

City of Beaufort Department of Planning and Development Services

MEMORANDUM

TO: Design Review Board Members

FROM: Lauren Kelly, Project Development Planner

CC: Cooter Ramsey, Eddie Powell

DATE: 2/9/2016

SUBJECT: Taco Bell Lighting

The new Taco Bell on Robert Smalls Parkway opened in early November 2015. It is a nice building, and great model for future fast-food restaurants with drive-thrus in that area of the city. Shortly after the building opened, it was brought to the City's attention that at night, the corner was illuminated and appeared purple. Upon further investigation, review of all submitted drawings and plans, and minutes of the Design Review Board, staff came upon the discrepancy in the drawings:

There is a metal slat wall on the main corner of the building. Behind the slat wall, the wall of the building is painted purple, Taco Bell's trademark color. In between the purple wall and the slats are LED lights. These lights were indicated on the building sections and building lighting and electrical plans (attached). However they were not indicated on any elevations, or in the photometric plan or included in the lighting cut sheets. All exterior lighting is required to be shown on the photometric plan and a cut sheet needs to be provided.

The applicant recalls the illumination of the slat wall being discussed with the DRB, however it is not recalled by City Staff or the board chair, and does not appear in any of the minutes.

Staff asked the applicant to return to the Design Review Board to discuss this lighting, and request that the board approve the lighting retroactively. The main issue from an ordinance perspective is the fact that the lighting changes the color of the wall. Trademark colors are typically counted as signage. So it essentially makes that entire wall a sign for Taco Bell.

The lighting technique should also be considered by the board. The idea of strategic illumination of buildings, essentially turning them into beacons by using concealed internal illumination, is something that seems to be a common trend in upcoming architecture. While this may be very appropriate for architecture along highways, the Board should decide whether or not this is generally appropriate for the City of Beaufort.

Staff recommends that the board consider one of the following options:

- Permit the building to remain as-is;
- Request that Taco Bell could either choose to turn off the light; or
- Request that Taco Bell repaint the back a non-trademark color.

The City does have standards for the amount of lighting that can be emitted without having full-cutoff fixtures (to prevent light trespass) so if the lights are to be retained, cut sheets for the lights should be provided.



TACO BELL

TACO BELL



Drive Thru

A meeting of the Design Review Board was held on **March 12, 2015 at 2:00 p.m.** in the City Hall Planning Conference Room, 1911 Boundary Street. In attendance were Brian Franklin, Dan Ahern, Chuck Rushing, Bob Albright, Jane Frederick, and city planner, Libby Anderson.

In accordance with the South Carolina Code of Laws, 1976, Section 30-4-80(d) as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.

CALL TO ORDER

Mr. Franklin called the meeting to order at 2:00 p.m.

MINUTES

Chairman Franklin made a motion, second by Chuck Rushing, to approve the minutes of the January 26, 2015 special meeting as submitted. The motion passed unanimously.

Taco Bell, 209 Robert Smalls Parkway

Identified as R122, Tax Map 29, Parcel 245 (15-02 DRB.2)

Applicant: Allison Ramsey Architects for Bill Baker

The applicant is requesting approval to construct a new restaurant.

No new access is proposed out on to Robert Smalls Parkway, Ms. Anderson said. It is all internal to the Lowe's subdivision. Conceptual approval was given by the Design Review Board (DRB) with these conditions: clarification on the number of parking spaces, a sidewalk to be added to the east and south frontages, an oyster shell base to be added at the height of the windowsills, and moving the mechanical equipment to the western elevation and then screening it.

The applicant had revised the site plan, Ms. Anderson said. The oyster shell base was added, and the mechanical equipment was moved but not screened; details about the screening are still needed. The sidewalk is still an issue, and it's not been added on the east side of the building. The lighting plan was submitted, but there are questions about whether the fixtures were full cut-off. The parking lot lighting meets the ordinance requirements. The authority to waive the requirement for full cut-off is the Board's, Ms. Anderson said. A trellis had been discussed to break up the left (south) façade, but that's not been done, so it could be discussed. The landscaping plan was submitted, but there are some questions about it: Understory trees are required, and clarification is needed as to what they are and the minimum planting size. Additional trees are needed on the side buffer, Ms. Anderson said, and foundation plantings on the east side of the building. There is increased shrub planting needed on the Lowe's driveway (the side of the entrance to screen the drive-thru). Three grand trees are to be removed on the site close to the curb, and per the certified arborist, they should be staked out to see if they can be saved or need to be removed. If they need to be removed, Ms. Anderson said, staff requests tree mitigation to a level of 50%. A grading plan is needed to know which trees will

be removed and which will be saved.

Staff feels final approval can be made with these conditions, Ms. Anderson said:

- Need a number on the amount of impervious surface
- Discussion of the sidewalk issue
- Details on the mechanical equipment screening
- Discussion about “something to break up the left elevation”
- Approval of the revised landscaping plan, including the staking out and mitigation of the grand trees being removed

Cooter Ramsey said they didn’t put the sidewalk in that buffer area so they could have a nice landscaping area. They have a sidewalk “that goes all the way through our site,” which they thought served the same purpose “as a duplicate one on the other side of the road,” but they can add one if the Board wants it.

They have subsequently submitted all the other information that’s missing. They are 59% impervious, **Dave Karlyk** said. There should have been a grading plan submitted. Mr. Karlyk said that at the January meeting, Mr. Ahern had been concerned about the rear parking lot and flow to a grass swell. He said that they had sloped it down, and it goes in the grass lines for some filtering. Mr. Ahern asked if outparcel C is at ground level at the planted grass area, or if it is elevated. Mr. Karlyk said it is elevated. All the run-off goes to a grass swell for filtering and into a catch basin.

Mr. Ahern asked to look at the drainage-grading plan and asked about another catch basin in a swale. He described a way to have a curb but have outlets running into outparcel C – they would have ponding and infiltration, and it would go right into the pond. Mr. Karlyk said he had concerns about doing that. Mr. Ahern said it’s a short-term fix for outparcel C instead of raising the curb. They could lower it, get the treatment, and excess would go down the drain. If it’s down 6” and it doesn’t pond too many inches, it shouldn’t have negative effects – soaking the sub-basin. Mr. Karlyk said if there’s wood mulch in the catch basin units, that’s a potential problem, too. Mr. Ahern said they should look at this opportunity, and Mr. Karlyk and Mr. Ramsey both said they could do that.

Mr. Karlyk said the sidewalk staff asked about would be 50’ away from the other one, so he thinks parallel sidewalks add more impervious surface, and it would not be low-impact development.

Mr. Ramsey said the light fixtures do up- and down-lighting, and they are full cut-off if they don’t put bulbs in the top.

Ms. Frederick said on the west elevation in the landscaping plan, it looks like there are a couple of trees – Purple Pixies and arborvitae – that she said seemed small to hide the mechanical stuff on the building. She suggested something taller could be

put there. She went on to say that three things up next to the building are not labeled; if they're big, they might be good cover. Mr. Ramsey said he didn't know what they were. Ms. Frederick said people seem to "tromp through the stuff they park up against," but if there were a mulch path to walk through, they might be able to save the planted area. Mr. Ahern added that if it's lower, people might not tromp through it. Ms. Frederick also said there are existing planted trees in the other planted area, and she wondered why they were being pulled out. Mr. Karlyk said it's "to balance out the fill." They had picked out the specimen trees and saved them all on the first plan, but the grade differences will have an impact on the trees.

Ms. Frederick asked if they could get the oyster shell on all four sides of the building; it's not on the back yet. Mr. Ramsey said they could absolutely add it.

Mr. Franklin said that in regard to tree mitigation, in the outparcel that they are talking about lowering, bigger trees might do some buffering, and they could "pick things that can take a little water." Any additional trees they can get in should go on the revised plans. He said the dumpster screening "looks pretty layered." Ms. Frederick asked if the fence around it is painted, and Mr. Ramsey said yes.

