



AGENDA

City of Beaufort

DESIGN REVIEW BOARD

Thursday, March 12, 2020 2:00 p.m.

City Hall, Planning Conference Room – 1911 Boundary Street, Beaufort SC

STATEMENT OF MEDIA NOTIFICATION:

"In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place and agenda of this meeting."

I. Call to Order

II. Review of Minutes:

A. Minutes of February 13, 2019 Meeting

III. Old Business:

A. Wendy's, Fast Food Restaurant

Applicant: The Isaacs Group

Requesting approval to construct a 2,500 SF Wendy's Restaurant with a drive-thru window. The existing building and parking infrastructure will be demolished and reconstructed as a Wendy's restaurant. Reconstruction includes the associated erosion control, parking, landscaping, and utilities.

IV. Discussion

V. Adjournment

Note: A project will not be reviewed if the applicant or a representative is not present at the meeting.



Design Review Board

Meeting Minutes – February 13, 2020

1 CALL TO ORDER

A regular meeting of the Design Review Board was held at the City Hall Council Chambers on Thursday, February 13, 2020 at 2:00 pm.

2 ATTENDEES

Attendees included Board members - Rett Bullard, Witt Cox, and Benjie Morillo, and staff members Joan Furlong and Julie Bachety.

3 MEMBERS NOT IN ATTENDANCE

Kimberly McFann

4 APPROVAL OF MINUTES

Mr. Morillo made a motion, seconded by Mr. Cox, to approve the minutes as submitted. The motion passed unanimously.

5 OLD BUSINESS

**EXPRESS OIL CHANGE & TIRE ENGINEERS - 238 Robert Smalls Parkway
(PIN R122 028 00A 0467 0000)**

Construction of a quick-service oil change shop with parking, landscaping, and utilities.

Joan Furlong presented the staff report.

The Applicant, Bohler Engineering, presented the project.

Chairman Bullard asked for public comment; there was none.

Board comments included extending the landscape buffer facing Robert Smalls and minor roof revisions, as provided in a sketch by Mr. Morillo.

A motion was made by Mr. Morillo, seconded by Mr. Cox, to grant final approval to the application with the condition that the buffer landscaping and roof revision be added and reviewed by staff. The motion passed unanimously.

6 NEW BUSINESS

104 Factory Creek - (PIN R123 015 0000 0785 0000) - New Construction

Joan Furlong presented the staff report, stating that the applicant is requesting approval to construct a new single-family house in the Lady's Island Marina Village LPUD.

The Applicant, Jason Price from Live Oak Builders, presented his project.

Chairman Bullard asked for public comment; there was none.

Board comments included review of the building elevations and recommended that brick wrap around the corners. The applicant agreed to make the change.

The Board also asked about grading and drainage. Mr. Price stated that the only fill would be within the building footprint to raise the elevation of the garage floor, and that the natural grade sloping down to the river would be maintained.

Mr. Morillo, made a motion, seconded by Mr. Cox, to approve the residence pending staff's approval of the Board's comments made today. The motion passed unanimously.

7 DISCUSSION

Board Rules and Procedures - Joan Furlong advised the Board that the Board Rules and Procedures had been revised to reflect the minor changes requested by the Board and that hard copies would be provided at the next Board meeting.

The DRB checklist was discussed. A motion was made by Rett Bullard to temporarily reinstate the old checklist until a new checklist could be developed by the Board in conjunction with staff. The motion was seconded by Benjie Morillo and passed unanimously.

Joan Furlong introduced historic preservation and architectural review consultant Jeremy Tate of Meadors, Inc. to the Board. Mr. Tate provided his background and the support that Meadors, Inc. would provide to the HRB and DRB vis a vis historic preservation and architectural design review.

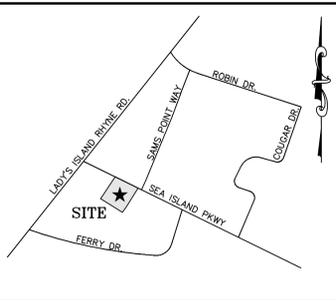
8 ADJOURNMENT

Mr. Morillo made a motion, seconded by Mr. Cox, to adjourn the meeting. The motion passed unanimously.

The meeting ended at 2:25 p.m.

Chair

Date of approval



LIGHTING NOTE:
CONTRACTOR TO VERIFY FINAL LIGHT POLE LOCATIONS AND SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION

IRRIGATION NOTE:
ALL PLANTINGS SHALL BE MECHANICALLY IRRIGATED.

BUILDING FRONTAGE SCREENING:
ROAD FRONTAGE: 230.69 LF
ROAD FRONTAGE SCREENED: 138.92 LF
REQUIRED SCREENING: 60%
PROVIDED SCREENING: 138.92/230.69 * 100 = 60.65%

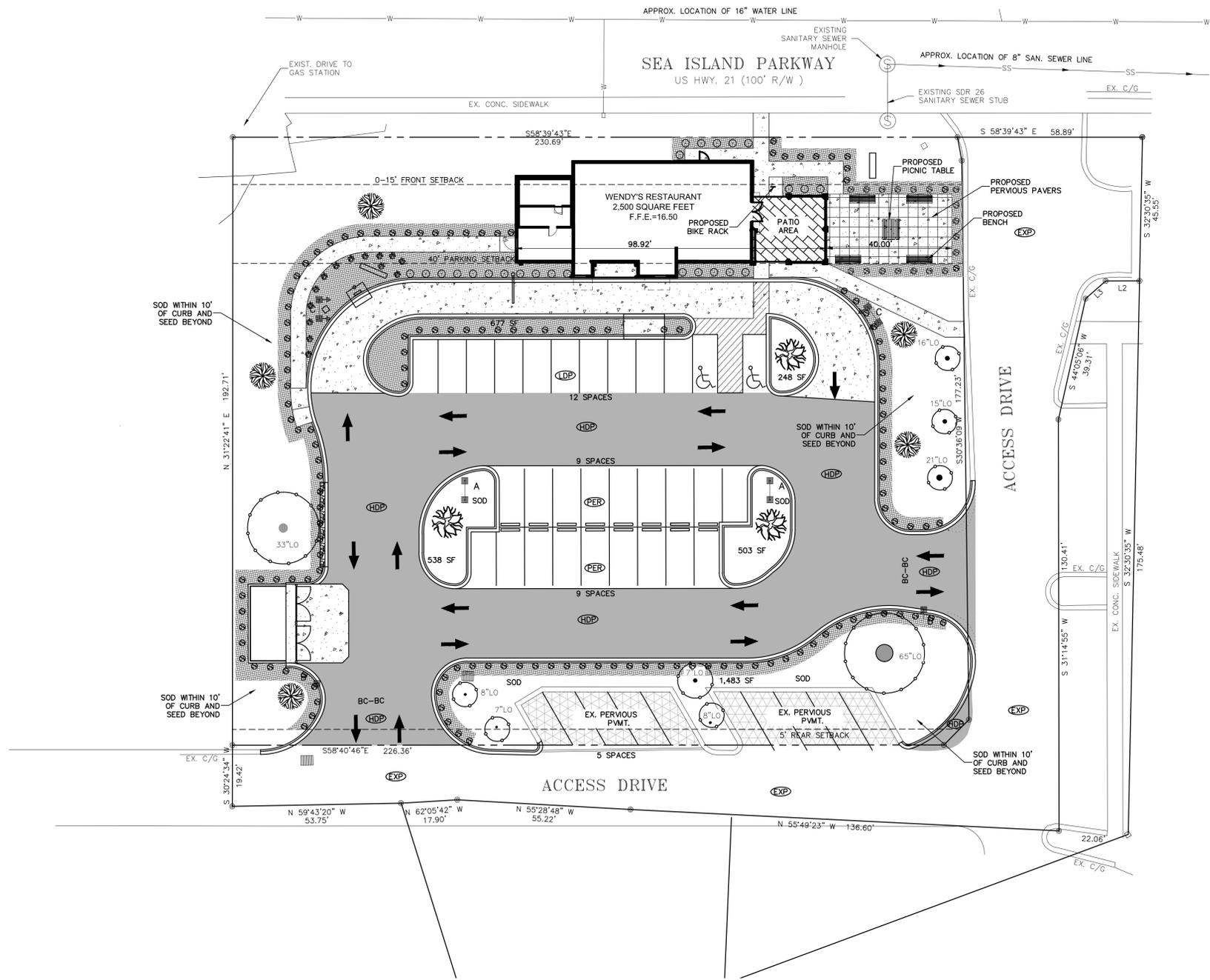
LANDSCAPE LEGEND			
SYMBOL	SPECIES	PLANTING SIZE	QTY.
	SHUMARD OAK(OVERSTORY TREE) QUERCUS SHUMARDII	2.5" CALIPER	3
	SPRUCE PINE(OVERSTORY TREE) PINUS GLABRA	2.5" CALIPER	5
	YAUAPON HOLLY(SCREENING SHRUB) ILEX VOMITORIA	18" TALL	159
	INDIAN HAWTHORNE(SCREENING SHRUB) RAPHIOLEPIS INDICA	18" TALL	25
	NANDINA(SCREENING SHRUB) NANDINA DOMESTICA	18" TALL	14
	TREE PROTECTION FENCE		
	PROPOSED HEAVY DUTY PAVEMENT (HDP)		
	PROPOSED LIGHT DUTY PAVEMENT (LDP)		
	PROPOSED CONCRETE PAVEMENT		
	PROPOSED 2"-3" MULCH BED		

NOTE
PLANT QUANTITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES PRIOR TO INSTALLATION.

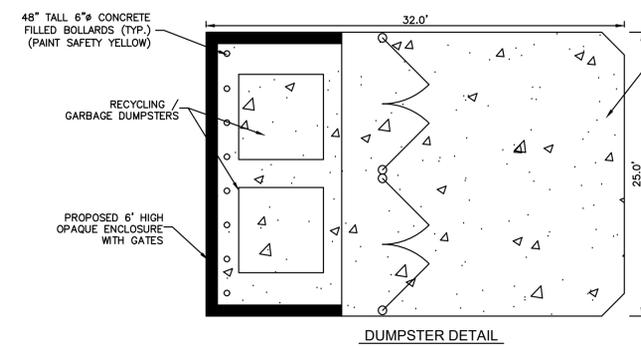
TREES SHALL BE PLANTED SO THAT THEY DO NOT CONFLICT WITH UNDERGROUND UTILITY LINES.

SEEDING SCHEDULE

MONTH	TEMPORARY COVER	RATE PER ACRE		PERMANENT COVER	RATE PER ACRE	
		SEEDED ALONE	ADDED TO MIX		SEEDED ALONE	ADDED TO MIX
JANUARY	RYEGRASS	40 lbs	—	UNHULLED BERMUDA	10 lbs	6 lbs
	RYE	3 bu	0.5 bu	SERICA LESPEDeza	75 lbs	—
FEBRUARY	ANNUAL LESPEDeza	40 lbs	10 lbs	UNHULLED BERMUDA	10 lbs	6 lbs
	RYEGRASS	40 lbs	—	SERICA LESPEDeza	75 lbs	—
MARCH	WEeping LOVEGRASS	4 lbs	2 lbs	PENSACOLA BOHIA	60 lbs	30 lbs
	ANNUAL LESPEDeza	40 lbs	10 lbs	HULLED BERMUDA	10 lbs	6 lbs
APRIL	WEeping LOVEGRASS	4 lbs	2 lbs	PENSACOLA BOHIA	60 lbs	30 lbs
	SUDAN GRASS	80 lbs	—	WEeping LOVEGRASS	6 lbs	6 lbs
MAY	BROWN TOP MILLET	40 lbs	10 lbs	HULLED BERMUDA	10 lbs	6 lbs
	ANNUAL LESPEDeza	40 lbs	—	SERICA LESPEDeza	75 lbs	—
JUNE	WEeping LOVEGRASS	4 lbs	2 lbs	PENSACOLA BOHIA	60 lbs	30 lbs
	SUDAN GRASS	60 lbs	—	WEeping LOVEGRASS	6 lbs	6 lbs
JULY	BROWN TOP MILLET	40 lbs	10 lbs	HULLED BERMUDA	10 lbs	6 lbs
	ANNUAL LESPEDeza	40 lbs	—	SERICA LESPEDeza	75 lbs	—
AUGUST	PEARL MILLET	50 lbs	—	PENSACOLA BOHIA	60 lbs	30 lbs
	RYE	3 bu	0.5 bu	HULLED BERMUDA	10 lbs	6 lbs
SEPTEMBER	RYEGRASS	40 lbs	—	SERICA LESPEDeza	75 lbs	—
	WHEAT	4 bu	1 bu	—	—	—
OCTOBER	RYEGRASS	40 lbs	—	UNHULLED BERMUDA	10 lbs	6 lbs
	RYE	3 bu	0.5 bu	SERICA LESPEDeza	75 lbs	—
NOVEMBER	SAME AS OCTOBER			SAME AS OCTOBER		
DECEMBER	SAME AS OCTOBER			SAME AS OCTOBER		



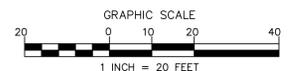
- LANDSCAPING NOTES:**
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
 - REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 - ALL GRASS AND LANDSCAPED AREAS ARE TO BE PROPERLY MAINTAINED AND IRRIGATED.



5" COMPACTED STONE BASE COURSE (CABC) 8" 4000 PSI CONCRETE MAT OF #4 REBAR 1' O.C. IN EACH DIRECTION

- TREE PROTECTION NOTES:**
- NO ACTIVITY, STORAGE OF MATERIALS OR PARKING OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION AREA.
 - TREE PROTECTION FENCING MUST REMAIN INTACT AND IN PLACE THROUGHOUT THE CONSTRUCTION OF THE BUILDING, INFRASTRUCTURE, PARKING, AND DRIVEWAYS IS COMPLETE, AND UNTIL THE SITE IS READY FOR INSTALLATION OF THE LANDSCAPING. THE LOCATION OF THE FENCING CANNOT BE CHANGED WITHOUT APPROVAL OF THE PLANNING DEPARTMENT.
 - TREE MAINTENANCE SHALL TAKE INTO ACCOUNT THE NATURAL SHAPE AND GROWTH PATTERNS OF THE TREE. TREES INTENDED TO GROW TO THE GROUND SHALL NOT BE LIMBED UP. TREES SHALL NOT BE TOPPED OR PRUNED TO GROW AS SHRUBS OR BUSHES.

PRELIMINARY FOR REVIEW PURPOSES ONLY



Project: **WENDY'S RESTAURANT**
168 SEA ISLAND PKWY, BEAUFORT, SC 29907

Title: **LANDSCAPE PLAN**

File #: 19209-PB.DWG Date: 11/19/19 Project Egr: BTU

Design By: BTU

Drawn By: WDP

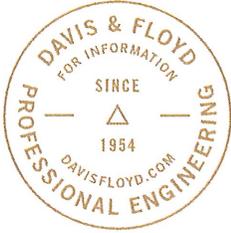
Scale: 1"=20'

ISAACS GROUP
CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

C1.1

NO.	BY	DATE	REVISION
1	WDP	1/29/2020	DRB RE-SUBMITTAL
2	WDP	2/26/2020	ADDED COURTYARD



Trip Generation Analysis for Wendy's Restaurant

Final Report – February 2020

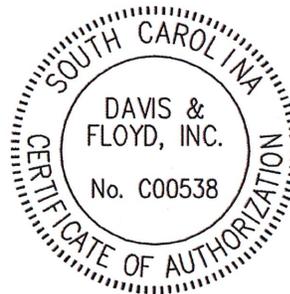
D&F Job No. 31899.00

PREPARED FOR:

Mr. David Ayers
Director of Special Projects
Carolina Restaurant Group, Inc.
8040 Arrowridge Boulevard
Charlotte, North Carolina 28273

PREPARED BY:

Davis & Floyd, Inc.
3229 West Montague Avenue
North Charleston, SC 29419
(843) 554-8602



1.0 Introduction

As requested, Davis & Floyd, Inc. has conducted a trip generation analysis to determine the traffic volumes that could be expected for the proposed Wendy's restaurant on Lady's Island in Beaufort, South Carolina. The proposed Wendy's restaurant will include a new 2,500 square foot facility that will replace the existing Steamers restaurant which is located at 168 Sea Island Parkway. The existing access for the Steamers restaurant will be closed and traffic will access the new Wendy's site via the five remaining access points for the Publix shopping center.

2.0 Planned Development

The proposed Wendy's restaurant is expected to be approximately 2,500 square feet and will replace the existing Steamers restaurant. A conceptual site plan for the development is provided in **Figure 1**. Due to the proposed site layout, the existing access to the Steamers restaurant will be closed and traffic will be distributed among the five existing access points for the Publix Shopping Center.

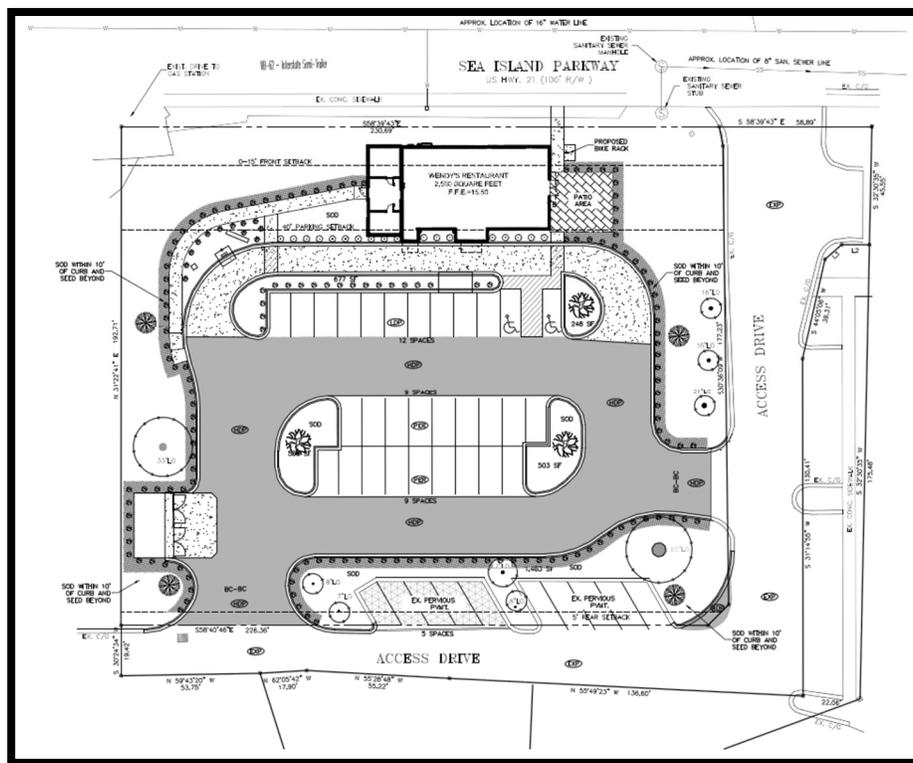


Figure 1
Proposed Site Plan

3.0 Trip Generation

In order to estimate the traffic that could be expected for this facility, the trip generation rates provided in the Trip Generation Manual, 10th Edition, published by the Institute of Transportation Engineers were applied to the proposed land use to estimate the total site traffic. ITE Land Use Code #934 (Fast-Food Restaurant with Drive-Through Window)) was used to predict the site traffic for the proposed development. A summary of the expected traffic volumes is provided in **Table 1**.

Table 1: Site Trip Generation (ITE)

Land Use	ITE LUC	Scale	Weekday AM Peak Hour		
			In	Out	Total
Wendy's	934	2,500 sf	51	49	100
Total Driveway Trips			51	49	100
Pass-By Reduction (49%) ¹			-25	-24	-49
Total New Trips on Adjacent Roadway			26	25	51

1. Pass-By reduction based on Table E.31 in ITE Trip Generation Handbook, 3rd Edition

Based upon the ITE Trip Generation methodology presented above, the Wendy's site could be expected to generate 100 driveway trips during the AM peak hour. Since nearly half (49%) of the driveway traffic is expected to be pass-by trips, 51 "new" trips could be expected on the adjacent roadway(s). However, since many of the sites used for this analysis may or not be open for breakfast, the ITE indicates that **"users should exercise caution when applying statistics during the AM peak periods."**¹

Due to the ITE guidance about the accuracy of the AM peak hour calculations, we have also evaluated the market analysis prepared for the Wendy's site. Wendy's restaurants have not typically offered breakfast service but plan to begin doing so in the Spring of 2020. In preparation for this new service, stores in several test markets have opened for breakfast and averaged 75-100 total transactions during the 6:00 AM – 10:00 AM breakfast hours. To be conservative, if one transaction per vehicle and an even distribution of traffic were assumed (100 trips/4 hours = 25 trips/hour), the likely traffic volumes for the Lady's Island location are summarized in **Table 2**.

Table 2: Site Trip Generation (Wendy's Market Analysis)

Land Use	Scale	Weekday AM Peak Hour			
		In	Out	Total	
Wendy's	2,500 sf	25	25	50	
Total Driveway Trips			25	25	50
Pass-By Reduction (49%) ¹			-12	-12	-24
Total New Trips on Adjacent Roadway			13	13	26

1. Pass-By reduction based on Table E.31 in ITE Trip Generation Handbook, 3rd Edition

1. ITE Trip Generation Manual, 10th Edition: Volume 2, pg. 156

Since the Wendy’s market analysis and ITE trip generation forecasts result in different values, a third analysis was conducted to evaluate the ‘average’ of the two previous estimates. The results of this analysis are summarized in **Table 3**.

Table 3: Site Trip Generation (Average)

Land Use	Methodology	Weekday AM Peak Hour		
		In	Out	Total
Wendy’s	ITE	51	49	100
	Market Forecast	25	25	50
Average Driveway Trips		38	37	75
Pass-By Reduction (49%) ¹		-18	-18	-36
Total New Trips on Adjacent Roadway		20	19	39

1. Pass-By reduction based on Table E.31 in ITE Trip Generation Handbook, 3rd Edition

4.0 Site Access

The location of the proposed Wendy’s restaurant is provided in Figure 2. The construction of the Wendy’s site will require the closure of an existing driveway on Sea Island Parkway (shown in red) and new access points will be provided along the internal roadways within the adjacent Publix shopping center. Traffic traveling to/from Wendy’s is expected to utilize the five (5) remaining access points (shown in green) for the adjacent Publix shopping center. Since the proposed site traffic will be distributed among several driveways, impacts to the driveway level-of-service are expected to be negligible.

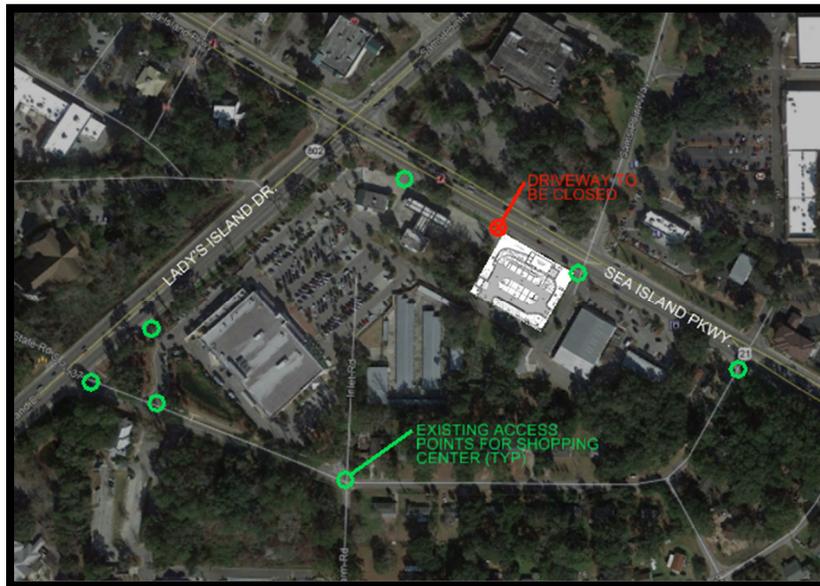


Figure 2
Site Access Points

5.0 Recommendations/Conclusions

A trip generation analysis has been performed to assess the number of new vehicle trips that could be expected for a new Wendy's restaurant during the AM peak hour. This analysis was initially conducted using the ITE Trip Generation Manual; however, additional analysis was conducted using Wendy's market analysis and an average of the two calculations since the ITE manual indicated caution should be used when applying the AM peak hour statistics. The resulting analysis using the Wendy's market analysis and average rates indicated the traffic volumes for the Wendy's site could range between 50-75 vehicles/hour and add 26-39 new trips on the adjacent roadway network. ITE calculations result in 100 vehicles/hour and 51 new trips on the adjacent roadway. Access to the site is provided via five separate existing access points and, under any scenario, the new traffic volumes are expected to have minimal impacts to the level-of-service (LOS) on the adjacent roadways.

Since the ITE trip generation forecasts for Land Use 934 may not accurately predict AM peak hour traffic and since the market research conducted for the Wendy's site indicate traffic volumes during the AM hours will not exceed 50 new trips during the peak hour, it does not appear the traffic volumes for this site would trigger the requirements outlined in section 7.3.2 of The Beaufort Code for a traffic impact analysis.

We appreciate the opportunity to work with you on this project. Should you have any questions or need any additional information, please do not hesitate to call us at (843) 554-8602.



