

**CITY OF BEAUFORT
DESIGN REVIEW BOARD
Staff Report
Special Meeting of January 26, 2015**

Case Number: 15-02 DRB.2
Project: Taco Bell
Property Address: 209 Robert Smalls Parkway
Parcel #: R122-029-000-0245-0000
Zoning: Highway Commercial
Design District: S.C. Highway 170 District
Type of Review: **Conceptual Review – New Construction**

Request:

The applicant is requesting to construct a new 2,486 SF Taco Bell with a drive-thru on an outparcel in front of Lowes. This would replace their existing store in Beaufort Plaza.

Background:

This project appeared before the DRB on December 11, 2014. No motion was made, but a number of suggestions were given to the applicant regarding the site plan and architecture.

Zoning Issues:

This property was recently rezoned to Highway Commercial (HC) and is in the S. C. Highway 170 Design District from SC 280 to US 21.

Setbacks:

Front Build-to:	20'
Side:	10'
Rear:	15'
Percent Impervious	65%

Applicable Guidelines:

- The Design District Standards in Section 6.6 of the UDO apply to this project
 - Section 6.6 D.10 refers to drive-thru windows and states that *they should be located on the side, and preferably the rear, of the structure. On corner lots they should be screened from the street to the extent possible.*
 - Section 6.6.D.6 refers to elevations and states that *all elevations visible from a public or private street, or from primary vehicular access points or parking areas shall be in harmony with one other in terms of scale, proportion, detail, material, color and quality design. The side and rear elevations of buildings shall be as visually attractive as the front elevation, where those side or rear elevations are visible from a public or private street. Rooflines and architectural detailing shall present a consistency in quality design.*
- The Civic Master Plan, Adopted in February 2014, has a long-term vision for this area to be a walkable, mixed-use neighborhood center, pages 130, 174.

Staff Comments & Suggestions:

Site:

- Staff appreciates the updated site plan based on previous DRB comments. Since the December submission, the following modifications have occurred:
 - The building has been rotated 90 degrees to hide the drive-thru;
 - The entrance has been moved further away from Robert Smalls Parkway;
 - The building has been shifted north and the circulation pattern has been modified to be more consistent with the recently constructed Dollar Tree building located two parcels over (site plan attached).
- Given these adjustments it became more difficult to save the Live Oak trees that were previously worked around, however staff feels that the benefits to the updated site plan, as well as meeting the ordinance requirements that predicated them, are very important. Mitigation will be required for the grand trees that are removed.
- Circulation:
 - Staff appreciates the connectivity to the adjacent parcel. The sidewalk should connect as well, perhaps on the south side of the drive.
 - All sidewalks should be designed to have ramps and be ADA accessible, and should not end in a vertical curb.
 - A sidewalk should be installed along the rear of the Lowes access road, similar to Dollar Tree. This should connect back to the sidewalks that provide access to the building, preferably as close to the eastern property line as possible. In addition, a sidewalk should be constructed on the eastern portion of the property along the Lowe's Entranceway.
- Drive-Thru: all visibility concerns have been addressed.
- Parking: There appears to be 40 seats in the floor plan. Please confirm this. The ordinance specifies that 1 parking space per 4 seats are permitted, plus 1 space per 2 employees. Assuming 4-5 employees, this would equate to 13 spaces required. The maximum number of spaces cannot exceed 140% of the required number, which would be about 19 spots. Any spaces over the required must be pervious. The plan is showing 24 parking spaces, so this should be addressed.
- All stormwater requirements have been met.
- A bike rack will be required.
- All mechanical equipment and trash/recycling receptacles must be screened from view. Details of the screening will be required in future submissions.
- A lighting plan, showing building and site lighting, will be required

Building:

- Staff appreciates the large amount of glazing on the front and side entries, as well as the articulation of different masses to break up the long portion of the building.
- The size, mass and scale are appropriate and conform to the zoning requirements.
- Staff appreciates the contiguous awning covering the front entrances, the traditional storefront, and the introduction of Lowcountry materials, such as the oyster shell stucco.
- Metal Slats are not a material typically seen in the Lowcountry. Section 6.6.D.7 of the UDO lists appropriate siding materials and metal is not included. The next section goes on

