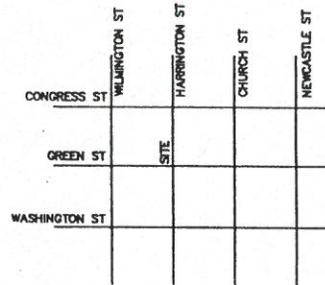


Figure 9



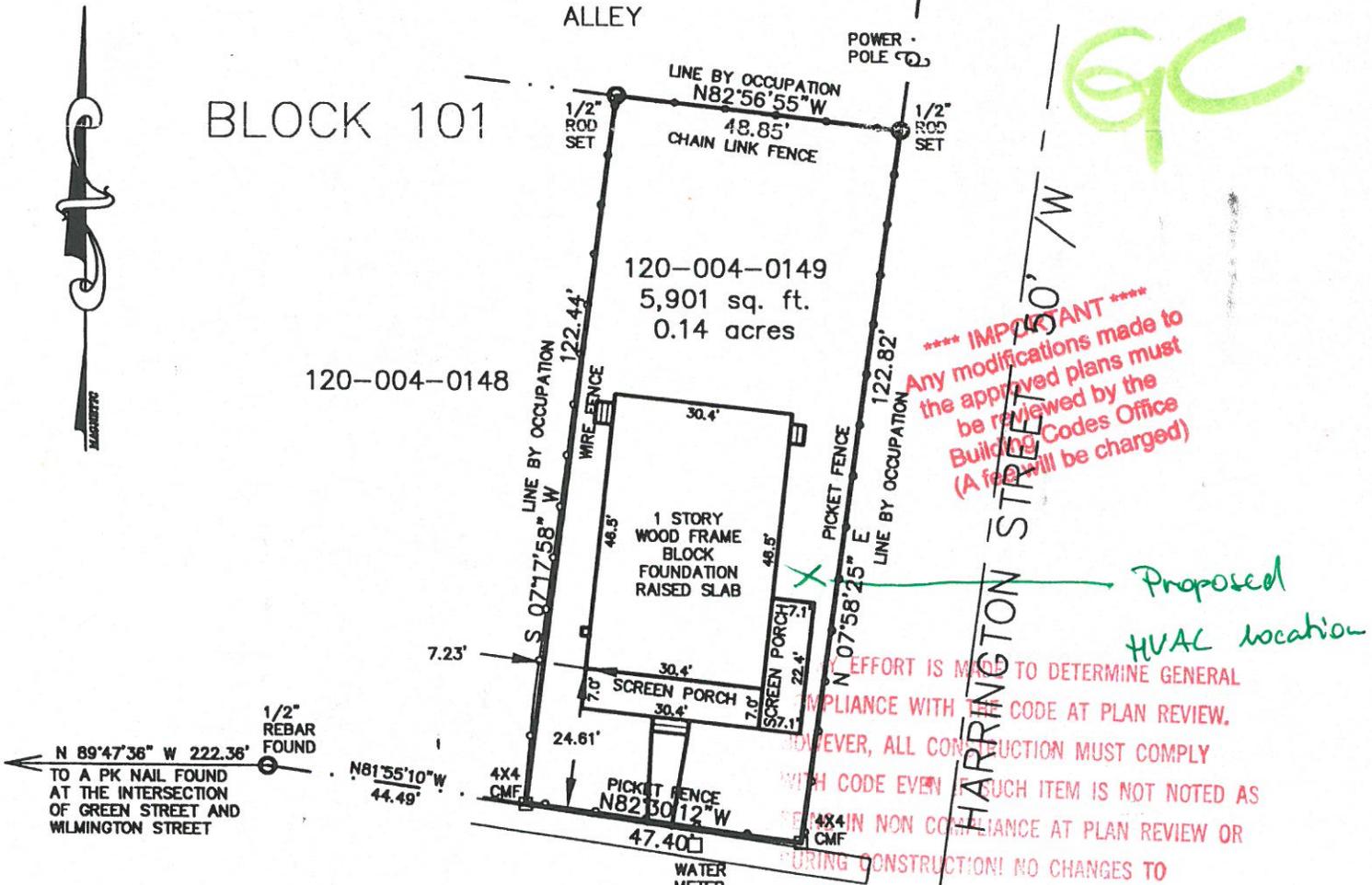
GASQUE & ASSOCIATES INC.
LAND SURVEYORS & PLANNERS

28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 PHONE (843) 522-1798



NOTE: DEED DOES NOT PROVIDE PROPERTY DIMENSIONS.

VICINITY MAP NOT TO SCALE



****** IMPORTANT ******
 Any modifications made to the approved plans must be reviewed by the Building Codes Office (A fee will be charged)

Proposed HVAC location

EFFORT IS MADE TO DETERMINE GENERAL COMPLIANCE WITH THE CODE AT PLAN REVIEW. HOWEVER, ALL CONSTRUCTION MUST COMPLY WITH CODE EVEN IF SUCH ITEM IS NOT NOTED AS A VIOLATION IN NON COMPLIANCE AT PLAN REVIEW OR DURING CONSTRUCTION! NO CHANGES TO THESE PLANS ARE ALLOWED WITHOUT WRITTEN APPROVAL FROM THE CODES OFFICE.

DIST. MAP 04 PAR 0149

REVIEW BY: [Signature]

PERMIT DATE: [Signature] YES

KEEP THIS COPY ON JOB SITE DURING CONSTRUCTION. OWNER/CONTRACTOR TO ASSURE THAT THIS LOT SHALL HAVE DRAINAGE CAPABILITY SO AS TO AVOID FLOODING OR EXCESSIVE RAINFALL.

ASBUILT SURVEY PREPARED FOR
SHEL LARKBY AND SHERRY LARKBY

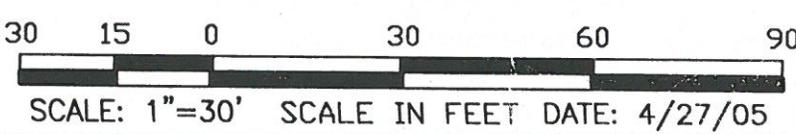
BEING TAX PARCEL 120-004-0149, CITY OF BEAUFORT, BLOCK 101, ACCORDING TO A MAP OR PLAT ADOPTED BY THE US DIRECT TAX COMMISSIONERS FOR THE DISTRICT OF SOUTH CAROLINA

TAX MAP 120-004-0149

LOCATED IN THE CITY OF BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS; AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HERE ON.
 THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
 THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "C" AS DETERMINED BY FEMA FIRM COMM-PANEL NUMBER 450026 0005 D. DATED 9/29/86 (INDEX DATED 11/4/92)
 THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY SHOWN HEREON COMPLIES WITH ANY RESTRICTIVE CONVEYANCES OR ANY CITY AND/OR COUNTY ORDINANCES.

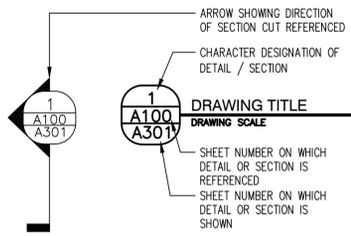
I, DAVID E. GASQUE, HEREBY CERTIFY TO SHEL LARKBY AND SHERRY LARKBY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THERE IN. ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THEN SHOWN. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL. AREA DETERMINED BY COORDINATE METHOD.



DAVID E. GASQUE, R.L.S. JOB # 28540
 S.C. REGISTRATION NUMBER 10506 FB#640/CB DSGN#2
 THIS PLAT IS NOT BINDING UNLESS ACCOMPANIED BY AN ORIGINAL SIGNATURE AND AN EMBOSSED SEAL.