TYPICAL PROTOOYPE RENDERING—

SHOWN ONLY FOR COLOR REFERENCE AND 3D PERSPECTIVE. PLEASE REFER TO EXTERIOR ELEVATION - SHEETS A2.1 AND A2.2 FOR PLACEMENT OF WINDOWS/DOORS, PARAPET HEIGHTS AND ETC. - 1/27/20—BEAUFORT , SC - SUBMITALS



TYPICAL PROTOYYPE RENDERING—

SHOWN ONLY FOR COLOR REFERENCE AND 3D PERSPECTIVE. PLEASE REFER TO EXTERIOR ELEVATION - SHEETS A2.1 AND A2.2 FOR PLACEMENT OF WINDOWS/DOORS, PARAPET HEIGHTS AND ETC. - 1/27/20—BEAUFORT , SC - SUBMITALS

SITE NUMBER:	
BASE MODEL:	SMART 40FRONT PATIO
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	CRG
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2018
FURNITURE PACKAGE:	XXX
DESIGN BULLETINS:	FALL 2018

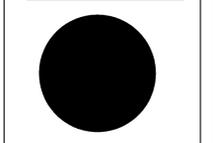
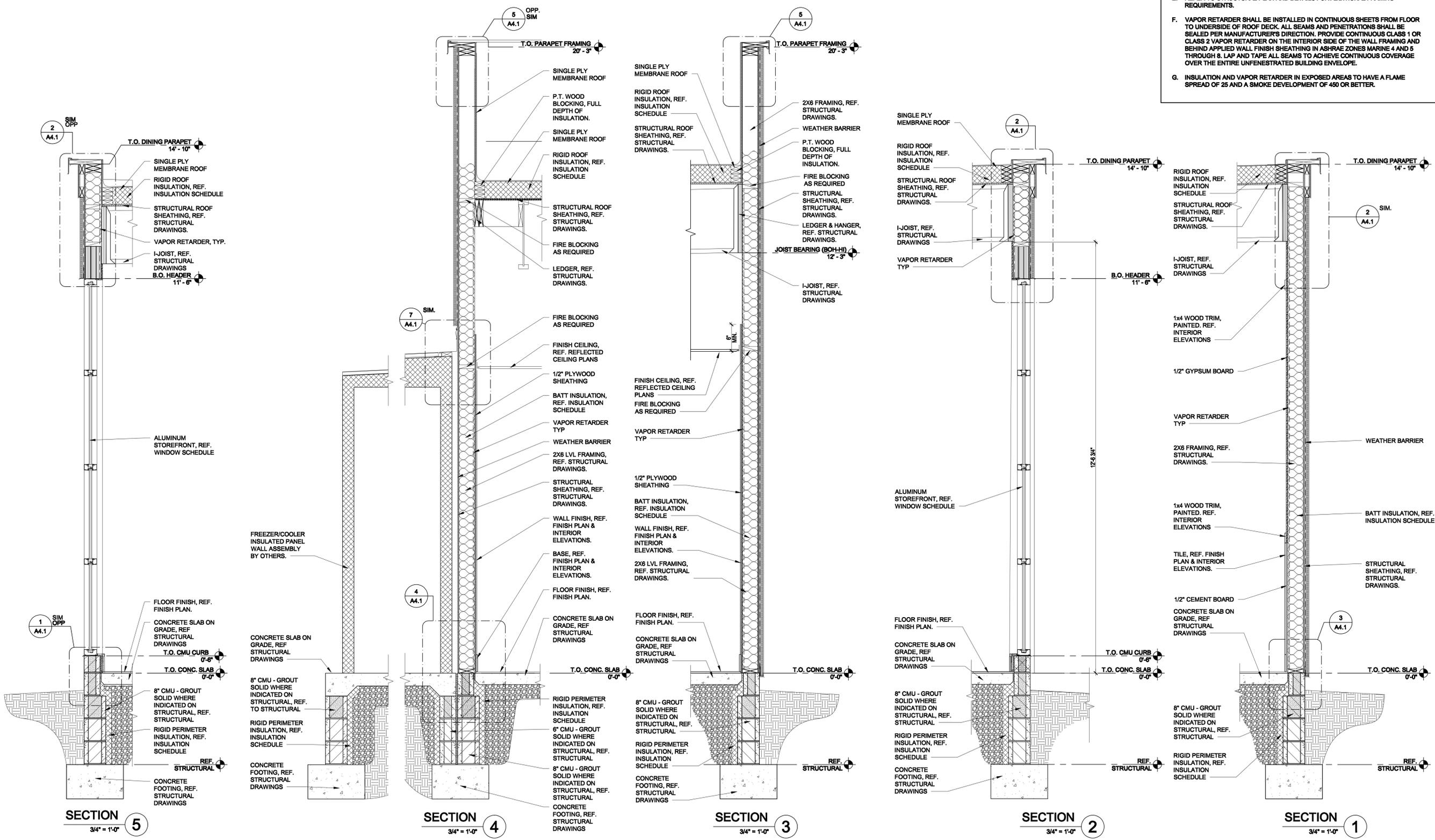
- ### SECTION GENERAL NOTES
- SEAL ALL EXTERIOR WALL AND ROOF PENETRATIONS AND JOINTS BETWEEN DISSIMILAR MATERIALS TO ENSURE A COMPLETELY WEATHER-TIGHT SEAL. SEALANT LOCATIONS INCLUDE BUT ARE NOT LIMITED TO: LIGHT FIXTURE MOUNTS, DOOR AND WINDOW FRAMES, FASCIA EDGES, SIGNAGE MOUNTS, CONDUIT PENETRATIONS, SCUPPERS, ELECTRICAL OUTLETS, HOSE BIBS, AND UTILITY SERVICE ENTRANCES. REFER TO JOINT TREATMENT SCHEDULE.
 - PROVIDE CONTINUOUS WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES. UTILIZE COMMERCIAL GRADE BUILDING WRAP. UTILIZE FLUID APPLIED WEATHER BARRIER AT METAL SIDING, AND EIFS. LAP & TAPE ALL SEAMS. LAP OVER ALL FLASHING. COORDINATE TRANSITIONS PER MFRS RECOMMENDATIONS. APPROVED ALTERNATE: PROVIDE FLUID APPLIED OR SELF-ADHERING WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES.
 - EXTERIOR SIDEWALKS AND PAVING ARE SHOWN FOR DESIGN INTENT ONLY. G.C. SHALL BE RESPONSIBLE FOR COORDINATING SCOPE OF WORK WITH OWNERS REPRESENTATIVE AND/OR CIVIL DRAWINGS.
 - GRADES SHALL BE 2" MIN. BELOW FLOOR SLAB AND SHALL SLOPE AWAY FROM BUILDING @ 5% SLOPE. HARDSCAPE AND SHALL SLOPE AWAY FROM BUILDING @ 1/8" PER FOOT MIN. AND 1/4" PER FOOT MAX.
 - REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL FRAMING REQUIREMENTS.
 - VAPOR RETARDER SHALL BE INSTALLED IN CONTINUOUS SHEETS FROM FLOOR TO UNDERSIDE OF ROOF DECK. ALL SEAMS AND PENETRATIONS SHALL BE SEALED PER MANUFACTURER'S DIRECTION. PROVIDE CONTINUOUS CLASS 1 OR CLASS 2 VAPOR RETARDER ON THE INTERIOR SIDE OF THE WALL FRAMING AND BEHIND APPLIED WALL FINISH SHEATHING IN ASHRAE ZONES MARINE 4 AND 5 THROUGH 8. LAP AND TAPE ALL SEAMS TO ACHIEVE CONTINUOUS COVERAGE OVER THE ENTIRE UNFENESTRATED BUILDING ENVELOPE.
 - INSULATION AND VAPOR RETARDER IN EXPOSED AREAS TO HAVE A FLAME SPREAD OF 25 AND A SMOKE DEVELOPMENT OF 450 OR BETTER.



APPALACHIAN ARCHITECTURE, PA
 BILL DIXON, NCARB
 708 N. KING ST.
 SUITE 201
 BOONE, NC 28607
 828 268 2408
 FAX: 828 268 2406
 WEBSITE: WWW.APPALACHIAN.COM

DATE: 1/27/20

DATE:	
BY:	
REVISIONS:	



WALL SECTIONS
Wendy's
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KBC
 CHECKED BY: BD
 SHEET TITLE

A3.3
 OF

SECTION GENERAL NOTES

- A. SEAL ALL EXTERIOR WALL AND ROOF PENETRATIONS AND JOINTS BETWEEN DISSIMILAR MATERIALS TO ENSURE A COMPLETELY WEATHER-TIGHT SEAL. SEALANT LOCATIONS INCLUDE BUT ARE NOT LIMITED TO: LIGHT FIXTURE MOUNTS, DOOR AND WINDOW FRAMES, FASCIA EDGES, SIGNAGE MOUNTS, CONDUIT PENETRATIONS, SCUPPERS, ELECTRICAL OUTLETS, HOSE BIBS, AND UTILITY SERVICE ENTRANCES. REFER TO JOINT TREATMENT SCHEDULE.
- B. PROVIDE CONTINUOUS WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES. UTILIZE COMMERCIAL GRADE BUILDING WRAP. UTILIZE FLUID APPLIED WEATHER BARRIER AT METAL SIDING, AND EIFS. LAP & TAPE ALL SEAMS. LAP OVER ALL FLASHING. COORDINATE TRANSITIONS PER MFR'S RECOMMENDATIONS. APPROVED ALTERNATE: PROVIDE FLUID APPLIED OR SELF ADHERING WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES.
- C. EXTERIOR SIDEWALKS AND PAVING ARE SHOWN FOR DESIGN INTENT ONLY. G.C. SHALL BE RESPONSIBLE FOR COORDINATING SCOPE OF WORK WITH OWNERS REPRESENTATIVE AND/OR CIVIL DRAWINGS.
- D. GRADES SHALL BE 2" MIN. BELOW FLOOR SLAB AND SHALL SLOPE AWAY FROM BUILDING @ 5% SLOPE EXCEPT @ PEDESTRIAN PATHS WHICH SHALL BE SLOPED AWAY FROM BUILDING @ 1/8" PER FOOT MIN. AND 1/4" PER FOOT MAX.
- E. REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL FRAMING REQUIREMENTS.
- F. VAPOR RETARDER SHALL BE INSTALLED IN CONTINUOUS SHEETS FROM FLOOR TO UNDERSIDE OF ROOF DECK. ALL SEAMS AND PENETRATIONS SHALL BE SEALED PER MANUFACTURER'S DIRECTION. PROVIDE CONTINUOUS CLASS 1 OR CLASS 2 VAPOR RETARDER ON THE INTERIOR SIDE OF THE WALL FRAMING AND BEHIND APPLIED WALL FINISH SHEATHING IN ASHRAE ZONES MARINE 4 AND 5 THROUGH 8. LAP AND TAPE ALL SEAMS TO ACHIEVE CONTINUOUS COVERAGE OVER THE ENTIRE UNFENESTRATED BUILDING ENVELOPE.
- G. INSULATION AND VAPOR RETARDER IN EXPOSED AREAS TO HAVE A FLAME SPREAD OF 25 AND A SMOKE DEVELOPMENT OF 450 OR BETTER.

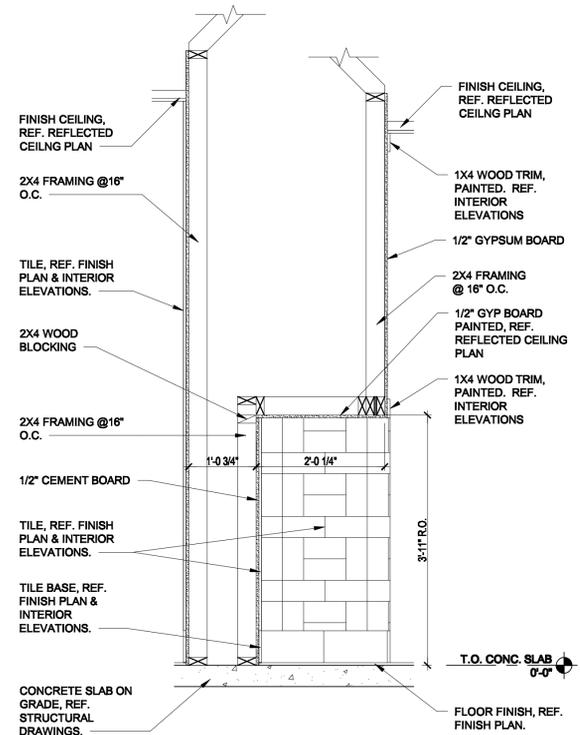
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BASE MODEL: SMART 40FRONT PATIO	
ASSET TYPE: FRANCHISE	
CLASSIFICATION: NEW	
OWNER: CRG	
BASE VERSION: 2018	
UPGRADE CLASSIFICATION:	
NEW BUILD	
PROJECT YEAR: 2018	
FURNITURE PACKAGE: XXX	
DESIGN BULLETINS: FALL 2018	



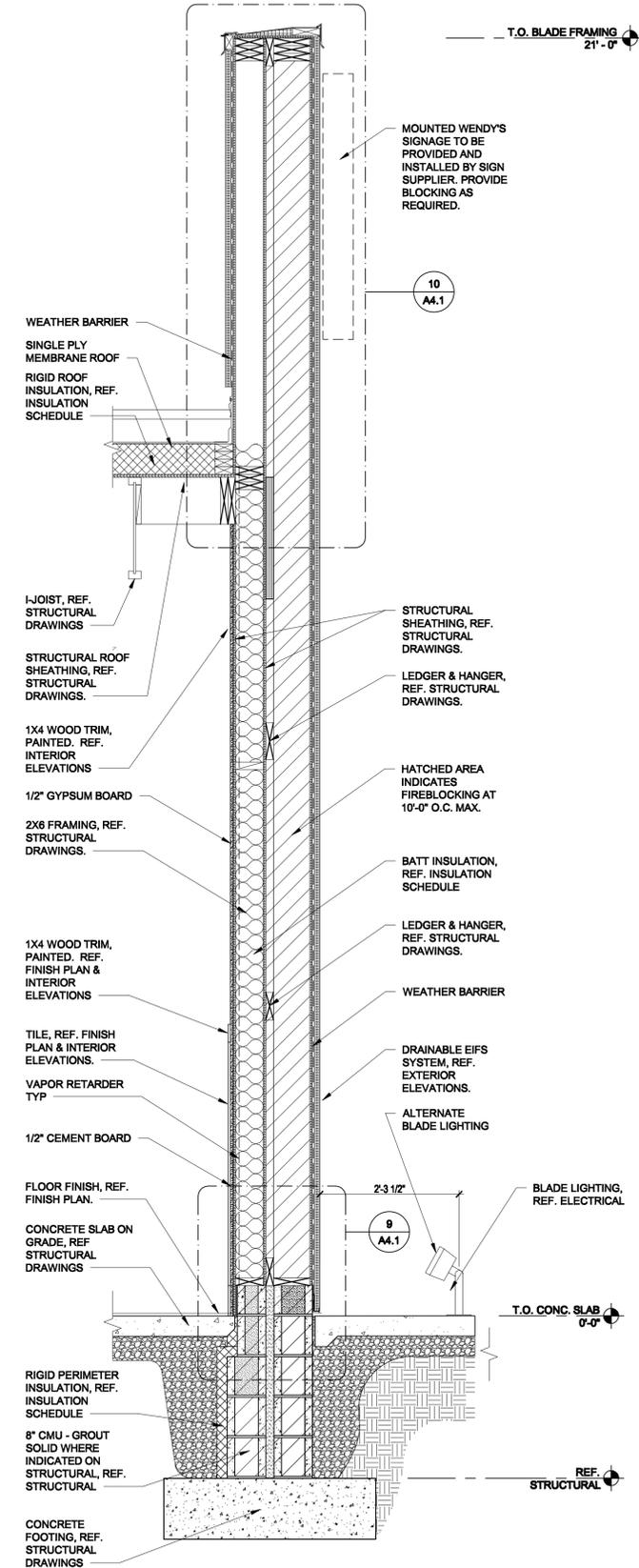
APPALACHIAN ARCHITECTURE, PA
 APPALACHIAN ARCHITECTURE, PA
 BILL DIXON, NCARB
 708 W. KING ST.
 SUITE 201
 BOONE, NC 28607
 828 288 2408
 FAX: 828 288 2408
 WEBSITE: WWW.APPALACHIAN.COM

DATE: 1/21/20

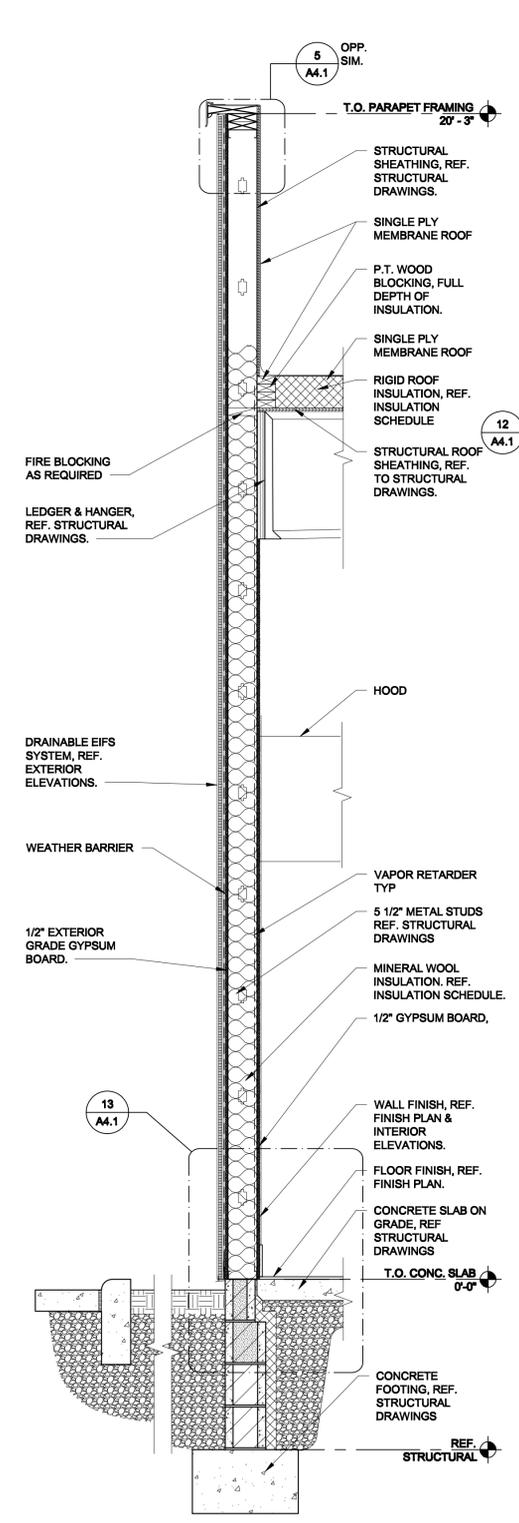
REVISIONS:
 DATE: REV. BY:



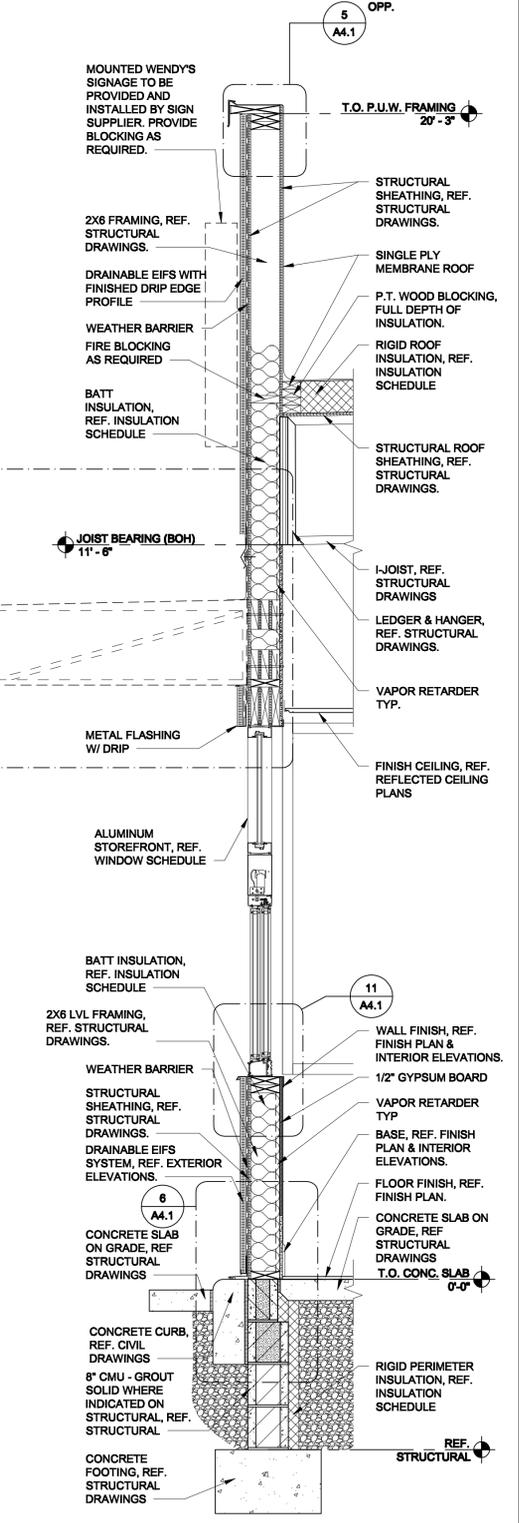
SECTION 4
3/4" = 1'-0"



SECTION 3
3/4" = 1'-0"



SECTION 2
3/4" = 1'-0"



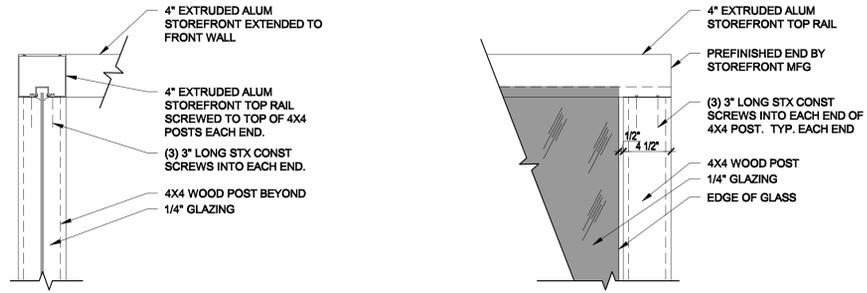
SECTION 1
3/4" = 1'-0"

WALL SECTIONS



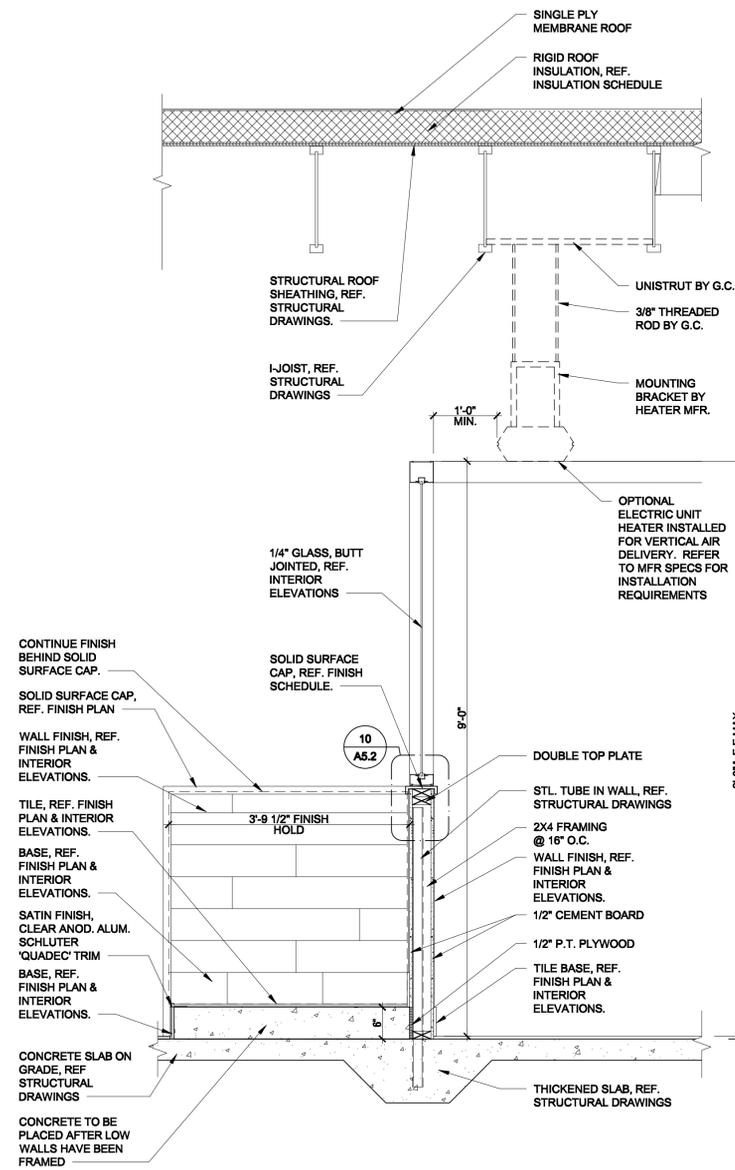
168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KSC
 CHECKED BY: SD
 SHEET TITLE
A34
 OF

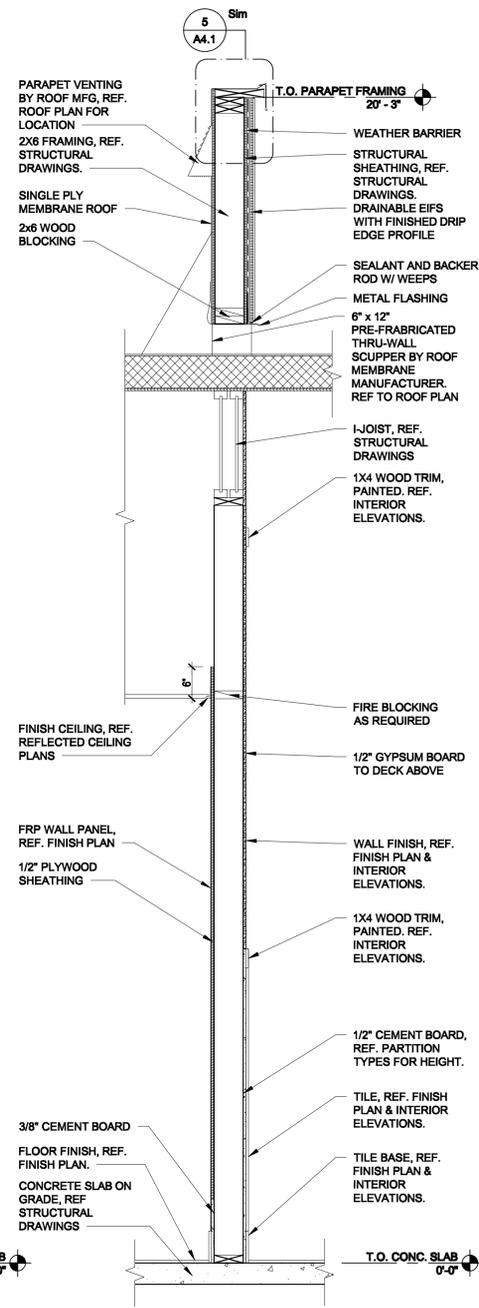


DETAIL 6
1 1/2" = 1'-0"

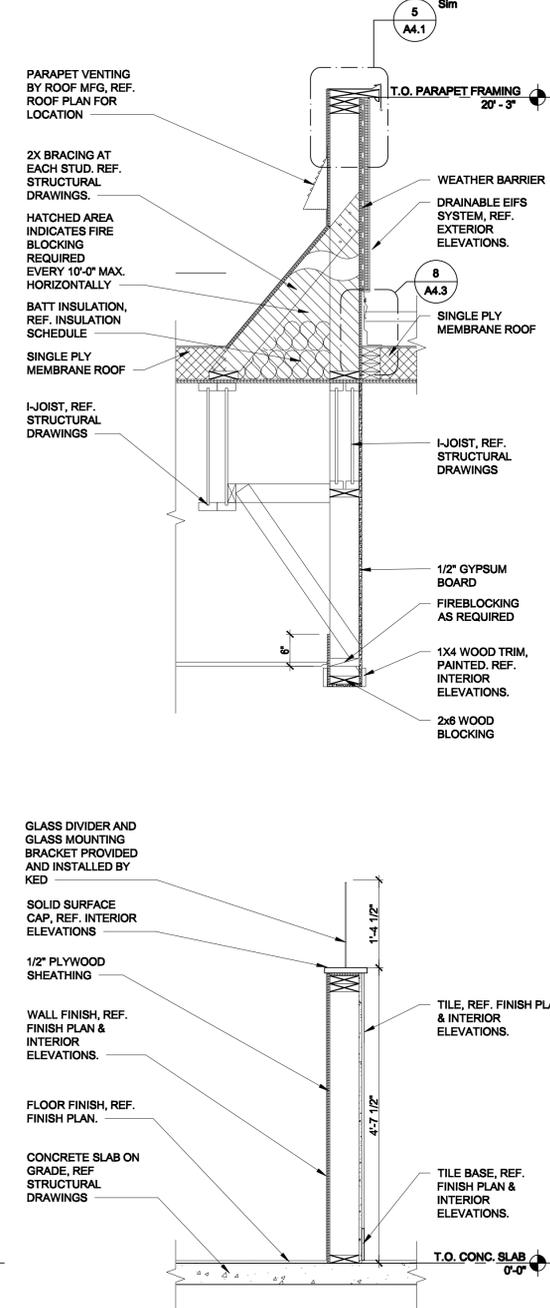
DETAIL 5
1 1/2" = 1'-0"



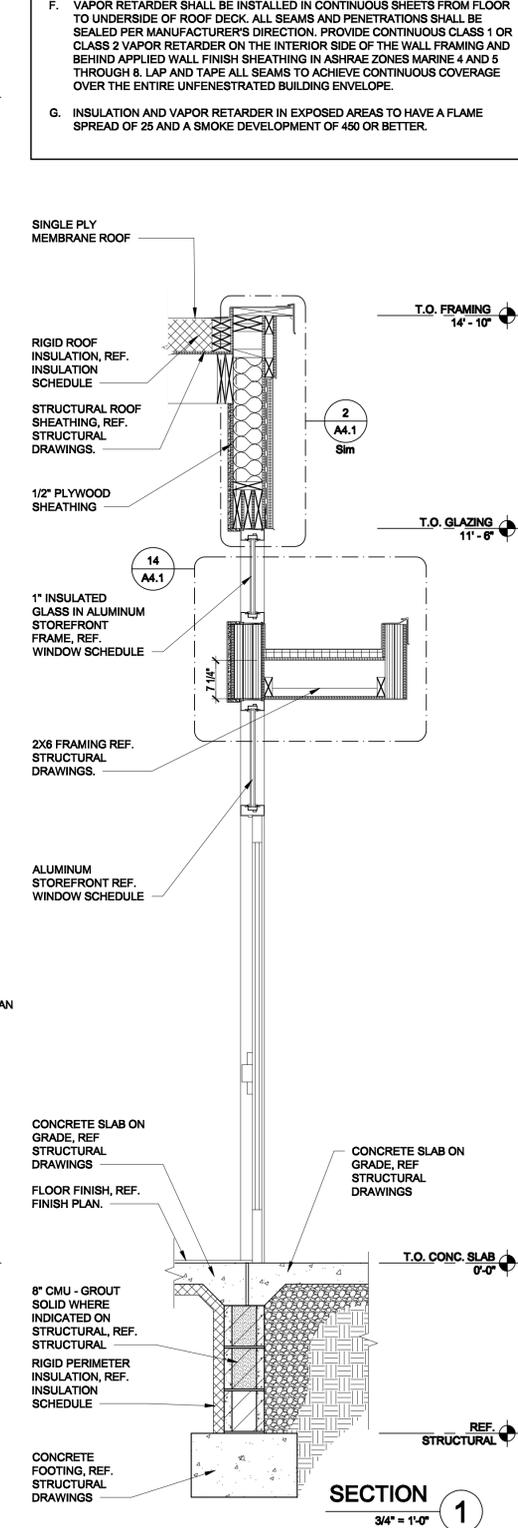
SECTION 4
3/4" = 1'-0"



SECTION 3
3/4" = 1'-0"



SECTION 2
3/4" = 1'-0"



SECTION 1
3/4" = 1'-0"

SITE NUMBER:	
BASE MODEL:	SMART 40/FRONT PATIO
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	CRG
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2018
FURNITURE PACKAGE:	XXX
DESIGN BULLETINS:	FALL 2018

GENERAL NOTES

- SEAL ALL EXTERIOR WALL AND ROOF PENETRATIONS AND JOINTS BETWEEN DISSIMILAR MATERIALS TO ENSURE A COMPLETELY WEATHER-TIGHT SEAL. SEALANT LOCATIONS INCLUDE BUT ARE NOT LIMITED TO: LIGHT FIXTURE MOUNTS, DOOR AND WINDOW FRAMES, FASCIA EDGES, SIGNAGE MOUNTS, CONDUIT PENETRATIONS, SCUPPERS, ELECTRICAL OUTLETS, HOSE BIBS, AND UTILITY SERVICE ENTRANCES. REFER TO JOINT TREATMENT SCHEDULE.
- PROVIDE CONTINUOUS WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES. UTILIZE COMMERCIAL GRADE BUILDING WRAP. UTILIZE FLUID APPLIED WEATHER BARRIER AT METAL SIDING, AND EIFS. LAP & TAPE ALL SEAMS. LAP OVER ALL FLASHING. COORDINATE TRANSITIONS PER MFR'S RECOMMENDATIONS. APPROVED ALTERNATE: PROVIDE FLUID APPLIED OR SELF ADHERING WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES.
- EXTERIOR SIDEWALKS AND PAVING ARE SHOWN FOR DESIGN INTENT ONLY. G.C. SHALL BE RESPONSIBLE FOR COORDINATING SCOPE OF WORK WITH OWNER'S REPRESENTATIVE AND/OR CIVIL DRAWINGS.
- GRADES SHALL BE 2" MIN. BELOW FLOOR SLAB AND SHALL SLOPE AWAY FROM BUILDING @ 5% SLOPE EXCEPT @ PEDESTRIAN PATHS WHICH SHALL BE SLOPED AWAY FROM BUILDING @ 1/8" PER FOOT MIN. AND 1/4" PER FOOT MAX.
- REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL FRAMING REQUIREMENTS.
- VAPOR RETARDER SHALL BE INSTALLED IN CONTINUOUS SHEETS FROM FLOOR TO UNDERSIDE OF ROOF DECK. ALL SEAMS AND PENETRATIONS SHALL BE SEALED PER MANUFACTURER'S DIRECTION. PROVIDE CONTINUOUS CLASS 1 OR CLASS 2 VAPOR RETARDER ON THE INTERIOR SIDE OF THE WALL FRAMING AND BEHIND APPLIED WALL FINISH SHEATHING IN ASHRAE ZONES MARINE 4 AND 5 THROUGH & LAP AND TAPE ALL SEAMS TO ACHIEVE CONTINUOUS COVERAGE OVER THE ENTIRE UNFINISHED BUILDING ENVELOPE.
- INSULATION AND VAPOR RETARDER IN EXPOSED AREAS TO HAVE A FLAME SPREAD OF 25 AND A SMOKE DEVELOPMENT OF 450 OR BETTER.