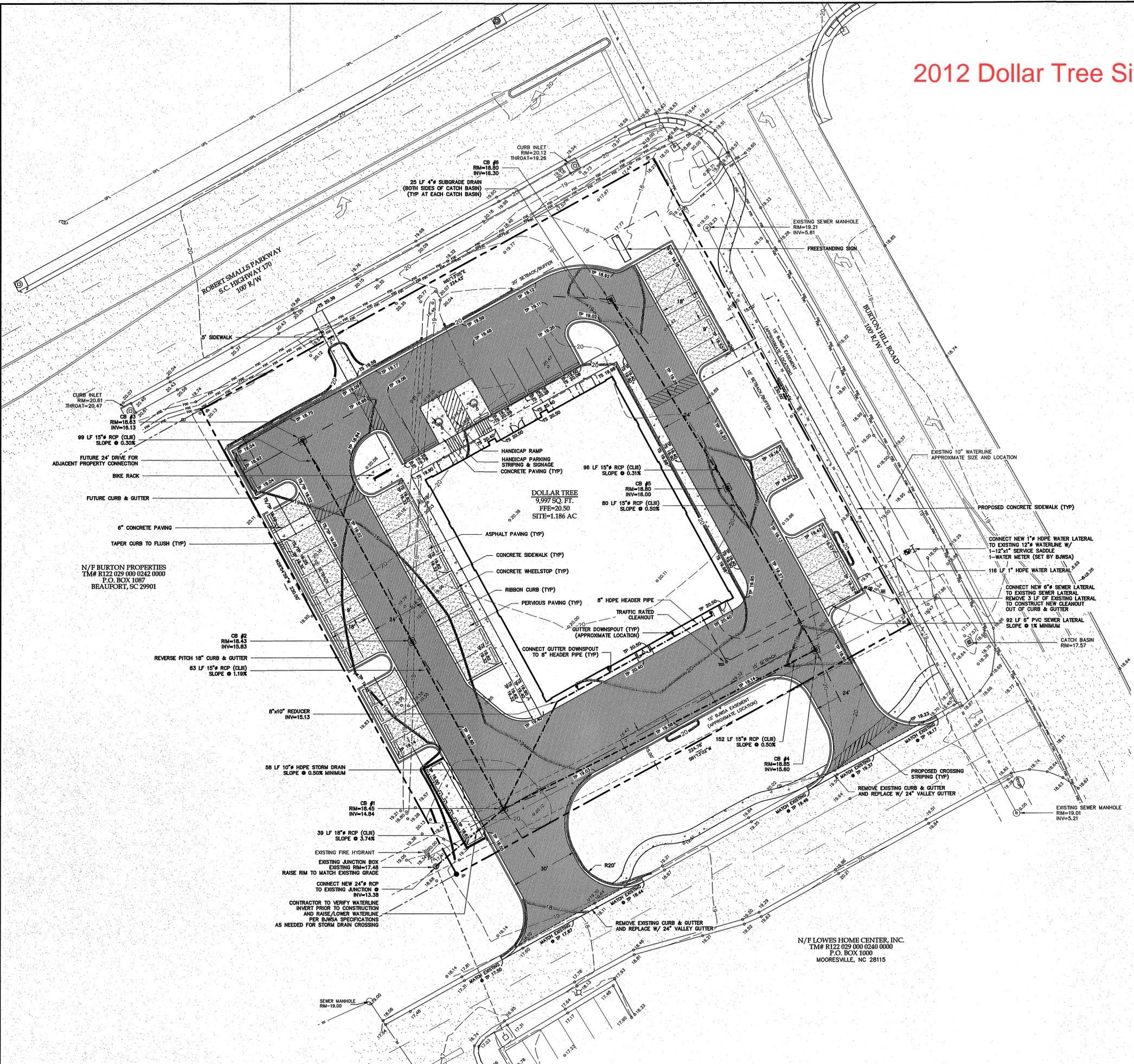
to say that metal, not closely resembling painted wood clapboard, is prohibited. Staff recommends changing the metal slats to smooth Hardie Plank siding (perhaps in a butt-board fashion to closer mimic the intent of the slates), and adding a simple cornice and corner board.

- On the Robert Smalls Parkway elevation consider wrapping a base of the oyster shell stucco around the right portion of the elevation. This, along with the rhythm of lights, fenestration and awnings, will help tie that portion of the building into the rest of the structure.
- On the Lowe's/Drive-Thru elevation, landscaping (eg. in the form of a trellis) can be used to break up the unarticulated mass of the façade on the left portion of the building.
- All signage will have to be approved via a separate sign permit.

Staff Recommendation

Staff recommends conceptual approval of the site plan as submitted, contingent on clarification of the parking spaces. Staff recommends conceptual approval of the architecture, contingent on the removal of the metal slats, addition of a cornice and corner boards, and consideration given by the board to a oyster shell base on the right portion of the Robert Smalls elevation

2012 Dollar Tree Site Plan



GENERAL NOTES:
WATER & SANITARY SEWER NOTES:

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS.

WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS THE BOTTOM OF THE WATER MAIN, THERE SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

SEWER LATERALS SHALL BE LAID WITH A MINIMUM SLOPE OF 1.0% AS SHOWN ON PLANS.

WATER METERS ARE 1" METERS UNLESS NOTED OTHERWISE.

METERS TO BE PROVIDED AND SET BY BJWSA.

MAINTAIN A 5' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND STORM DRAINAGE LINES.

GENERAL NOTES:
PAVING, GRADING & DRAINAGE NOTES:

CAROLINA ENGINEERING CONSULTANTS, INC.'S WRITTEN CONSTRUCTION SPECIFICATIONS WILL BE FOLLOWED ON THIS JOB. IF CONTRACTOR NEEDS COPY OF THESE SPECIFICATIONS, PLEASE CONTACT CAROLINA ENGINEERING.

TOPOGRAPHY, BOUNDARY, WETLAND AND BASE INFORMATION PROVIDED BY TGS LAND SURVEYING.

BENCHMARKS ARE TO BE VERIFIED BY CONTRACTOR.