Mr. Franklin asked if the sidewalk makes the connection to the edge of the road. Mr. Karlyk said he believes it stops, and then confirmed that per the elevation. Mr. Franklin asked if they could add the three additional feet, but "stretch it out to connect to the adjacent." Ms. Frederick asked about the sidewalk that terminates at the planted area. Mr. Karlyk said there's nothing to connect it to. Mr. Franklin said the connection points at the south end of the site are what he'd like to see done.

Mr. Ramsey showed the colors that they would be using. Ms. Frederick suggested a warmer color for the oyster shell stucco. Mr. Ramsey said they could do that, and Ms. Frederick suggested staff look at it and approve it. He said this was a first pass at a color scheme. He wants the bronze to be darker or lighter, not to disappear. He's open to looking at it, and he could send colored renderings to the Board; if they prefer a scheme, he will use that.

Ms. Anderson said the only three grand trees on the site are being removed, and the certified arborist recommends that 23" be mitigated, with the recessed stormwater pond and upping the caliper inches on what they are putting in.

Ms. Frederick made a motion for final approval with the following conditions:

- **The oyster shell base on all 4 sides;**
- **Tree mitigation as discussed;**
- **Dropping the elevated island;**
- **Optional colors submitted for Board consideration ;**
- **Caps on the lighting;**
- **Connecting the sidewalk; and**
- **Bigger plants at the drive-through.**

Mr. Albright seconded the motion. The motion passed unanimously.

Parker's Convenience Store and Gas Station, 3462 Trask Parkway

Identified as R120, Tax Map 25, Parcel 0012 and R100 025 000 012C (15-01 DRB.2)

Applicant: Gregory M. Parker, Inc. and Nathan B. Long, Thomas & Hutton

The applicant is requesting approval for a convenience store with a 16-pump gas station and a food service component.

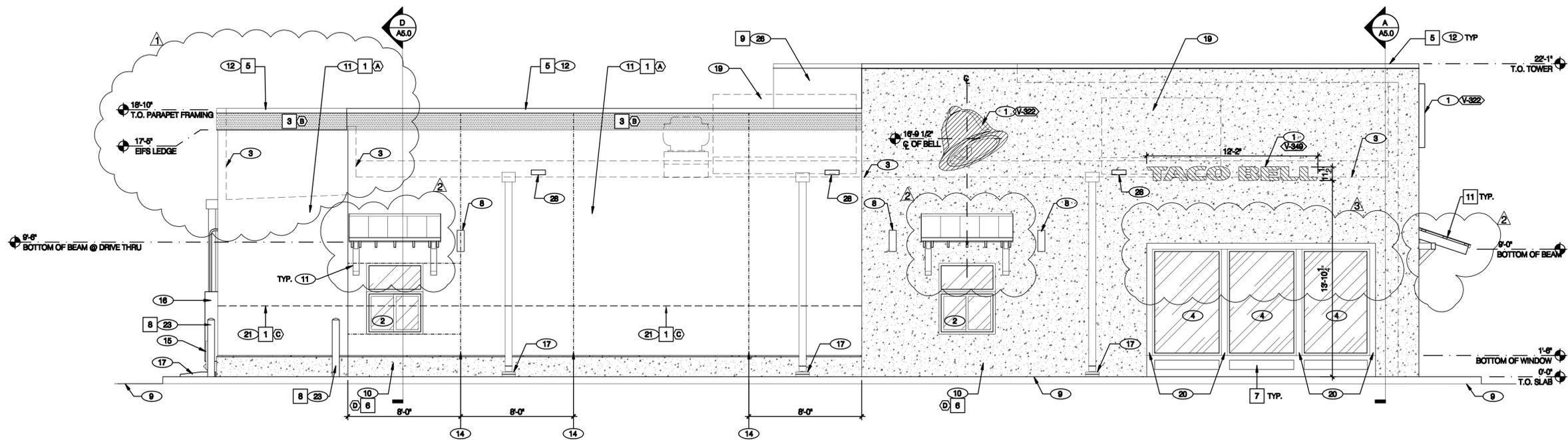
At the January meeting, the DRB was asked to give conceptual review to this, as the applicant planned to go before the ZBOA for a variance on one of the conditions of the ordinance: that the pumps be located to the side of the store and preferably the rear of the building, which is a citywide standard. The applicants have requested a variance to locate the pumps in front of the building. Staff had suggested that they go the DRB first, and the Board gave conceptual approval with conditions. Since, the applicant added a drive-thru window, which staff felt made the site plan, the circulation, and the elevations different than what was approved. So the applicant is back for another review of the project, which includes a drive-thru.

Ms. Anderson described where the location of the site is in relation to adjacent areas, including the Spanish Moss Trail. She showed the site plan including the canopy, pumps, drive-thru and pick-up window. There are no elevations at this time, Ms. Anderson added.

Bill Bishop, VP of real estate for Parker's, said they had come for conceptual review, and they have tried to incorporate the conditions and suggestions the Board gave. They decided they needed to add a drive-thru window because a big portion of their market is at the MCAS across the street, and marines are not allowed to go into any establishment in uniform to conduct any business other than marine business. They put in "a full deli store with a full food offering" and a drive-thru, he said.

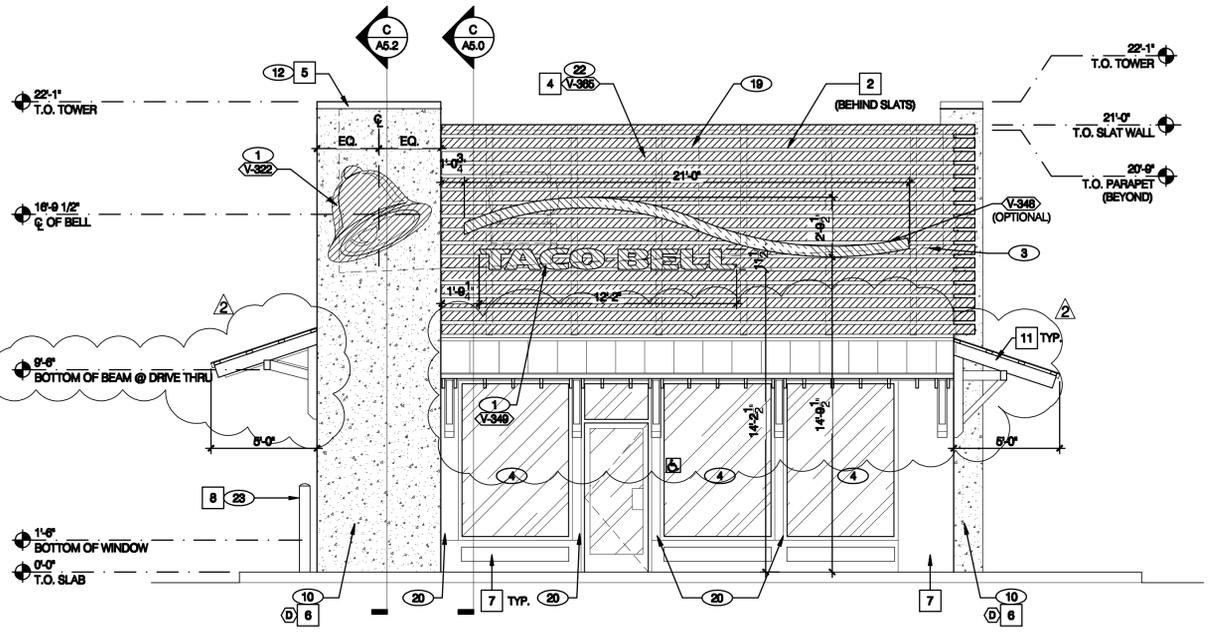
They "have saved all of the trees," Mr. Bishop continued, and went on to describe the improved planting areas and the indoor and outdoor seating areas. He said the marines "can't enjoy the facility while in uniform," and the marines are one of the main reasons why Parker's wanted to be there, so they put in the drive-thru.