SYMBOLS & KEYS

PLAN/SECTION



DOCUMENTATION DESIGNATIONS



- PLAN NORTH ARROW
- STOREFRONT ELEVATION REFERENCE
- STEEL FRAME WINDOW WALL ELEVATION REFERENCE
- INTERIOR OR EXTERIOR ELEVATION REFERENCE
- WINDOW / OPENING REFERENCE
- DOOR REFERENCE
- FIRE EXTINGUISHER CABINET REFERENCE
- FIRE EXTINGUISHER - WALL MOUNTED REFERENCE
- PARTITION TYPE REFERENCE
- ELEVATION DATUM
- TOILET ACCESSORY, STOREFRONT OR H.M. DETAIL
- REVISION: NUMBERED CONSECUTIVELY ON EACH SHEET
- REVISION BUBBLE: INDICATES REVISED INFORMATION
- DETAIL REFERENCE
- COLUMN LINE
- DRAWING KEYNOTE

HATCH DESIGNATIONS

- SANDSTONE
- PLYWOOD
- BRASS
- POROUS FILL
- BLANKET INSUL.
- STEEL
- EARTH
- RIGID INSUL.
- FINISH WOOD
- GYPSUM BOARD
- CONTINUOUS WOOD FRAMING
- PLASTER OR STUCCO
- WOOD BLOCKING OR SHIM
- CONCRETE
- CONCRETE MASONRY UNIT
- ACOUSTICAL CEILING OR WALL PANEL
- BRICK - FIRE
- CMU - GLAZED
- CARPET
- BRICK - GLAZED
- ALUMINIUM

DRAWING INDEX

CIVIL

N/A

ARCHITECTURAL

- T1 COVER SHEET
- A100 OVERALL FLOOR PLAN
- A200 EXTERIOR ELEVATIONS
- A300 WALL DETAILS & SECTIONS

STRUCTURAL

N/A

MECHANICAL

N/A

PLUMBING

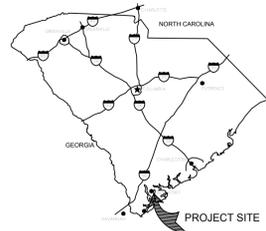
N/A

FIRE PROTECTION

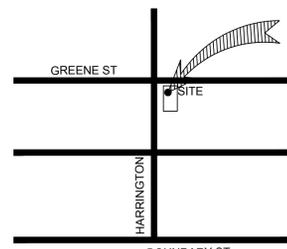
N/A

ELECTRICAL

SEE A100



VICINITY MAP



LOCATION MAP

GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER
- REPAIR EXISTING WALLS, TRIM, & FINISHES DAMAGED DURING CONSTRUCTION. PROTECT ALL SURFACES AND FINISHES SCHEDULED TO REMAIN
- VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
- REMOVE ALL DEBRIS FROM SITE IN ACCORDANCE WITH LAW

GENERAL ELECTRICAL NOTES:

- ALL WORK TO BE IN ACCORDANCE WITH THE NEC AND PROVISIONS OF THE IRC
- EXISTING ELECTRICAL PANEL TO REMAIN IN SERVICE
- EXISTING POWER TO REMAIN.
- ELECTRICAL PLANS ARE DIAGRAMMATIC AND PROVIDE FOR INFORMATION ONLY. VERIFY EXACT ROUTING AND CIRCUITRY IN FIELD

BUILDING CODE NOTES:

DESIGN CODE: 2015 INTERNATIONAL RESIDENTIAL CODE

USE & OCCUPANCY: RESIDENTIAL USE

CONSTRUCTION TYPE: V-B

BUILDING AREA:

1st FLOOR HEATED = 1321 SF

PORCHES = 420 SF

TOTAL AREA:

= 1,741 SF

EXISTING CONDITIONS KEY NOTES:

- NEW COMPOSITE SHINGLES
- SCREEN OVER LOUVERED WINDOWS
- COMPOSITE SHINGLE SIDING
- T-111 PLYWD SIDING
- CONCRETE PORCH DECK
- WOOD PORCH DECK
- BRICK PIERS AND CMU FOUNDATION
- BRICK CHIMNEY
- AREA OF PROPOSED SCREEN PORCH



FRONT



FRONT / RIGHT



SIDE PORCH (INTERIOR)



LEFT



RIGHT



REAR

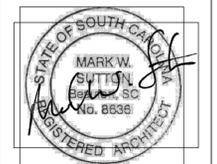
THE WATKINS HOUSE 1301 GREENE STREET

BEAUFORT, SOUTH CAROLINA

BEAUFORT COUNTY, S.C.

**MARK W. SUTTON,
ARCHITECT**

#22 1 LANDING DR.
PORT ROYAL LANDING MARINA
PORT ROYAL, SC 29935
(843) 310-9848



CONSULTANTS

REVISIONS:

DATE: 6/27/18
PROJECT NO: 1301 GREEN ST
DWN. BY: SUTTON
CHK'D BY: SUTTON

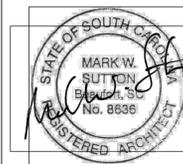
SHEET TITLE

COVER SHEET

T1

RENOVATION
1301 GREENE STREET
 BEAUFORT, SOUTH CAROLINA

MARK W. SUTTON,
ARCHITECT
 #22 1 LANDING DR.
 PORT ROYAL LANDING MARINA
 PORT ROYAL, SC 29935
 (843) 310-9848



CONSULTANTS

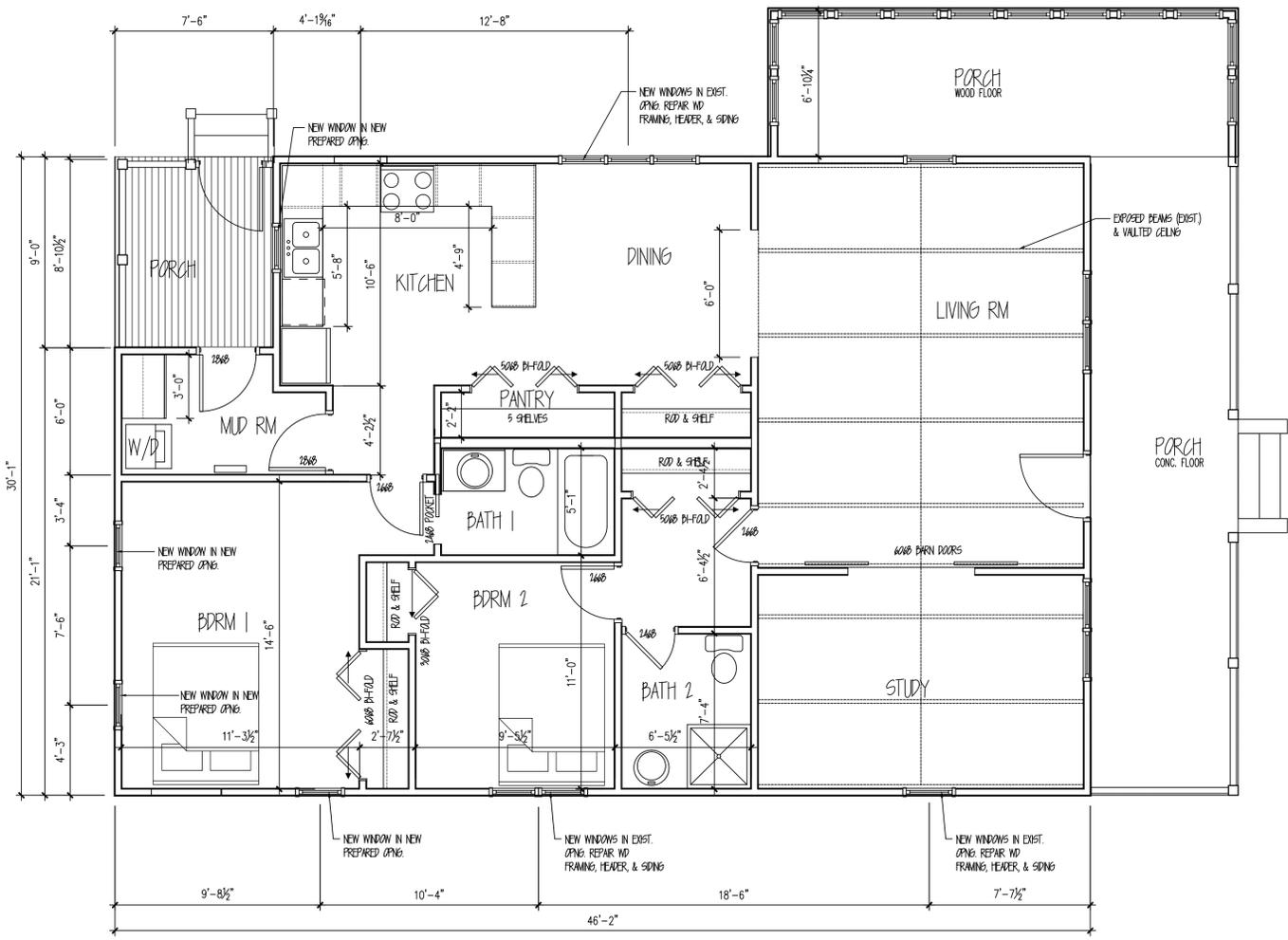
REVISIONS:

DATE:	6/27/18
PROJECT NO.:	1301 GREENE ST
DWN. BY:	SUTTON
CHK'D BY:	SUTTON

SHEET TITLE

OVERALL FLOOR PLAN

A100



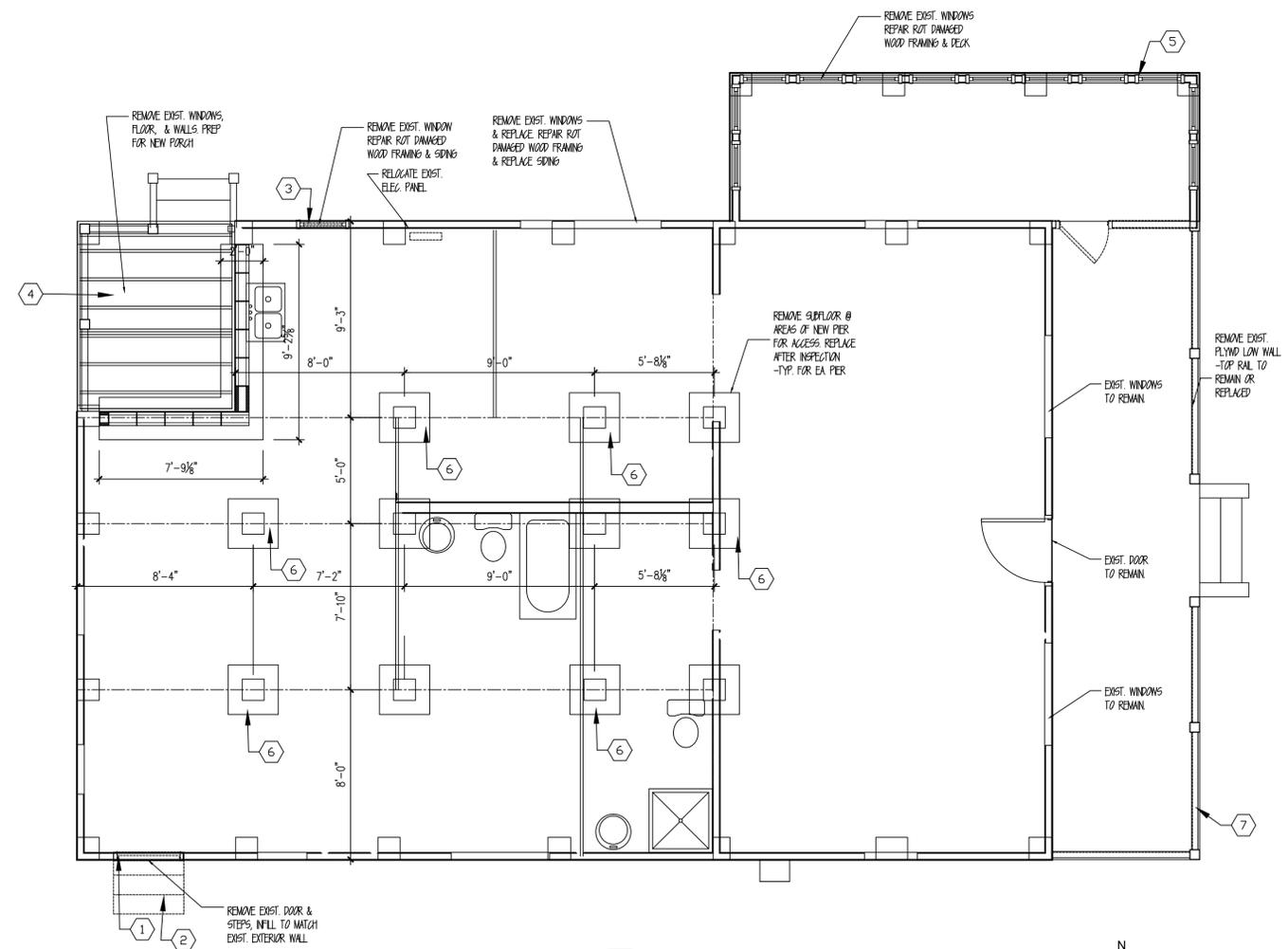
1
A100
A100
 OVERALL FLOOR PLAN
 1/4" = 1'-0"



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DEMOLITION KEY NOTES:

1. REMOVE EXISTING CONCRETE STAIRS & RAILS
2. REMOVE EXISTING DOOR & INFILL WITH MATCHING FRAMING & SIDING
3. REMOVE PORTION OF SIDING, TRIM, & DAMAGED WALL STUDS FOR NEW WINDOW. PROVIDE NEW HEADER AND SILL AS REQUIRED FOR EACH WINDOW SCHEDULED TO BE REPLACED
4. REMOVE EXTERIOR WALL, FLOOR SHEATHING & FLOOR JOIST TO EXTENT REQUIRED FOR NEW SCREEN PORCH. BRACE & SHORE EXIST. ROOF FRAMING UNTIL NEW WORK IS INSTALLED
5. REMOVE SIDING AND LOUVERED WINDOWS
6. CUT THROUGH FLOOR TO ACCESS CRAWL SPACE FOR NEW FOOTING INSTALLATION
7. REMOVE EXIST. T-111 SIDING AT PORCH EDGE
8. PROVIDE NEW OPENING FOR NEW WINDOW. PROVIDE HEADER, SILL, AND JAMB FRAMING



1
A100
A101 DEMOLITION PLAN
 1/4" = 1'-0"

MARK W. SUTTON,
ARCHITECT
 #22 1 LANDING DR.
 PORT ROYAL LANDING MARINA
 PORT ROYAL, SC 29935
 (843) 310-9848



CONSULTANTS

REVISIONS:

DATE:	6/27/18
PROJECT NO.:	1301 GREENE ST
DWN. BY:	SUTTON
CHK'D BY:	SUTTON

SHEET TITLE

DEMOLITION PLAN

A101

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RENOVATION
1301 GREENE STREET
 BEAUFORT, SOUTH CAROLINA

DEMOLITION KEY NOTES:

1. REMOVE EXISTING CONCRETE STAIRS & RAILS
2. REMOVE EXISTING DOOR & INFILL WITH MATCHING FRAMING & SIDING
3. REMOVE PORTION OF SIDING, TRIM, & DAMAGED WALL STUDS FOR NEW WINDOW. PROVIDE NEW HEADER AND SILL AS REQUIRED FOR EACH WINDOW SCHEDULED TO BE REPLACED
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MARK W. SUTTON,
ARCHITECT
 #22 1 LANDING DR.
 PORT ROYAL LANDING MARINA
 PORT ROYAL, SC 29935
 (843) 310-9848