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 WEBSITE: WWW.APPALACHIANARCH.COM

DATE: 1/27/20

REVISIONS:
 DATE: REV: BY:

WALL SECTIONS

Wendys.
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KSC
 CHECKED BY: BD
 SHEET TITLE
 A3.5

SITE NUMBER:
BASE MODEL: SMART 40/FRONT PATIO
ASSET TYPE: FRANCHISEE
CLASSIFICATION: NEW
OWNER: CRG
BASE VERSION: 2018
UPGRADE CLASSIFICATION:
 NEW BUILD
PROJECT YEAR: 2018
FURNITURE PACKAGE: XXX
DESIGN BULLETINS: FALL 2018

- A. EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING U.N.O. INTERIOR DIMENSIONS ARE TO FACE OF STUD U.N.O.
- B. COORDINATE CURB CUTS AT DOORS WITH STOREFRONT MANUFACTURER PRODUCT DETAILS AND SHOP DRAWINGS.
- C. REFER TO FINISH PLAN AND INTERIOR ELEVATIONS FOR EXTENT OF INTERIOR FINISHES.
- D. THE CONTRACTOR SHALL PROVIDE SOLID WOOD BLOCKING FOR WALL MOUNTED ITEMS, EQUIPMENT, MILLWORK, ETC. COORDINATE LOCATIONS WITH OWNER'S CONSTRUCTION REPRESENTATIVE AS NECESSARY.
- E. REFER TO WALL TYPES ON SHEET A4.3.
- F. REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A6.3.

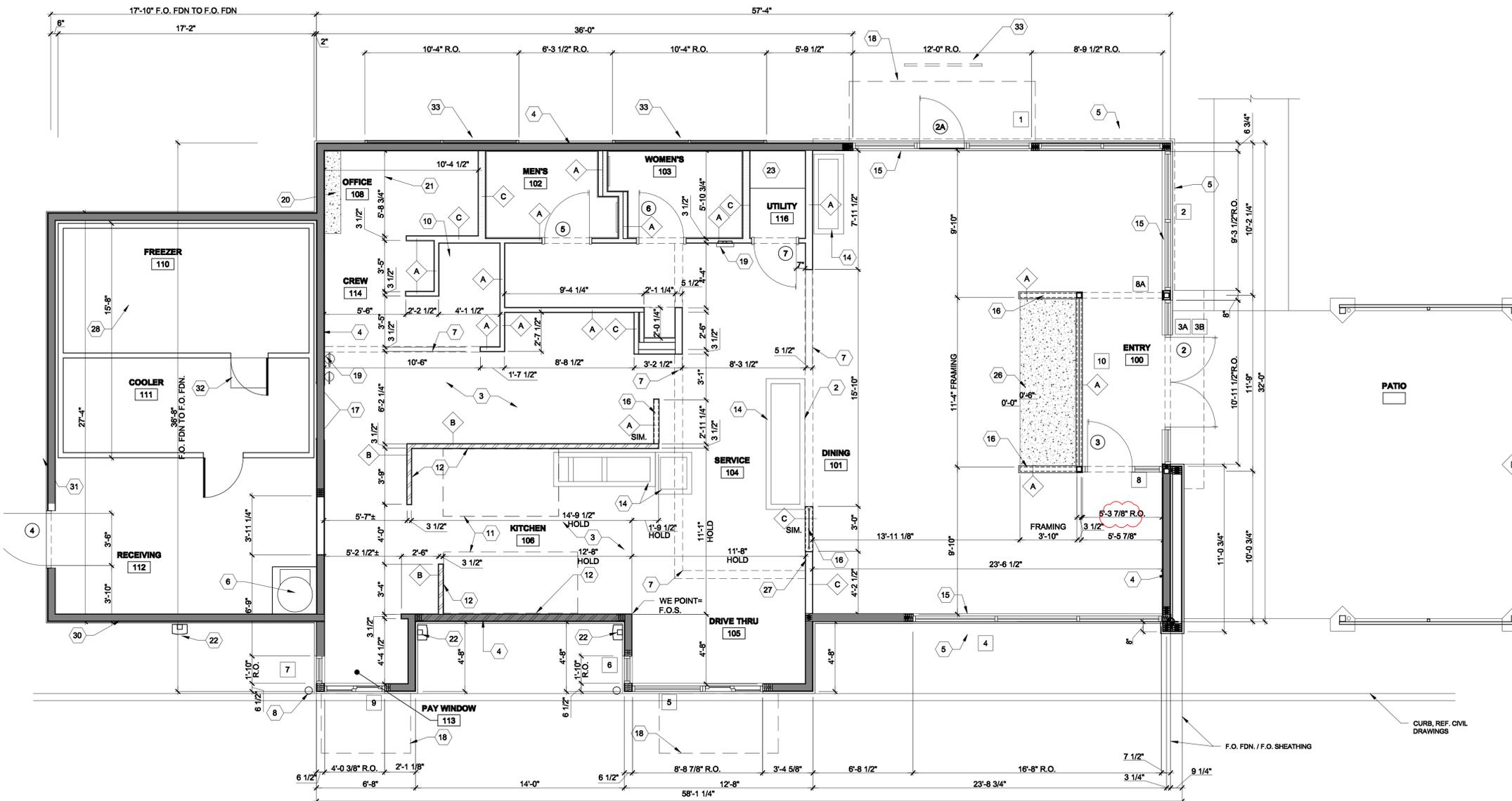
-  SHADED AREA = SHEAR WALL
-  DIAGONAL HATCH = METAL STUD WALLS
-  STIPPLE = SOUND BATT INSULATION
-  2 X 4 FRAMING @ 16" O.C.
-  3" METAL STUD @ 16" O.C.
-  2 X 6 FRAMING @ 16" O.C.

SEE A5.1 FOR ADDITIONAL INFORMATION
 **Tags updated in plan

CODED NOTES:

1. WALK-IN FREEZER/COOLER MANUFACTURER TO PROVIDE REINFORCED FRAMED OPENING FOR DOOR AS SCHEDULED.
2. APPROXIMATE LOCATION OF FRONT COUNTER. REF. SHEET A5.1 FOR LOCATION.
3. G.C. TO INSTALL STAINLESS STEEL CORNER GUARD, REFER TO EQUIPMENT PLAN SHEET FOR LOCATIONS AND TYPE OF CORNER GUARDS.
4. SHADED AREA INDICATES SHEAR WALL, REF. STRUCTURAL DRAWINGS. COORDINATE FINISHES WITH NUM. OF PLIES PROVIDED. EXTEND PLYWOOD AS REQUIRED TO MAINTAIN FINISH PLANE.
5. ROOF/ PARAPET OVERHANG ABOVE. REFER TO ROOF PLAN, SECTIONS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
6. PREFABRICATED USED COOKING OIL MANAGEMENT AND CO2 TANK AREA.
7. SOFFIT / BULKHEAD ABOVE, REFER TO REFLECTED CEILING PLAN.
8. 6" DIA. CONCRETE FILLED METAL PIPE BOLLARD W/ BOLLARD SLEEVE. INSTALL BOLLARD PER CIVIL DRAWINGS.
9. ROOF ACCESS LADDER RECEIVER & SAFETY GATE.
10. RECESSED MOP SINK, INSTALL WATERPROOF MEMBRANE IN MOP SINK RECESS TO TIE INTO DRAIN. REF DETAIL ON A5.1.
11. EXHAUST HOOD, REF. MECHANICAL DRAWINGS.
12. STAINLESS STEEL PANELS BEHIND AND BESIDE FRYERS & GRILL. REFER TO INTERIOR ELEVATIONS & FINISH PLAN FOR EXTENTS.
13. INTERMEDIATE SUPPORT FOR BATTEN PATIO ENCLOSURE. COORDINATE WITH MANUFACTURER.
14. EQUIPMENT CURB BY KITCHEN EQUIPMENT DISTRIBUTOR. REF. SHEET A5.1 FOR LOCATIONS. REF. SHEET A5.2 FOR EQUIPMENT CURB DETAILS.
15. 6" C.M.U. CURB BELOW STOREFRONT. REFER TO SECTION AND STRUCTURAL DRAWINGS.
16. PARTIAL HEIGHT WALL, REFER TO INTERIOR ELEVATIONS AND SECTIONS.
17. STAINLESS STEEL CLOSURE TRIM / ANGLES BY GC.
18. AWNING / CANOPY ABOVE.
19. SEMI-RECESSED FIRE EXTINGUISHER CABINET, SUPPLIED AND INSTALLED BY GC. REFER TO INTERIOR ELEVATIONS.
20. PRE-MANUFACTURED SWITCHGEAR CABINET ON 6" CONC. CURB. REF. DETAILS 3/A1.1 & 6/A5.2.
21. CLEAR FLOOR AREA TO BE MAINTAINED IN FRONT OF ELECTRICAL PANELS MIN 3'-0" AS REQUIRED BY NEC.
22. PRE-FINISHED DOWNSPOUT. EXTEND 6" PVC W/ CAP UNDERGROUND & CONNECT TO STORM. SEE CIVIL AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
23. HOT WATER TANK ON SHELF. TOP OF SHELF 4'-0" AFF. REFER TO DETAIL ON 3/EQ1.1 & STRUCTURAL DRAWINGS.
24. 1/2" ISOLATION JOINT
25. EDGE OF CONCRETE SLAB / FOUNDATION FOR WALK-IN BOX. REF. STRUCTURAL DRAWINGS.
26. HATCH INDICATES EXTENTS OF 6" RAISED CONCRETE SLAB W/ 6 MIL. PLASTIC BOND BREAK FILM FOR SEATING. INSTALL SLAB AFTER INSTALLATION OF PARTITIONS.
27. PROVIDE IN WALL BLOCKING FOR MOUNTING ARM OF CUSTOMER ORDER PICKUP SCREEN - COORDINATE WITH MOUNTING ARM SPEC. BOTTOM OF SCREEN TO BE MOUNTED 6'-10" AFF.
28. WALK-IN-BOX. FREEZER SUPPLIED WITH INSULATED FLOOR.
29. CONTROL JOINT
30. HOLD DOWNS PROVIDED BY W/B MANUFACTURER G.C. TO DRILL AND EPOXY SET ANCHOR BOLTS AS REQUIRED. VERIFY LOCATIONS AND QUANTITY WITH MANUFACTURER.
31. C/T CABINET AND ELECTRIC METER AT THIS LOCATION. COORDINATE WITH LOCAL UTILITY COMPANY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
32. RAMP BY W/B MANUFACTURER.
33. SPANDREL GLAZING
34. GUARDRAIL - VERIFY WITH OWNER

SQUARE FOOTAGE -
 RESTAURANT - 1,821 SQUARE FEET- HEATED
 COOLER/FREEZER/RECEIVING - 496 SQUARE FEET
 PATIO - 481 SQUARE FEET
 (AREA MEASURED FROM FACE OF INTERIOR SHEETROCK - U.N.O.)



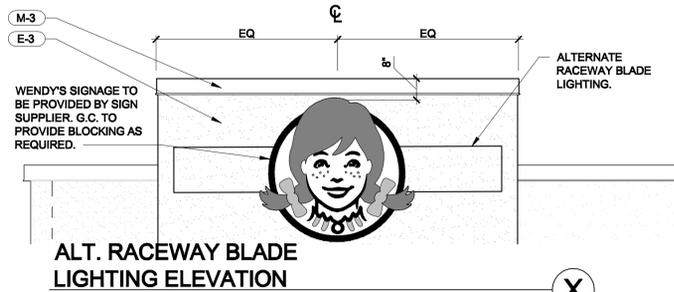
FLOOR PLAN 1
 1/4" = 1'-0"

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FLOOR PLAN
Wendy's
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

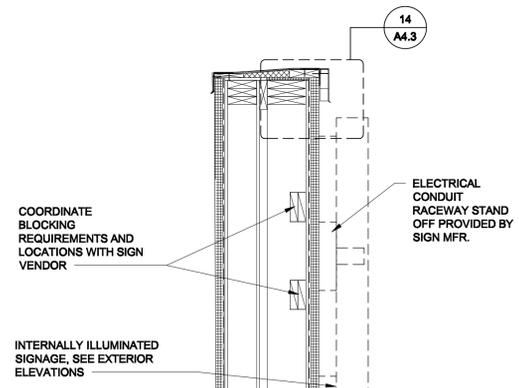
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CHECKED BY: BD
SHEET TITLE

OF



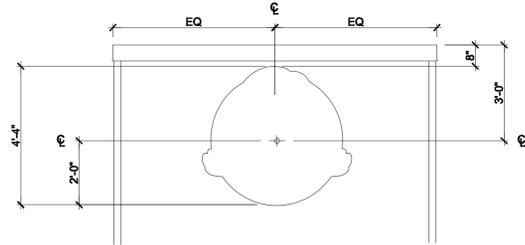
ALT. RACEWAY BLADE LIGHTING ELEVATION

3/8" = 1'-0" X



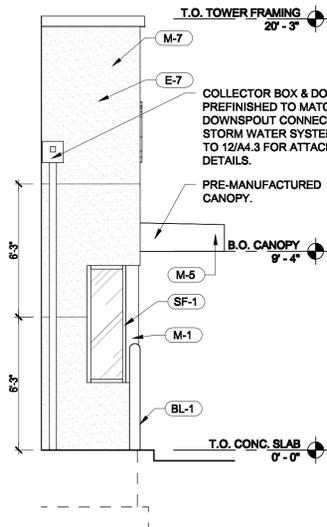
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3/4" = 1'-0" X



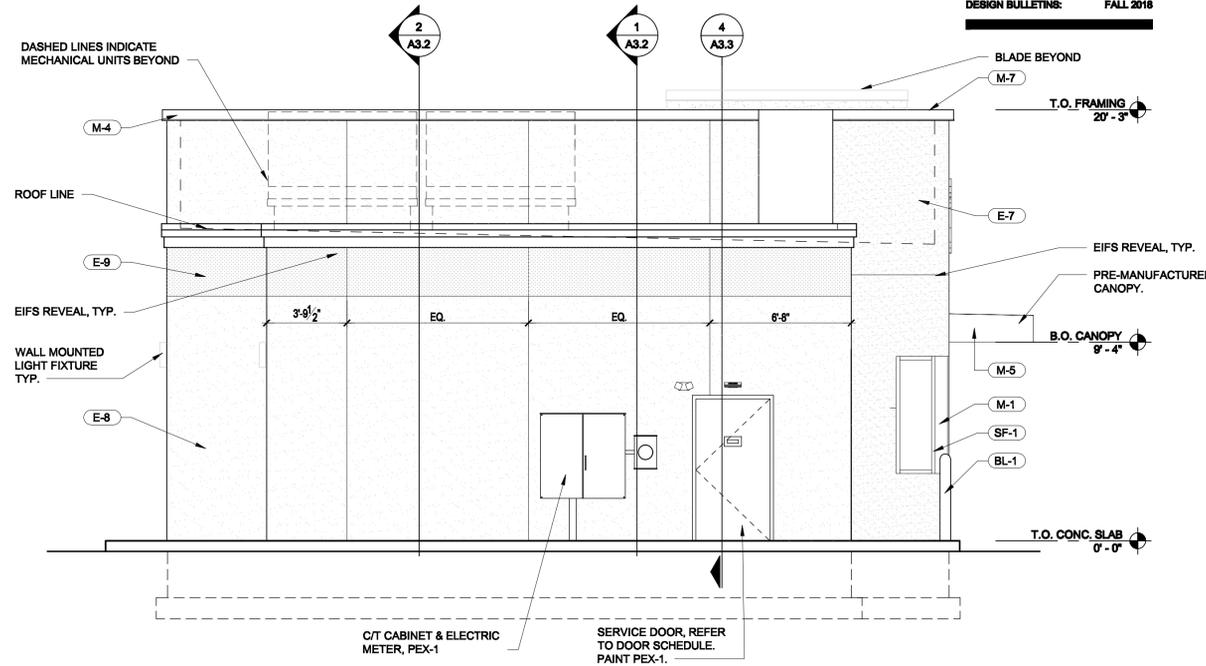
WIRING HOLE PLACEMENT DIAGRAM

3/8" = 1'-0" 4



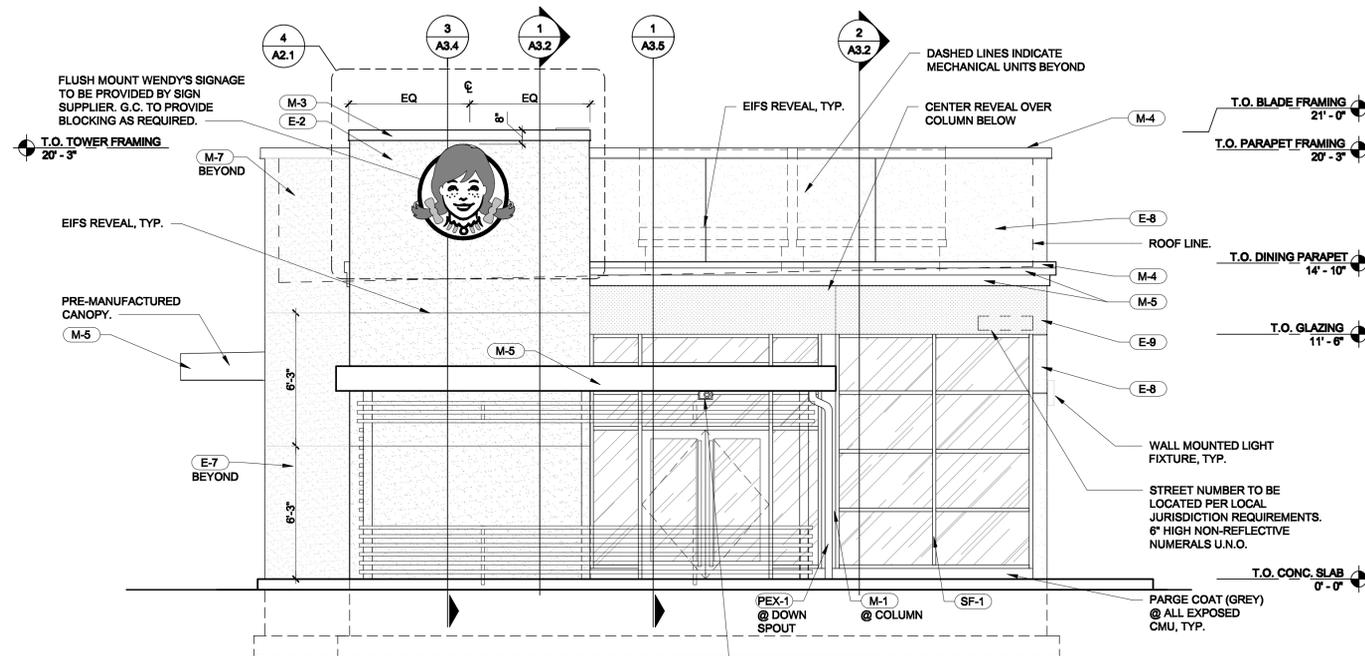
REAR DRIVE-THRU ELEVATION

1/4" = 1'-0" 3



REAR ELEVATION

1/4" = 1'-0" 2



FRONT ELEVATION

1/4" = 1'-0" 1

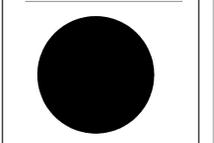
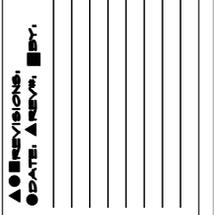
SITE NUMBER:	
BASE MODEL:	SMART 40FRONT PATIO
ASSET TYPE:	FRANCHISEE
CLASSIFICATION:	NEW
OWNER:	CRG
BASE VERSION:	2018
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2018
FURNITURE PACKAGE:	XXX
DESIGN BULLETIN:	FALL 2018

EXTERIOR FINISH SCHEDULE	
SF-1	STOREFRONT - "DARK BRONZE"
PUW	PICK-UP WINDOW TO MATCH STOREFRONT
M-1	PARAPET CAP / BRAKE METAL - "DARK BRONZE"
M-3	EXCEPTIONAL METALS - "BRIGHT RED"
M-4	EXCEPTIONAL METALS - "SILVER METALLIC"
M-5	BRAKE METAL - "CLEAR ANNOXIDIZED"
M-7	EXCEPTIONAL METALS - "CUSTOM DARK GREY"
KW-1	KNOTWOOD-PREFINISHED ALUMINUM SIDING MATERIAL - "LIGHT OAK"
KW-2	KNOTWOOD-PREFINISHED ALUMINUM SIDING MATERIAL - "KNIGHTS ARMOUR"
KW-3	KNOTWOOD-PREFINISHED ALUMINUM SIDING MATERIAL - "BRITE RED MATT"
E-2	EIFS - "WENDY'S RED"
E-7	EIFS - "DARK GREY"
E-8	EIFS - "TAN"
E-9	EIFS - "SILVER"
BL-1	BOLLARD SLEEVE - "YELLOW"
PEX-1	PAINT - DARK BRONZE (SEE PAINT SCHEDULE)
PEX-3	PRE-FINISHED DARK BRONZE SIGN CABINETS (SEE PAINT SCHEDULE)
PEX-6	PRE-FINISHED WALK-IN FREEZER / COOLER DARK BRONZE (SEE PAINT SCHEDULE)
PEX-10	PAINT / POWDER COAT - BLACK (SEE PAINT SCHEDULE)
PEX-12	PAINT - DARK GREY (SEE PAINT SCHEDULE)



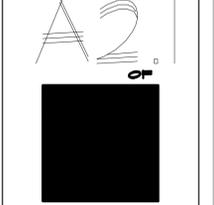
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 FAX: 828 268 3408
 WEBSITE: WWW.APPALACHIAN.COM

DATE: 1/21/20



EXTERIOR ELEVATIONS
Wendy's
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KBC
 CHECKED BY: ED
 SHEET TITLE



SITE NUMBER:
 BASE MODEL: SMART 40FRONT PATIO
 ASSET TYPE: FRANCHISEE
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 BASE VERSION: 2018
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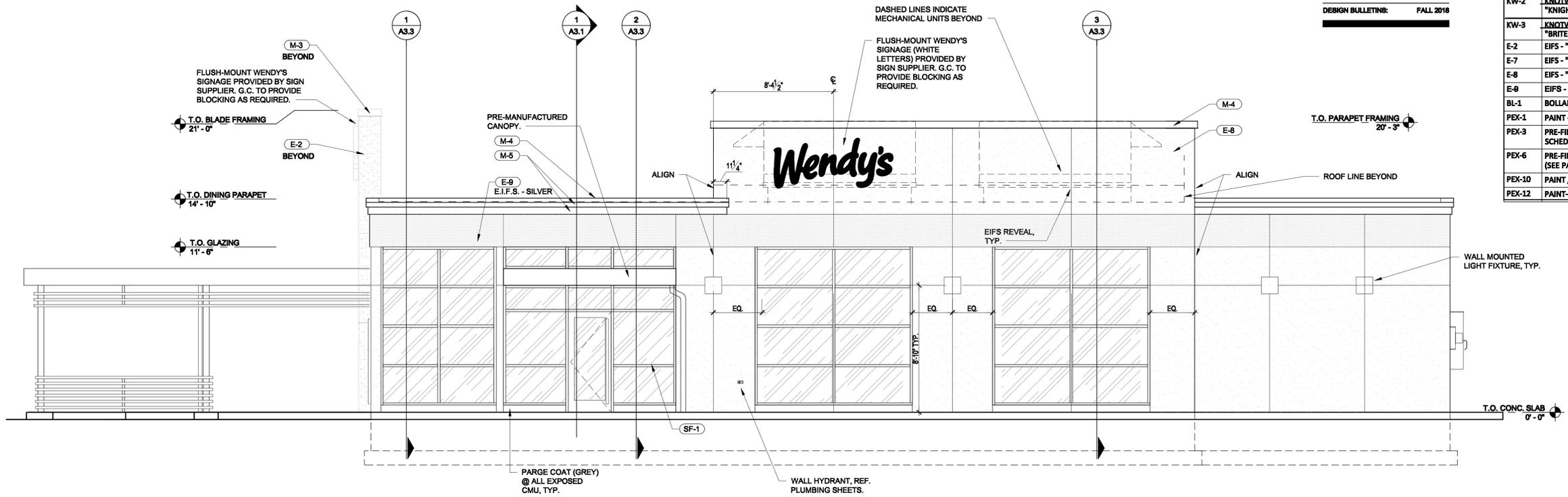
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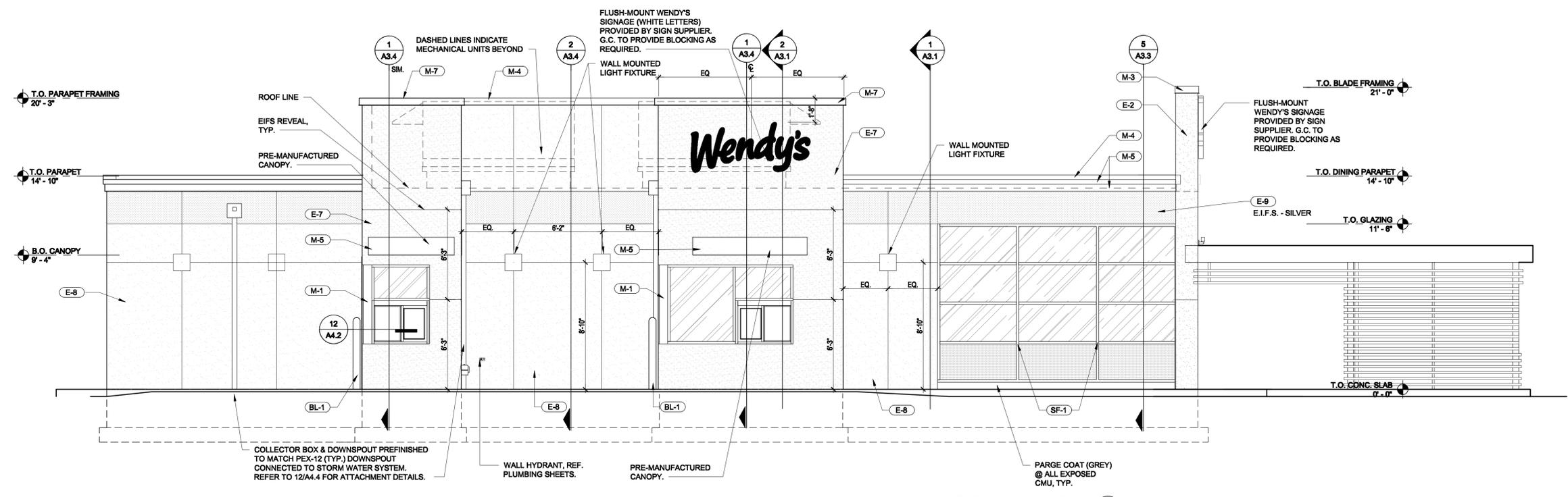
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DATE: 1/21/20