The DOT had asked for dedicated right and left turns out, Mr. Bishop said. They made "a few minor changes" but feel they "are pretty far along in this," he said. They are proud to be the first business to tie into the Spanish Moss Trail, and they "feel like the offering is attractive." The clapboard finish and other elevation elements will be the same as what the Board saw. They are looking at colors and also looking at their durability. They want to keep the important trees in place, as well as the connection to the Spanish Moss Trail and the architectural elements. They want to "make it best in class," and they feel they have, Mr. Bishop said. There's also more room around the trees now, which will be better for their roots. They are hoping for Board support so they can go before the Zoning Board of Appeals, but they are also

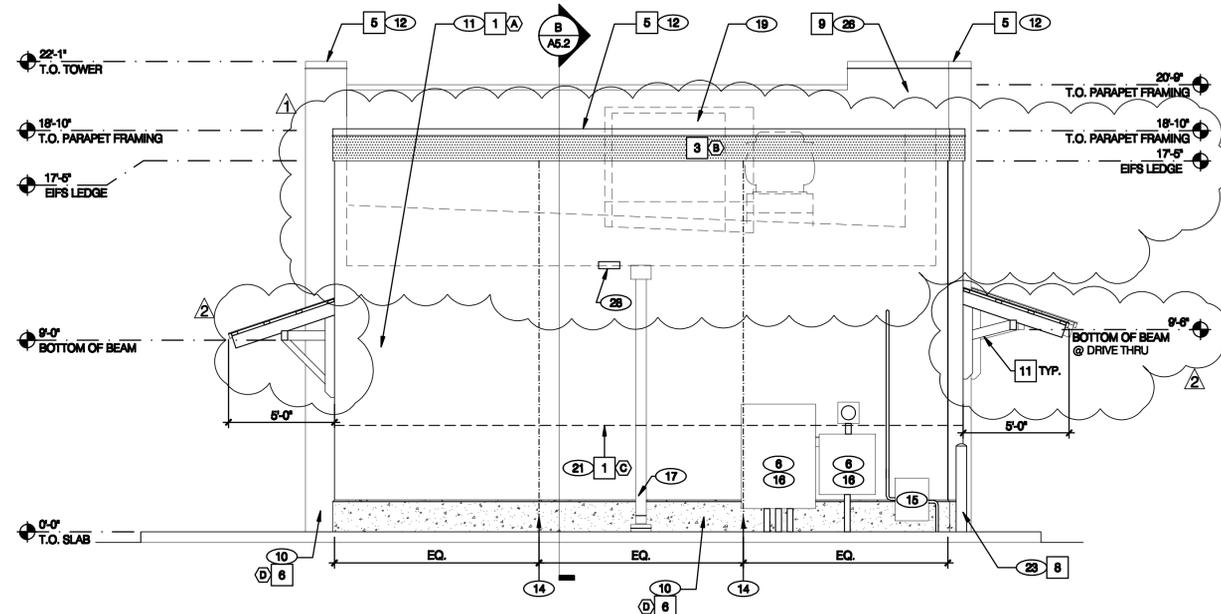


SEE SHEET A4.0 FOR KEYNOTES.

LEFT SIDE ELEVATION 1/4" = 1'-0" **A**



FRONT ELEVATION 1/4" = 1'-0" **C**



REAR ELEVATION 1/4" = 1'-0" **B**

ALLISON RAMSEY
Architects Inc. creating sustainable timeless design
 1003 Charles St.
 Beaufort, SC, 29902
 (843) 966-0559
 www.allisonramseyarchitect.com



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| ▲ 08.28.15 | PARAPET HEIGHTS |
| ▲ 08.21.15 | WOOD BRACKETS |
| ▲ 08.21.15 | AWNING REMOVAL |
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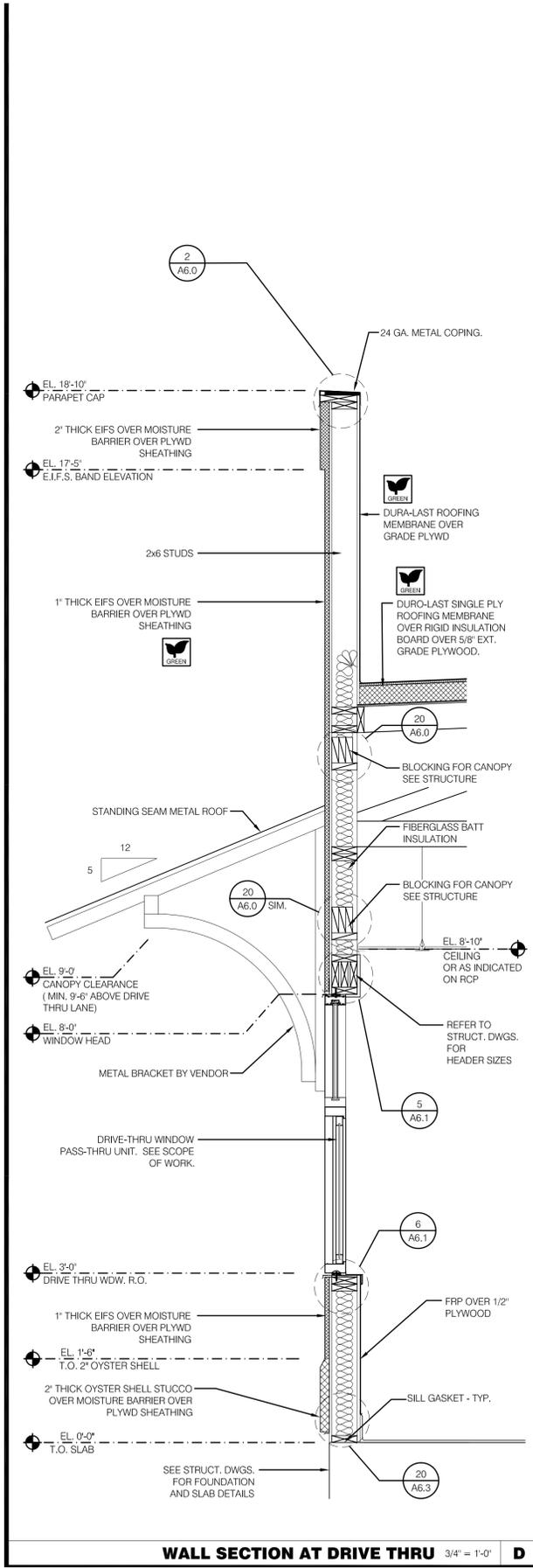
CONTRACT DATE: XXXXXX
 BUILDING TYPE: LIVE MAS LARGE40
 PLAN VERSION: SEPT 2014
 SITE NUMBER: 310-781
 STORE NUMBER: TBD