CONSULTANTS

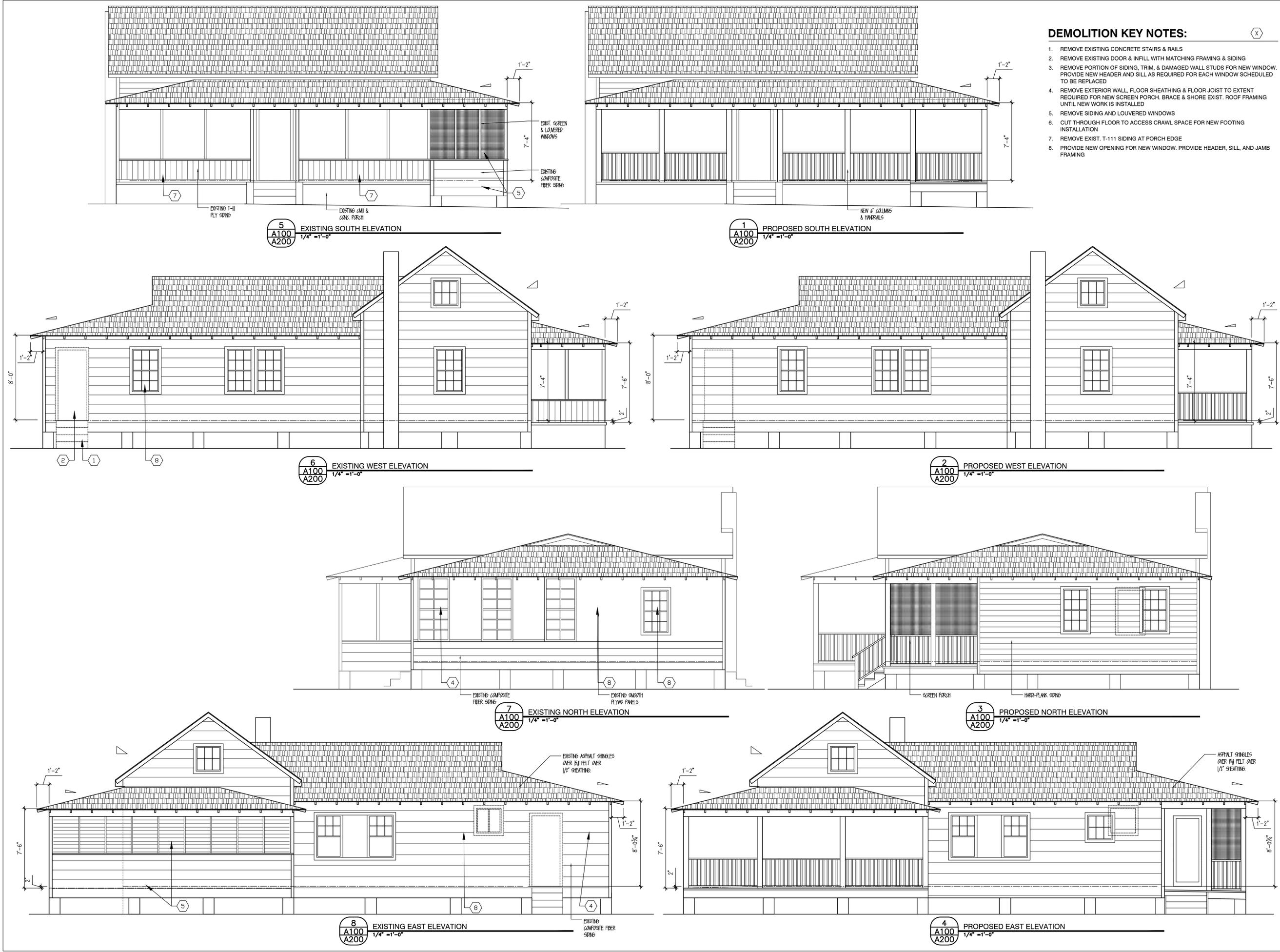
REVISIONS:

DATE: 6/27/18
 PROJECT NO: 1301 GREENE ST
 DWN. BY: SUTTON
 CHK'D BY: SUTTON
 SHEET TITLE

PROPOSED & EXISTING
 EXTERIOR ELEVATIONS

A200

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MARK W. SUTTON,
ARCHITECT
 #22 1 LANDING DR.
 PORT ROYAL LANDING MARINA
 PORT ROYAL, SC 29935
 (843) 310-9848



CONSULTANTS

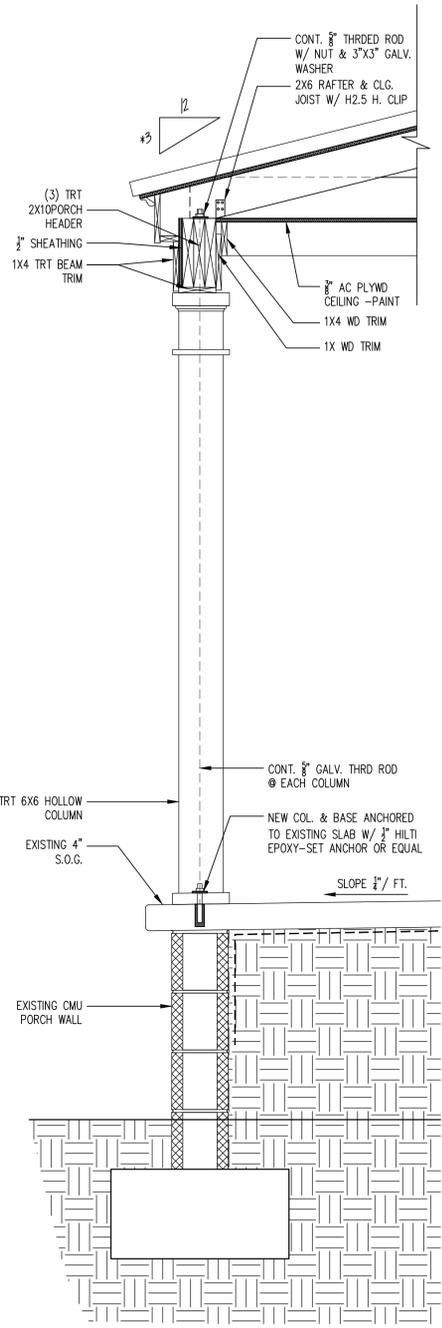
REVISIONS:

DATE: 6/27/18
 PROJECT NO: 1301 GREENE ST
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 CHK'D BY: SUTTON

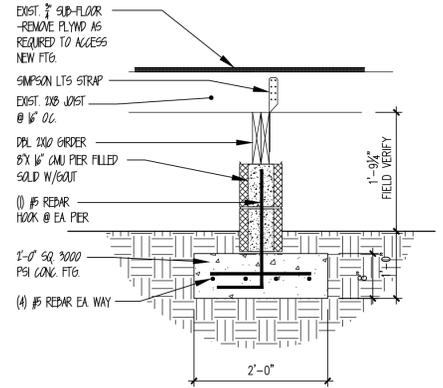
SHEET TITLE

DEMO PLAN,
 FOUNDATION PLAN,
 SECTIONS & DETAILS,
 WALL SECTIONS

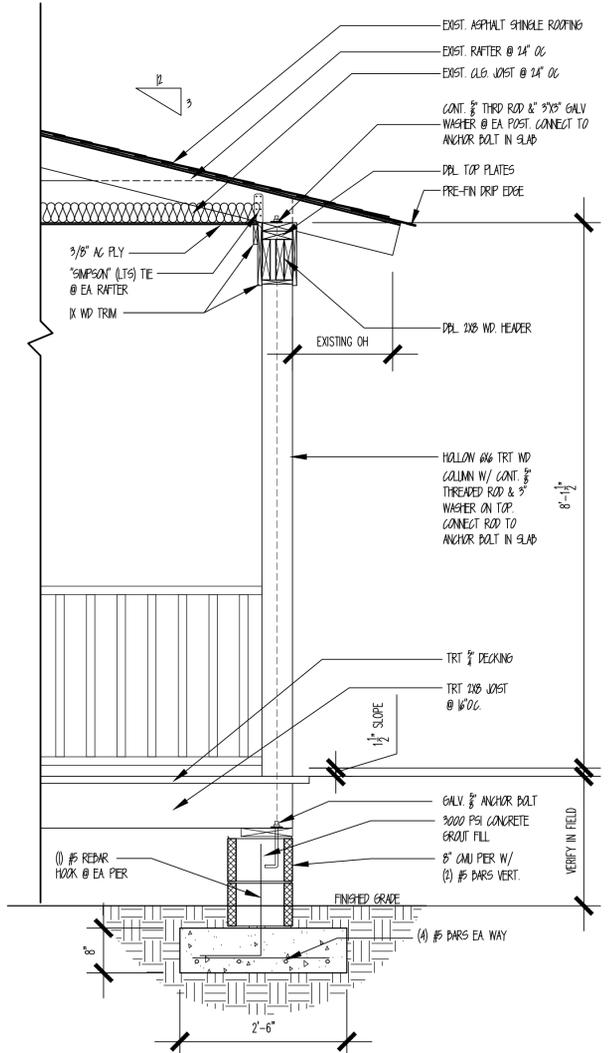
Copyright 2017 by SUTTON, LLC. ALL RIGHTS RESERVED.