REVISIONS	DATE	BY



RIGHT SIDE ELEVATION 2
1/4" = 1'-0"



LEFT SIDE ELEVATION 1
1/4" = 1'-0"

EXTERIOR ELEVATIONS
Wendy's
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KGC
 CHECKED BY: ED
 SHEET TITLE

A2.2
 OF

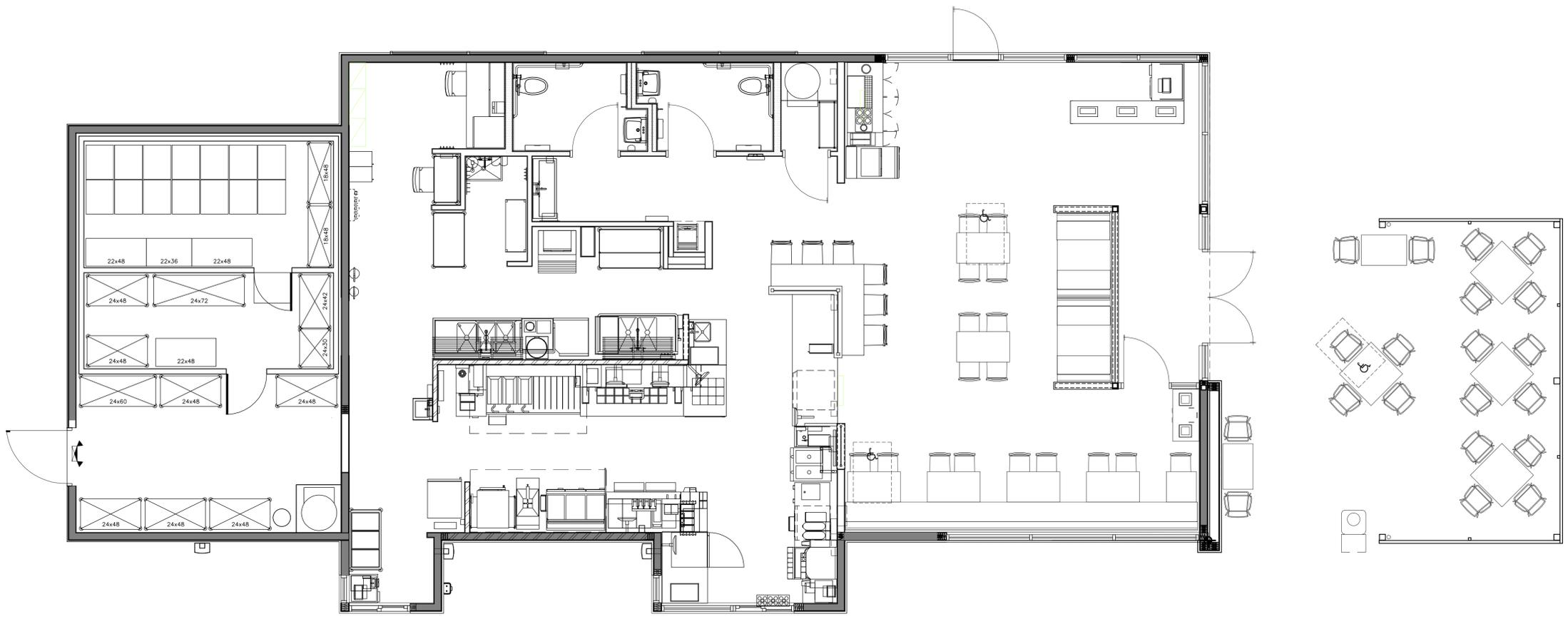
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 BASE MODEL: SMART 40FRONT PATIO
 ASSET TYPE: FRANCHISEE
 CLASSIFICATION: NEW
 OWNER: CRG
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 UPGRADE CLASSIFICATION:
 NEW BUILD
 PROJECT YEAR: 2018
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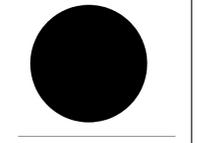
▲ DATE: 1/29/20

▲ REVISIONS:

DATE	REV.	BY



EQUIPMENT PLAN **1**
 1/4" = 1'-0"

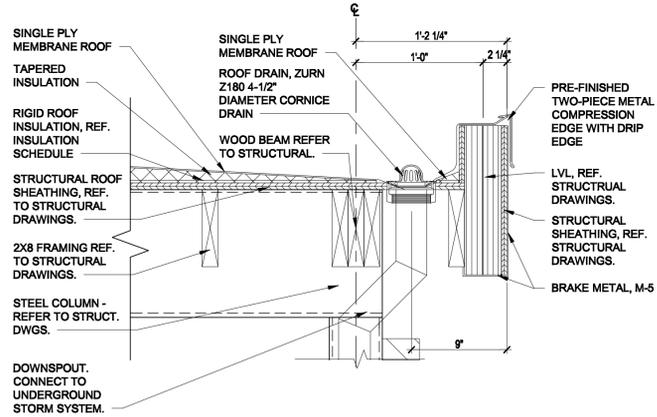


EQUIPMENT PLAN
Wendy's
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

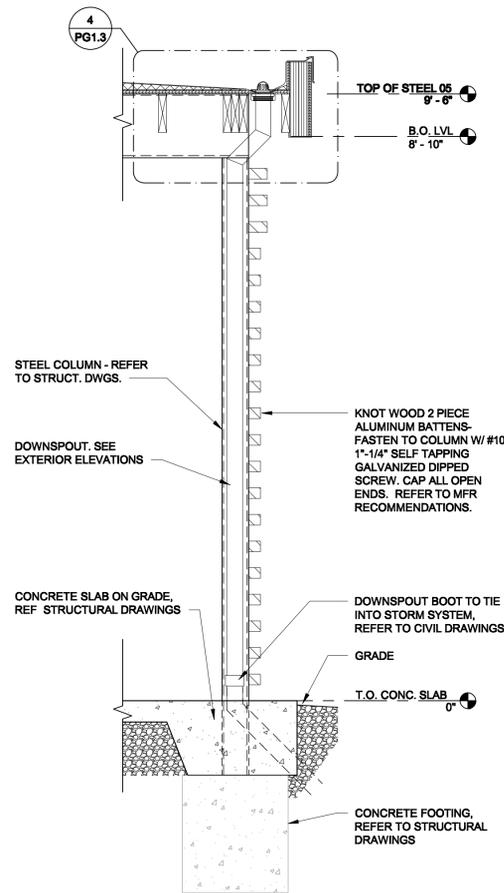
● DRAWN BY: KCC
 ● CHECKED BY: SD

● SHEET TITLE
 Q
 OF

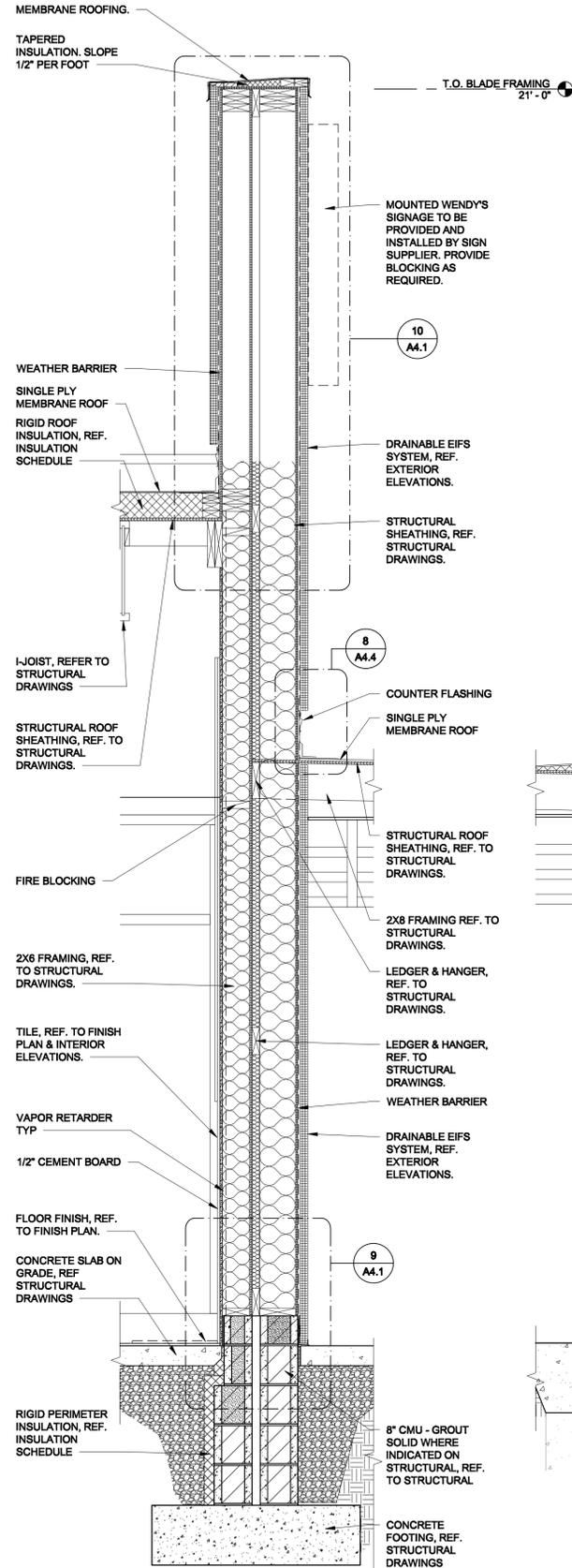
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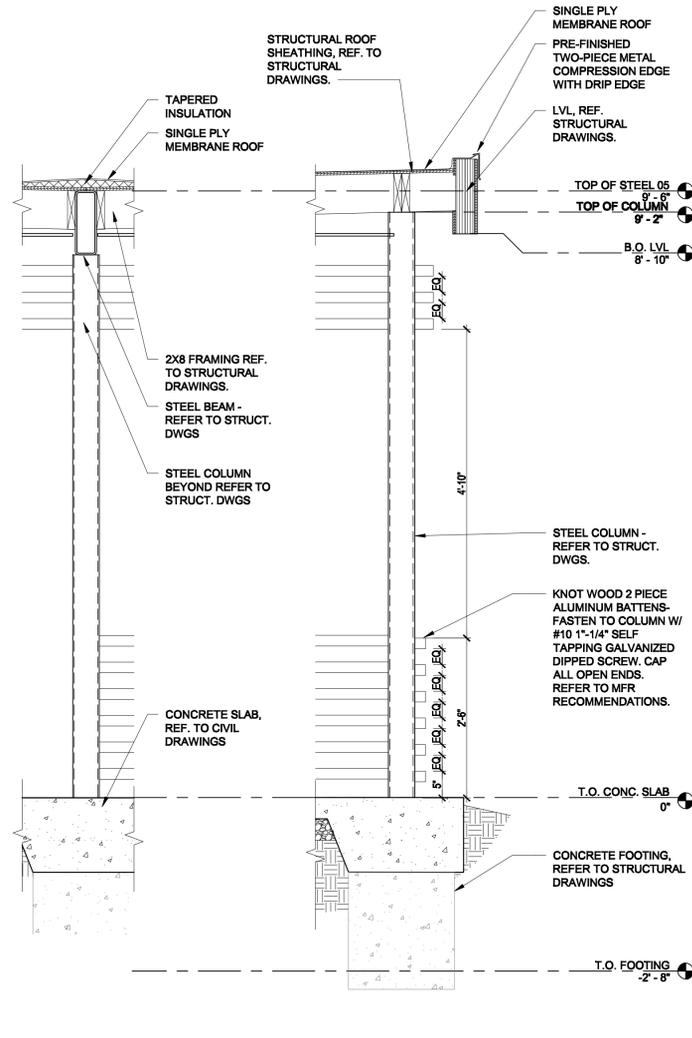
SECTION DETAIL 4
 1 1/2" = 1'-0"



SECTION 3
 3/4" = 1'-0"



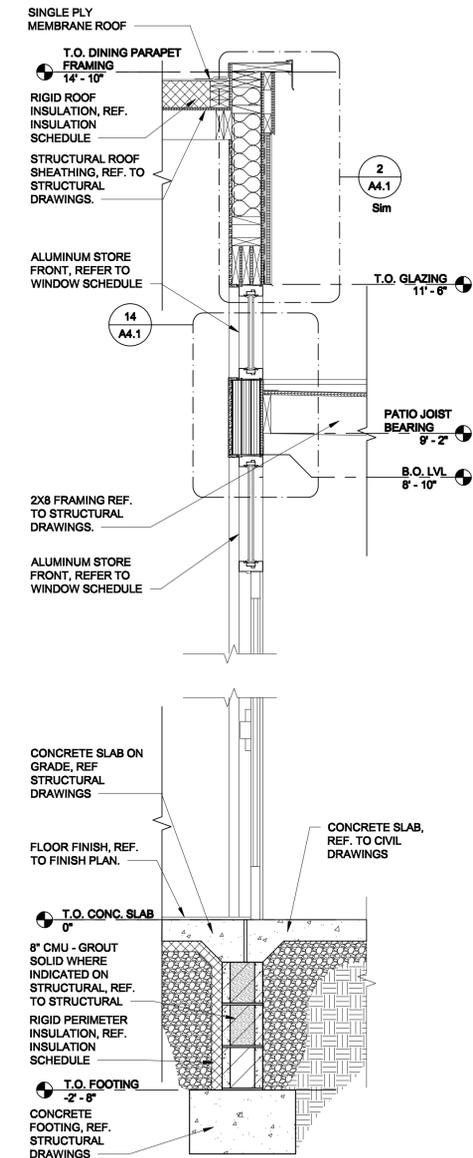
SECTION DETAIL 5
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SECTION 2
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GENERAL NOTES

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- PROVIDE CONTINUOUS WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES. UTILIZE FLUID APPLIED OR SELF ADHERING WEATHER BARRIER AT MASONRY, EIFS, TILE FIBER CEMENT PANELS AND ACM. LAP & TAPE ALL SEAMS. LAP OVER ALL FLASHING. COORDINATE TRANSITIONS PER MFR'S RECOMMENDATIONS. APPROVED ALTERNATE: PROVIDE FLUID APPLIED OR SELF ADHERING WEATHER BARRIER BEHIND ALL EXTERIOR FINISHES.
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- GRADES SHALL BE 2" MIN. BELOW FLOOR SLAB AND SHALL SLOPE AWAY FROM BUILDING @ 5% SLOPE EXCEPT @ PEDESTRIAN PATHS WHICH SHALL BE SLOPED AWAY FROM BUILDING @ 1/8" PER FOOT MIN. AND 1/4" PER FOOT MAX.
- ITEMS MOUNTED ON TOP OF THE PARAPET ARE TO BE SET IN A FULL BED OF SEALANT AND HAVE FULL DEPTH BLOCKING IMMEDIATELY BELOW CAP, FASCIA, AND DRIP EDGE.
- REFER TO STRUCTURAL PLAN AND DETAILS FOR ADDITIONAL FRAMING REQUIREMENTS.
- PROVIDE CONTINUOUS CLASS 1 OR CLASS 2 VAPOR RETARDER ON THE INTERIOR SIDE OF THE WALL FRAMING AND BEHIND APPLIED WALL FINISH SHEATHING IN ASHRAE ZONES MARINE 4 AND 5 THROUGH 8. LAP AND TAPE ALL SEAMS TO ACHIEVE CONTINUOUS COVERAGE OVER THE ENTIRE UNFENESTRATED BUILDING ENVELOPE.
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- VAPOR RETARDER SHALL BE INSTALLED IN CONTINUOUS DRAWINGS FROM FLOOR TO UNDERSIDE OF ROOF DECK. ALL SEAMS AND PENETRATIONS SHALL BE SEALED PER MANUFACTURER'S DIRECTION.



SECTION 1
 3/4" = 1'-0"



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DATE: 11/19/19

REVISIONS:
 DATE: REV: BY:

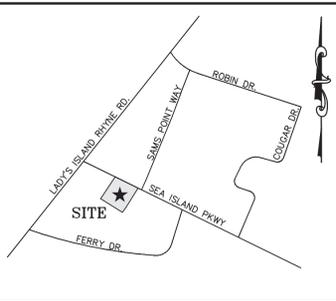


FRONT PATIO
Wendy's
 168 SEA ISLAND PARKWAY
 BEAUFORT, SOUTH CAROLINA

DRAWN BY: KGC
 CHECKED BY: SD

SHEET TITLE

PG 13



SIGNAGE NOTE:
 1. CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
 2. ALL SIDEWALKS, STRIPING AND SIGNAGE TO BE ADA AND MUTCD COMPLIANT.

- SIGN SCHEDULE**
- Ⓐ RESERVED PARKING-MAX PENALTY \$250 (MUTCD R7-8 & R7-8D)
 - Ⓑ VAN ACCESSIBLE HANDICAPPED PARKING SIGN (MUTCD R7-8, R7-8A & R7-8D)
 - Ⓒ DO NOT ENTER SIGN (MUTCD R5-1)
 - Ⓓ STOP SIGN (30"x30") (MUTCD R1-1)

FLOOD CERTIFICATION
 THIS PROPERTY LIES IN FLOOD ZONE A-9, BASE ELEV. 13.00 AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450025-0100 D. DATED 09/29/86

PROJECT NARRATIVE:

THE PROJECT ENTAILS THE CONSTRUCTION OF A 2,500 SQ. FT. WENDY'S RESTAURANT WITH A DRIVE-THRU WINDOW AT 168 SEA ISLAND PARKWAY IN BEAUFORT, SOUTH CAROLINA. CONSTRUCTION INCLUDES: THE INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES, UTILITIES, SITE LIGHTING, LANDSCAPING AND THE PROPOSED BUILDING.

ZONING CODE SUMMARY

PROJECT NAME: WENDY'S
 OWNER/AGENT: CAROLINA RESTAURANT GROUP TAX MAP: R123 015 000 1948 0000
 FACILITY OPERATOR: CAROLINA RESTAURANT GROUP PHONE #: 704-940-1520
 PLANS PREPARED BY: THE ISAACS GROUP, P.C. PHONE #: 704-527-3440
 ZONING: T-5 UC(URBAN CORRIDOR) JURISDICTION: CITY OF BEAUFORT

YARD REQUIREMENTS:
 SETBACK(SEA ISLAND PARKWAY): 0-15 FT. FROM R/W SIDE YARD (L): 0 FT.
 ACCESS DRIVE(R): 0 FT. ACCESS DRIVE(REAR): 5 FT. FROM R/W

LOT SIZE: 81,882.66/142 SQ. FEET/ACRES NUMBER OF UNITS/SUITES: 1
 EXIST. BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 30,914.9/27.1 SQ. FT./ACRES
 PROP. BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 26,086.7/0.69 SQ. FT./ACRES
 EXIST. BUILDINGS, PARKING LOTS, AND WALKWAYS TO COVERAGE TO REMAIN: 951.2/0.02 SQ. FT./ACRES
 POST DEVELOPED BUILDINGS, PARKING LOTS, AND WALKWAYS COVERAGE: 22,087.9/0.51 SQ. FT./ACRES
 EXISTING IMPERVIOUS AREA PERCENTAGE: 30,914.9/61,862.66*100=49.97%
 POST DEVELOPED IMPERVIOUS AREA PERCENTAGE: 22,087.9/61,862.66*100=35.70%

EXISTING USE: RESTAURANT
 PROPOSED USE: RESTAURANT WITH DRIVE-THRU
 GROSS FLOOR AREA: 2,500 SQ. FEET HEIGHT: 21 FEET
 PARKING DATA: (CITY OF BEAUFORT DEVELOPMENT CODE)
 RESTAURANT WITH DRIVE-THRU WINDOW:
 1 SPACE PER 4 SEATS: (40 INSIDE SEATS+20 PATIO SEATS+10 EMPLOYEES) 70/4=18 SPACES
 REQUIRED: 18 EXISTING: 10 PROPOSED: 30 HANDICAP: 2 PROVIDED: 40
 ALL SIGNAGE WILL BE APPROVED AND PERMITTED SEPARATELY.
 THERE ARE NO WATERS/WETLANDS ON THE SITE.

LIGHTING NOTE:

CONTRACTOR TO VERIFY FINAL LIGHT POLE LOCATIONS AND FIXTURE SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION

NOTE:

REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS

ENGINEER CONTACT

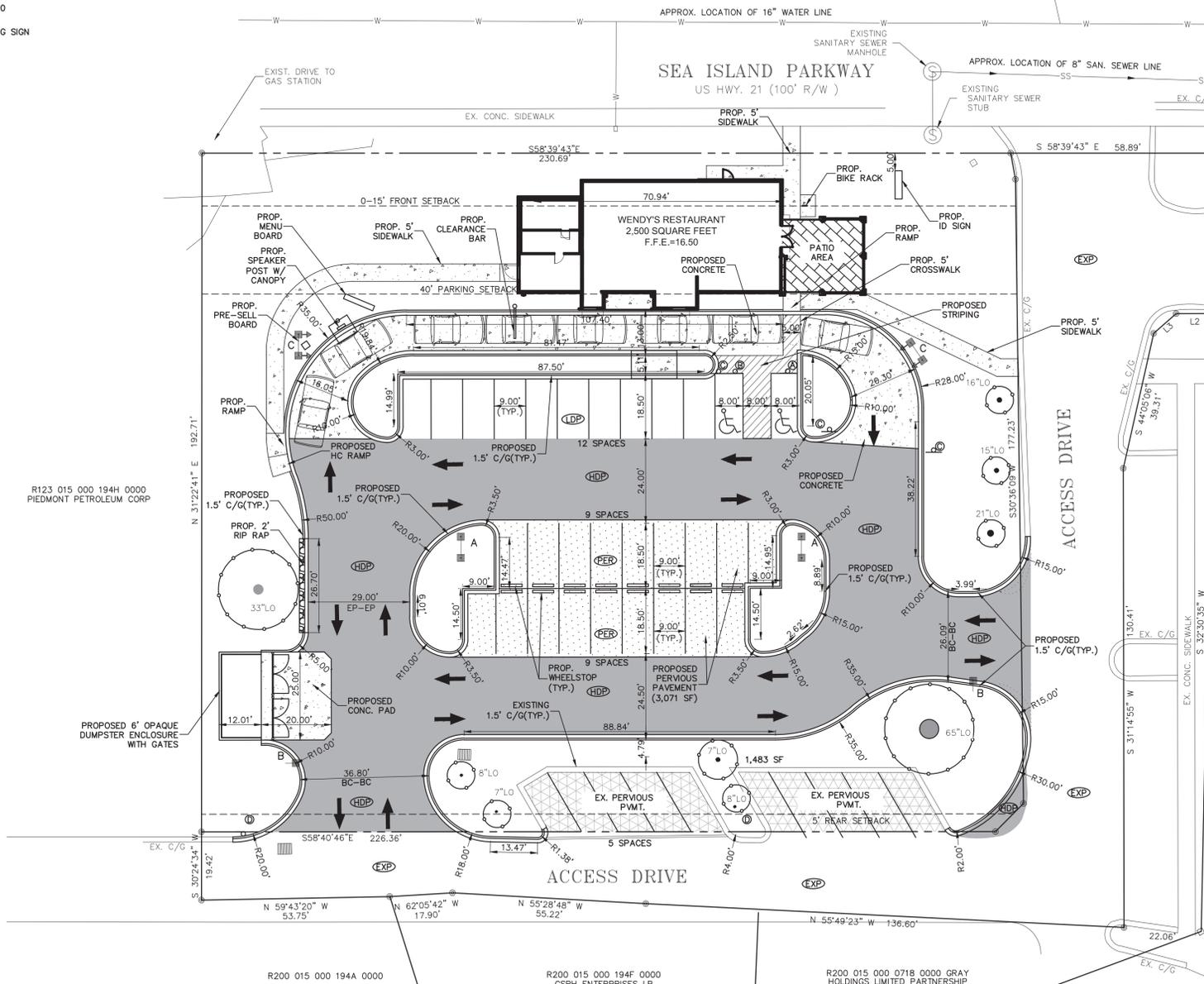
THE ISAACS GROUP, P.C.
 8720 RED OAK BLVD.
 SUITE 420
 CHARLOTTE, NC 28217
 (P)704-626-6217
 (F)704-527-8335
 wpugh@isaacsgrp.com

OPERATOR CONTACT

CAROLINA RESTAURANT GROUP
 8040 ARROWRIDGE BLVD.
 CHARLOTTE, NC 28723
 704-807-1101
 vkzma@classicburgers.com

GENERAL NOTES:

- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY GASQUE & ASSOCIATES INC. SEALED ON OCTOBER 13TH, 2016 THE PHYSICAL AND TOPOGRAPHIC DATA PROVIDED IN THESE DRAWINGS HAS BEEN COMPILED BY THE ISAACS GROUP AND THE ENGINEER OF RECORD IN SUPPORT OF THIS PROJECT AND CANNOT BE RELIED UPON BY OTHERS.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN AND THE UTILITIES SHOWN ON THIS PLAN MAY NOT BE IN THE EXACT LOCATIONS AS SHOWN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR ANY OMISSIONS IN SHOWING EXISTING UTILITIES THAT MAY BE WITHIN THE PROJECT AREA. THE CONTRACTOR IS 100% RESPONSIBLE FOR UTILIZING A PRIVATE LOCATOR AND APPROPRIATE UTILITY COMPANIES TO LOCATE THE SIZE, LOCATION, INVERTS, DEPTHS AND EXISTENCE OF ALL EXISTING UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, FIBER OPTIC, GAS, ETC.) TO HIS/HER SATISFACTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. ANY CONFLICTS SHALL BE AT THE DEVELOPERS EXPENSE TO COORDINATE AND RESOLVE AND COULD RESULT IN DELAY OF WATER METERS BEING SET.
- THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. ANY CONFLICTS SHALL BE AT THE DEVELOPERS EXPENSE TO COORDINATE AND RESOLVE AND COULD RESULT IN DELAY OF WATER METERS BEING SET.
- PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE UTILITY OWNER. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
- HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.



RECOMMENDED PAVING SPECIFICATIONS
 VERIFY WITH GEOTECHNICAL REPORT

- LIGHT DUTY PAVEMENT (LDP):**
 6" COMPACTED AGGREGATE BASE COURSE
 2" SURFACE COURSE, TYPE C
- HEAVY DUTY PAVEMENT (HDP):**
 8" COMPACTED AGGREGATE BASE COURSE
 3" SURFACE COURSE, TYPE C
- CONCRETE DUMPSTER PAD**
 5" COMPACTED STONE BASE COURSE (CABC)
 8" 4000 PSI CONCRETE
 MAT OF #4 REBAR 1' O.C. IN EACH DIRECTION
 CONCRETE SIDEWALKS
 4" 3600 PSI CONCRETE WITH 6"x6" WIRE MESH REINFORCEMENT(10 GAUGE)
 SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).