CONTRACTOR SHALL VERIFY ALL MANHOLE AND INVERT ELEVATIONS BEFORE STARTING WORK.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.

SILT FENCE AND TREE FENCES TO BE IN PLACE PRIOR TO COMMENCING WORK.

MAINTAIN A 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. WHERE THIS SEPARATION CANNOT BE MAINTAINED OR THE LINES CROSS, THE BOTTOM OF THE WATER MAIN SHALL BE 18" ABOVE THE TOP OF THE SEWER MAIN LAID IN SEPARATE TRENCHES.

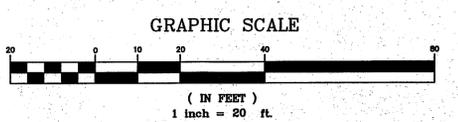
WHERE NEW CONSTRUCTION IS NEAR THE EDGE OF AN EXISTING PAVED ROADWAY, A TRAFFIC LANE WILL BE TEMPORARILY CLOSED TO PROVIDE SAFETY TO THE PUBLIC AND TO THE WORKMEN. NO LANE CLOSURES DURING 7:00 AM TO 9:00 AM OR FROM 3:30 PM TO 6:00 PM ARE ALLOWED.

APPLICANT WILL REPAIR ALL DAMAGE DONE TO ROADSIDE AND RESEED WITH PERMANENT GRASS.

TRAFFIC CONTROLS FOR THIS INSTALLATION SHALL BE IN ACCORDANCE WITH S.C.M.U.T.C.D.

PAVEMENT MARKING LINES TO BE THERMOPLASTIC.

RAISED REFLECTIVE PAVEMENT MARKER RRP-1 TO BE INSTALLED IN ACCORDANCE WITH SCDOT'S STANDARD DRAWINGS NO. 603-1 THRU 603-8 JULY, 1997.



NO.	DESCRIPTION	DATE
1		
2		
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6		
7		
8		

DOLLAR TREE
CITY OF BEAUFORT
BEAUFORT COUNTY, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/922-0553
 2 PROFESSIONAL VILLAGE CIRCLE
 BEAUFORT, SC 29907

PROJECT: 1572
 DATE: 11/14/12
 REVISED: 11/14/12
 DRAWN BY: TAB
 ENGINEER: DRK
 SCALE: 1"=20'

SITE DEVELOPMENT PLAN

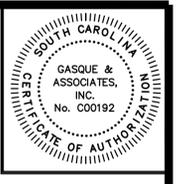
4
 OF 5

ANY INFRINGEMENT MAY BE SUBJECT TO LEGAL ACTION. THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE PROPERTY OF SAID ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE INFORMATION OF THE CONTRACTOR, THE INFORMATION IS SUBJECT TO CHANGE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

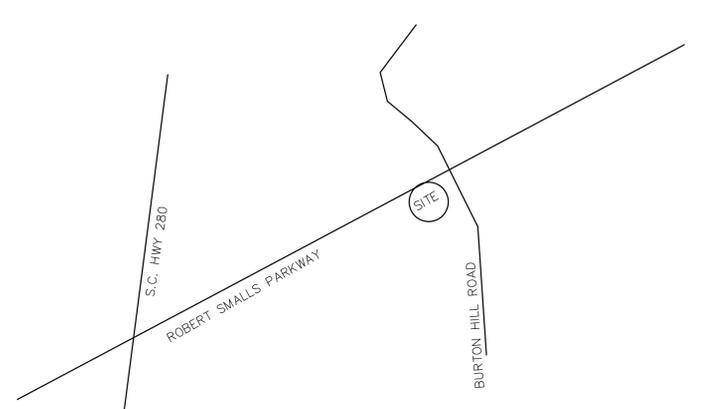
CAROLINA ENGINEERING CONSULTANTS, INC.
 843/922-0553

N/F LOWES HOME CENTER, INC.
 TM# R122 029 000 0240 0000
 P.O. BOX 1000
 MOORESVILLE, NC 28115

N/F BURTON PROPERTIES
 TM# R122 029 000 0242 0000
 P.O. BOX 1087
 BEAUFORT, SC 29901



NOTES:
 ALL DISTANCES SHOWN ON THE SURVEY HEREON ARE GROUND DISTANCES WITH NO SCALE FACTOR APPLIED. THE STATE PLANE COORDINATES FOR THE PROJECT WERE PRODUCED WITH GPS OBSERVATIONS UTILIZING THE SC STATE VRS SYSTEM.