TACO BELL
 209 ROBERT SMALLS PKWY.
 BEAUFORT, SC, USA 29902

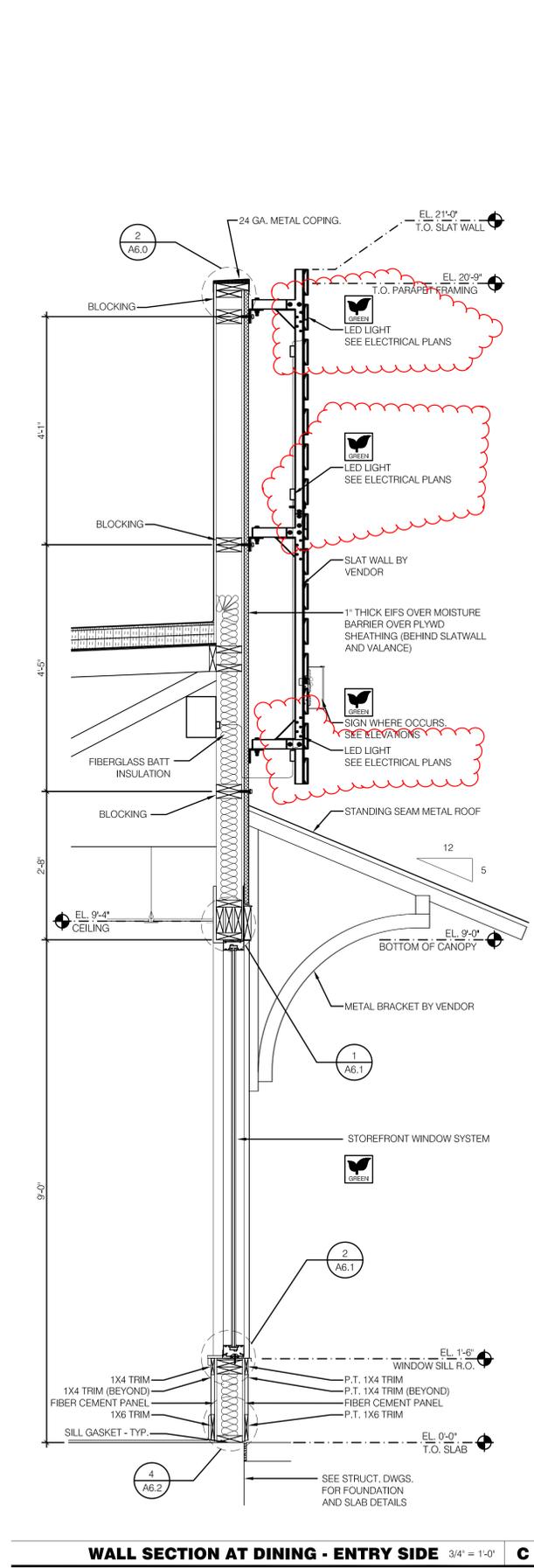
TACO BELL
LIVE MAS
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EXTERIOR ELEVATIONS

A4.1

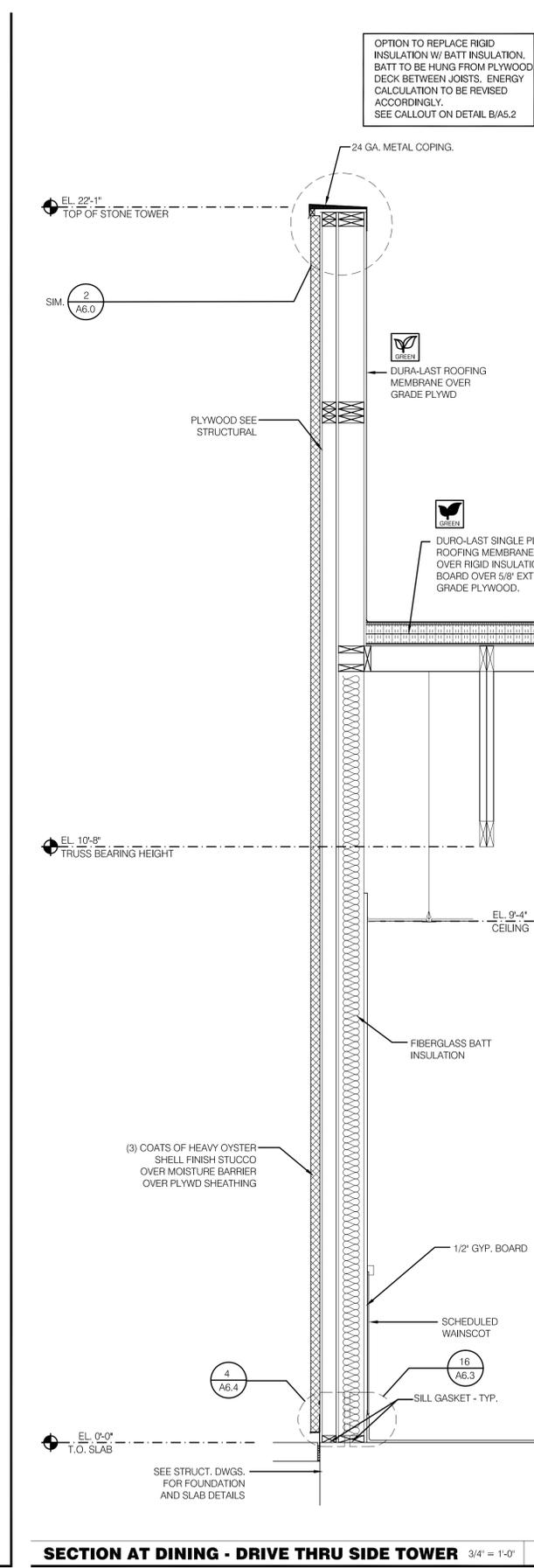
PLOT DATE: 08.21.15



WALL SECTION AT DRIVE THRU 3/4" = 1'-0" D



WALL SECTION AT DINING - ENTRY SIDE 3/4" = 1'-0" C



SECTION AT DINING - DRIVE THRU SIDE TOWER 3/4" = 1'-0" A

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 (843) 986-0559
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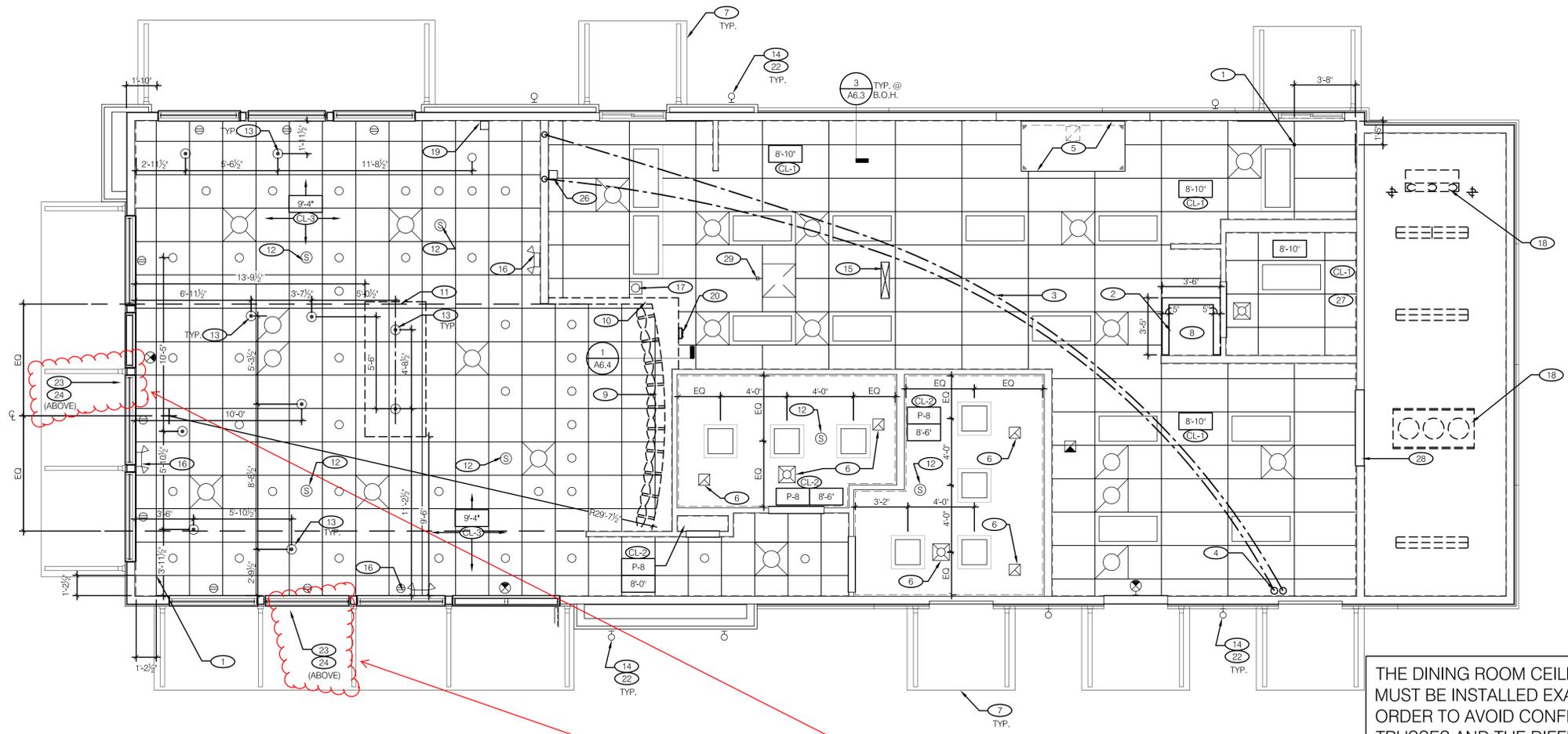