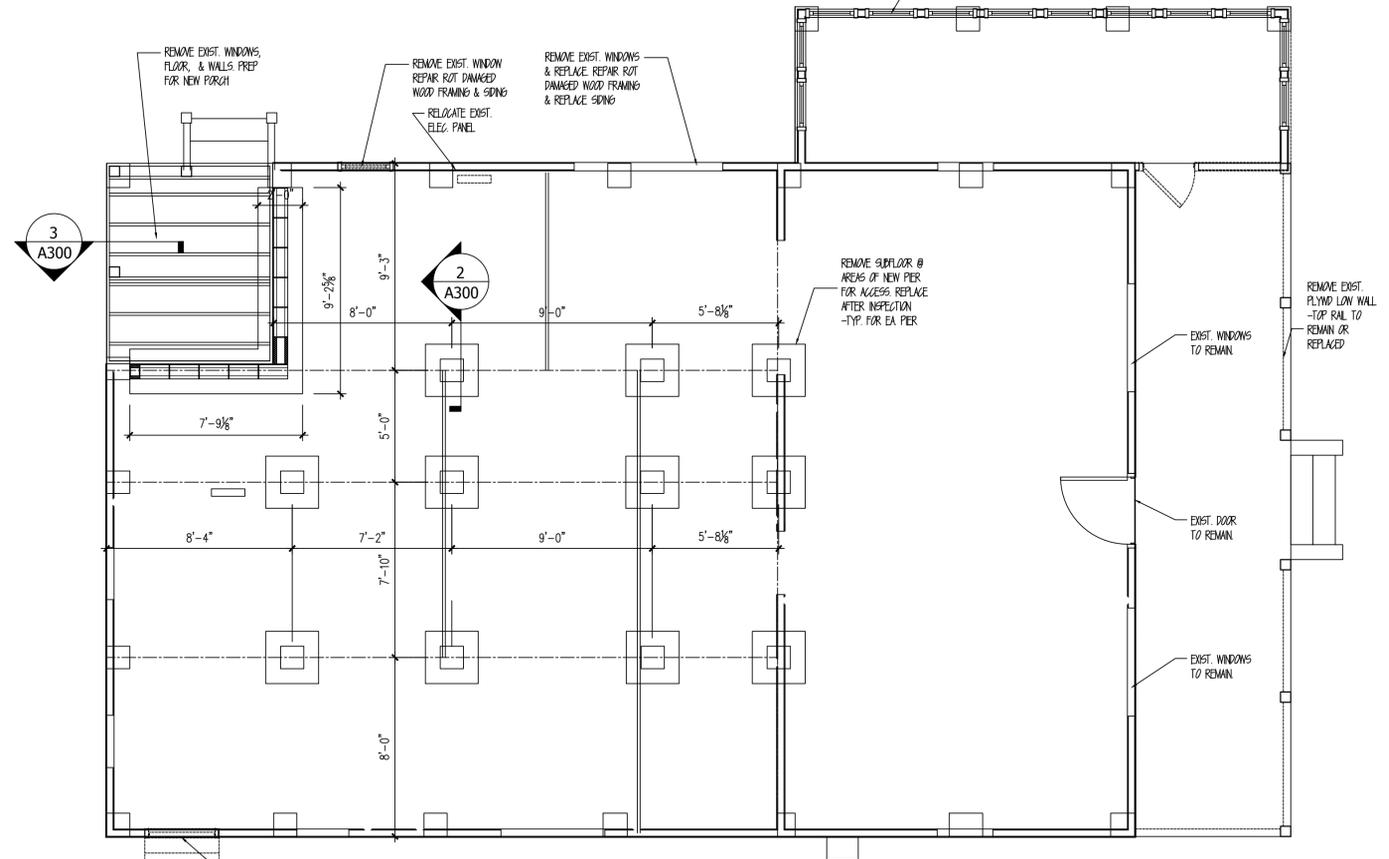
4
A100
A300
 WALL SECTION @ FRONT PORCH
 1/4" = 1'-0"



2
A100
A300
 SECTION @ PIER (TYPICAL)
 1/4" = 1'-0"



3
A100
A300
 WALL SECTION @ REAR PORCH
 3/4" = 1'-0"



1
A100
A300
 FOUNDATION PLAN
 1/4" = 1'-0"



Historic Review Board Meeting Staff Report

From the Department of Community and Economic Development
08 January 2020

1 SUMMARY OF REQUEST

The Beaufort Inn is requesting approval to replace a non-contributing structure in the Historic Preservation Neighborhood with new construction, specifically described as:

- Demolition of the existing building at 905 Port Republic Street, currently housing the Pat Conroy Center, and replacing it with a new facility to complement meeting activity at Tabby Place.
- The new facility would provide additional meeting space and breakout rooms to expand the types of events and meetings that may be held in Downtown Beaufort.
- The new facility would be called Tabby Place Annex.

2 FACTS

Property Address:	905 Port Republic Street
Parcel ID:	R121 004 000 0859 0000
Lot Size:	0.47 acres (approx. 20,470 SF)
Case Number:	20-01 HRB.1
Applicant:	The Beaufort Inn
Type of Request:	Demolition of an existing non-contributing structure and construction of a new building.
Zoning:	T5-DC
Use:	Commercial

District Development Standards for T5-DC:

- **Lot Width at Front Setback:** -NA-
- **Minimum Lot Size:** -NA-
- **Setback requirements – Primary Structure:**
 - *Front – 0 ft. min., max. prevailing setback on the block*
 - *Rear setback – 0 ft. min.*
 - *Side Interior – 0 ft. min.*
- **Impervious Surface Coverage:** 100%
- **Frontage Build out:** 75% min.
- **Permitted Uses:** Commercial uses such as indoor entertainment, office, and inn/motel/hotel are permitted in the T5-DC zone.