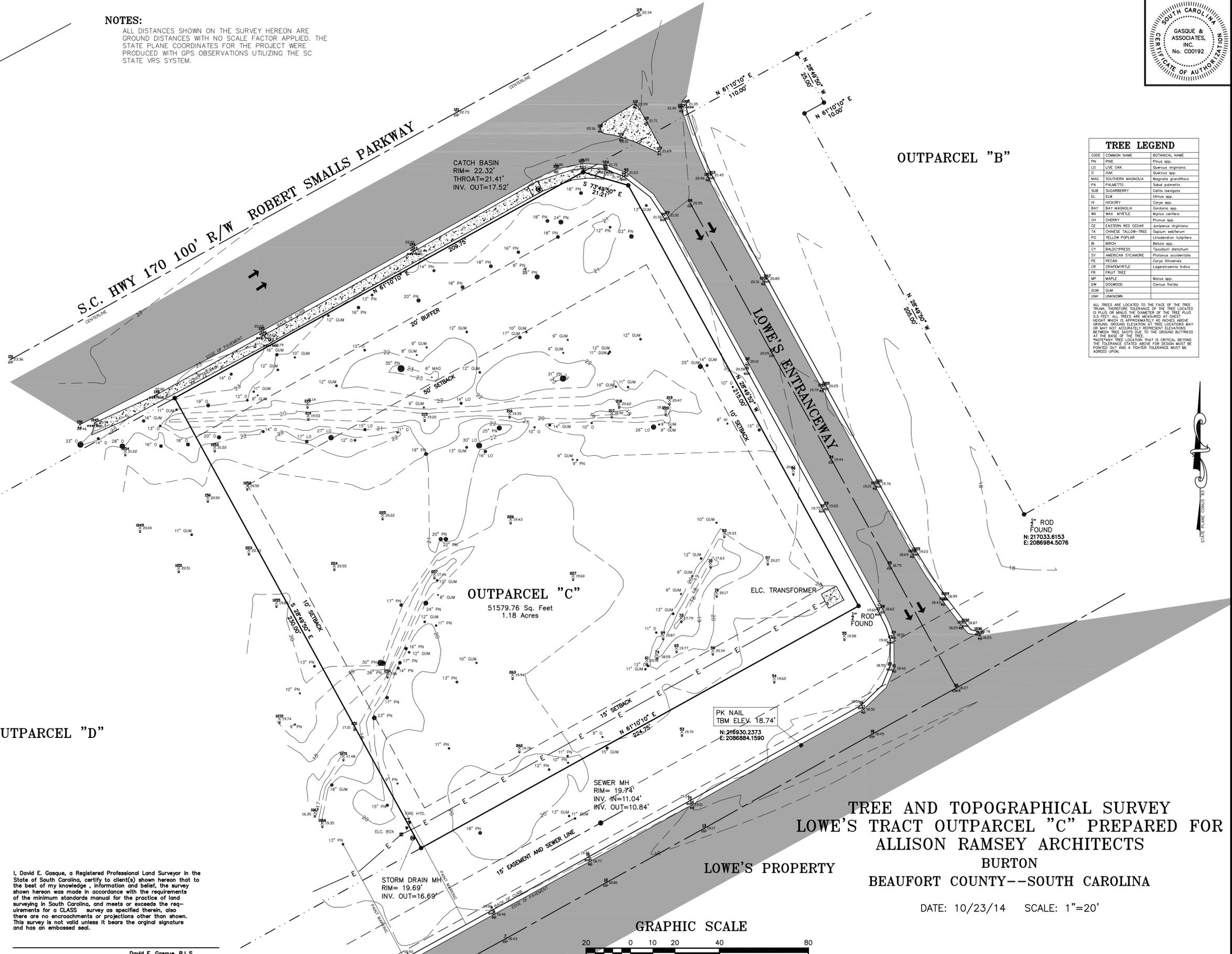


LOCATION MAP (N.T.S.)

- NOTES:**
- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
 - 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
 - 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
 - 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
 - 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 - 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS; AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 - 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
 - 9.) THIS PROPERTY IS LOCATED IN A ZONE "C" AS DETERMINED BY FEMA FIRM COMM-PANEL 450025 0065D. DATED 9/29/86
 - 10.) CONTOUR INTERVAL IS 1'.
 - 11.) VERTICAL DATUM IS 1929 NGVD.

- REFERENCES:**
- 1.) T.M.S. R122-029-000-0243-0000
 - 2.) PLAT BY DAVID S. YOUNANS DATED: APRIL 13, 2001 PLAT BOOK 80 PAGE 103 RMC BEAUFORT COUNTY
 - 3.) PLAT BY SOUTHERN PARTNERS INC. DATED: SEPTEMBER 10, 2001 PLAT BOOK 82 PAGE 192 RMC BEAUFORT COUNTY
 - 4.) PLAT BY DAVID S. YOUNANS DATED: NOVEMBER 15, 2001 PLAT BOOK 84 PAGE 197 RMC BEAUFORT COUNTY

OUTPARCEL "D"



TREE LEGEND

CODE	COMMON NAME	BOTANICAL NAME
PN	PINE	Pinus spp.
LO	LIVE OAK	Quercus virginiana
O	OAK	Quercus spp.
MAG	SOUTHERN MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SUB	SUGARBERRY	Celtis laevigata
EL	ELM	Ulmus spp.
HE	HICKORY	Carya spp.
BAY	BAY MAGNOLIA	Gordonia spp.
MY	MYRTLE	Myrica cerifera
CH	CHERRY	Prunus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	CHINESE TALLOW-TREE	Sapum sebiferum
YO	YELLOW POPLAR	Liquidambar styraciflua
B	BIRCH	Betula spp.
CY	BALDYPRESS	Toxodum distichum
SY	AMERICAN SYCAMORE	Platanus occidentalis
PE	PECAN	Carya illinoensis
CR	CRAPMYRTLE	Lagerstroemia indica
FR	FRUIT TREE	
MP	MAPLE	Acer spp.
DW	DOGWOOD	Cornus florida
GUM	GUM	
UNK	UNKNOWN	

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK. THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS OR MINUS 4 INCHES. ALL TREES ARE MEASURED AT CHIEF HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE.
 *NOTIFY TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE NOTED UPON.