LIVE MAS
 LARGE40

WALL SECTIONS

A5.0

PLOT DATE: 05.13.15



THE DINING ROOM CEILING GRID LOCATION MUST BE INSTALLED EXACTLY AS SHOWN IN ORDER TO AVOID CONFLICTS BETWEEN THE TRUSSES AND THE DIFFUSERS

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TACO BELL
 209 ROBERT SMALLS PKWY.
 BEAUFORT, SC, USA 29902



REFLECTED CEILING PLAN
A7.1

PLOT DATE: 05.13.15

REFLECTED CEILING PLAN 1/4" = 1'-0" **A**

NOT USED 1/4" = 1'-0" **F**

| | | | |
|--|---|--|-----------------------------------|
| | 2'-0" x 2'-0" LED TROFFER | | EXTERIOR WALL FIXTURE |
| | 2'-0" x 4'-0" T-GRID LED TROFFER | | SPEAKER |
| | DOWNLIGHT @ WALK-IN (BY WALK-IN MFR.) | | 12' EXHAUST FAN |
| | SUSPENDED DOWNLIGHT AT OPEN TRUSS | | HVAC RETURN GRILLE |
| | PENDANT FIXTURE | | HVAC SUPPLY DIFFUSER |
| | DOWNLIGHT | | HVAC SUPPLY DIFFUSER |
| | EMERGENCY LIGHTS | | HVAC PERFORATED SUPPLY DIFFUSER |
| | EXIT LIGHT (WALL MOUNTED) | | BACK DOOR SECURITY STROBE LIGHT |
| | EXIT LIGHT (CEILING MOUNTED) | | EXTERIOR CANOPY FLUORESCENT LIGHT |
| | PENDANT OR DIRECTIONAL FIXTURE, TRACK MOUNTED | | |

CEILING SYMBOL LEGEND **E**

DIMENSIONS:
 A. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.

CEILING FINISHES:
 A. REFER TO ROOM FINISH SCHEDULE (SHT A7.2) FOR CLG. FINISHES.

SUSPENDED CEILING:
 A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
 B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
 C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS, 2" MAX.
 D. INSTALL SYSTEM AFTER MAJOR ABOVE CLG. WORK IS COMPLETE. COORD LOCATIONS OF HANGERS WITH RELATED WORK.
 E. SEE SPECS FOR ADDITIONAL INFORMATION.

GYP-SUM BOARD CEILING:
 A. SUBSTRATE SHALL BE 1/2" THICK GYP. BD.
 B. ACOUSTICAL SEALANT: APPLY TO GYP. BD. PANELS AS INDICATED IN SPECS.
 GYP. BD. FINISHING AND DECORATING: REFER TO DWGS FOR TEXTURE AND FINISHES.

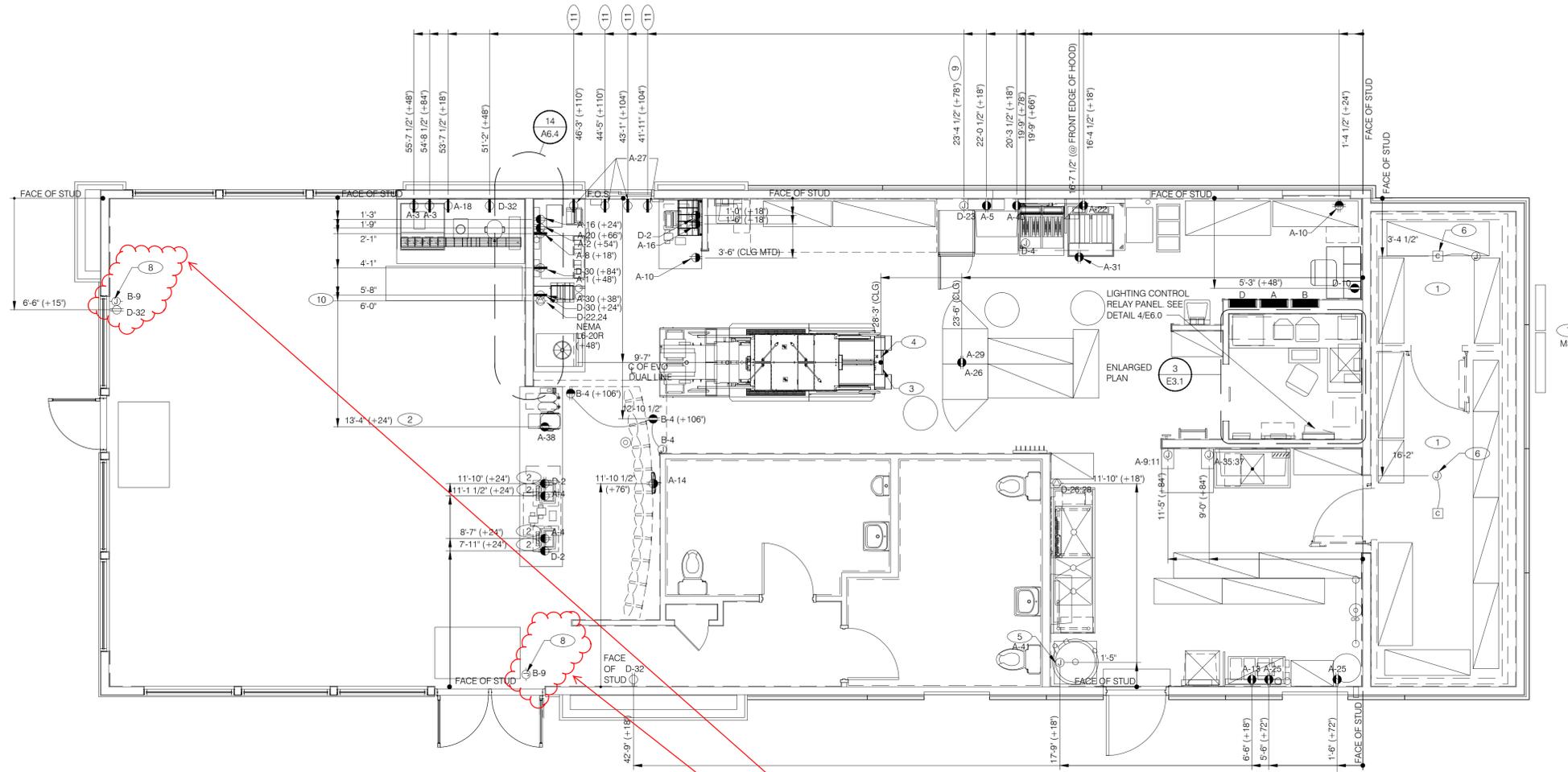
ELECTRICAL:
 A. SEE ELECT. DWGS. FOR FIXTURE SCHED.