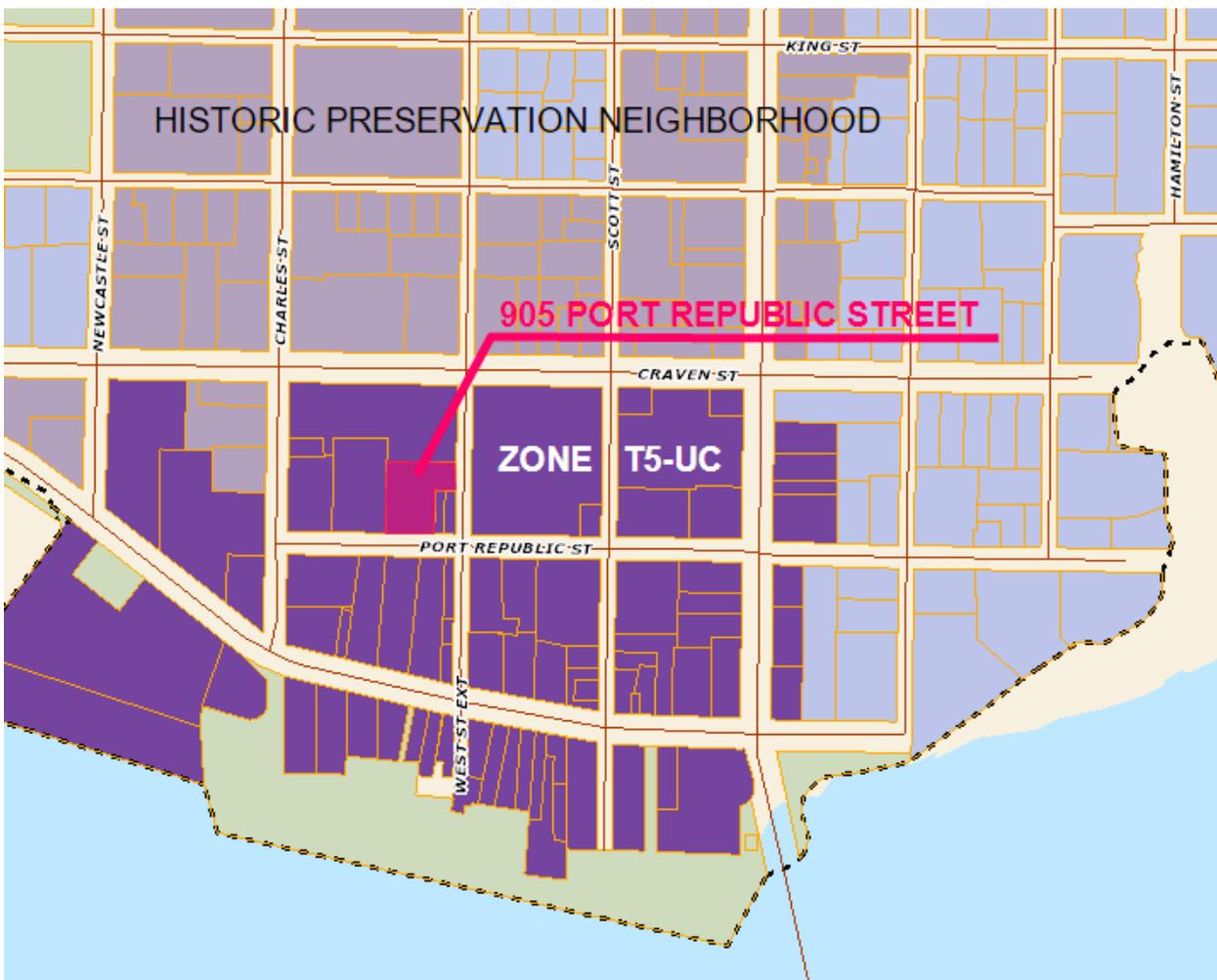
3 HISTORICAL BACKGROUND

According to the 1979 Milner *Historic District Inventory and Repair Guide (1979 Milner report)* the existing building was known as First Carolina Bank and was built sometime after 1910.

It is not listed as a contributing building.

County records indicate the bank building was built in 1972 as per *The Beaufort County Register of Deeds*:

<http://scbeaufortcounty.governmax.com/svc/default.asp?sid=93898A1DBB244DF2906C769F98E6DEED>



4 FOR REFERENCE

- *The Beaufort Code*
 - Section 2.4 District Development Standards
 - Chapter 4 Building Design Standards

- **Section 9.10.2 Certificate of Appropriateness Process and Approval**
Section D. Demolitions (page 201):
“In all applications involving the demolition of a contributing primary structure or contributing accessory structure, provisions shall be made for a public hearing as set forth in Section 9.1.5. **Demolition of noncontributing structures are approved by the Administrator.**”
 - **Section 4.6.1 Building Design Standards General to All Applicable Districts**
 - **Section 4.6.3 Building Design Standards Specific to Transect-Based Districts.**
- ***The Beaufort Preservation Supplement***, refer to page 13:
“New construction and additions in Beaufort should blend harmoniously with the historic fabric of the city. **They should have a positive visual and functional relationship to the historic buildings already within the District. New construction and additions should enhance the perceptual quality of the District. These guidelines are intended to encourage excellent contemporary design that is compatible with the character of the District .**” (emphasis added)

5 STAFF COMMENTS

Staff has reviewed the relevant design standards and has the following comments:

1. The proposed project does not conflict with the recommendations for Port Republic Street outlined in Chapter 3 “Celebrating and Expanding the Downtown” in *The Civic Master Plan*.
2. Regarding Size, Mass and Scale: It appears that the proposed building is similar in size, mass, and scale to the existing building, except that it is taller than both Tabby Place and the adjacent one-story building at 901-903 Port Republic to the east.
3. Regarding Proportions of Bays and Openings: The front elevation is divided into five bays with a recessed sixth bay on the west side of the building. The recessed bay accommodates a covered public entrance from the street, and 3 additional entrances from the courtyard level on the west side of the building. The bays and fenestration on the front and plaza sides of the building are proportional to the height of the building. These two elevations are sufficiently articulated to provide architectural interest.

In contrast, the north elevation appears to be a blank wall without any articulation. The plans indicate that a future parking garage is proposed to replace at-grade parking behind the proposed building which is to be separated by a landscape area. This elevation would be visible from West, Craven, and Charles Streets until such time as a future parking garage is constructed. Potentially the north elevation would also be visible from within a future parking garage. The proposed windows on the rear façade of the breezeway appear to match the type, size, and spacing of the existing windows on Tabby Place.

4. Regarding Building Materials: The proposed building appears to be clad in brick, but other materials could not be determined from the conceptual plans and elevations due to low resolution of the images. Acceptable materials include Brick.
5. Regarding Roof Forms: The proposed building has a flat roof, which is consistent with Tabby Place and the one-story building located at 901-903 Port Republic Street.
6. Regarding Garages and Accessory Structures: A future parking garage is indicated but is not included under this application. The applicant will need to demonstrate that the parking requirements for the proposed facility can be met either with existing or improved at-grade parking or a new parking garage. Design guidelines for Structured Parking in T5-DC are provided in **Section 4.5.9 Liner Buildings**, **Section 4.5.11 Structured Parking**, and **Section 5.7 Parking**.
7. Regarding Trash, Mechanical, Utility, and Service Equipment and Areas: The plans include a covered service ramp on the northeast corner of the proposed building for access from West Street. However, no trash disposal or mechanical facilities are indicated. The applicant will need to indicate the locations of all service areas with required screening.
8. Regarding Colors: Colors shall be clearly indicated on subsequent submissions.
9. Regarding Outdoor Display of Merchandise: Mostly NA, except for:
 6. Gifts to the Street, such as benches, bollards, etc., if any shall be indicated on subsequent submissions.
10. Regarding Fencing: NA, or if proposed must be indicated on subsequent submissions.
11. Regarding design standard specific to Transect-Based Districts (page 104-107)
 - A. Building Materials and Details: Other than brick cladding, the materials and details are not discernible on the drawings and must be clearly indicated on subsequent submissions. Allowable materials include wood, fiber cement board, concrete masonry units with stucco (CBS), brick, tabby, corrugated metal (which may be approved by the Administrator based on the surrounding context and location on the site), other materials as approved by the Administrator, based on visual compatibility with listed approved materials.
 - B. Roof Forms: The roof form of the proposed building is flat, as permitted for Zone T5.
 - C. Windows and Doors:
 1. Transparency Specific to Zones T4 and T5: The south façade appears to meet the 40% transparent fenestration requirement for ground floors facing the street. The applicant must document that the minimum proposed transparent fenestration on the second floor is at least 20%.

Additionally, the applicant must demonstrate that the minimum fenestration

requirements for the west and north facades also meet these requirements as they face a public spaces, ie the plaza to the west and the parking lot to the north.

View of the east façade, although partially visible from West Street, is blocked by the existing building at 901-903 Port Republic.

2. Proportion and Details: The windows on the south façade appear satisfactory. Window details for all facades shall be submitted with subsequent submissions.

D. Architectural Details:

1. Shutters: NA

2. Column Bays: The proposed bays and pilasters are satisfactory.

3. Specific to Zones T4 and T5:

- a. Cornices and expression lines appear to satisfy the code. The applicant shall provide additional details in subsequent submissions.
- b. The expression of the first floor differs from other buildings on the block.
- c. The proposed building is sufficiently articulated at ground floor to satisfy the code, without a change in material or setback from the upper story.

12. The existing non-contributing building will be demolished to make way for the new building.

13. The proposed building complies with all setback requirements.

14. The total area of the site is 20,470 square feet, of which the proposed impervious coverage for the building and plaza combined is 19,511 SF, or 95%.

Since the maximum allowable impervious coverage for this property is 100%, and the proposed building will replace existing impervious surfaces, there is no impact on the impervious coverage.

15. The proposed building appears to occupy approximately the same footprint as the existing building, with the exception of an enclosed breezeway which is to connect the existing Tabby Place to the proposed Tabby Place Annex. The proposed breezeway appears to be located within sections of the existing plaza to the west and parking lot to the north.

If the existing parking lot to the north is reduced in size, the applicant will have to demonstrate that there is sufficient parking available to meet the minimum parking requirements for the proposed facility, as per **Section 5.7 Parking** and recommendations above.

16. The drawings indicate that the Finished Floor Elevation (FFE) is set at 13.2'. However, the finished floor elevation for the proposed building would need to be set at 14.0', or 1.0' above the base flood elevation. The revised FFE shall be addressed in subsequent submissions.

17. Raising the FFE to 14.0' could impact the length of the accessible ramp at the front entrance as well as the accessible service ramp on the northeast corner of the building. The applicant shall

demonstrate that there is sufficient run to be able to meet building code for ADA access.

18. It appears that the proposed building does not require the removal of any existing trees. The applicant must provide documentation about the existing trees as per Section 5. and verify whether there are any proposed tree removals.
19. The proposed work does not appear to conflict with the historic significance of the Beaufort Historic District and potentially complements and supports the District as per *Section 4.7 Historic District Infill Design Guidelines*.

6 STAFF RECOMMENDATION

Staff is concerned that the north elevation is without fenestration or articulation and recommends that the applicant provide additional articulation on the north façade.

The applicant will need to provide additional detail to demonstrate that the comments above have been adequately addressed and that all requirements are satisfied in subsequent submissions.



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

\$ PAID 12/9 CK

Application Fee: see attached schedule

OFFICE USE ONLY: Date Filed: 12/9 Application #: 19195 Zoning District: T5-DC
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Beaufort Inn, LLC

Applicant Address: 2015 Boundary Street, Suite 300 Beaufort, SC 29902

Applicant E-mail: ctw@303associates.com Applicant Phone Number: 843-521-9000

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant):

Owner Address:

Project Name: Tabby Place Annex

Property Address: 905 Port Republic Street

Property Identification Number (Tax Map & Parcel Number): R121 004 000 0859 0000

Date Submitted: 12/9/19

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Date:

Owner's Signature: Date:



**DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION**

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

(The owner's signature is required if the applicant is not the owner.)

Required Project Information

Project Name: Tabby Place Annex

Property Size in Acres: .47 acres

Proposed Building Use: meeting space

Nature of Work (check all that apply):

- New Construction, Primary Structure
- New Construction, Primary Structure
- Alterations / Additions
- Demolition*
- Relocation*
- *Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
~4,700

Is this project a redevelopment project: Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

We propose to demolish the current structure at 905 Port Republic Street (the former BB&T, now the Conroy Center) and replace it with a new facility to compliment meeting activity at Tabby Place. Specifically, the new facility would provide additional meeting space and breakout rooms to expand the types of events and meetings that may be held in Downtown Beaufort.

CONTACT INFORMATION –

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community & Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: Application #: Zoning District:
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/historic-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
*Requires a Bailey Bill - Part A Preliminary Review Application Form

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Beaufort Inn, LLC

Applicant Address: 2015 Boundary Street, Suite 300 Beaufort, SC 29902

Applicant E-mail: ctw@303associates.com Applicant Phone Number: 843-521-9000

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant):

Owner Address:

Project Name: Tabby Place Annex

Property Address: 905 Port Republic Street

Property Identification Number (Tax Map & Parcel Number): R121 004 000 0859 0000

Date Submitted: 12/9/19

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: Date:

Owner's Signature: Date:



DEVELOPMENT REVIEW PROCESS
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(The owner's signature is required if the applicant is not the owner.)

Required Project Information

Project Name: Tabby Place Annex

Property Size in Acres: .47 acres Proposed Building Use: meeting space

Nature of Work (check all that apply):

New Construction, Primary Structure New Construction, Primary Structure Alterations / Additions

Demolition* Relocation* *Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
~4,700

Is this project a redevelopment project? Y N

Are there existing buildings on the site? Y N if yes, will they remain? Y N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

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5. DESCRIPTION (CONT'D.)

Notable Features: _____

Condition: EXTERIOR Excellent Good Fair Deteriorated Ruins
INTERIOR Excellent Good Fair Deteriorated Ruins

Integrity: a. Original Site b. Moved If so, when and from where _____

Major Alterations or Additions: _____

Date(s) (if known) _____

Related Outbuildings and Property:

barn carriage house garage(s) shop shed wash house smoke house
 kitchen slaves' quarters gardens orchards fencing (type) _____
 walling (type) _____ other (_____)

Threats and/or intrusions to Building:

none known zoning roads development deterioration other (_____)

6. INTERRELATIONSHIPS OF BUILDING AND SURROUNDINGS

a. Relationship to Street: Pivotal Positive Neutral Negative

b. Relationship to District: Pivotal Positive Neutral Negative

Basis for relationship: a. _____
b. _____

7. SIGNIFICANCE

Date of Initial Construction: pre-1800 c.1800 c.1810 c.1820 c.1830
 c.1840 c.1850 c.1860 c.1870 c.1880 c.1890 c.1900
 c.1910 after 1910 Specific Date (if known) _____

Style Georgian Second Empire Georgian Revival Art Deco
or Federal Italianate Neo-Classical Revival Ranch Style
 Classic Revival Romanesque Revival Federal Revival Split-Level
Influence: Gothic Revival Queen Anne Bungalow Other
 Tuscan Villa Eastlake Cottage (_____)

Historical Association: Early Settlement _____ Community Development _____
Civil War: Hospital _____ Headquarters _____ Office _____

8. SOURCES

9. COMMENTS:

Recorder: Schooler Date of Inventory: 1/79
Photographer: Hollenberg Date of Exposure: 1/79