- NOTES:**
- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SHALL BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
 - PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISAACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.
 - UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

LEGEND

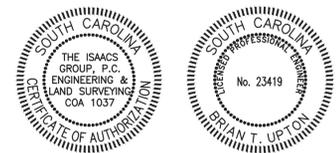
- EXP EXISTING PAVEMENT (EXP)
- LDP PROPOSED LIGHT DUTY PAVEMENT (LDP)
- HDP PROPOSED HEAVY DUTY PAVEMENT (HDP)
- PROPOSED CONCRETE
- PROPOSED PERVIOUS PAVEMENT (PER)
- PROPOSED LIGHT POLE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- S SEWER MANHOLE
- CO SEWER LINE CLEANOUT
- FIRE HYDRANT
- W WATER LINE
- WV WATER VALVE
- WM WATER METER
- BFP BACK-FLOW PREVENTER
- LIGHT POLE
- UTILITY POLE
- OH/U OVERHEAD UTILITY LINE
- FENCE
- TREE PROTECTION FENCE

ACCESSIBLE PARKING NOTE:
 HANDICAP PARKING AND ACCESS AISLE CANNOT EXCEED 1/4" PER 1' SLOPE IN ANY DIRECTION PER THE ACCESSIBILITY CODE.

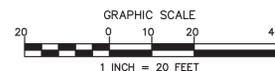
SIGNAGE NOTE:
 1. CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION SIGNAGE TO BE PERMITTED SEPARATELY.
 2. ALL SIDEWALKS, STRIPING AND SIGNAGE TO BE ADA AND MUTCD COMPLIANT.

CONTRACTOR CONTACT
 TO BE DETERMINED

SAW CUT NOTE:
 CONTRACTOR TO SAW CUT ALL OF THE EDGES OF ASPHALT AND CONCRETE.



Brian T. Upton, P.E.
 2020.01.29
 15:50:28 -05'00'



Project: **WENDY'S RESTAURANT**
 168 SEA ISLAND PKWY, BEAUFORT, SC 29907

Title: **SITE PLAN**

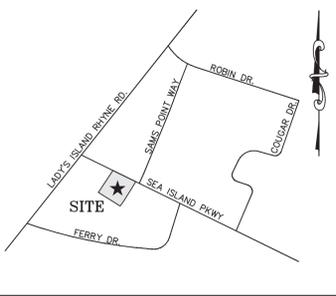
File #: 19209-PB.DWG Date: 11/19/19 Project Egr: BTU
 Design By: BTU
 Drawn By: WDP
 Scale: 1"=20'

ISAACS GROUP
 CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

C1.0

NO.	BY	DATE	REVISION
1	WDP	11/19/2020	DRB RE-SUBMITTAL



LIGHTING NOTE:
CONTRACTOR TO VERIFY FINAL LIGHT POLE LOCATIONS AND SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION

IRRIGATION NOTE:
ALL PLANTINGS SHALL BE MECHANICALLY IRRIGATED.



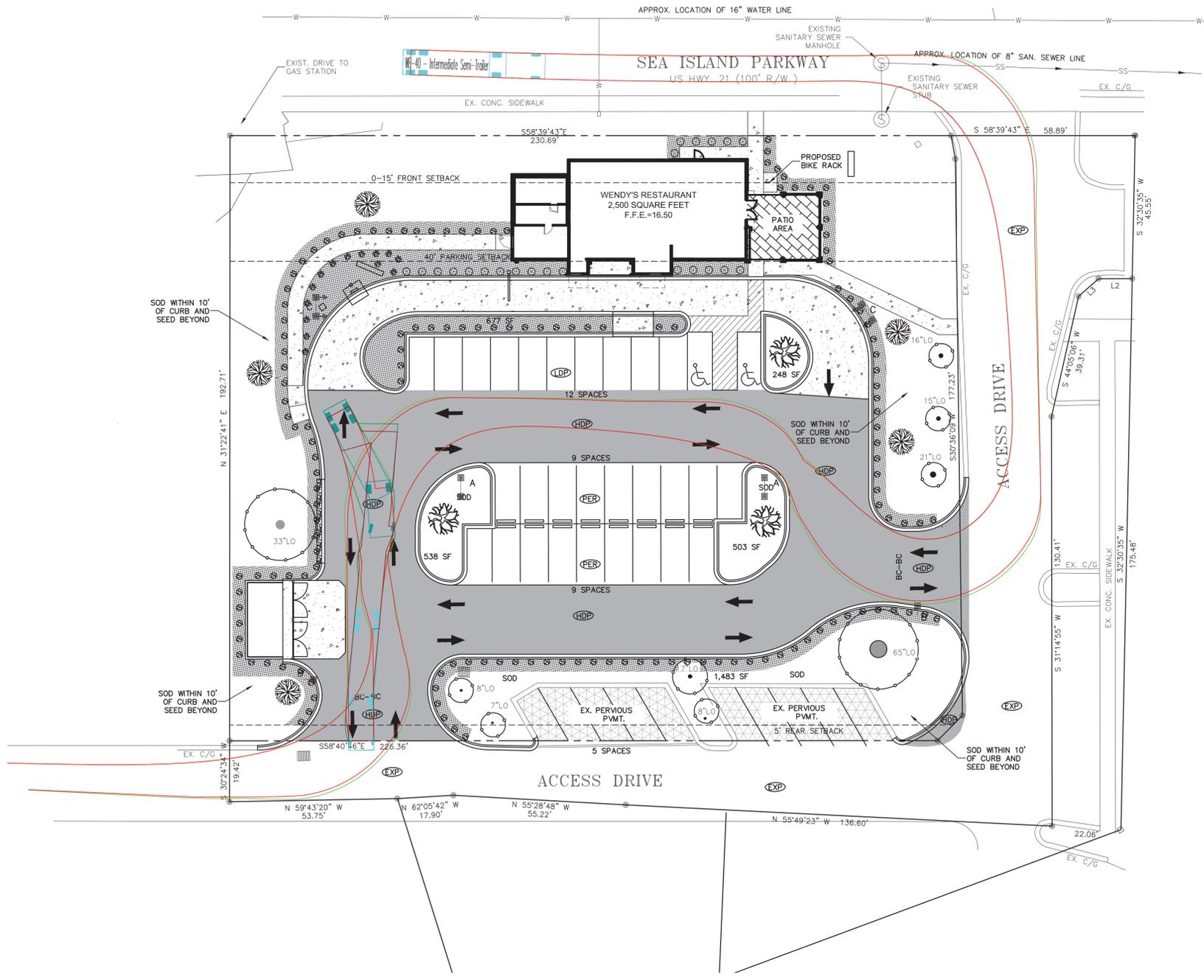
LANDSCAPE LEGEND

SYMBOL	SPECIES	PLANTING SIZE	QTY.
	SHUMARD OAK(OVERSTORY TREE) QUERCUS SHUMARDII	2.5" CALIPER	3
	SPRUCE PINE(OVERSTORY TREE) PINUS GLABRA	2.5" CALIPER	5
	YAUAPON HOLLY(SCREENING SHRUB) ILEX VOMITORIA	18" TALL	146
	INDIAN HAWTHORNE(SCREENING SHRUB) RAPHIOLEPIS INDICA	18" TALL	22
	NANDINA(SCREENING SHRUB) NANDINA DOMESTICA	18" TALL	14
	TREE PROTECTION FENCE		
	PROPOSED HEAVY DUTY PAVEMENT (HDP)		
	PROPOSED LIGHT DUTY PAVEMENT (LDP)		
	PROPOSED CONCRETE PAVEMENT		
	PROPOSED 2"-3" MULCH BED		

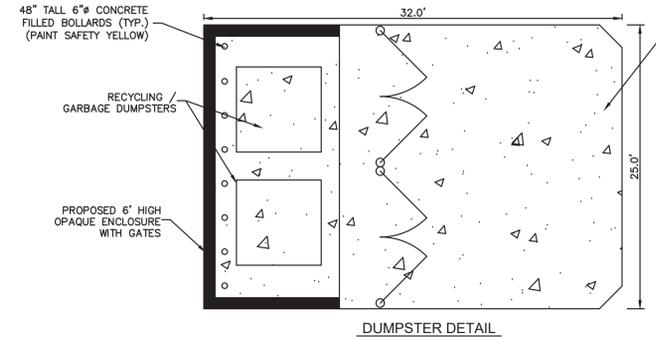
NOTE
PLANT QUANTITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL PLANT QUANTITIES PRIOR TO INSTALLATION.
TREES SHALL BE PLANTED SO THAT THEY DO NOT CONFLICT WITH UNDERGROUND UTILITY LINES.

SEEDING SCHEDULE

MONTH	TEMPORARY COVER	RATE PER ACRE		PERMANENT COVER	RATE PER ACRE	
		SEEDED ALONE	ADDED TO MIX		SEEDED ALONE	ADDED TO MIX
JANUARY	RYEGRASS	40 lbs	---	UNHULLED BERMUDA	10 lbs	6 lbs
	RYE	3 bu	0.5 bu	SERICA LESPEDeza ^A	75 lbs	---
FEBRUARY	ANNUAL LESPEDeza	40 lbs	---	UNHULLED BERMUDA	10 lbs	6 lbs
	RYEGRASS	40 lbs	---	SERICA LESPEDeza ^A	75 lbs	---
MARCH	WEeping LOVEGRASS	4 lbs	2 lbs	PENSACOLA BOHIA	60 lbs	30 lbs
	ANNUAL LESPEDeza	40 lbs	---	HULLED BERMUDA	10 lbs	6 lbs
APRIL	WEeping LOVEGRASS	4 lbs	2 lbs	PENSACOLA BOHIA	60 lbs	30 lbs
	SUDAN GRASS	80 lbs	---	HULLED BERMUDA	10 lbs	6 lbs
MAY	BROWN TOP MILLET	40 lbs	---	SERICA LESPEDeza ^A	75 lbs	---
	ANNUAL LESPEDeza	40 lbs	---	PENSACOLA BOHIA	60 lbs	30 lbs
JUNE	WEeping LOVEGRASS	4 lbs	2 lbs	WEeping LOVEGRASS	6 lbs	6 lbs
	SUDAN GRASS	80 lbs	---	HULLED BERMUDA	10 lbs	6 lbs
JULY	BROWN TOP MILLET	40 lbs	---	SERICA LESPEDeza ^A	75 lbs	---
	PEARL MILLET	50 lbs	---	PENSACOLA BOHIA	60 lbs	30 lbs
AUGUST	PEARL MILLET	50 lbs	---	HULLED BERMUDA	10 lbs	6 lbs
	RYE	3 bu	0.5 bu	PENSACOLA BOHIA	60 lbs	30 lbs
SEPTEMBER	RYEGRASS	40 lbs	---	SERICA LESPEDeza ^A	75 lbs	---
	OATS	4 bu	1 bu	UNHULLED BERMUDA	10 lbs	6 lbs
OCTOBER	WHEAT	3 bu	0.5 bu	SERICA LESPEDeza ^A	75 lbs	---
	RYEGRASS	40 lbs	---			
NOVEMBER	RYE	3 bu	0.5 bu			
	BARLEY	3 bu	0.5 bu			
DECEMBER	SAME AS OCTOBER			SAME AS OCTOBER		



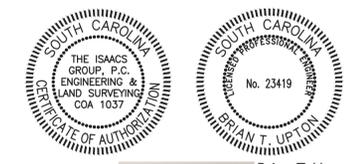
- LANDSCAPING NOTES:**
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED IN ACCORDANCE WITH THE PLAN BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS (IF APPLICABLE).
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, CONSTRUCTION DEBRIS AND COMPACTED SOIL PRIOR TO PLANTING.
 - REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOP SOIL STANDARDS FOR PLANTING TREES.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 - ALL GRASS AND LANDSCAPED AREAS ARE TO BE PROPERLY MAINTAINED AND IRRIGATED.



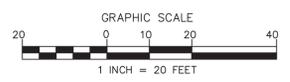
5" COMPACTED STONE BASE COURSE (CABC) 8" 4000 PSI CONCRETE MAT OF #4 REBAR 1' O.C. IN EACH DIRECTION

TREE PROTECTION NOTES:

- NO ACTIVITY, STORAGE OF MATERIALS OR PARKING OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION AREA.
- TREE PROTECTION FENCING MUST REMAIN INTACT AND IN PLACE THROUGHOUT THE CONSTRUCTION OF THE BUILDING, INFRASTRUCTURE, PARKING, AND DRIVEWAYS IS COMPLETE, AND UNTIL THE SITE IS READY FOR INSTALLATION OF THE LANDSCAPING. THE LOCATION OF THE FENCING CANNOT BE CHANGED WITHOUT APPROVAL OF THE PLANNING DEPARTMENT.
- TREE MAINTENANCE SHALL TAKE INTO ACCOUNT THE NATURAL SHAPE AND GROWTH PATTERNS OF THE TREE. TREES INTENDED TO GROW TO THE GROUND SHALL NOT BE LIMBED UP; TREES SHALL NOT BE TOPPED OR PRUNED TO GROW AS SHRUBS OR BUSHES.



Brian T. Upton, P.E.
2020.01.30
10:27:13 -05'00'



Project: **WENDY'S RESTAURANT**
168 SEA ISLAND PKWY, BEAUFORT, SC 29907

Title: **LANDSCAPE PLAN**

File #: 19209-PB.DWG Date: 11/19/19 Project Egr: BTU

ISAACS GROUP
CIVIL ENGINEERING DESIGN AND SURVEYING
8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

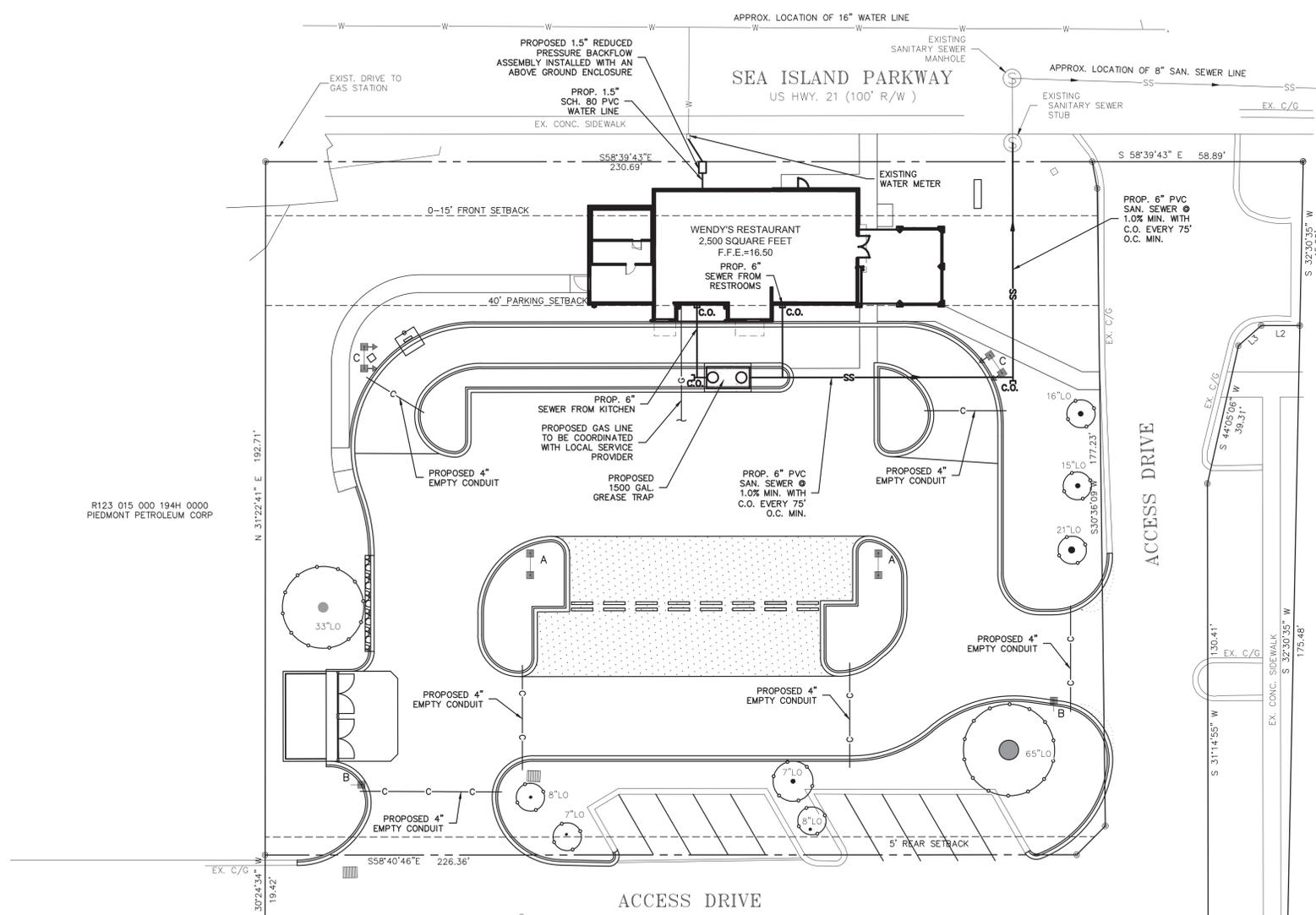
Design By: BTU
Drawn By: WDP
Scale: 1"=20'

C1.1



VICINITY MAP: NOT TO SCALE

FLOOD CERTIFICATION
 THIS PROPERTY LIES IN FLOOD ZONE A-9, BASE ELEV. 13.00
 AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER
 450025-0100 D. DATED 09/29/86

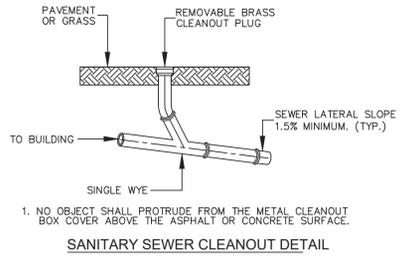


R123 015 000 194H 0000
 PIEDMONT PETROLEUM CORP

R200 015 000 194F 0000
 CSRH ENTERPRISES LP

R200 015 000 194A 0000
 PIEDMONT PETROLEUM CORP

ACCESS DRIVE



LEGEND

- SS ——— EXISTING SANITARY SEWER LINE
- G ——— EXISTING GAS LINE
- W ——— EXISTING WATER LINE
- --- EXISTING STORM DRAINAGE PIPE
- ——— EXISTING CATCH BASIN
- ⊙ ——— EXISTING SAN. SEWER MANHOLE
- ⊕ ——— EXISTING POWER POLE
- WV ⊕ — EXISTING WATER VALVE
- SS ——— PROPOSED SANITARY SEWER LINE
- W ——— PROPOSED WATER LINE
- C ——— PROPOSED EMPTY CONDUIT
- C.O. ——— PROPOSED CLEAN OUT (75' O.C.)

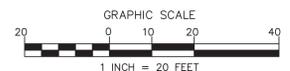
- UTILITY NOTES:**
- EXACT LOCATIONS OF WATER SERVICE CONNECTIONS ARE REQUIRED FOR AS BUILT RECORDS.
 - MINIMUM COVER OF 36" FOR WATER AND SEWER LINES. ALL SEWER LATERALS WITH LESS THAN 3" OF COVER SHALL BE DUCTILE IRON PIPE.
 - MAINTAIN MIN. 10" HORIZONTAL SEPARATION (MIN. 24" VERTICAL SEPARATION AT CROSSINGS) BETWEEN SANITARY SEWER AND WATER LINES AND STORM SEWER LINES. IF THESE SEPARATIONS CANNOT BE OBTAINED, SANITARY SEWER LINES AND WATER LINES MUST USE DUCTILE IRON PIPE (DIP). AT CROSSINGS DIP MUST BE USED 10' ON EITHER SIDE OF CROSSING.
 - SIZE AND LOCATION OF EXISTING WATER AND SEWER LINES TO BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL COORDINATE THE PROPOSED WATER AND SEWER LINE WORK WITH BEAUFORT JASPER WATER AND SEWER AUTHORITY.
 - MATERIAL AND WORKMANSHIP REQUIREMENTS TO BE IN ACCORDANCE WITH BEAUFORT JASPER WATER AND SEWER AUTHORITY POLICIES, PROCEDURES, STANDARDS AND SPECIFICATIONS FOR PUBLIC AND PRIVATE WATER AND SEWER LINES.
 - ALL 6" SANITARY SEWER LATERALS SHALL HAVE MIN. 1.0% SLOPE WITH CLEANOUTS EVERY 75'.
 - CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ISAACS GROUP A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO THE CONSTRUCTION OF WATER AND SEWER LINES TO ALLOW A REPRESENTATIVE FROM THE ISAACS GROUP TO PERIODICALLY BE ON-SITE DURING INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN AS-BUILT SURVEY OF THE WATER AND SEWER LINES TO THE ISAACS GROUP UPON COMPLETION OF INSTALLATION.
 - PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITY DAMAGED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
 - PROP. EMPTY CONDUITS AND LATERALS TO BE CAPPED AND MARKED AT EACH END WITH 1/2" REBAR DRIVEN 3" INTO THE GROUND AND FLAGGED. (TYP.)
 - THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS BACKFLOW PREVENTER.
 - THE BEAUFORT JASPER WATER AND SEWER AUTHORITY HAS THE RIGHT TO ENTER INTO THE RIGHT OF WAY FOR THE PURPOSE OF MAINTAINING, REPAIRING, ETC., THE WATER AND SEWER MAINS.
 - ABOVE GROUND REDUCED PRESSURE BACKFLOW PREVENTER SHALL HAVE A 7.4 R-RATING INSULATION FACTOR COVER.
 - THE BEAUFORT JASPER WATER AND SEWER AUTHORITY SHALL PROVIDE THE CONTRACTOR WITH THE METER AND THE METER SETTER.
 - WATER TAP TO BE MADE BY CONTRACTOR PER BJWSA REQUIREMENTS.
 - THE CONTRACTOR SHALL VERIFY BACKFLOW REQUIREMENTS WITH BJWSA AT (843)987-9250 PRIOR TO INSTALLATION.
 - SERVICE LINE FROM TRANSFORMER TO BUILDING TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR.



**Know what's below.
 Call before you dig.**
 THE EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD NOT BE RELIED UPON AS THE EXACT LOCATION OR A COMPLETE INVENTORY WHEN PERFORMING SITE EXCAVATION. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.



Brian T. Upton, P.E.
 2020.01.29
 15:51:37 -05'00'



Project: **WENDY'S RESTAURANT**
 168 SEA ISLAND PKWY, BEAUFORT, SC 29907

Title: **UTILITY PLAN**

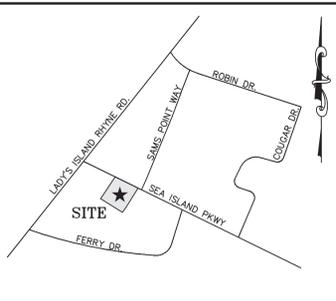
File #: 19209-PB.DWG Date: 11/19/19 Project Egr: BTU
 Design By: BTU
 Drawn By: WDP
 Scale: 1"=20'

ISAACS GROUP
 CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
 CHARLOTTE, N.C. 28217
 PHONE (704) 527-3440 FAX (704) 527-8335

C2.0

NO.	BY	DATE	REVISION
1	WDP	1/29/2020	DRB RE-SUBMITTAL



VICINITY MAP: NOT TO SCALE

SIDEWALK NOTES:

1. SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 2% AND THE RUNNING SLOPE ALONG THE TRAVEL PATH SHALL NOT EXCEED 5% EXCEPT AT DESIGNATED RAMPS.
2. CROSS-SLOPES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO POURING CONCRETE FOR THE SIDEWALKS.
3. IF AFOREMENTIONED SLOPES CAN NOT BE ATTAINED, THE ENGINEER SHOULD BE NOTIFIED PRIOR TO SIDEWALK INSTALLATION.
4. IF RAMPS EXCEED 6' IN LENGTH WITHOUT A LANDING AREA OR THE RUNNING SLOPE ALONG THE TRAVEL PATH EXCEEDS 5%, HANDRAILS MAY BE REQUIRED. VERIFY WITH ENGINEER OR LOCAL INSPECTOR.

NOTES:

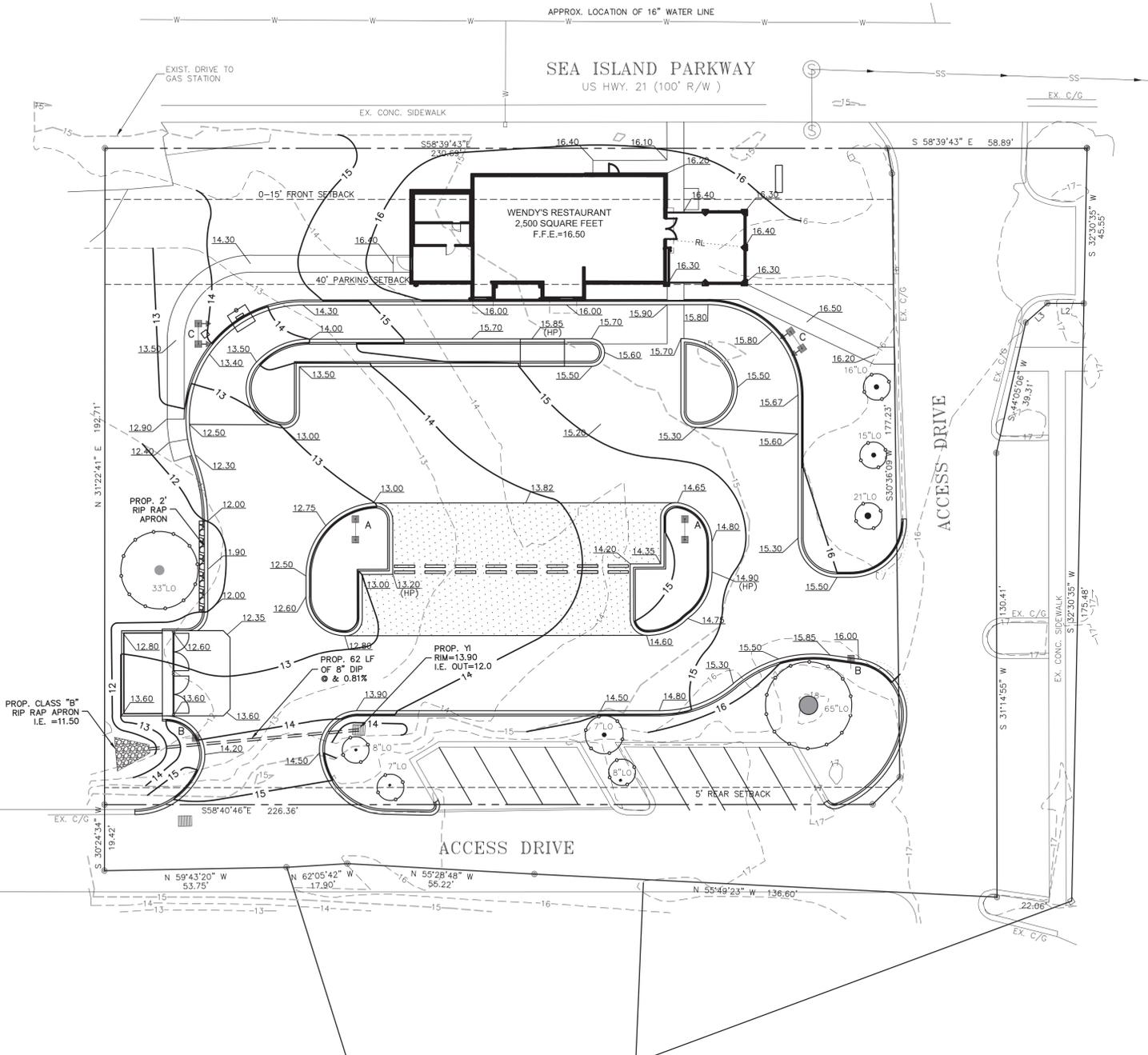
1. IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, UNLESS ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY-ONE (21) DAYS.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY SEVEN (7) DAYS OR AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (1/2) INCH. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
7. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
8. CONTRACTOR TO ENSURE EXISTING OFFSITE DETENTION BASIN IS MAINTAINED IN PROPER WORKING ORDER DURING CONSTRUCTION ACTIVITY.
9. CLASS III RCP WITH ORINGS IS AN ACCEPTABLE SUBSTITUTE FOR HDPE.
10. HDPE TO HAVE WATER TIGHT JOINTS.

TREE PROTECTION NOTES:

1. NO ACTIVITY, STORAGE OF MATERIALS OR PARKING OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION AREA.
2. TREE PROTECTION FENCING MUST REMAIN INTACT AND IN PLACE THROUGHOUT THE CONSTRUCTION OF THE BUILDING, INFRASTRUCTURE, PARKING, AND DRIVEWAYS IS COMPLETE, AND UNTIL THE SITE IS READY FOR INSTALLATION OF THE LANDSCAPING. THE LOCATION OF THE FENCING CANNOT BE CHANGED WITHOUT APPROVAL OF THE PLANNING DEPARTMENT.
3. TREE MAINTENANCE SHALL TAKE INTO ACCOUNT THE NATURAL SHAPE AND GROWTH PATTERNS OF THE TREE. TREES INTENDED TO GROW TO THE GROUND SHALL NOT BE LIMBED UP; TREES SHALL NOT BE TOPPED OR PRUNED TO GROW AS SHRUBS OR BUSHES.

DRAINAGE NOTES:

1. REVERSE CURB AND GUTTER TO BE USED IN AREAS NOT CHANNELING STORM WATER RUNOFF.
2. THE PROPOSED CONTOURS WITHIN PAVED AREAS ARE GRAPHICAL REPRESENTATIONS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING UNIFORMLY BETWEEN SPOT ELEVATIONS.
3. CONTRACTOR TO GRADE ALL AREAS WITHIN PROJECT TO DRAIN STORM WATER. CARE SHALL BE TAKEN TO ENSURE THAT ALL AREAS WITHIN PARKING LOTS AND LANDSCAPED ISLANDS SHALL NOT HOLD WATER UPON PROJECT COMPLETION.
4. MIN. SLOPE ON ALL ASPHALT TO BE 1.5%.
5. MIN. SLOPE ON CURB AND GUTTER CARRYING STORM WATER TO BE 0.5%.
6. MIN. SLOPE ON REVERSE CURB AND GUTTER TO BE 0.0%.



LEGEND

- ELEV--- EXISTING CONTOUR
- ELEV--- PROPOSED CONTOUR
- ELEV/ PROPOSED SPOT ELEVATION (ON ASPHALT)
- SS--- EXISTING SANITARY SEWER LINE
- W--- EXISTING WATER LINE
- [] EXISTING CATCH BASIN
- C--- EXISTING GAS LINE
- --- EXISTING STORM DRAINAGE PIPE
- RL--- RIDGE LINE

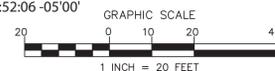


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Brian T. Upton, P.E.
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Project: **WENDY'S RESTAURANT**
168 SEA ISLAND PKWY, BEAUFORT, SC 29907

Title: **GRADING PLAN**

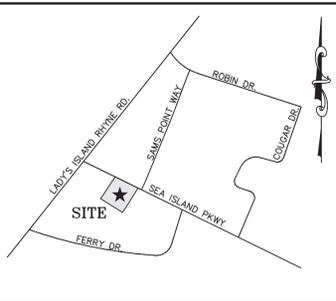
File #: 19209-PB.DWG Date: 11/19/19 Project Egr: BTU
Design By: BTU
Drawn By: WDP
Scale: 1"=20'

ISAACS GROUP
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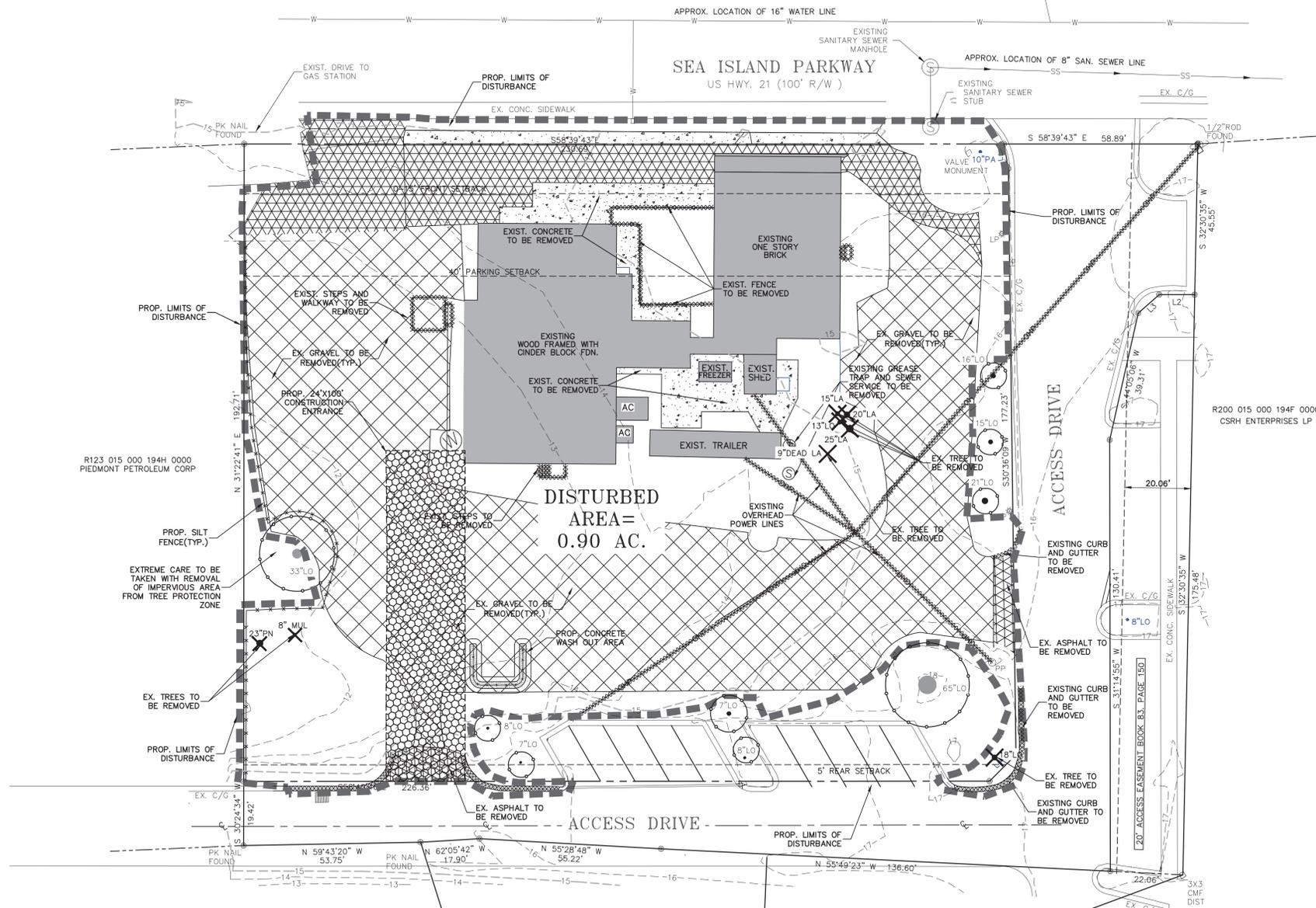
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VICINITY MAP: NOT TO SCALE

SCDHEC STANDARD NOTES:

- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS
 - STABILIZATION MEASURES MUST BE INITIATED AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
 - ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE CALENDAR EVERY WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
 - PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
 - ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
 - THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
 - RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
 - TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
 - ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
 - LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- STANDARD NOTES**
REVISED DECEMBER 2012
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
 - MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
 - MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
 - THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
 - AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
 - IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
 - A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.



TREE LEGEND

CODE	COMMON NAME	BOTANICAL NAME
PNS	PINE SHORTLEAF	Pinus echinata
PNL	PINE LONGLEAF	Pinus palustris
LO	LIVE OAK	Quercus virginiana
LA	LAUREL OAK	Quercus laurifolia
ML	MULBERRY	Morus

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK. THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS OR MINUS 0.9 FEET. ALL TREES ARE MEASURED AT GROUND HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE. *NOTES: TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE AGREED UPON.

- TREE MITIGATION:**
3 SHADE TREES PER 100 L.F. OR
4 ORNAMENTAL TREES PER 100 L.F.
36 POINTS PER 100 L.F.
- LANDMARK TREES:**
LIVE OAKS: 2 TREE-98 INCHES
TOTAL CALIPER INCHES: 98 INCHES
- SPECIMEN TREES:**
LIVE OAKS: 2 TREE-31 INCHES
TOTAL CALIPER INCHES: 31 INCHES
- MITIGATION COST:**
LANDMARK TREES: \$100/CALIPER INCH
98 CALIPER INCHES: \$100*98=\$9,800.00
SPECIMEN TREES: \$50/CALIPER INCH
18 CALIPER INCHES: \$100*31=\$3,100.00
- ALL OTHER TREES GREATER THAN 8" CALIPER: NO COST
TOTAL TREE MITIGATION COST=\$12,900.00

STOCKPILE NOTE:
THERE WILL BE NO STOCKPILE AREA LOCATED ON SITE.

- TREE PROTECTION NOTES:**
- NO ACTIVITY, STORAGE OF MATERIALS OR PARKING OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION AREA.
 - TREE PROTECTION FENCING MUST REMAIN INTACT AND IN PLACE THROUGHOUT THE CONSTRUCTION OF THE BUILDING, INFRASTRUCTURE, PARKING, AND DRIVEWAYS IS COMPLETE, AND UNTIL THE SITE IS READY FOR INSTALLATION OF THE LANDSCAPING. THE LOCATION OF THE FENCING CANNOT BE CHANGED WITHOUT APPROVAL OF THE PLANNING DEPARTMENT.
 - TREE MAINTENANCE SHALL TAKE INTO ACCOUNT THE NATURAL SHAPE AND GROWTH PATTERNS OF THE TREE. TREES INTENDED TO GROW TO THE GROUND SHALL NOT BE LIMBED UP; TREES SHALL NOT BE TOPPED OR PRUNED TO GROW AS SHRUBS OR BUSHES.

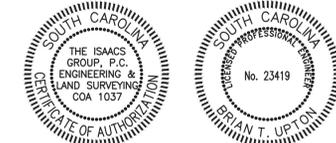
- CONSTRUCTION SEQUENCE**
- CONTACT CITY OF BEAUFORT ENGINEERING DEPT. AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE PRE-CONSTRUCTION MEETING.
 - INSTALL EROSION CONTROL DEVICES INCLUDING SILT FENCE AND CONSTRUCTION ENTRANCES. GRADE ONLY AS NECESSARY FOR INSTALLATION OF THESE DEVICES.
 - CLEAR AND GRADE SITE.
 - INSTALL UTILITIES.
 - FINAL GRADING, PAVING AND STABILIZATION OF ALL DISTURBED AREAS.
 - REMOVE TEMPORARY SEDIMENT CONTROL DEVICES.



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- LEGEND**
- ELEV--- EXISTING CONTOUR
 - ELEV--- PROPOSED CONTOUR
 - LIMITS OF DISTURBANCE
 - X---X--- PROPOSED SILT FENCE
 - EXISTING BUILDING TO BE REMOVED
 - EXISTING CONCRETE TO BE REMOVED
 - EXISTING ASPHALT TO BE REMOVED
 - EXISTING GRAVEL TO BE REMOVED
 - X---X--- EXIST. STRIPING, UTILITIES ETC. TO BE REMOVED
 - TREE PROTECTION FENCE



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Project: **WENDY'S RESTAURANT**
168 SEA ISLAND PKWY, BEAUFORT, SC 29907

Title: **DEMOLITION AND PH I EROSION CONTROL PLAN**

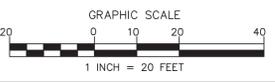
File #: 19209-PB.DWG Date: 11/19/19 Project Egr: BTU
Design By: BTU
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CIVIL ENGINEERING DESIGN AND SURVEYING

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NO.	BY	DATE	REVISION
1	WDP	1/29/2020	DRB RE-SUBMITTAL



SPILL PREVENTION AND RESPONSE

THE BMPs DESCRIBE BELOW SHOULD BE IMPLEMENTED TO PREVENT AND CONTROL SPILLS IN A MANNER THAT MINIMIZES OR PREVENTS THE DISCHARGE OF SPILLED MATERIAL TO THE DRAINAGE SYSTEM OR WATERCOURSES. THEY APPLY TO ALL CONSTRUCTION PROJECTS AND SHOULD BE UTILIZED ANYTIME CHEMICALS AND/OR HAZARDOUS SUBSTANCES ARE STORED ON SITE. SUBSTANCES MAY INCLUDE, BUT ARE NOT LIMITED TO:

- SOIL STABILIZERS/BINDERS
- DUST PALLIATIVES
- HERBICIDES
- GROWTH INHIBITORS
- FERTILIZERS
- DEICING/ANTI-ICING CHEMICALS
- PAINTS
- FUELS
- LUBRICANTS, AND
- OTHER PETROLEUM DISTILLATES.

TO THE EXTENT THAT THE WORK CAN BE ACCOMPLISHED SAFELY, SPILLS OF OIL, PETROLEUM PRODUCTS, SUBSTANCES LISTED UNDER 40 CFR PARTS 110, 117, AND 302, AND SANITARY AND SEPTIC WASTES SHOULD BE CONTAINED AND CLEANED UP IMMEDIATELY.

SPILL PREVENTION CONTROL AND COUNTERMEASURE PLAN

IN THE EVENT OF A SPILL OF A DANGEROUS OR HAZARDOUS WASTE, REGARDLESS OF SIZE THAT COULD REACH SURFACE WATERS, DHEC MUST BE NOTIFIED IMMEDIATELY @ 1-888-481-0125 AND THE FOLLOWING INFORMATION MUST BE PROVIDED:

1. REPORTING PARTY
2. MATERIAL RELEASED
3. CONCENTRATION OF MATERIAL
4. CONTACT PHONE NUMBER(S)
5. RESOURCE DAMAGES (E.G. DEAD FISH)
6. LOCATION
7. RESPONSIBLE PARTY
8. QUANTITY OF SPILL AND CLEANUP STATUS
9. THE SITE CONTRACTOR SHOULD IDENTIFY APPROPRIATE PRACTICES FOR THE SPECIFIC MATERIALS USED OR STORED ON SITE.

BMP's

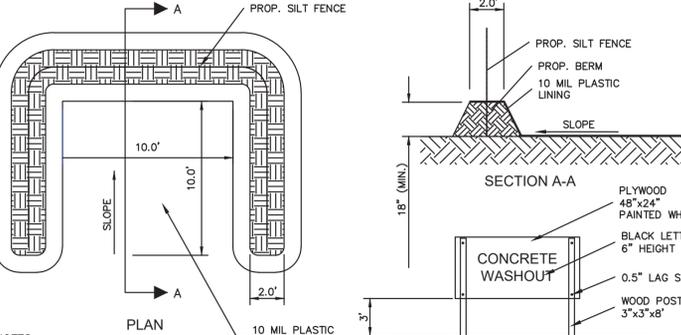
EDUCATION

1. EDUCATE EMPLOYEES AND SUBCONTRACTORS ON WHAT A "SIGNIFICANT SPILL" IS FOR EACH MATERIAL THEY USE AND WHAT IS THE APPROPRIATE RESPONSE FOR "SIGNIFICANT" AND "INSIGNIFICANT" SPILLS.
2. EDUCATE EMPLOYEES AND SUBCONTRACTORS ON POTENTIAL DANGERS TO HUMANS AND THE ENVIRONMENT FROM SPILLS AND LEAKS.
3. HOLD REGULAR MEETINGS TO DISCUSS AND REINFORCE APPROPRIATE DISPOSAL PROCEDURES (INCORPORATE INTO REGULAR SAFETY MEETINGS).
4. PROVIDE SPECIFIC CLEANUP INSTRUCTIONS FOR DIFFERENT PRODUCTS HANDLED ON-SITE.
5. ASSIGN A PERSON TO BE IN CHARGE OF CLEANUP ASSISTANCE.
6. PREPARE SPILL CONTAINMENT AND CLEANUP LISTS THAT ARE EASY TO FIND AND USE.
7. POST A SUMMARY OF THE CLEANUP PLAN AT APPROPRIATE LOCATIONS.
8. CLEANUP AND STORAGE PROCEDURES

1. IF A SPILL OCCURS, DEMOBILIZE IT AS SOON AS POSSIBLE.
2. IF THERE IS A CHANCE THAT THE SPILL COULD ENTER A STORM DRAIN OR SEWER, PLUG THE INLET AND TURN OFF OR DIVERT ANY INCOMING WATER.
3. COVER THE SPILL WITH ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAND/DOIT. DO NOT USE STRAW. DISPOSE OF THE USED ABSORBENT PER MANUFACTURER'S INSTRUCTIONS. IF THE SPILL IS FLAMMABLE, DISPOSE OF AS DIRECTED BY THE LOCAL FIRE MARSHAL.
4. KEEP THE AREA WELL VENTILATED.
5. MINOR SPILLS - MINOR SPILLS TYPICALLY INVOLVE SMALL QUANTITIES OF OIL, GASOLINE, PAINT, ETC., WHICH CAN BE CONTROLLED BY THE FIRST RESPONDER AT THE DISCOVERY OF THE SPILL. USE ABSORBENT MATERIALS ON SMALL SPILLS RATHER THAN HOISING DOWN OR BURYING THE SPILL.
6. SEMI-SIGNIFICANT SPILLS - SEMI SIGNIFICANT SPILLS STILL CAN BE CONTROLLED BY THE FIRST RESPONDER ALONG WITH THE AID OF OTHER PERSONNEL SUCH AS LABORERS AND THE FOREMAN, ETC. THIS RESPONSE MAY REQUIRE THE CESSATION OF ALL OTHER ACTIVITIES.
7. CONTAIN SPILLS IMMEDIATELY. IF THE SPILLS OCCURS ON PAVED OR IMPERMEABLE SURFACES, CLEAN UP USING "DRY" METHODS (ABSORBENT MATERIALS, CAT LITTER AND/OR RAGS). CONTAIN THE SPILL BY ENCIRCLING WITH ABSORBENT MATERIALS AND DO NOT LET THE SPILL SPREAD WIDELY.
8. IF THE SPILL OCCURS IN DIRT AREAS, IMMEDIATELY CONTAIN THE SPILL BY CONSTRUCTING AN EARTHEN DIKE.
9. IF THE SPILL OCCURS DURING RAIN, TO THE EXTENT THAT IT DOESN'T COMPROMISE CLEAN UP ACTIVITIES, COVER SPILL WITH TARPS OR OTHER MATERIAL TO PREVENT CONTAMINATING RUNOFF.
10. SIGNIFICANT/HAZARDOUS SPILLS - FOR SIGNIFICANT OR HAZARDOUS SPILLS THAT CANNOT BE CONTROLLED BY PERSONNEL IN THE IMMEDIATE VICINITY, THE SERVICES OF A SPILLS CONTRACTOR OR A HAZ-MAT TEAM SHOULD BE OBTAINED IMMEDIATELY. CONSTRUCTION PERSONNEL SHOULD NOT ATTEMPT TO CLEAN UP THE SPILL UNTIL THE APPROPRIATE AND QUALIFIED STAFF HAS ARRIVED AT THE JOB SITE.
11. SPILLS SHOULD NOT BE BURIED OR WASHED WITH WATER.
12. USED CLEAN UP MATERIALS, CONTAMINATED MATERIALS, AND RECOVERED SPILL MATERIAL THAT ARE NO LONGER SUITABLE FOR THE INTENDED PURPOSE SHOULD BE STORED AND DISPOSED OF PROPERLY.
13. WATER USED FOR CLEANING AND DECONTAMINATION SHOULD NOT BE ALLOWED TO ENTER STORM DRAINS OR WATER COURSES AND SHOULD BE COLLECTED AND DISPOSED OF AS DESCRIBED IN LIQUID WASTE MANAGEMENT.
14. PROPER STORAGE, CLEANUP AND SPILL REPORTING INSTRUCTIONS FOR HAZARDOUS MATERIALS STORED OR USED ON THE PROJECT SITE SHOULD BE POSTED AT ALL TIMES IN AN OPEN, CONSPICUOUS AND ACCESSIBLE LOCATION.
15. WASTE STORAGE AREAS SHOULD BE KEPT CLEAN, WELL ORGANIZED AND EQUIPPED WITH AMPLE CLEAN-UP SUPPLIES AS APPROPRIATE FOR THE MATERIALS BEING STORED. PERIMETER CONTROLS, CONTAINMENT STRUCTURES, COVERS AND LINERS SHOULD BE REPAIRED OR REPLACED AS NEEDED TO MAINTAIN PROPER FUNCTION.

INSPECTION AND MAINTENANCE

1. VERIFY WEEKLY, THAT SPILL CONTROL CLEANUP MATERIALS ARE LOCATED NEAR MATERIAL STORAGE, UNLOADING AND USE AREAS.
2. UPDATE SPCC PLANS AND STOCK APPROPRIATE CLEANUP MATERIALS WHENEVER CHANGES OCCUR IN THE TYPES OF CHEMICALS USED OR STORED ON SITE.



- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

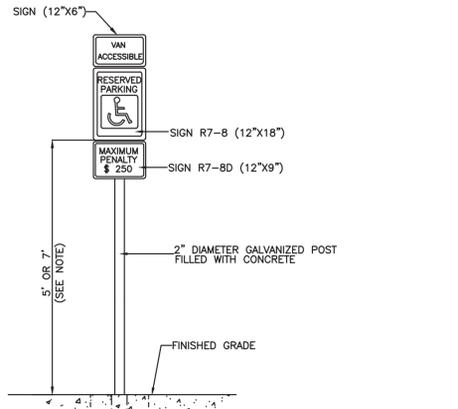
ONSITE TEMPORARY CONCRETE WASHOUT FACILITY, CONCRETE TRANSIT TRUCK WASHOUT PROCEDURE

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES, UNLESS DETERMINED FEASIBLE BY THE ENGINEER OR CRM. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. INSTALL A SIGN ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED DURING WASHOUT PROCEDURE.
5. PERFORM WASHOUT OF CONCRETE MIXER TRUCKS IN DESIGNATED AREAS ONLY. WASHOUT MAY BE COLLECTED IN AN IMPERMEABLE BAG FOR DISPOSAL. SEE ALSO CONCRETE TRACK WASHOUT.
6. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF PER SOLID WASTE MANAGEMENT.

INSPECTION AND MAINTENANCE

1. THE ENGINEER OR CRM SHOULD MONITOR ON SITE CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES AT LEAST WEEKLY.
2. THE ENGINEER OR CRM SHOULD MONITOR CONCRETE WORKING TASKS, SUCH AS SAW CUTTING, CORING, GRINDING AND GRINDING DAILY TO ENSURE PROPER METHODS ARE EMPLOYED.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY WITH A MINIMUM FREEDOM OF 4 INCHES FOR ABOVE GRADE AND 12 INCHES FOR BELOW GRADE FACILITIES. MAINTAINING TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD INCLUDE REMOVING AND DISPOSING OF HARDENED CONCRETE AND RETURNING THE FACILITIES TO A FUNCTIONAL CONDITION.
4. EXISTING FACILITIES SHOULD BE CLEANED, OR NEW FACILITIES SHOULD BE CONSTRUCTED AND READY FOR USE ONCE THE WASHOUT IS 75% FULL.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED FOR DAMAGE (I.E., TEARS IN PVC LINER, MISSING SANDBAGS, ETC.). DAMAGED FACILITIES SHOULD BE REPAIRED IMMEDIATELY.

CONCRETE WASHOUT DETAIL



STABILIZED CONSTRUCTION ENTRANCE

WHEN AND WHERE TO USE IT

STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD.

IMPORTANT CONSIDERATIONS

IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFFSITE. WASH-DOWN FACILITIES SHALL BE REQUIRED AS DIRECTED BY SCDEEC AS NEEDED. WASH-DOWN AREAS IN GENERAL MUST BE ESTABLISHED WITH CRUSHED GRAVEL AND DRAIN INTO A SEDIMENT TRAP OR SEDIMENT BASIN. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY VEHICLES.

INSTALLATION

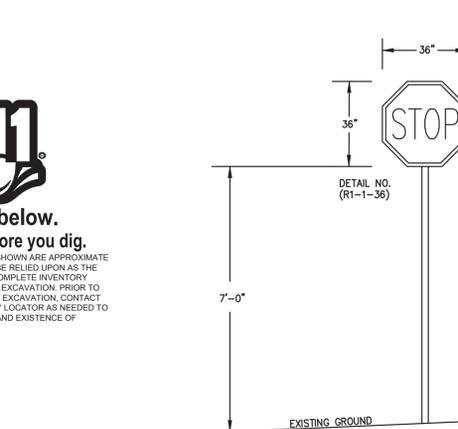
REMOVE ALL VEGETATION AND ANY OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM STONES TO A SEDIMENT TRAP OR BASIN. INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE. THE ENTRANCE SHALL CONSIST OF 1-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES. MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FOOT WIDE BY 100-FOOT LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS. THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING OF MUD AT THE EDGE OF THE ENTRANCE.

STABILIZED CONSTRUCTION ENTRANCE

INSPECTION AND MAINTENANCE

INSPECT CONSTRUCTION ENTRANCES EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24-HOURS AFTER EACH RAINFALL EVENT THAT PRODUCES 1/2-INCHES OR MORE OF PRECIPITATION, OR AFTER HEAVY USE. CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING PERIODS OF WET WEATHER. MAINTENANCE IS REQUIRED MORE FREQUENTLY IN WET WEATHER CONDITIONS. RESHAPE THE STONE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY THE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN. REPAIR ANY BROKEN PAVEMENT IMMEDIATELY.

HANDICAPPED SIGN DETAIL



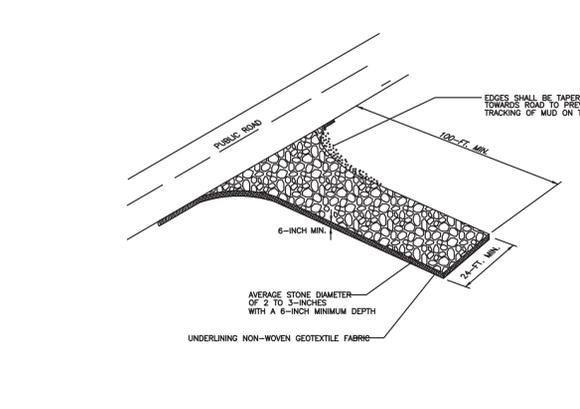
STOP SIGN DETAIL
SEE FIGURE TG-31-1 FOR PLACEMENT

TYPE B - WIRE MESH AND STONE INLET PROTECTION

- MATERIALS:**
- USE HARDWARE FABRIC OR COMPARABLE WIRE MESH WITH MAXIMUM OPENINGS OF 0.5-INCHES X 0.5-INCHES AS THE SUPPORTING MATERIAL.
 - USE STEEL POSTS THAT MEET THE FOLLOWING MINIMUM PHYSICAL REQUIREMENTS: BE COMPOSED OF HIGH STRENGTH STEEL WITH MINIMUM YIELD STRENGTH OF 50,000 PSI. HAVE A STANDARD "T" SECTION WITH A NOMINAL FACE WIDTH OF 1.38-INCHES AND NOMINAL "T" LENGTH OF 1.48-INCHES.
 - WEIGH 1.25 POUNDS PER FOOT (± 8%). BE PAINTED WITH A WATER BASED BAKED ENAMEL PAINT.
 - USE HEAVY-DUTY WIRE TIES TO ATTACH THE WIRE MESH MATERIAL TO THE STEEL POSTS.
 - PLACE AGGREGATE NO. 5 WASHED STONE AGAINST THE HARDWARE FABRIC ON ALL SIDES.
 - EXCAVATE A TRENCH 6-INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE INLET.
 - USE HARDWARE FABRIC OR COMPARABLE WIRE MESH WITH MAXIMUM OPENINGS OF 0.5-INCHES BY 0.5-INCHES AS THE SUPPORTING MATERIAL. EXTENDED THE FABRIC A MINIMUM OF 6-INCHES INTO THE GROUND. BACKFILL THE TRENCH WITH SOIL OR CRUSHED STONE AND COMPACT OVER THE FABRIC.
 - USE STEEL POSTS WITH A MINIMUM POST LENGTH OF 36-INCHES CONSISTING OF STANDARD "T" SECTIONS WITH A WEIGHT OF 1.25 POUNDS PER FOOT (± 8%). INSTALL THE WIRE MESH FABRIC ABOVE GRADE A MINIMUM OF 18-INCHES WITHOUT EXCEEDING 24-INCHES.
 - SPACE THE STEEL POSTS A MAXIMUM OF 3- FEET APART AROUND THE PERIMETER OF THE INLET AND DRIVE THEM INTO THE GROUND A MINIMUM OF 18-INCHES.
 - USE HEAVY-DUTY WIRE TIES SPACED A MAXIMUM OF 6-INCHES APART TO ATTACH THE WIRE MESH MATERIAL TO THE STEEL POSTS.
 - PLACE AGGREGATE NO. 5 WASHED STONE TO A MINIMUM HEIGHT OF 12-INCHES, AND A MAXIMUM HEIGHT OF 24-INCHES AGAINST THE HARDWARE FABRIC ON ALL SIDES.
 - IF THE STONE BECOMES CLOGGED WITH SEDIMENT, PULL THE STONES AWAY FROM THE INLET AND CLEAN OR REPLACE THEM.
 - SINCE CLEANING OF GRAVEL AT A CONSTRUCTION SITE MAY BE DIFFICULT, AN ALTERNATIVE APPROACH WOULD BE TO USE THE CLOGGED STONE AS FILL AND PUT FRESH STONE AROUND THE INLET.
 - REMOVE ACCUMULATED SEDIMENT FROM STONE WHEN SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE STRUCTURE
- REMOVE ACCUMULATED SEDIMENT FROM STONE WHEN SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE STRUCTURE**

TYPE B - HARDWARE FABRIC AND STONE INLET PROTECTION

STD. DRAWING SC-08



STABILIZED CONSTRUCTION ENTRANCE

WHEN AND WHERE TO USE IT

STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD.

IMPORTANT CONSIDERATIONS

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INSTALLATION

REMOVE ALL VEGETATION AND ANY OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM STONES TO A SEDIMENT TRAP OR BASIN. INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE. THE ENTRANCE SHALL CONSIST OF 1-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES. MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FOOT WIDE BY 100-FOOT LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS. THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING OF MUD AT THE EDGE OF THE ENTRANCE.

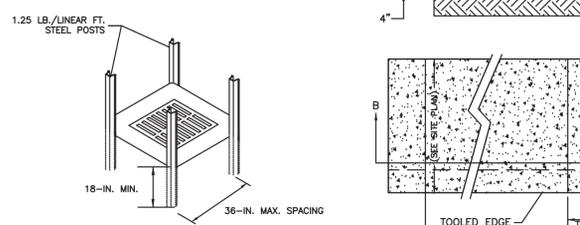
STABILIZED CONSTRUCTION ENTRANCE

INSPECTION AND MAINTENANCE

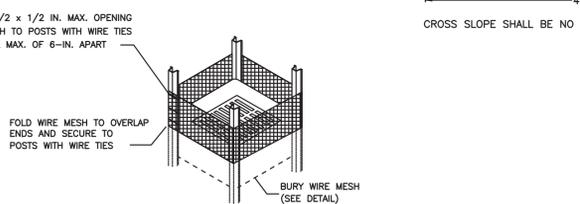
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STABILIZED CONSTRUCTION ENTRANCE

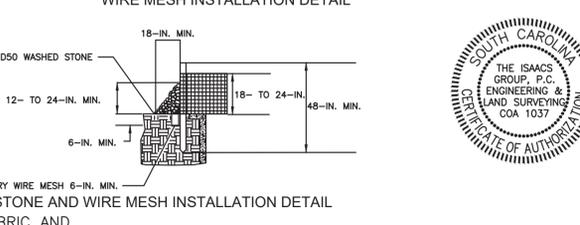
STD. DRAWING SC-06



POST INSTALLATION DETAIL

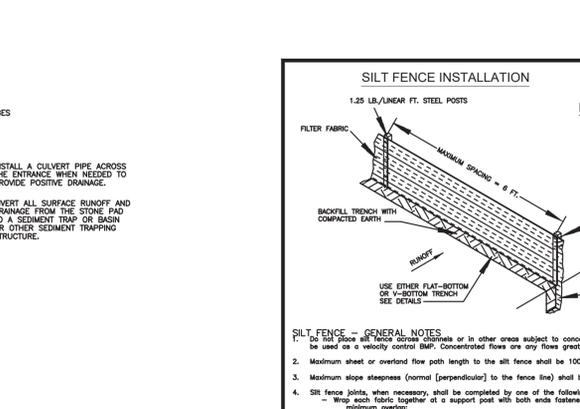


WIRE MESH INSTALLATION DETAIL



STONE AND WIRE MESH INSTALLATION DETAIL

STD. DRAWING SC-08



SILT FENCE - GENERAL NOTES

1. Do not place a silt fence on a slope or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
2. Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
4. Silt fence joints, when necessary, shall be completed by one of the following options:
 - Weave fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic tie; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
5. Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
6. Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
7. Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on site, along silt fence that is installed on slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

SILT FENCE - POST REQUIREMENTS

1. Silt fence posts must be 48-gauge galvanized steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weigh 1.25 pounds per foot (± 8%).
2. Posts shall be equipped with projections to aid in fastening of filter fabric.
3. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate shall have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
5. Post spacing shall be a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

1. Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least two types of polypropylene, polyethylene, or polyethylene that are stable relative to each other.
 - Free of any delustrants or dyes that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
2. Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approved Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
3. 12-inches of the fabric should be placed within excavated trench and tied in when the trench is backfilled.
4. Filter fabric shall be purchased in continuous rolls and cut to the length of the barrier to meet joints.
5. Filter fabric shall be installed at a minimum of 24-inches above the ground.

SILT FENCE - INSPECTION & MAINTENANCE

1. The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of silt fence shall be conducted once every calendar week, or, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continuously monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed areas. Stabilize the removed sediment after it is relocated.
6. Check for areas where stormwater runoff has eroded or channeled beneath the silt fence, or where the fence has heaved or collapsed due to runoff overtopping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
7. Check for tears within the silt fence, areas where silt fence has begun to decompose and for any other circumstances that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

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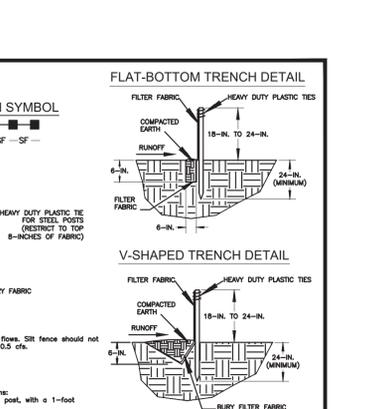
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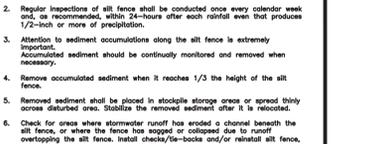
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FLAT-BOTTOM TRENCH DETAIL

USE EITHER FLAT-BOTTOM OR V-BOTTOM TRENCH (SEE DETAILS)



V-SHAPED TRENCH DETAIL

SILT FENCE - GENERAL NOTES

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SILT FENCE - FABRIC REQUIREMENTS

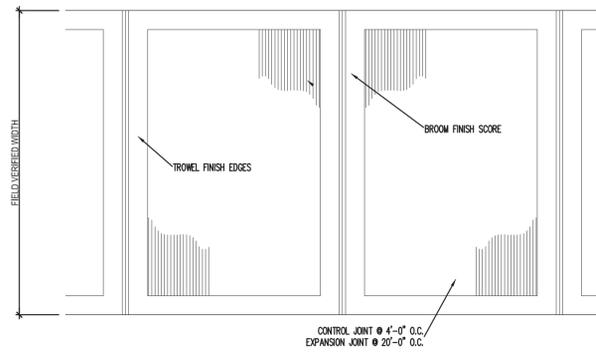
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SILT FENCE - INSPECTION & MAINTENANCE

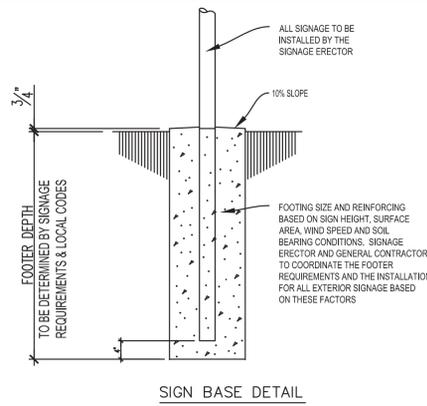
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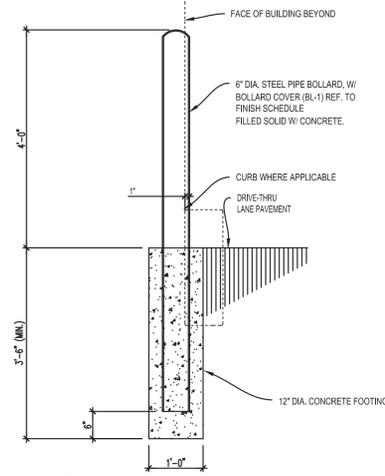
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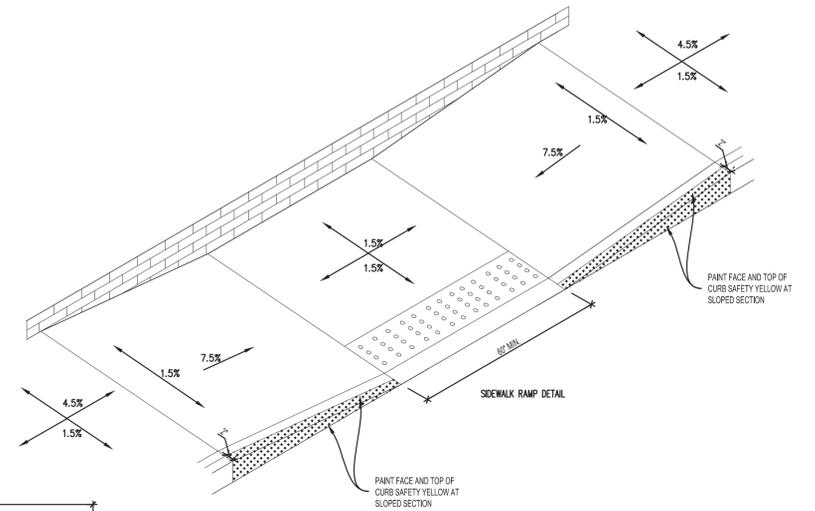
SIDEWALK FINISH DETAIL



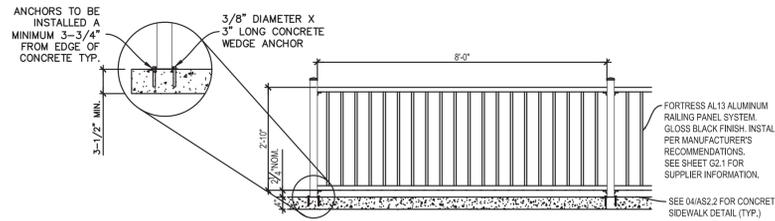
SIGN BASE DETAIL



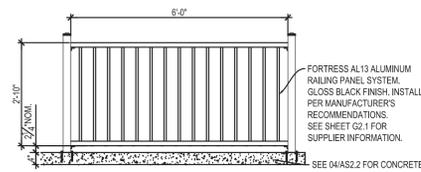
6" BOLLARD DETAIL



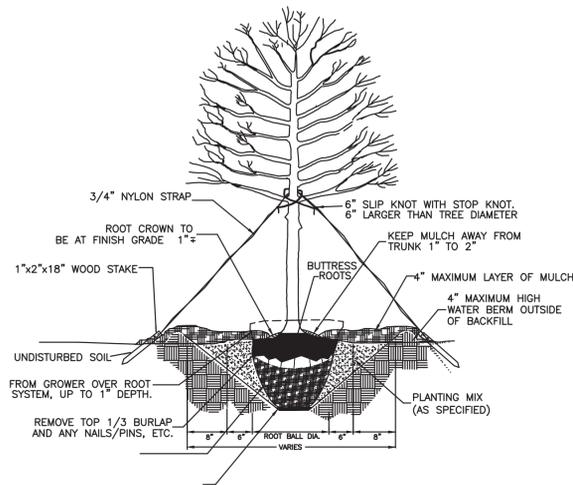
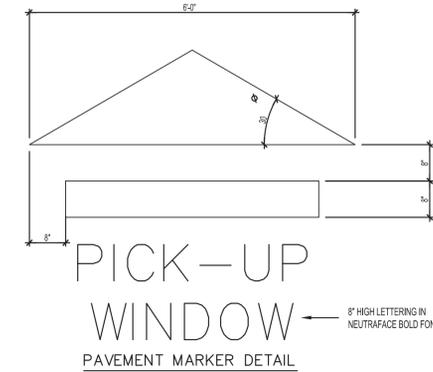
SIDEWALK RAMP DETAIL



PATIO RAILING DETAIL

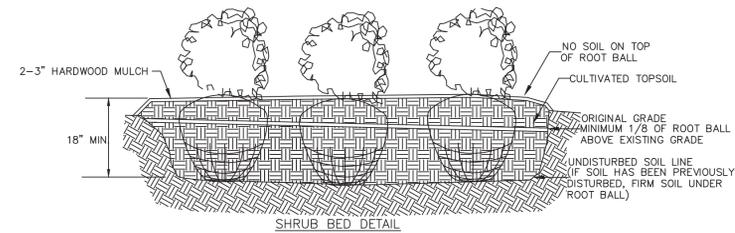


SAFETY RAILING DETAIL

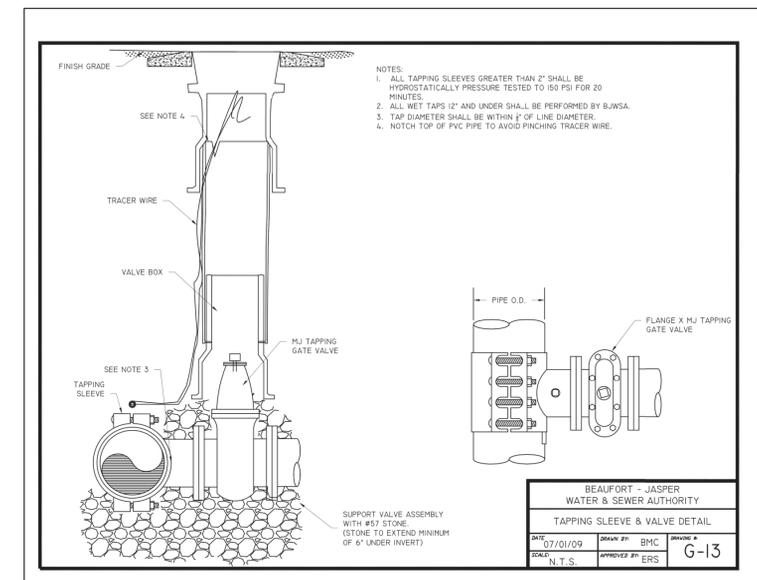
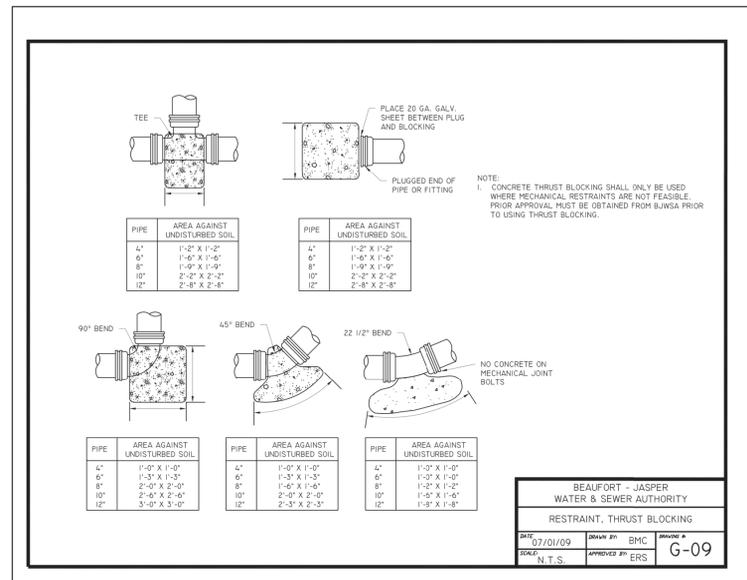


TREE PLANTING (FOR SINGLE & MULTI-STEM TREES)

NOTES:
REMOVE WIRE OR NYLON TWINE FROM BALL. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.



- NOTES:
- RUBBER HOSE MAY BE DELETED IF 3/4" NYLON STRAP IS USED (GUYING OF TREES NOT REQUIRED UNLESS SPECIFIED)
 - REMOVE WIRE OR NYLON TWINE FROM ROOT BALL.
 - INSTALL TOP OF ROOT BALL 2" ABOVE FINISH GRADE (ADJACENT UPHILL GRADE)
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION
 - LENGTH OF RUBBER HOSE TO BE 2/3 CIRCUMFERENCE OF TREE.
 - PLACE 2 WOOD STAKES PARALLEL TO STREET
 - 4" SAUCER WILL BE OUTSIDE OF BACKFILL
 - SEE SPECIFICATIONS FOR OTHER PLANTING REQUIREMENTS
 - THIS DETAIL APPLIES TO SINGLE-STEM TREES AND MULTI-STEM
 - SET TREE IN VERTICAL POSITION PRIOR TO STAKING



Brian T. Upton, P.E.
2020.01.29
14:39:36 -05'00'



NO.	BY	DATE	REVISION
1	WDP	1/29/2020	DRB RE-SUBMITTAL

Project: **WENDY'S RESTAURANT**
168 SEA ISLAND PKWY, BEAUFORT, SC 29907

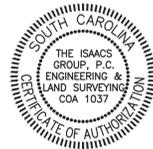
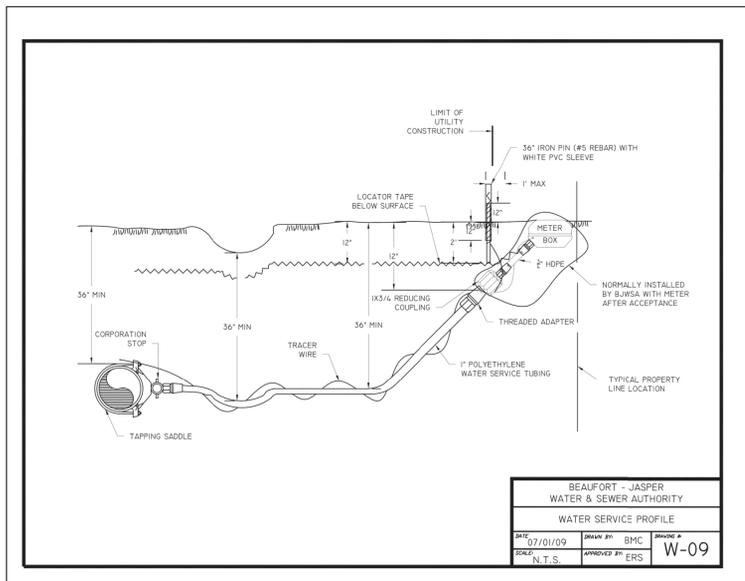
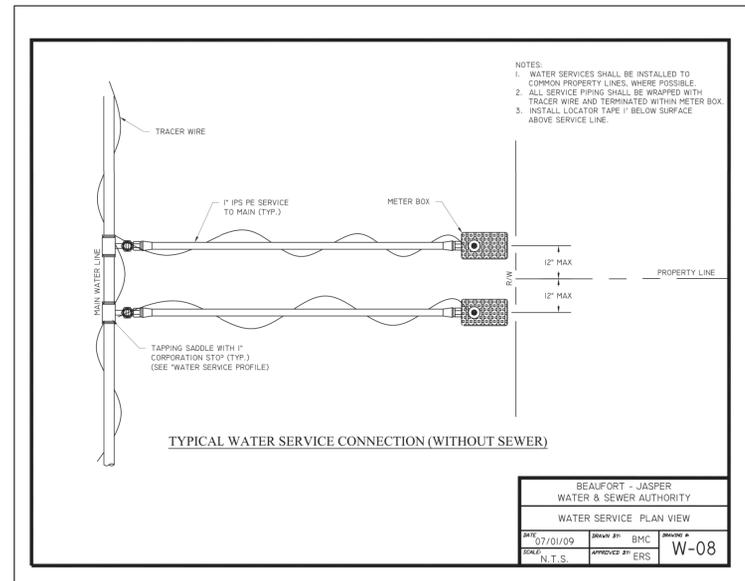
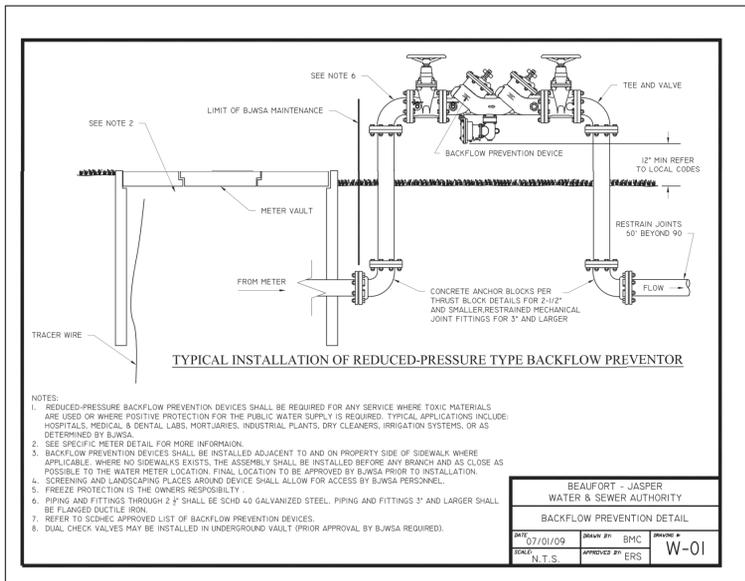
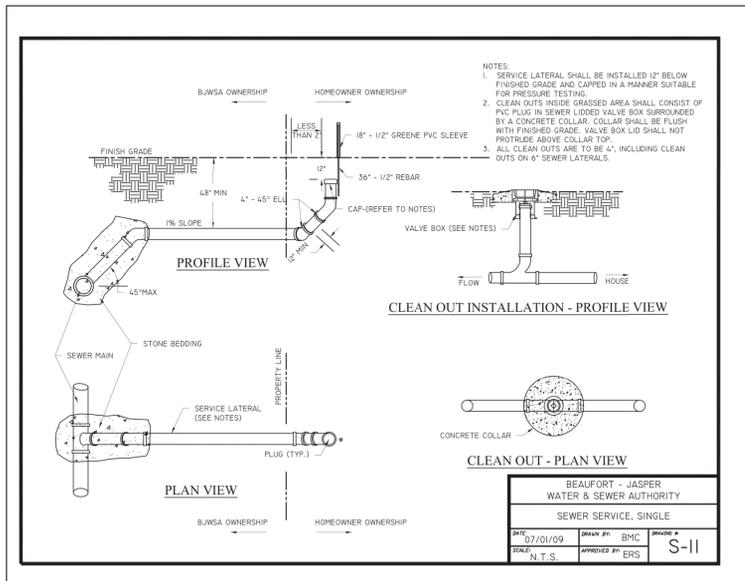
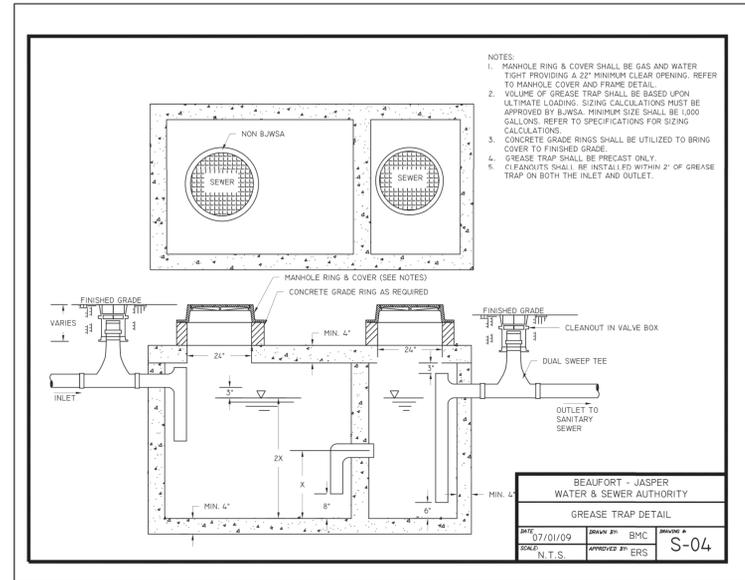
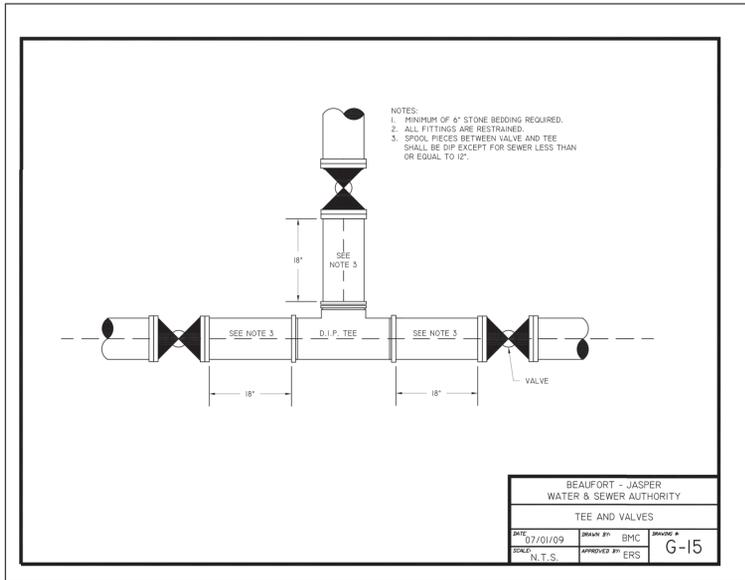
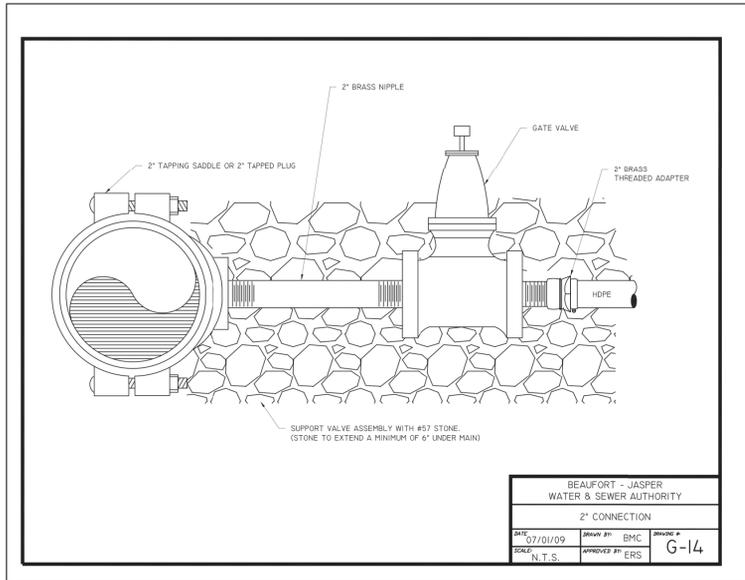
Title: **DETAILS AND SPECIFICATIONS**

File #: 18078-PB.DWG Date: 11/19/19 Project Egr: BTU

ISAACS CIVIL ENGINEERING DESIGN AND SURVEYING

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

Scale: N.T.S. **C5.1**



Brian T. Upton, P.E.
2020.01.29
14:40:07 -05'00'



Project: WENDY'S RESTAURANT 168 SEA ISLAND PKWY, BEAUFORT, SC 29907			
Title: DETAILS AND SPECIFICATIONS			
File #: 19209-PB.DWG	Date: 11/19/19	Project Egr: BTU	Design By: WDP
ISAACS CIVIL ENGINEERING DESIGN AND SURVEYING		Drawn By: WDP	Scale: N.T.S.
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217 PHONE (704) 527-3440 FAX (704) 527-8335			
C5.2			

NO.	BY	DATE	REVISION
1	WDP	1/29/2020	DRB RE-SUBMITTAL



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Application Fee:
\$200/meeting
\$500/special meeting

OFFICE USE ONLY: Date Filed: _____ Application #: _____ Zoning District: _____ Arch. Survey? Y N

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://www.cityofbeaufort.org/design-review-board.aspx>

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: Conceptual Preliminary Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: _____

Applicant Address: _____

Applicant E-mail: _____ Applicant Phone Number: _____

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): _____

Owner Address: _____

Project Name: _____

Property Address: _____

Property Identification Number (Tax Map & Parcel Number): _____

Date Submitted: _____

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature:  _____ Date: _____

Owner's Signature: _____ Date: _____

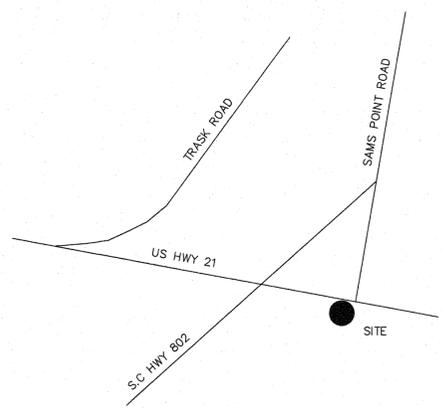
(The owner's signature is required if the applicant is not the owner.)



LEGEND OF SYMBOLS & ABBREVIATIONS

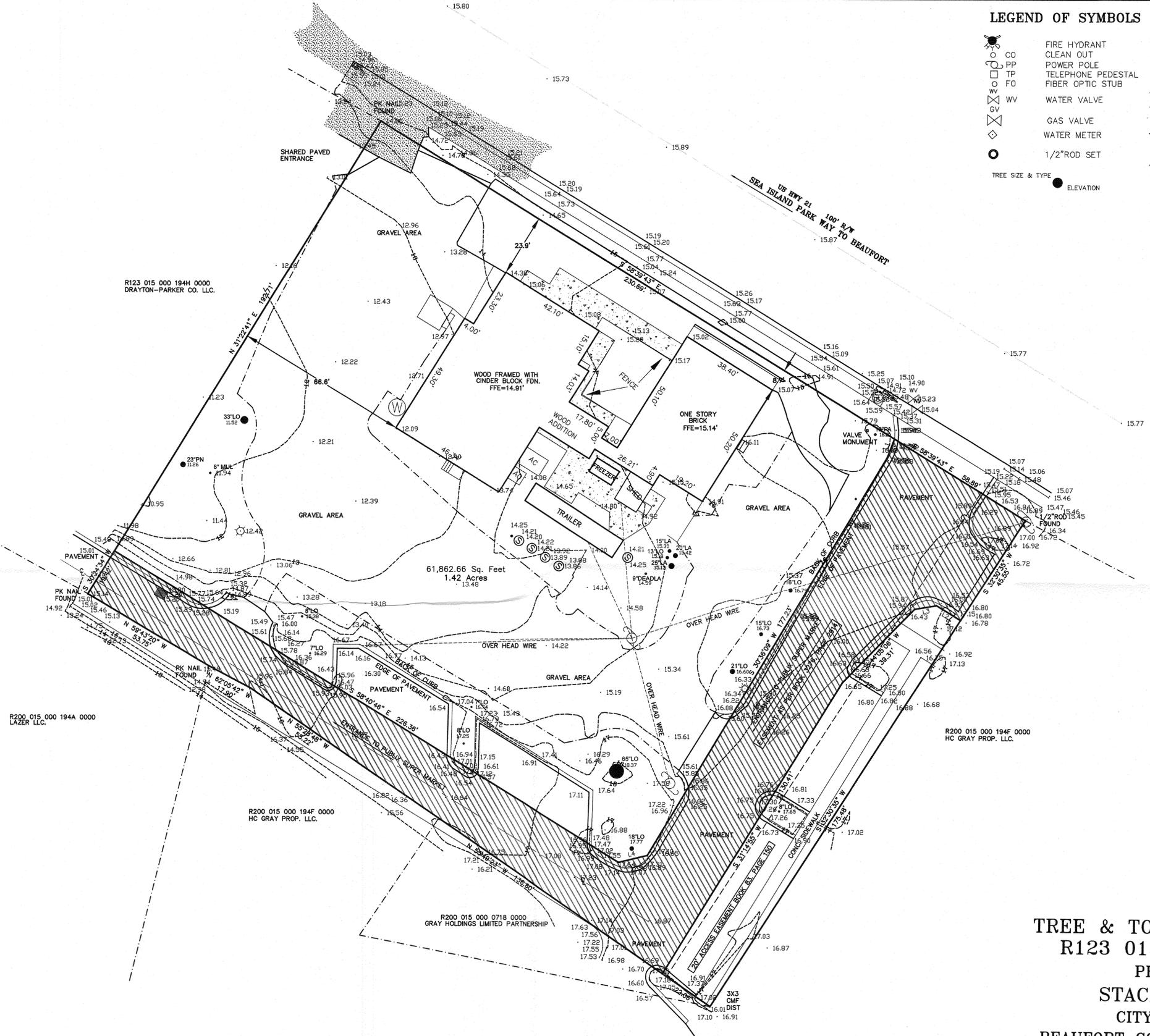
- FIRE HYDRANT
- CLEAN OUT
- POWER POLE
- TELEPHONE PEDESTAL
- FIBER OPTIC STUB
- WATER VALVE
- GAS VALVE
- WATER METER
-
- TREE SIZE & TYPE
- ELEVATION
- MVM MAIN VALVE MONUMENT
- MH MANHOLE
- GW GUY WIRE
- CB CABLE BOX
- OE OVERHEAD POWERLINE
- OE EDGE OF PAVEMENT
- BO C BACK OF CURB
- LP LIGHTPOLE
- GL GAS LINE
- CL CENTER LINE
- CL CONTOUR LINE

LINE BEARING	DISTANCE
L1 N 20°48'44\"/>	E 7.56'
L2 S 56°43'05\"/>	E 110.77'
L3 S 80°06'46\"/>	W 18.48'
L4 S 76°17'05\"/>	W 111.32'



LOCATION MAP (N.T.S.)

R123 015 000 194H 0000
DRAYTON-PARKER CO. LLC.



- NOTES:**
- THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 - THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
 - METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
 - LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
 - THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 - CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS; AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 - BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
 - SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
 - THIS PROPERTY LIES IN FLOOD ZONE A-9, BASE ELEV. 13.00 AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450025-0100 D. DATED 09/29/86

- REFERENCES:**
- T.M.S. R123 015 000 194B 0000
 - PLAT BY DAVID E. GASQUE DATED 11/14/2001 PLAT BOOK 83, PAGE 150 BEAUFORT COUNTY R.M.C. OFFICE

R200 015 000 194A 0000
LAZER LLC.

R200 015 000 194F 0000
HC GRAY PROP. LLC.

R200 015 000 194F 0000
HC GRAY PROP. LLC.

R200 015 000 0718 0000
GRAY HOLDINGS LIMITED PARTNERSHIP

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, certify to client(s) shown hereon that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the minimum standards manual for the practice of land surveying in South Carolina, and meets or exceeds the requirements for a CLASS A survey as specified therein, also there are no encroachments or projections other than shown. This survey is not valid unless it bears the original signature and has an embossed seal.

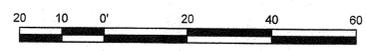
David E. Gasque
David E. Gasque, R.L.S.
S.C. Registration Number 10506

GASQUE & ASSOCIATES INC.
LAND SURVEYORS · PLANNERS
28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
P.O. BOX 1363, BEAUFORT, S.C.
(843) 522-1798

TREE & TOPOGRAPHIC SURVEY
R123 015 000 194B 0000
PREPARED FOR
STACKED SOD, LLC
CITY OF BEAUFORT
BEAUFORT COUNTY SOUTH CAROLINA

DATE 11/4/2019 SCALE 1"=20'

THIS PLAT IS COPYRIGHTED AND IS ONLY INTENDED FOR THE USE OF THE ENTITY OR PERSON(S) SHOWN HEREON.





**END
ROAD WORK**

UPS Freight

GRAYCO
BUILDING CENTER

McDonald's

THE ORIGINAL
STEAMER
OYSTER & SEAFOOD

ERW

RESERVED
PARKING
FOR
ACCESSIBLE
VEHICLES

RESERVED
PARKING
FOR
ACCESSIBLE
VEHICLES



Beaufort Post 9

POW-MIA

THE ORIGINAL
STEAMER
OPEN DAILY
LUNCH & DINNER

CL
REN





January 29, 2020

CRG Wendys
Mr. David Ayers
Via Email

**Re: Freshwater Wetlands Assessment
Former Steamer Restaurant Site
Parcel #: R123 015 000 194B 0000
Beaufort County, SC**

Mr. Ayers:

As requested, Newkirk Environmental, Inc. (NEI) conducted an assessment of jurisdictional freshwater wetlands on January 29, 2020 at the above referenced parcel (project site). It is NEI's professional opinion the project site **does not** contain area(s) that would be, at the time of the investigation, identified as freshwater wetlands for the following reasons: 1) presence of wetland vegetation (hydrophytic); 2) presence of wetland soils (hydric, Munsell: chroma less than 2); and 3) the presence of hydrology. Please find the attached depiction of the approximate location of the project site.

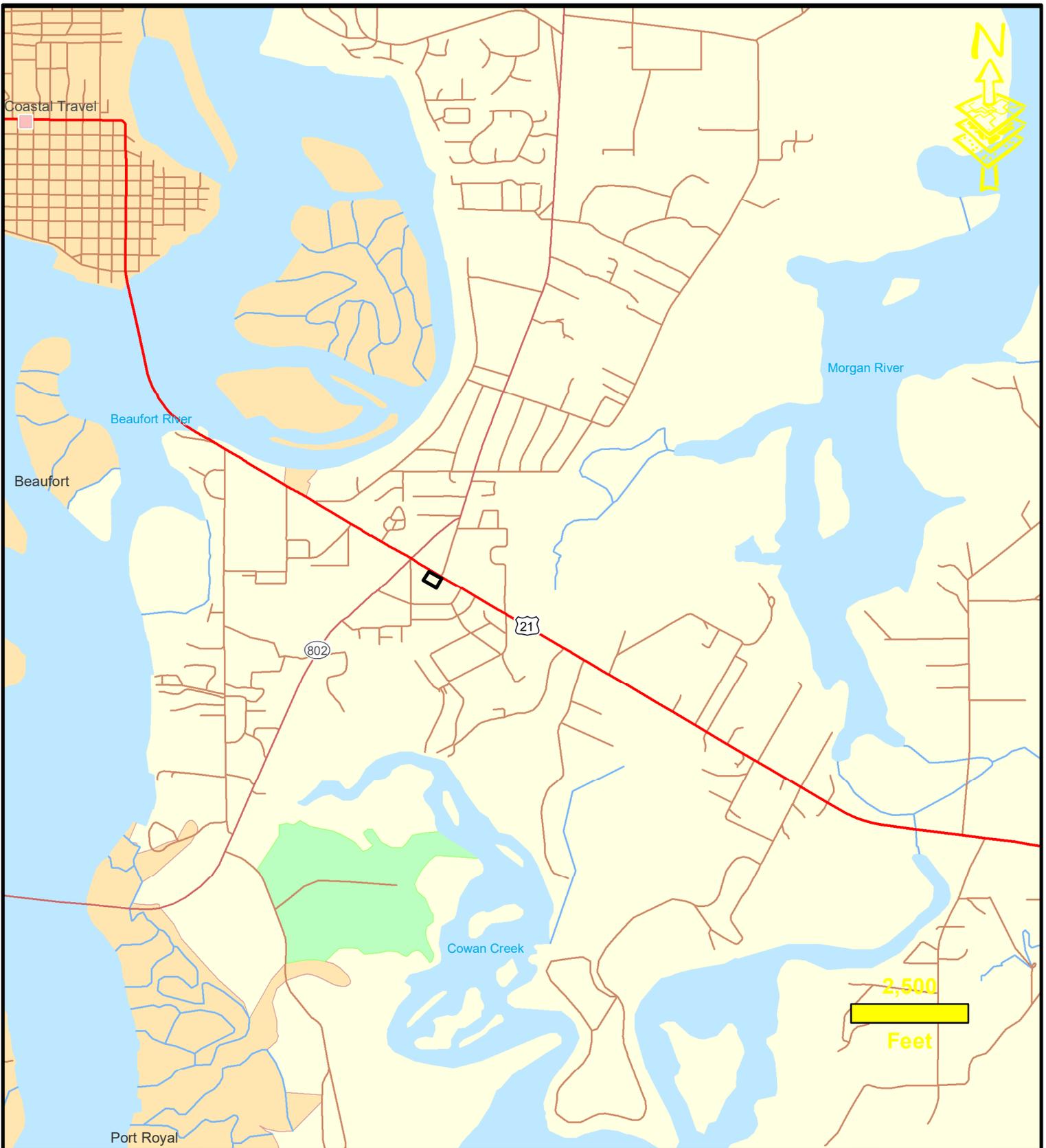
The project site consisted of a developed parcel of land in northern Beaufort County, SC. The project area is made up of mostly commercial businesses within the Lady's Island business district along Highway 21. The project site also contains a former restaurant and associated parking.

Please note, although NEI is confident in our assessment, the US Army Corps of Engineers is the only agency that can make final decisions regarding wetland delineations; therefore, all delineations are subject to change until written verification is obtained. This letter is the professional opinion of Newkirk Environmental and can be relied upon as that.

Sincerely,

J. Asher Howell, Principal
Beaufort Office

Enc.

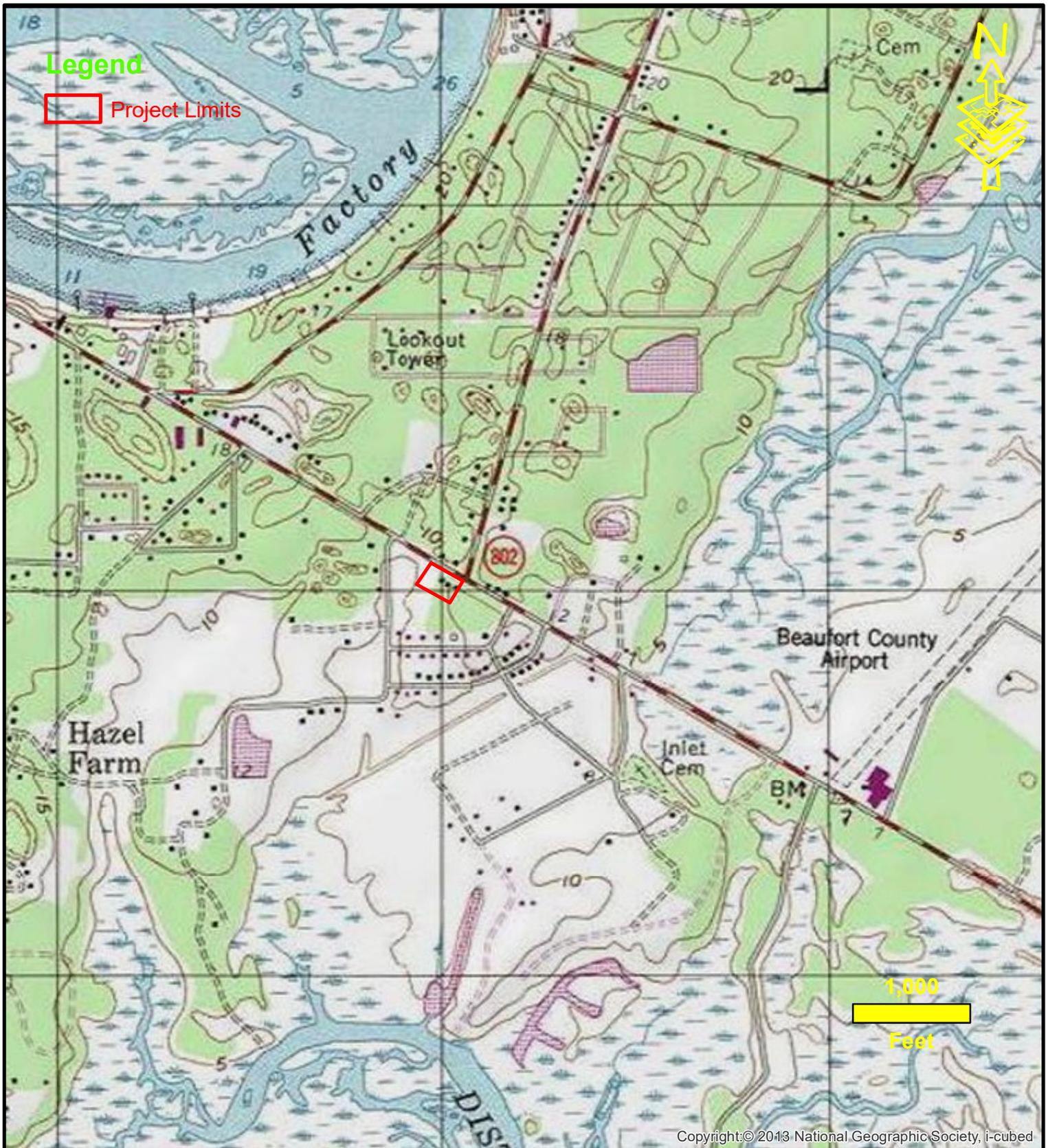


Vicinity Exhibit

Project #: 04-4442a Date: January 2020

Created by: AH

Ladys Is. Wendys Beaufort County, SC



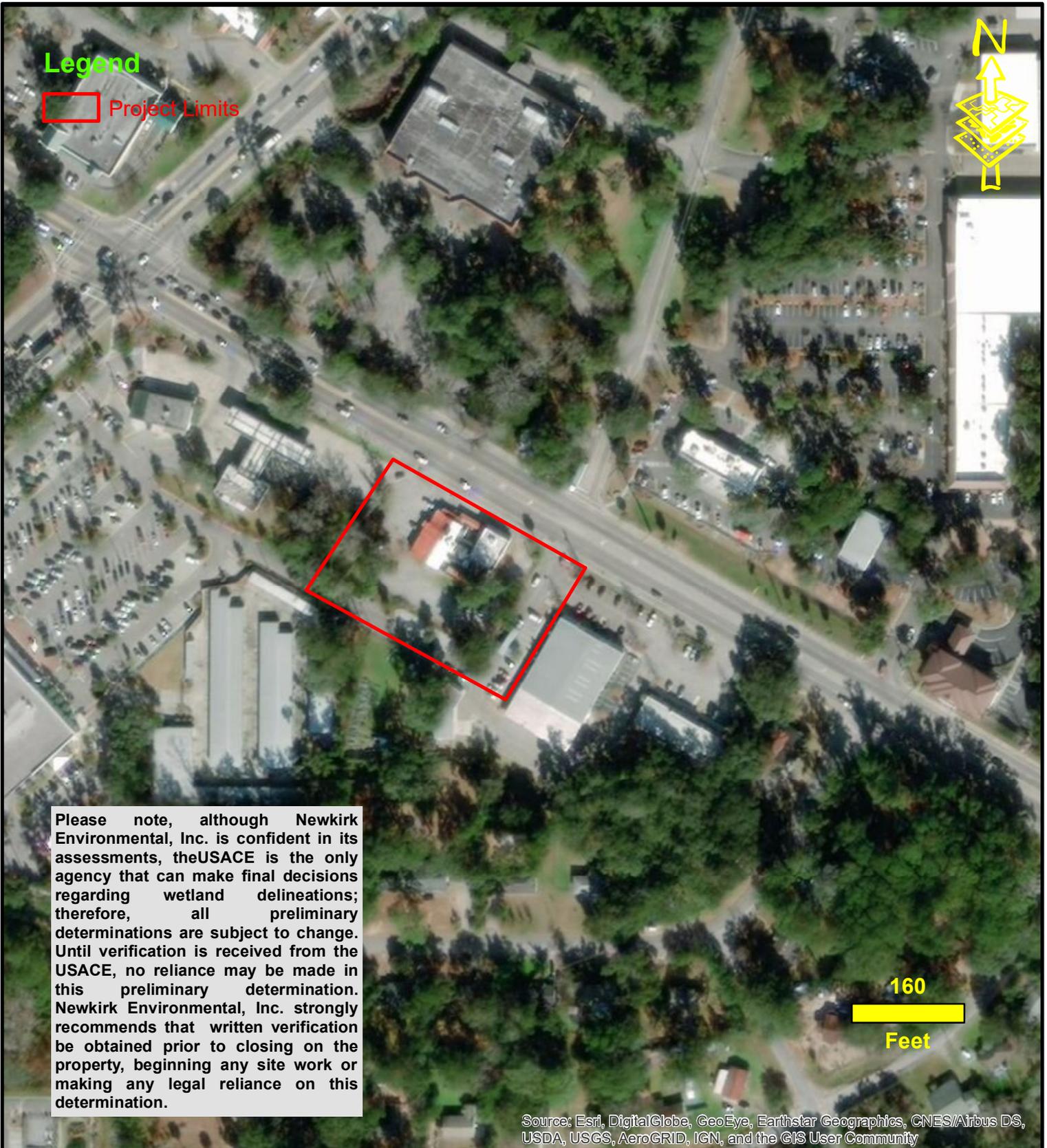
Copyright © 2013 National Geographic Society, i-cubed

Topographical Exhibit

Project #: 04-4442a Date: January 2020

Created by: AH

Ladys Is. Wendys Beaufort County, SC



Legend

 Project Limits



Please note, although Newkirk Environmental, Inc. is confident in its assessments, the USACE is the only agency that can make final decisions regarding wetland delineations; therefore, all preliminary determinations are subject to change. Until verification is received from the USACE, no reliance may be made in this preliminary determination. Newkirk Environmental, Inc. strongly recommends that written verification be obtained prior to closing on the property, beginning any site work or making any legal reliance on this determination.

160

 Feet

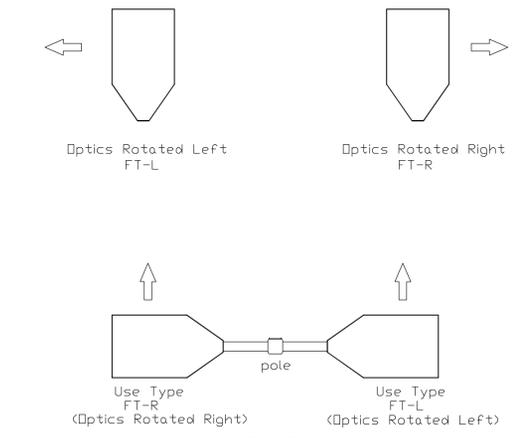
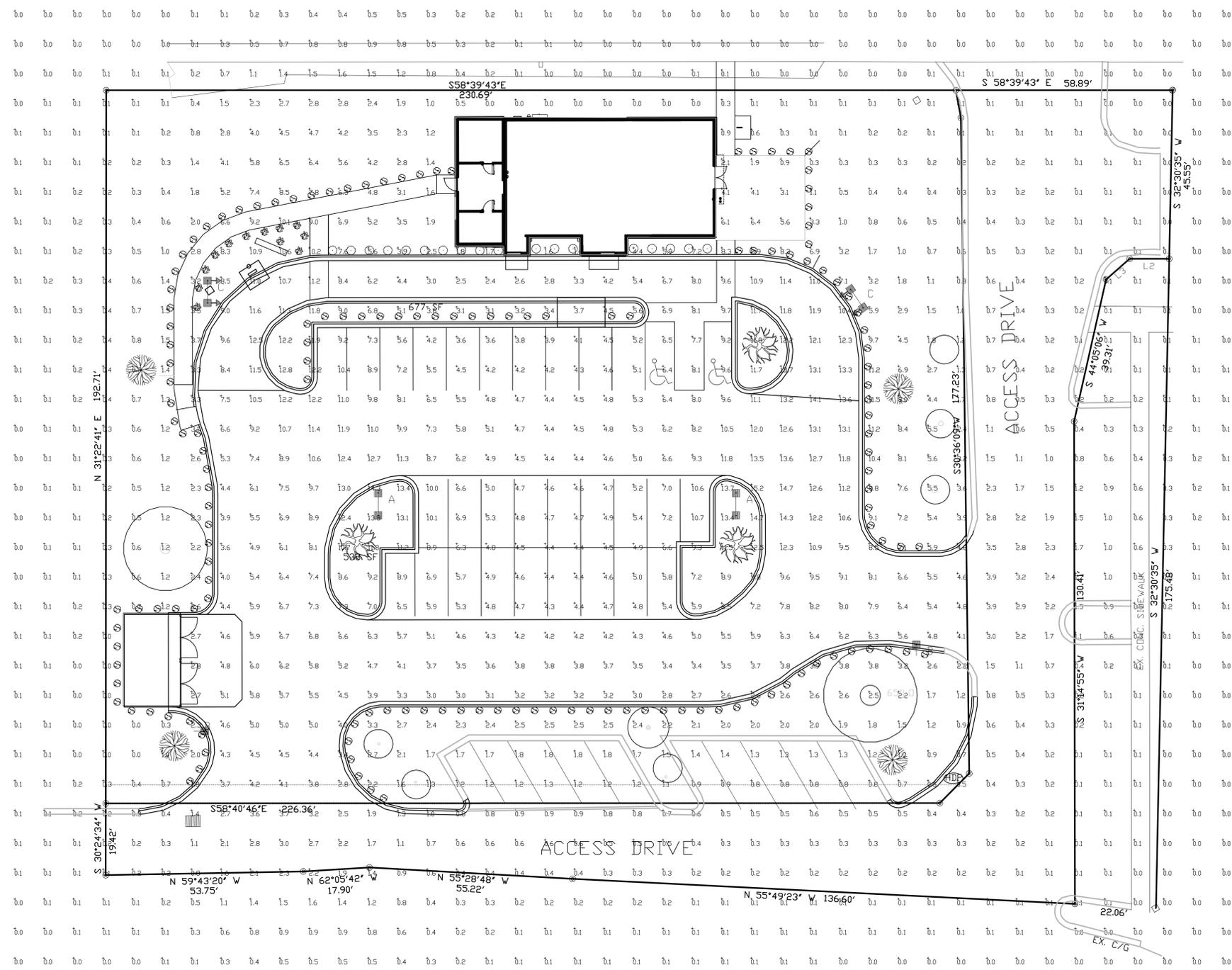
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Aerial Exhibit

Project #: 04-4442a Date: January 2020

Created by: AH

Ladys Is. Wendys
 Beaufort County, SC



EXAMPLE
For D180 Forward Throw Installations specify left rotated optics (FT-L) and/or right rotated optics (FT-R) side mounting. Orientation is based on standing at the pole and looking out at the area to be illuminated.

Top View
Fixture Type C



Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts
[Symbol]	2	A	D180	SLM-LED-30L-SIL-FT-50-70CRI-D180-24"POLE+2"BASE	1.000	1.000	1.000	63478	497.2
[Symbol]	2	B	SINGLE	SLM-LED-30L-SIL-FT-50-70CRI-IL-SINGLE-24"POLE+2"BASE DIMMED 30%	1.000	1.000	0.700	19943	248.6
[Symbol]	2	C	D180* 2RTD	SLM-LED-30L-SIL-(1)FT-L;(1)FT-R-50-70CRI-IL-D180-24"POLE+2"BASE	1.000	1.000	1.000	39886	497.2

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	2.63	15.2	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	6.70	15.2	2.4	2.79	6.33

Total Project Watts
Total Watts = 2486

LIGHTING PROPOSAL LO-149692-1

WENDY'S
SEA ISLAND PARKWAY
BEAUFORT, SC

DATE: 10-19 REV: 29-20 SHEET 1 OF 1

SCALE: 1"=16'

Project Narrative

Wendy's Lady's Island Beaufort, South Carolina

The project site is located at 168 Sea Island Parkway in Lady's Island S.C. in Beaufort County, S.C. This project entails the construction of a 2,500 sq. Ft. Wendy's restaurant with a drive-thru window. Construction includes: Demolishing and removing the existing restaurant and its associated infrastructure, the installation of sediment and erosion control measures, utilities, site lighting, landscaping, new parking areas and the proposed building.

The proposed site will result in a decrease of impervious area. The existing impervious on the site is 30,914 square feet. The development of the Wendy's Restaurant will reduce the site's impervious area to 22,087 square feet.

A 3,071 square foot area of pervious pavement will be added in the parking lot to assist in treating the stormwater for the site. The resulting stormwater runoff will be lower since there is less impervious area in combination with the use of pervious paving in a portion of the parking lot.

Sewer flow to be generated by the Wendy's is 2,800 GPD (40 gpd/seat x 70 seats). The sewer collection system for the project site will consist of a proposed 6" PVC lateral that will tie into an 8-inch gravity sanitary sewer line that is owned and maintained by BJWSA. The water service will consist of a 1.5" PVC service line that will connect to the existing meter that ties into the existing 16" water main that is owned and maintained by BJWSA.