REFLECTED CEILING PLAN NOTES **D**

- 1 CEILING GRID STARTING POINT.
- 2 BULKHEAD @ 8'-0" A.F.F.
- 3 NON-INSULATED BUNDLED SYRUP LINES FOR DRINK SYSTEM. SEE SCOPE OF WORK. SEE DETAIL 17/A6.4.
- 4 6" DIA PVC STUB THROUGH CEILING. SEE DETAIL 18/A6.4.
- 5 HOOD.
- 6 FOR ROUGH FRAMING OPENINGS SEE AIR DEVICE SCHED. (TYP. AT RESTROOMS).
- 7 CANOPY.
- 8 ROOF HATCH. SEE 7/A6.0.
- 9 MENU BOARD. SEE SCOPE OF WORK.
- 10 MENU BOARD BULKHEAD - BOTTOM OF SOFFIT AT 7'-0" A.F.F. / SEE DETAIL 1/A6.4.
- 11 PRE-FABRICATED & PRE-FINISHED SOFFIT BY 3RD PARTY VENDOR. PROVIDE CLG. TILES ABOVE SOFFIT. (CL-550) (OPTIONAL)
- 12 SPEAKER, CENTER IN CEILING TILE PANEL.
- 13 PENDANT LTG - CENTER OVER TABLE TOP (TYP). COORDINATE WITH DECOR FIELD INSTALLATION.
- 14 EXTERIOR WALL LIGHT FIXTURES. SEE ELEVATIONS AND ELECT. DWGS.
- 15 UTILITY CHASE BY 3RD PARTY VENDOR TO CEILING.
- 16 EMERGENCY DUAL HEAD FIXTURE. SEE ELECT. DWGS.

- 17 SECURITY STROBE LIGHT, REFER TO ELECT. DWGS.
- 18 FAN COIL FOR WALK-IN.
- 19 6" x 6" 18 GA. STAINLESS STEEL CHASE ALONG WALL FOR ICE MACHINE REFRIGERANT LINES. 6" ABOVE CEILING TO TOP OF ICE MACHINE.
- 20 ALERT LIGHT BOX FOR 3-COMP POWER SOAK MOUNTED AT C.L. OF BOX 7'-11" AFF
- 21 RAISED INDICATED SECTION OF CEILING TO 8'-10"
- 22 ALIGN LIGHT FIXTURE MOUNTING PLATE AS INDICATED ON ELEVATIONS.
- 23 DECORATIVE SLAT WALL BY VENDOR. SEE BUILDING ELEVATIONS.
- 24 3 ROWS OF LED LIGHTS BEHIND SLAT WALL. SEE BUILDING SECTIONS.
- 25 NOT USED
- 26 STAINLESS STEEL SYRUP CHASE ON WALL. SEE DETAIL 19/A6.4.
- 27 AS-BUILT PLANS ROLLED UP STORED ABOVE CEILING TILES.
- 28 30"X30" ACCESS OPENING IN REAR WALL ABOVE CEILING. FIN. WITH DRYWALL.
- 29 WATER INLET CHASE FOR CHEESE MELTER SCREWED TO HEATED AIR SCREEN

KEY NOTES **B**



POWER PLAN 1/4"=1'-0" **A**

- | | |
|---|--|
| <p>A. ALL DIMENSIONS TO J-BOXES ARE FROM FACE OF STUD TO CENTER OF BOX, U.O.N.</p> <p>B. ALL CONDUIT DROPS ARE INSIDE WALLS U.O.N. SEE ARCH. DWGS FOR WALL DIMS.</p> <p>C. ALL J-BOX CIRCUITS, CONDUITS, FIXTURES, ETC. SHALL BE AS INDICATED ON THE ELECT. DWGS AND SPECS.</p> <p>D. CONTRACTOR SHALL VERIFY UNDERGROUND CONDUIT LOCATIONS PRIOR TO POURING SLAB.</p> <p>E. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THIS DATA ON THE LOCATION OF ELECT. ROUGH-INS WITH INFO PROVIDED ON THE ARCH. AND STRUCT. DWGS AND THE EQUIPMENT ACTUALLY SUPPLIED, AND TO CONFIRM THE CORRECTNESS OF ANY DIMENSIONS HEREIN.</p> <p>F. LOCATIONS OF ALL OUTLETS MAY BE RELOCATED TO NEAREST STUD. DO NOT CUT INTO STUDS.</p> <p>G. FOR EXACT LOCATIONS OF KITCHEN & MECHANICAL EQUIPMENT AND POINTS OF CONNECTION, REFER TO KITCHEN & MECHANICAL EQUIPMENT DRAWINGS AND MANUFACTURERS SHOP DRAWINGS.</p> <p>H. ALL CIRCUIT FEEDERS AND DISCONNECTS SHALL BE SIZED BY NEC.</p> <p>I. CONTRACTOR SHALL VERIFY CIRCUIT BREAKER, DISCONNECT SWITCH, STARTER AND FUSE SIZES WITH SELECTED EQUIPMENT MANUFACTURERS SHOP DRAWINGS PRIOR TO PLACING ORDER AND PROVIDE EVERYTHING AS REQUIRED.</p> | <p>J. ELECTRICAL EQUIPMENT ENCLOSURES SHALL BE NEMA-1 FOR INTERIOR AND NEMA 3R FOR EXTERIOR. IN COASTAL REGIONS THE STANDARD FOR OUTSIDE SHALL BE NEMA-4X.</p> <p>K. PER SECTION 210.8(B)(3) NEC 2011, ALL 15 AND 20A, 120V RECEPTACLES IN COMMERCIAL KITCHENS ARE REQUIRED TO BE GFCI PROTECTED. THIS INCLUDES ISOLATED GROUND RECEPTACLES.</p> <p>L. DO NOT MEASURE/LOCATE OUTLETS ON DRAWINGS. USE DIMENSIONS PROVIDED.</p> <p>M. CONDUIT MAY RUN UNDER SLAB AT G.C.'S DISCRETION.</p> <p>N. E.C. SHALL PROVIDE A PREPRINTED SELF-ADHESIVE LABEL ON ALL POS RECEPTACLES STATING "POS USE ONLY".</p> <p>O. PROVIDE ESCUTCHEON PLATES AND SEALANT AT ALL UTILITY PENETRATIONS INTO WALLS, CEILING, AND FLOORS. DO NOT USE CAULKS OR EXPANSION FOAM FOR SEALANT.</p> <p>P. EMT SHALL BE USED FOR ALL WIREWAYS (CONDUITS). ARMOR CABLE IS ALLOWED ONLY WHERE WIRE WAYS ARE EASILY ACCESSIBLE. FOR EXAMPLE: EMT INSIDE WALLS AND ABOVE HARD GYPSUM BOARD CEILINGS AND ARMOR CABLE ABOVE SUSPENDED CEILING SYSTEMS.</p> <p>Q. ARMOR CABLE (BX) ALLOWED WHERE ACCEPTABLE BY CODE. ALL WIRE SHALL BE CONCEALED U.O.N.</p> |
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POWER PLAN GENERAL NOTES **C**