TABBY PLACE EXPANSION - BEAUFORT, SC
**CONCEPTUAL
PLANNING**

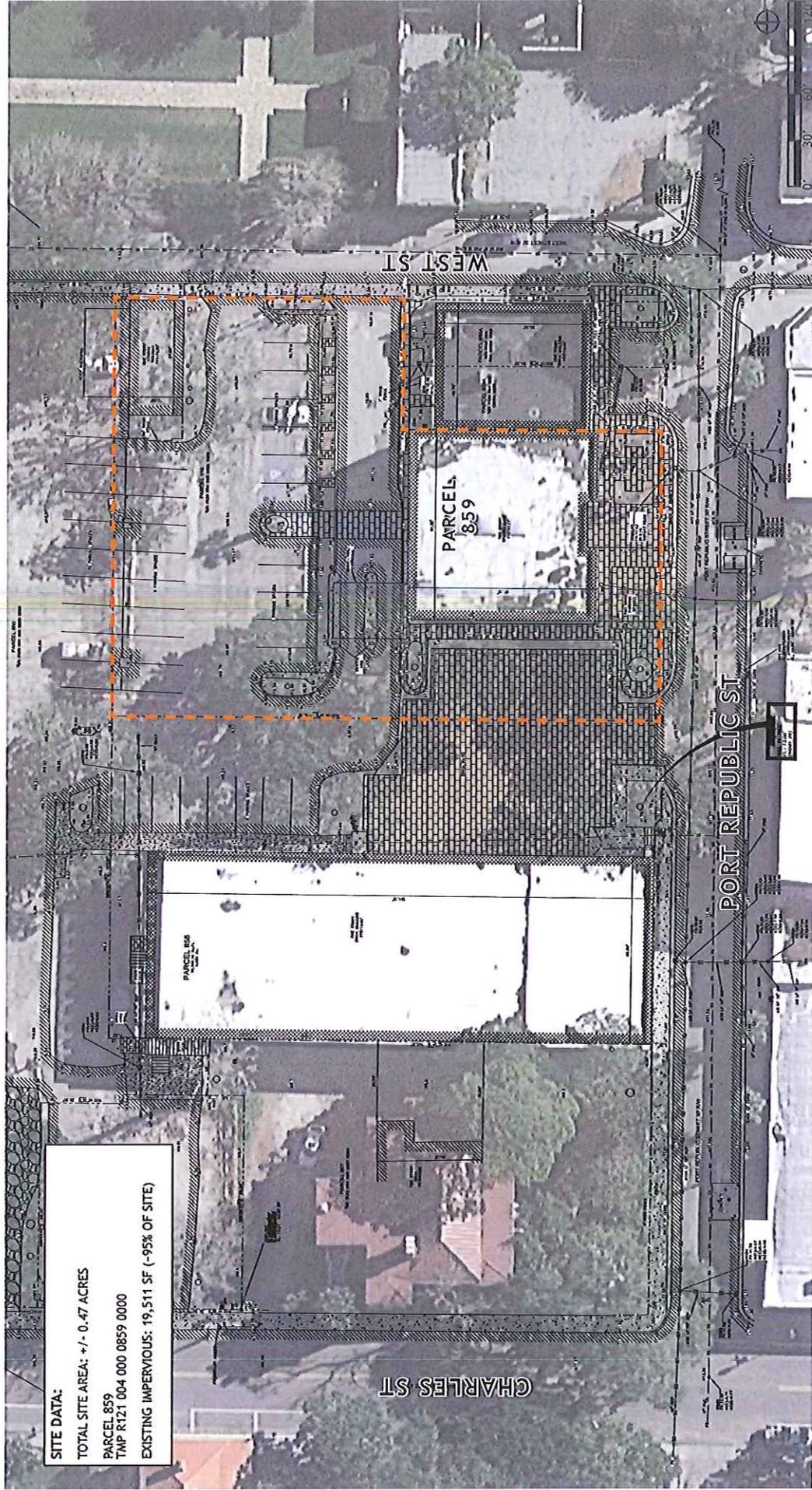
12.09.2019

PREPARED FOR:
303 ASSOCIATES

NILES BOLTON ASSOCIATES

Existing Conditions

Tabby Place Expansion



Existing Conditions

Tabby Place Expansion

PORT REPUBLIC ST - LOOKING NORTH



CHARLES ST. CUTHBERT-SCHEPER HOUSE

THE TABBY PLACE AT THE BEAUFORT INN

PAT CONROY LITERARY CENTER

WEST ST.

PORT REPUBLIC ST - LOOKING SOUTH



WEST ST.

OLD BAY MARKETPLACE

CHARLES ST.

EXISTING SITE PHOTOS



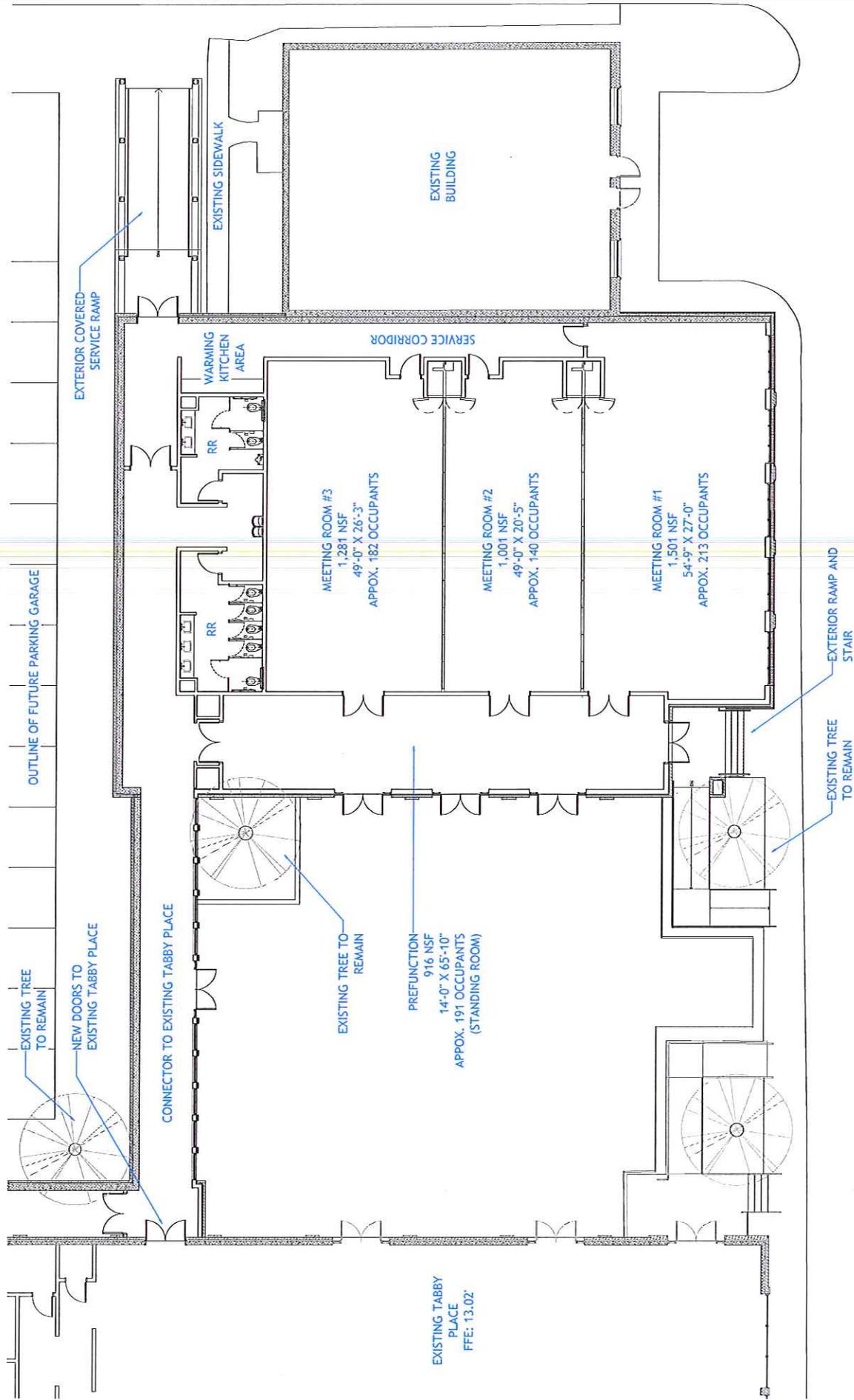
Conceptual Site Plan

Tabby Place Expansion



CONCEPTUAL DEVELOPMENT SUMMARY:
 TOTAL SITE AREA: +/- 0.47 ACRES
TABBY PLACE EXPANSION
 TOTAL IMPERVIOUS: EXISTING IMPERVIOUS
 REMOVED IS THE SAME AS NEW IMPERVIOUS
 ADDED

PLAN- LEVEL 1 (ENLARGED)
 TABBY PLACE EXPANSION



A1-021

NILES BOLTON ASSOCIATES

BEAUFORT INN, LLC | 12.09.19

3D VIEWS
TABBY PLACE EXPANSION



3D View - PORT BRUNNEN STREET

A3-003

BEAUFORT INN, LLC | 12.09.19

NILES BOLTON ASSOCIATES

3D VIEWS
TABBY PLACE EXPANSION



1. To View - RIGHT SPUR/ELECT VIEW INTO OUTDOOR PLAZA

A3-004

BEAUFORT INN, LLC | 12.09.19

NILES BOLTON ASSOCIATES