GASQUE & ASSOCIATES INC.
 LAND SURVEYORS · PLANNERS
 28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 (843) 522-1798

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, certify to client(s) shown hereon that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the minimum standards manual for the practice of land surveying in South Carolina, and meets or exceeds the requirements for a CLASS survey as specified therein, also there are no encroachments or projections other than shown. This survey is not valid unless it bears the original signature and has an embossed seal.

David E. Gasque, R.L.S.
 S.C. Registration Number 10506

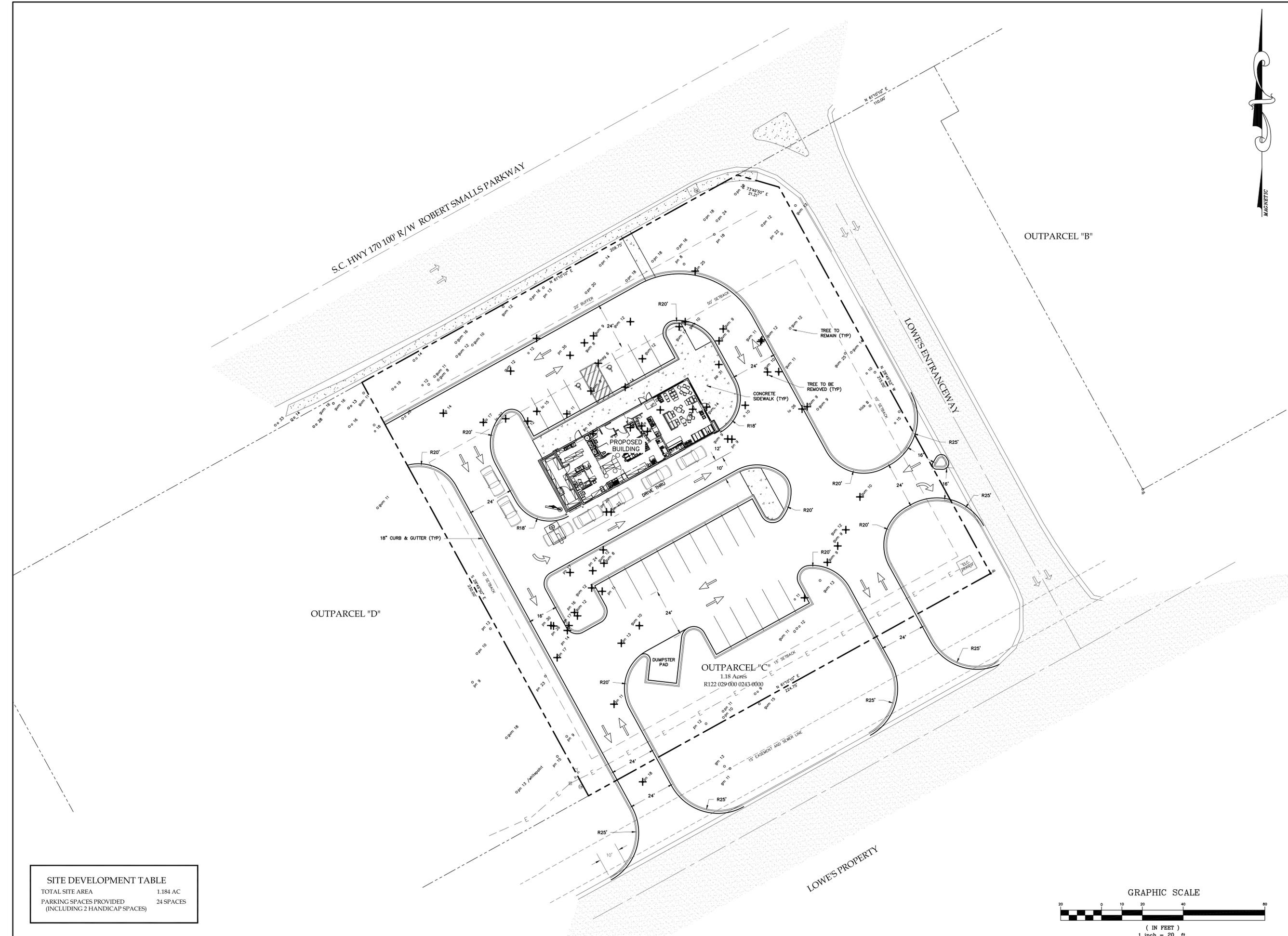
TREE AND TOPOGRAPHICAL SURVEY
 LOWE'S TRACT OUTPARCEL "C" PREPARED FOR
 ALLISON RAMSEY ARCHITECTS
 BURTON
 BEAUFORT COUNTY--SOUTH CAROLINA

DATE: 10/23/14 SCALE: 1"=20'

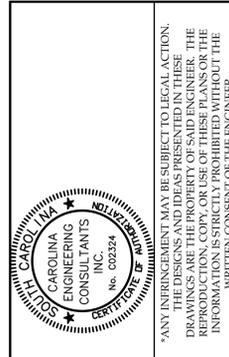
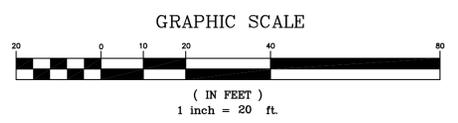


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JOB#42406 F.B.# 877/CG DRAWN BY DSGNS



SITE DEVELOPMENT TABLE	
TOTAL SITE AREA	1.184 AC
PARKING SPACES PROVIDED (INCLUDING 2 HANDICAP SPACES)	24 SPACES



PLAN REVISIONS	
NO.	DESCRIPTION
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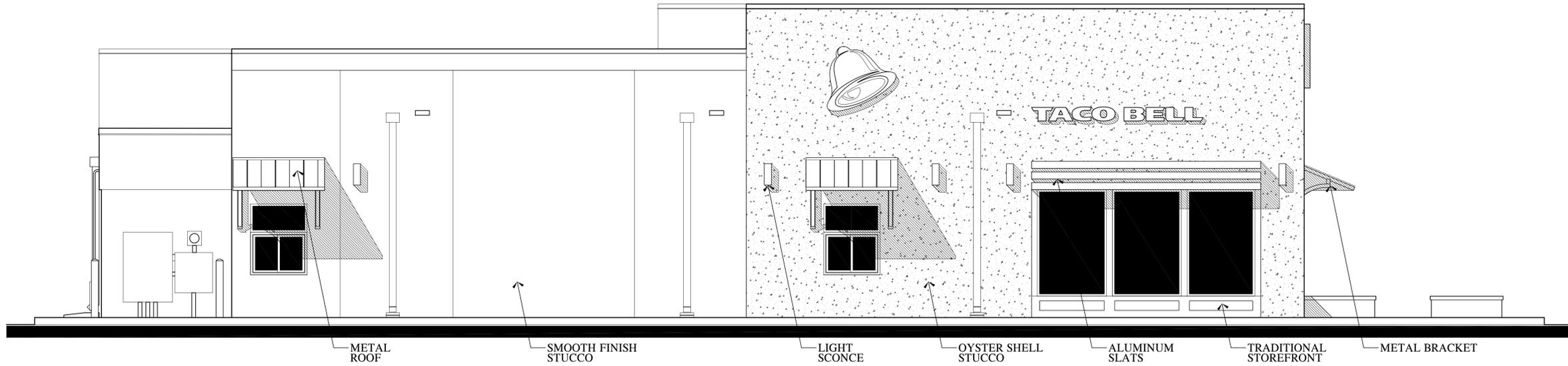
TACO BELL
LOWES OUTPARCEL
BEAUFORT COUNTY, SC

CAROLINA ENGINEERING CONSULTANTS, INC.
 843/322-0553
 843/322-0556 (FAX)
 WWW.CAROLINAENGINEERING.COM
 PO BOX 294
 BEAUFORT, SC 29901

PROJECT:	1751
DATE:	10/09/14
REVISED:	01/21/15
DRAWN BY:	TAB
ENGINEER:	JPA
SCALE:	1"=20'

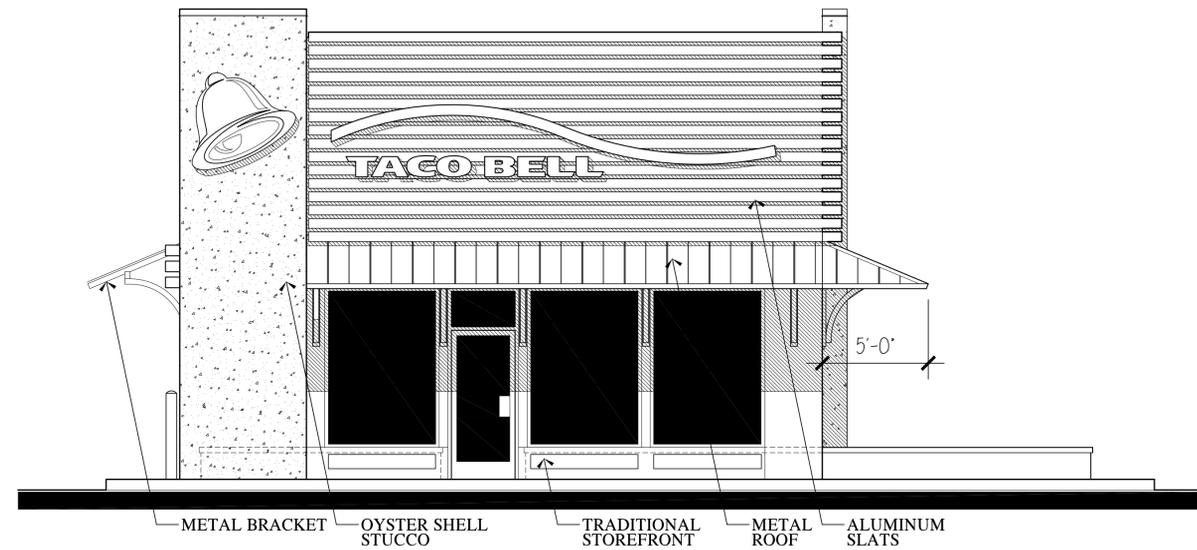
SITE PLAN

1
OF 1



2 LEFT (LOWE'S) ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT (LOWE'S ENTRANCEWAY) ELEVATION

SCALE: 1/4" = 1'-0"

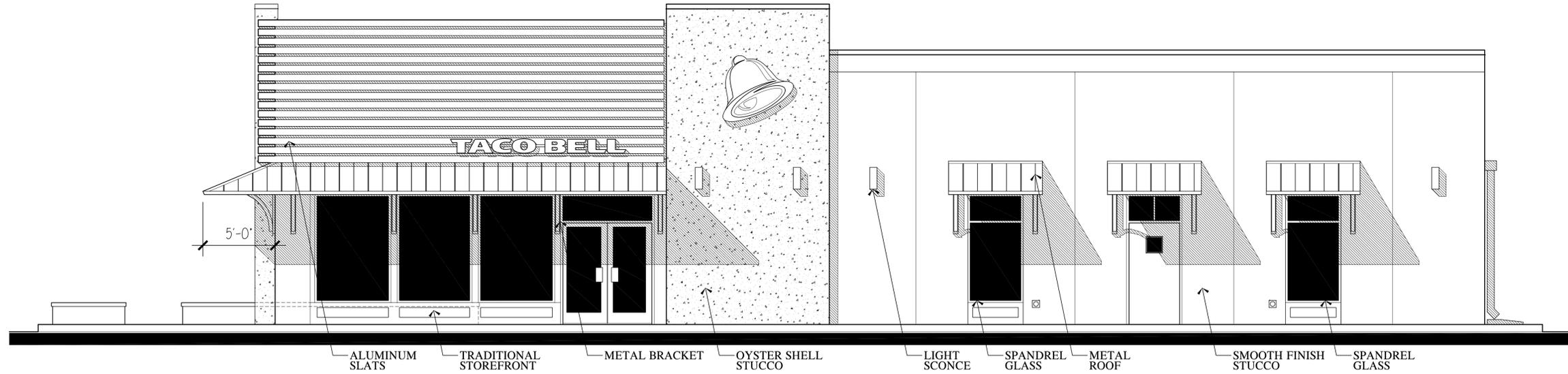
TACO BELL
LOWE'S OUTPARCEL 'C'
ROBERT SMALLS PARKWAY, BEAUFORT, SC

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Beaufort SC, 29902
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www.allisonramsleyarchitects.com

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-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
-VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION

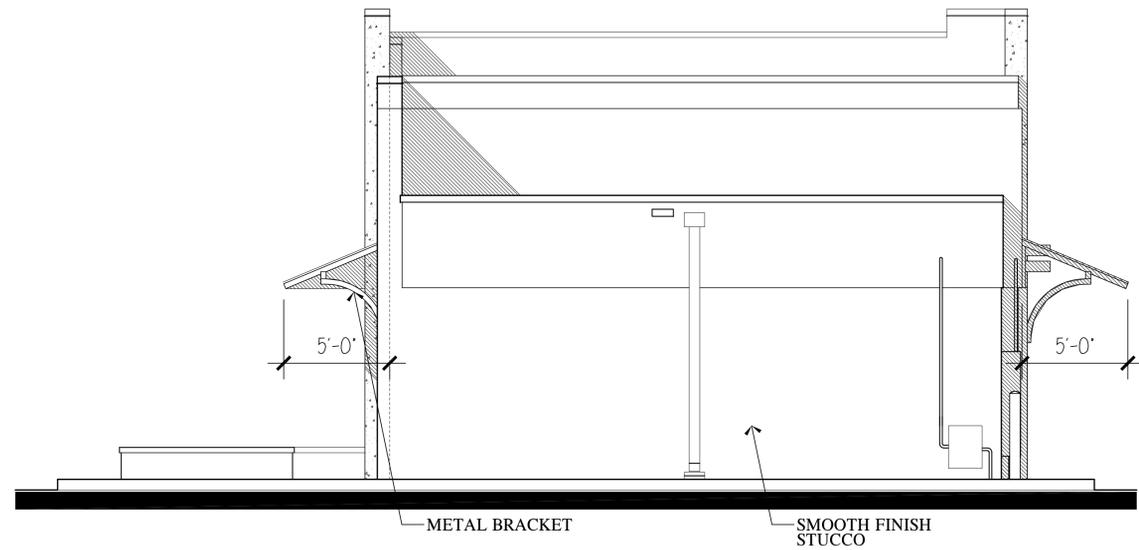
DATE:	01/21/2015
JOB NO.:	14206
DRAWN BY:	CP
DWG. NAME:	TacoBell-10021015

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4 RIGHT (ROBERT SMALLS PARKWAY) ELEVATION

SCALE: 1/4" = 1'-0"



3 REAR ELEVATION

SCALE: 1/4" = 1'-0"

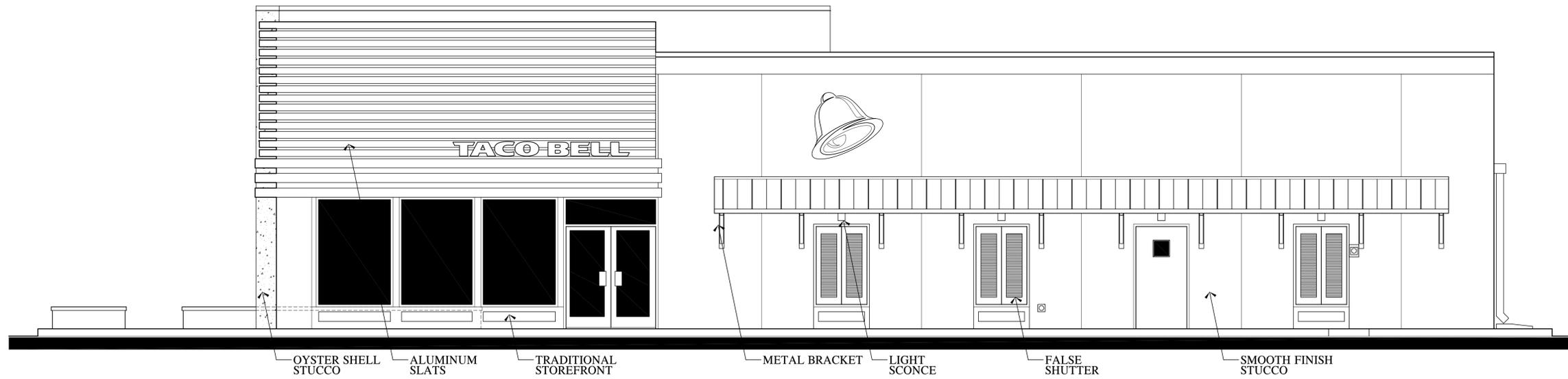
TACO BELL
 LOWES OUTPARCEL 'C'
 ROBERT SMALLS PARKWAY, BEAUFORT, SC

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 -VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
 -PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
 -NOISE + VIBRATION LAYOUTS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL AGENCY.
 -VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND THAT EQUIPMENT IS SIZED CORRECTLY FOR YOUR PARTICULAR REGION AND CONDITIONS.
 -VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

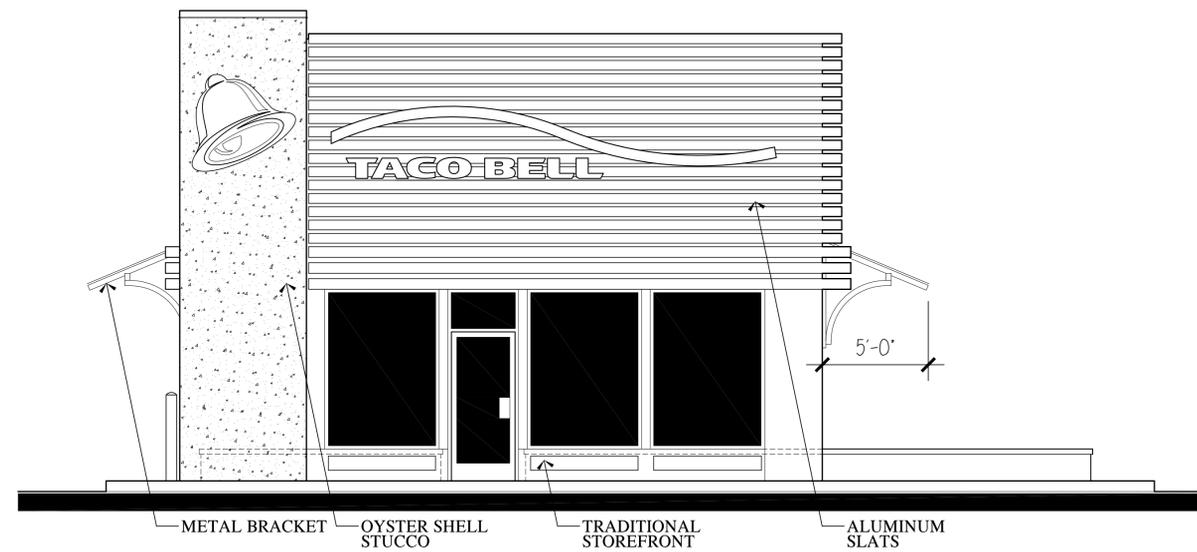
DATE:	01/21/2015
JOB NO.:	14206
DRAWN BY:	CP
DWG. NAME:	TacoBell-140206.DWG

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4 ALTERNATE RIGHT (ROBERT SMALLS PARKWAY) ELEVATION

SCALE: 1/4" = 1'-0"



1 ALTERNATE FRONT (LOWE'S ENTRANCEWAY) ELEVATION

SCALE: 1/4" = 1'-0"

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 -PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
 -FIELD + FINISHING DETAILS ARE NOT INCLUDED. THESE SHOULD BE OBTAINED FROM A LOCAL SUPPLIER.
 -VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE:	01/21/2015
JOB NO.:	14206
DRAWN BY:	CP
DWG. NAME:	TacoBell-HOODLING

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6