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| <p>1 REFER TO ROOF PLAN.</p> <p>2 INSTALL SURFACE MOUNTED IN CONDUIT RUNNING ON KITCHEN SIDE OF CABINERY REAR WALL.</p> <p>3 CONNECT DRY PRODUCTION EVO LINE CIRCUIT BREAKER PANEL VIA UTILITY CHASE IN CEILING TO A 3 POLE, 200 AMP CIRCUIT BREAKER IN MAIN SWITCHBOARD. SEE SHEET E2.0. VERIFY ALL REQUIREMENTS WITH ACTUAL EQUIPMENT SPECIFIED. THE MANUFACTURER WILL FULLY PRE-WIRE THE COMPLETE DRY PRODUCT LINE AT THE FACTORY. THE UNITS WILL THEN BE PULLED APART FOR SHIPPING PURPOSES. ALL CONNECTION POINTS WILL BE MARKED. THE CONDUIT RUNS WILL BE COILED UP FOR FIELD INSTALLATION. SOME ELECTRICAL COMPONENTS MAY BE REMOVED FOR EASE OF DISASSEMBLING THE LINE-UP. THE ELECTRICAL CONTRACTOR WILL BE FULLY RESPONSIBLE FOR MAKING THE PROPER FIELD CONNECTIONS FROM THE ROUGH-IN LOCATION TO THE MANUFACTURER PROVIDED BREAKER PANEL BOX. IN ADDITION, THE ELECTRICAL CONTRACTOR WILL BE RESPONSIBLE FOR ANY SPLICE POINTS AND/OR JUNCTION BOXES THAT NEED TO BE RECONNECTED. SOME ELECTRICAL COMPONENT ASSEMBLY MAY ALSO BE REQUIRED.</p> <p>4 EQUIPMENT CABINET.</p> <p>5 JUNCTION BOX FOR WATER HEATER. COORDINATE WITH MECHANICAL CONTRACTOR.</p> <p>6 INSTALL CONTROL CABLE FROM FREEZER/COOLER FAN COIL TO ROOF MOUNTED CONDENSOR.</p> <p>7 LOCATE SWITCHGEAR REFER GUIDELINES ON SHEET A4.1</p> <p>8 PROVIDE J-BOXES FOR SLAT WALL LED POWER SUPPLIES ABOVE CEILING IN DINING ROOM. POWER SUPPLIES TO BE MOUNTED ABOVE CEILING.</p> <p>9 ANSUL J-BOX - LOCATE ABOVE CEILING.</p> <p>10 PROVIDE BOOST TRANSFORMER (208V, 1-PHASE IN, 240V, 1-PHASE OUT) FOR FROZEN BEVERAGE DISPENSER.</p> <p>11 ABOVE CEILING FOR WALL MOUNTED HME. SEE 16/E3.1</p> |
|--|

KEY NOTES **B**

NOT USED N.T.S. **E**

LONDONO
engineering

P.O. Box 433 Beaufort, SC 29901
843.263.1792
LondonoEngineering.com

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
LONDONO ENGINEERING LLC
No. 4758

03/30/15

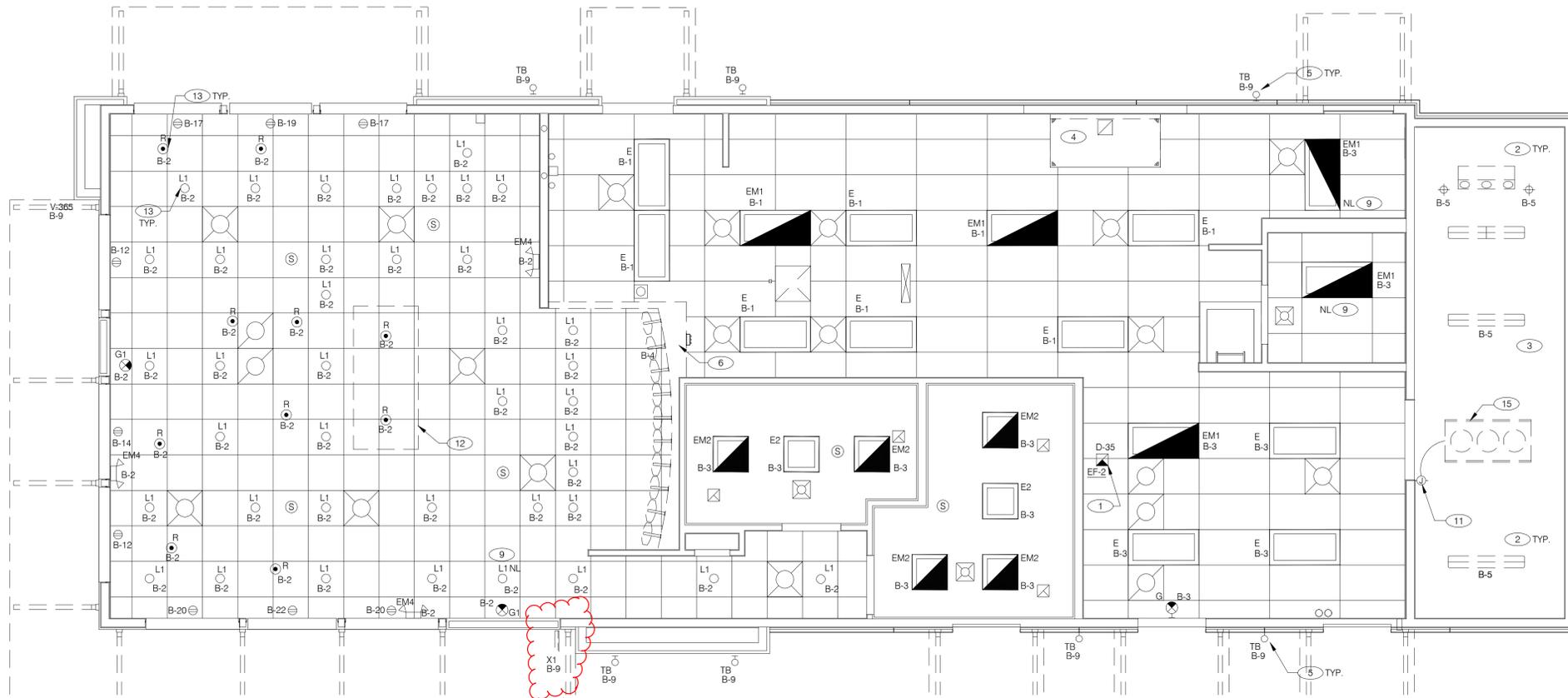
CONTRACT DATE: XX.XX.XX
BUILDING TYPE: LIVE MAS LARGE40
PLAN VERSION: SEPT 2014
SITE NUMBER: 310-781
STORE NUMBER: TBD

TACO BELL
123 MAIN STREET
ANYTOWN, USA 98765

LIVE MAS
LARGE40

POWER FLOOR PLAN
E3.0

PLOT DATE:



GENERAL NOTES
 THE LISTED LIGHT FIXTURE PACKAGE CAN BE BID DIRECTLY OR ORDERED FROM A ACCUSERV LIGHTING DISTRIBUTOR. CONTACT BUDDY BOCKWEG 502-961-0096 X19.

- GENERAL NOTES**
- A. CONFIRM LIGHTING FIXTURE QUANTITIES WITH SUPPLIER.
 - B. EMERGENCY AND NORMAL LIGHTING MARKED WITH "NL" SUBSCRIPT SHALL OPERATE CONTINUOUSLY. PROVIDE UNSWITCHED HOT TO NORMAL AND EMERGENCY BALLAST.
 - C. EMERGENCY LIGHTING NOT MARKED WITH "NL" SUBSCRIPT SHALL OPERATE UNDER CONTROL OF LIGHTING SWITCH AS INDICATED. PROVIDE UNSWITCHED CONSTANT HOT TO EMERGENCY BALLAST AND SWITCHED HOT TO NORMAL BALLAST.
 - D. ALL CONDUITS ENTERING OR LEAVING COOLER/FREEZER SHALL BE PROVIDED WITH SEAL-OFF FITTING WITH COMPOUND PER NEC 300-7(A).
 - E. ALL INTERIOR LIGHTING CIRCUITS TO BE WIRED THRU THE LIGHTING CONTROL RELAYS. SEE 2/E6.0.
 - F. CONTRACTOR TO FIELD VERIFY CEILING TYPE AND PROVIDE PROPER MOUNTING HARDWARE.
 - G. ALL FIXTURES SUPPLIED WITH LAMPS.

LIGHTING PLAN 1/4"=1'-0" **A**

| NO. | QTY | LOCATION | MFR / CATALOG NUMBER | DESCRIPTION | LAMP | | BALLAST | MOUNTING | | VOLT | WATT | REMARKS |
|-----|-----|------------------|--|------------------------------------|------|------|---------|-----------------|--------------------|------|------|--|
| | | | | | # | TYPE | | TYPE | HT. | | | |
| E | 10 | KITCHEN & OFFICE | PHILIPS DAY-BRITE 2TGLEDS2L840-4-FS-02F-UNV-SDIM | 2x4 T-GRID LED TROFFER | - | LED | NA | RECESSED GRID | | 120 | 30 | PRISMATIC LENS |
| EM1 | 5 | KITCHEN & OFFICE | PHILIPS DAY-BRITE 2TGLEDS2L840-4-FS-02F-UNV-SDIM | 2x4 T-GRID LED TROFFER | - | LED | NA | RECESSED GRID | | 120 | 30 | SAME AS E WITH BATTERY BACK-UP |
| E2 | 2 | RESTROOM | PHILIPS DAY-BRITE 2LED32L840-2-FS-02F-UNV-SDIM | 2x2 LED TROFFER | - | LED | NA | RECESSED FLANGE | | 120 | 15 | PROVIDE WITH 2X2 FLANGE CONVERSION KIT SAME AS E2 WITH BATTERY BACK-UP |
| EM2 | 5 | RESTROOM | PHILIPS DAY-BRITE 2LED32L840-2-FS-02F-UNV-SDIM | 2x2 LED TROFFER | - | LED | NA | RECESSED FLANGE | | 120 | 15 | UNSWITCHED HOT |
| EM4 | 3 | DINING | THOMAS/McPHILBEN CAX6 | EMERGENCY LIGHT FROG EYE | 2 | | NA | WALL | TOP @ 9'-4" U.O.N. | 120 | 18 | |
| G | 1 | KITCHEN | LIGHTOLIER LLNURW | EXIT SIGN, LED UNIVERSAL MOUNT LED | - | | NA | WALL | | 120 | 4 | |
| G1 | 2 | DINING | LIGHTOLIER LLNURW | EXIT SIGN, LED UNIVERSAL MOUNT LED | - | | NA | CEILING | | 120 | 4 | PENDANT MOUNT FIXTURE +9' A.F.F. TO BOTTOM |

BALLAST LEGEND

| | | |
|--|---|-----------------------------|
| A. 20THD ELECTRONIC T8 THERMALLY PROTECTED C.B.M. APPROVED CLASS P | C. 10 THD ELECTRONIC CLASS B CONSUMER END OF LIFE PROTECTED | E. 100W PRESSURE SODIUM HPF |
| B. 90 MINUTE EM PRODUCING 350-450 LUMENS | D. F CAN 100W METAL HALIDE HPF 60HZ | F. 100W METAL HALIDE HPF |

| NO. | QUANTITY | LOCATION | MFR / CATALOG NUMBER | DESCRIPTION | LAMP | | BALLAST | MOUNTING | | VOLT | WATT | REMARKS |
|-----|----------|--------------------|--------------------------------------|--|------|-------------------|---------|--------------------|-----------------------------------|------|---------|--------------------------------------|
| | | | | | # | TYPE | | TYPE | HT. | | | |
| L | 40 | DINING | ACCUSERV #00395-016-PC6-CT6FB | DOWNLIGHT LED RECESSED | 1 | - | NA | RECESSED DROP CLG. | BOT @ 9'-4" A.F.F. | 120 | 10.5 | |
| R | 10 | DINING | ACCUSERV BES00298-092 | OPAL GLASS PENDANT | 1 | 9.5W LED A19 LAMP | NA | PENDANT | 6'-0" A.F.F. | 120 | 9.5 | LAMP (60W) EQ WARM WHITE (2700K) LED |
| TB | 7 | EXTERIOR WALL | HI-LITE H-16058-B | WALL SCONCE, CUSTOM DARK BRONZE FINISH | 1 | 20W LED | NA | WALL | CENTER OF BRACKET AT 9'-6" A.F.F. | 120 | 20 | SEE ELEVATION FOR MOUNTING HEIGHTS |
| X1 | 163.5 LF | EXTERIOR SLAT WALL | AGILIGHT #LA-APEX-65K-G2 | LED STRIP LIGHT | 1 | LED | WALL | | | 120 | 3.28/FT | BY SIGN VENDOR |
| A | 7 | SITE POLE | CIMARRON LED CL1-A-90LU-4K-4-DB-RPA3 | 1 FAT POLE MOUNTED DARK BRONZE FINISHED | 1 | LED 210W | NA | POLE | 25'-0" | 120 | 210 | SEE CIVIL PLANS FOR POLE DETAILS |
| B | 1 | SITE POLE | CIMARRON LED CL1-A-90LU-4K-4-DB-RPA3 | 2 FXTRS. POLE MOUNTED DARK BRONZE FINISHED | 2 | LED 210W | NA | POLE | 25'-0" | 120 | 420 | SEE CIVIL PLANS FOR POLE DETAILS |

BALLAST LEGEND

| | | |
|--|---|-----------------------------|
| A. 20THD ELECTRONIC T8 THERMALLY PROTECTED C.B.M. APPROVED CLASS P | C. 10 THD ELECTRONIC CLASS B CONSUMER END OF LIFE PROTECTED | E. 100W PRESSURE SODIUM HPF |
| B. 90 MINUTE EM PRODUCING 350-450 LUMENS | D. F CAN 100W METAL HALIDE HPF 60HZ | F. 100W METAL HALIDE HPF |

LIGHTING FIXTURE SCHEDULE **C**

- (1) EF-2 SHALL BE CONNECTED AND CONTROLLED VIA LOCAL LIGHTING CIRCUIT.
- (2) INDICATES LIGHTING FIXTURES PROVIDED WITH WALK-IN COOLER. REFER TO GENERAL NOTE D.
- (3) WALK-IN COOLER / FREEZER - SEE SCOPE OF WORK.
- (4) EX-HAUST HOOD LIGHT FIXTURES SUPPLIED WITH HOOD AND MTD IN PRE-WIRED J-BOX. COMPLETE CIRCUITING PER DETAIL 2/E6.0.
- (5) COORD. J-BOX LOCATION SO IT REMAINS CONCEALED BEHIND FIXTURE. VERIFY MOUNTING HEIGHT WITH ARCH. DWGS.
- (6) OUTLET FOR MENU BOARD. SEE SHEET E3.0. VERIFY POINT OF CONNECTION. 10 LIGHT PANELS WIRED IN SERIES. G.C. TO MAKE FINAL CONNECTION.
- (7) NOT USED.
- (8) NOT USED.
- (9) NIGHT LIGHT.
- (10) NOT USED.
- (11) J-BOX FOR COOLER/FREEZER LIGHTS. COORDINATE WITH MANUFACTURER.
- (12) PRE-FABRICATED SOFFIT WITH LIGHTING. REFER TO A7.1 FOR SPECIFICS. (OPTIONAL).
- (13) COORDINATE THE POSITION OF LIGHT FIXTURES WITH THE POSITION OF THE TABLES BELOW.
- (14) NOT USED.
- (15) WATER PROOF ELECTRICAL CONDUITS.

KEY NOTES **B**

LONDONO engineering

P.O. Box 433 Beaufort, SC 29901
 843.263.1792
 LondonoEngineering.com

SOUTH CAROLINA
 ENGINEERING
 LLC
 No. 4758
 CERTIFICATE OF AUTHORIZATION

[Signature]
 03/30/15



CONTRACT DATE: XX.XX.XX
 BUILDING TYPE: LIVE MAS LARGE40
 PLAN VERSION: SEPT 2014
 SITE NUMBER: 310-781
 STORE NUMBER: TBD

TACO BELL
 123 MAIN STREET
 ANYTOWN, USA 98765

LIVE MAS
 LARGE40

LIGHTING PLAN AND SCHEDULE

E4.0

PLOT DATE: