

**City of Beaufort Department of Planning & Development Services  
DESIGN REVIEW BOARD (DRB) APPLICATION FORM**

**\*Important: Building Permit Applications must include a copy of the stamped plans\***

**Fees – Office Use Only**

- Board review \$200 per meeting
- Staff review \$ 50
- Special Meeting \$500

\*Post Facto applications shall be twice the normal fee

Please TYPE or PRINT legibly

**Date of Submittal:** 7/11/2016      **Design Review Board Meeting Date:** 7/14/2016

**Project Name:** Harris Teeter at Lady's Island

**Project Address:** Intersection of Sams Pt Road and Sea Island Parkway

**Property Zoning:** General Commercial - Lady's Island Village Center

**Tax Map/Parcel No.:** R123 015 000 0587 000 (City) and R200 015 000 0592& 0606(County)

**Project Developer:** Barnes Development (Ted Barnes)

**Address:** 5037 Montibello Dr, Charlotte, NC 28226

**Phone/Fax/Email:** 704-376-9848 x223 / ted@argusdevelopmentgroup.com

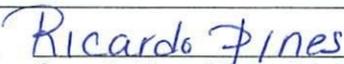
**Project Consultant:** Andrews Engineering c/o Ryan Lyle

**Phone/Fax/Email:** 843-379-2222 / 843-379-2223 / ryan@andrews-sc.com

**Address:** 2712 Bull Street, Suite A, Beaufort, SC 29902

**Property Owner:** PINES-HIGHLAND SQ ASSOC LTD PINES GR

**Address:** 3301 Ponce De Leon Blvd, Penthouse Ste, Coral Gables, FL 33134

      1-21-16  
 Owner's Signature      Owner's Name (Please Print)      Date

**NOTE:** If the developer is not the property owner, the owner must sign the application or provide a letter stating approval of the plan being submitted. Owner's signature required prior to final approval.

**DESIGN REVIEW BOARD PROJECT REVIEW**

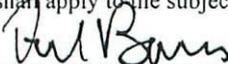
- CONCEPTUAL REVIEW
- PRELIMINARY REVIEW
- FINAL REVIEW

**STAFF PROJECT REVIEW**

- CONCEPTUAL
- PRELIMINARY
- FINAL
- Non-Corridor (See Page #6)

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? \_\_\_ Yes x No

To the best of my knowledge, the information on this application and all additional documentation is true, factual and complete. I hereby agree to abide by all conditions of any approvals granted by the City of Beaufort. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

      Ted Barnes      1/21/16  
 Developer's Signature      Developer's Name (Please Print)      Date

**DESIGN REVIEW BOARD (DRB) APPLICATION FORM**

**✓ Project Narrative ✓**

Project Name: \_\_\_\_\_

Provide a **Project Narrative**. (Please attach additional sheets if needed)

Please see attached narrative.

Property Size in Acres: \_\_\_\_\_

Proposed Building Use: \_\_\_\_\_

Building Square Feet: \_\_\_\_\_

Number of Parking Spaces Required: \_\_\_\_\_ Number of Parking Spaces Provided \_\_\_\_\_

Is the project a redevelopment project? Yes If yes, has 25% parking reduction been taken? No

Are there existing buildings on site? \_\_\_\_\_ Will existing buildings remain or be removed? \_\_\_\_\_

**APPLICATION SUBMITTAL REQUIREMENTS:**

→ Board Review: <sup>4</sup> 8 hardcopies of all documents + a digital copy must be filed by 12:00 noon on the deadline date.  
Staff Review: 3 hardcopies of all documents are required to be submitted.

**CONTACT INFORMATION:**

Attention: Julie A. Bachety, Administrative Assistant I  
City of Beaufort Department of Planning & Development Services  
1911 Boundary Street  
Beaufort, South Carolina 29902  
Phone: (843) 525-7011 / Fax: (843) 986-5606  
E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org)  
Website: [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

July 11, 2016

Mrs. Lauren Kelly  
City of Beaufort - Planner  
1911 Boundary Street  
Beaufort, SC 29902

**RE: PROJECT # 150027 Harris Teeter @ Lady's Island – Final DRB (resubmittal)**

Dear Lauren:

Please find enclosed the Final DRB project application package for the above referenced project. The following items have been provided for your review:

- One (1) check in the amount of \$200.00
- One (1) DRB Final Application
- Four (4) Project Narrative
- Four (4) copies of revised civil and architectural plans and elevations

Since April meeting, the architect has discussed with you some building design changes, which are now represented on the attached elevations for your and the members review. The floorplan is being revised and will be provided at the meeting. The attached site plan has also been revised since the April approval to create more of a streetscape along the Sam's Point Road frontage, incorporating sidewalks, street trees, and parallel parking. We look forward to discussing these changes this Thursday, July 14, 2016 at City Hall.

Please contact our office at (843) 379-2222 if you have any questions or concerns.

Sincerely,



Ryan Lyle, P.E.

**HARRIS TEETER AT LADY'S ISLAND**  
**CITY OF BEAUFORT – DRB FINAL ( RESUBMITTAL )**  
**PROJECT NARRATIVE**  
**Submittal Date: July 11, 2016**  
**Meeting Date: July 14, 2016**

**PROPOSED REDEVELOPMENT**

The project consists of demolishing the "old Publix" grocery store (38,000sf) on Lady's Island in order to construct a new 56,000sf Harris Teeter grocery store with an approximately 2,400sf convenience store on approximately 8.19 acres on the northeast corner of the Sam's Point road and Sea Island Parkway intersection. Future development involves 6,550sf commercial retail buildings as well as a 7,000sf grocery store expansion. The project site is bound on the north by Robin Drive and the east by Sam's Point Way. The old Publix grocery store parcel is located within the City limits however the vacant wooded parcel behind the building and corner retail parcel are located within unincorporated Beaufort County. The two county parcels will be annexed into the City. The city parcel is currently zoned General Commercial (GC). The setbacks are 6'-12' along the front, 0' along the sides, and 15' along the rear. A wetlands evaluation was performed and no wetlands are present on any of the 3 parcels.

**SITE PLAN REVISIONS**

The design team has reworked the site plan based upon the city staff and DRB meeting commentary. The new building is planned to be reconstructed approximately in the same location as the old grocery store. Many of the significant trees are being preserved with this revised orientation. The convenience stores internal driveways have been shifted to preserve more significant trees. Pervious parking spaces have been depicted near the significant tree preservation areas. Specialty pavement is proposed at the main entry to visually inform drivers of this pedestrian crossing area. Cart corrals have been shown in the parking field. A canopy has been added along the front façade. An arborist report has been conducted which supports the proposed site plan.

**STORM DRAINAGE, INFRASTRUCTURE, AND UTILITIES**

The site generally drains towards Sea Island Parkway from the existing pond outfall to the SCDOT storm drainage system. Preliminary storm drainage and grading plans have been prepared and will be finalized to address tree protection methods (tree wells, root feeders, pervious pavements, etc...). The drainage plan involves a combination of pervious pavements and underground detention in the front parking lot and a dry detention pond behind the store to provide quantity and quality control for the project. Water and sewer service exist at the site. SCE&G will provide electric service. Site lighting will be private. Hargray will provide tele-communications. Both sanitary sewer and overhead power will need to be rerouted around the new building footprint.

**ACCESS**

The proposed access to the site will be from Sam's Point road, Sea Island Parkway, and Sam's Point Way. No driveways from Robin drive are proposed.

**PARKING NEEDS**

The proposed developed will consist of approximately 71,650sf total. The parking ratio for retail requires a minimum of 1 space per 300 sf of floor area (239 required) with a maximum allowance of 125% (300 allowed). The site plan provides 279 spaces, 40 of which are required to be pervious.

**LANDSCAPING, LIGHTING, AND SIGNAGE**

The project Arborist has visited the site and provided his report for tree preservation and hazardous tree removal. A significant effort has been put forth to preserve the trees as shown on the current plan. The landscape plan and lighting plans address the city ordinance requirements. Signage locations have been depicted on the site and landscape plans.

**ARCHITECTURE**

The architectural elevations for the grocery store have been revised per the DRB recommendations. Since the last review, material changes have been proposed for the entire building. The front mezzanine has also been removed and interior layout reworked.

**VARIANCES REQUIRED**

Variations are no longer being requested due to the revised site and building configuration.

HARRIS TEETER AT LADY'S ISLAND  
CITY OF BEAUFORT – DRB FINAL SUBMITTAL  
Building Colors and Materials List

Storefront / Metal trim / steel, doors & canopies:	Hartford Green
Metal coping, gutters and downspouts:	Primarily Hartford Green
Panel system:	SW6143 "Basket Beige"
Masonry wainscot:	Richfield Blend by Oldcastle (8" unit)
Masonry field:	Richfield Blend by Oldcastle (Quik-Brik)
Masonry accent:	Autumn Blend by Oldcastle (Quik-Brik) <i>(All mortar to be determined)</i>

Glazing systems:	Light green tint to match storefronts.
Exterior soffits:	Off-white
Exterior signage:	As shown on the renderings

Rooftop equipment to be shielded from adjacent street views.

Ground mounted equipment located on the HTSSPS (transformer, standby generator, kirk-key, etc.) to be located at rear of store.

**CITY OF BEAUFORT  
DESIGN REVIEW BOARD  
Staff Report  
Special Meeting of July 14, 2016**

---

**Case Number:** 16-01 DRB.5  
**Project:** Harris Teeter on Lady's Island  
**Property Address:** 163 & 169 Sea Island Parkway – NE Corner of Hwy 21 & Hwy 802  
**Parcel #:** R123 015 000 0587 0000; R200 015 000 0592 0000  
**Zoning:** General Commercial  
**Design District:** Lady's Island Village Center Design District  
**Type of Review:** **Final Site Plan Review – New Construction**

---

**Request:**

The applicant is requesting to construct a new 56,000 SF Harris Teeter grocery store. The project is located on 7.7 total acres comprised of two parcels. The project also includes Convenience Store and Gas Station on the corner of Sams Point Way and Sea Island Parkway, along with a series of future liner buildings fronting Sea Island Parkway. This submission is to review the architecture for all buildings.

**Background:**

This project came to the DRB in April 2016. At that time, the board granted Final approval of the site with conditions approved by staff, along with preliminary approval of the architecture with comments regarding lighting and building articulation.

**Zoning Issues:**

This property is zoned General Commercial (GC) and is in the Lady's Island Village Center Design District.

Setbacks:

Front Setback	6'-12' Front Build-to Line
Side:	10'
Rear:	10'

Percent Impervious: 75% because it is a redevelopment project

Building Height: The maximum height of any wall built at the front build-to line is 35'.

The building can go up to 50' as it steps back from the build-to line.

**Applicable Guidelines:**

- The Design District Standards in Section 6.6 of the UDO apply to this project. Specific to Lady's Island Village Center is:
  - The maximum height of any wall built at the front build-to line is 35'. The building can go up to 50' as it steps back from the build-to line.
  - A usable entrance is required on Sea Island Parkway.
  - Building elevations fronting the street or the waterfront should have minimum fenestration coverage of 50 percent on the first story and 30 percent of the entire

street front and waterfront elevation.

- The 2014 Civic Master Plan, p. 176-179 (attached) discusses this site. It recommends “creating a more connected and coherent pattern of circulation and reinforcing the streetscape with walkable development that defines a consistent street edge.”
- This area of the city is intermingled with county property as well. In the County, this area is zoned Neighborhood Center T4-NC. The standards (attached) are as follows: Front setback/build-to: 0’-15’; street side setback/build-to 0’-10’; façade within the façade zone: 75% on the front, 50% on the side street. This is mentioned to give the DRB an idea of the standards for adjacent development since initially; the Lady’s Island Village Center was developed jointly with the County. In their new development code, the county has continued the same intent as the Village Center.

### **Staff Comments & Suggestions:**

#### Harris Teeter Building:

- The mezzanine element, located on the southwest corner, adjacent to Sam’s Point Road, has been eliminated. The detailing is similar, but the height in this area has been reduced.
- Long, unarticulated facades visible from public rights of way or primary vehicular entrances are not permitted.
- On Sam’s Point Road, consider introducing the shutters below the windows, in a similar location as the windows on the Sam’s Point Way elevation. The base of this elevation is still unarticulated.
- Front elevation:
  - We’ll need building details for the colonnade, typical wall sections, cornice, etc.
  - Staff prefers the elevation with the red brick at the corner.
  - The transom windows in the corner should have muntions to create vertically-proportioned lite divisions
  - Staff appreciates the additional window under the colonnade area in the accounting office and store manager’s office. Further down that façade, introduce a pattern of shutters, similar to the sides, to eliminate the long, unarticulated façade. Continuing the colonnade would also be another option to alleviate this. This comment is similar to the previous submission and hasn’t been resolved.
- Sam’s Point Way elevation – staff appreciates the additional articulation in the Harris Teeter signage area. This goes towards addressing the discussion of this area from the previous DRB meeting.
- Signage will be approved via a separate sign application. 1 square foot of signage per linear frontage of building is permitted. Since you have one main façade and two additional street frontages, you can have up to 1 SQ / linear frontage of building along the parking lot and then up to half that amount on either side facing the street. At no point can the total amount of signage exceed 1.5 square feet per linear frontage of building along the parking lot side. Monument signage is also permitted. One sign per street frontage is permitted as long as they are more than 200 feet apart. The signs along Sea Island Parkway and Sam’s Point Way may be 10 square feet. The gas station sign may be 5 square feet plus an additional 10 square feet for gasoline prices and/or reader board. Along Sam’s Point Road the sign can be up to 18 square feet per side.

### **Staff Recommendation for Main Harris Teeter Building**

Staff recommends that the DRB grant preliminary approval to the architecture with the following conditions to be addressed at the next submission:

- Refine/provide details of wall sections, colonnades, and cornice bracket;
- Reduce the amount of unarticulated facades using strategies listed above;
- Address any additional comments by staff and the board regarding architecture.

### Liner Buildings:

- For clarity, the architect confirmed that the “Front Elevation” is facing the parking lot and the “Rear Elevation” is facing Sea Island Parkway.
- Regarding the Sea Island Parkway elevation, this is the “Front Elevation” for the city and should be treated as such. The window pattern should be regular and utilize clear glazing. It should be treated as nice, or better, than the parking lot façade (Section 6.6.D.6). This district requires 50% minimum fenestration coverage on the ground floor; plastic glazing and use of highly reflective glass is prohibited (Section 6.6.D.9). This appears to be accomplished on this façade.
- Awnings, canopies or other elements should be added to the Sea Island Parkway elevation to make it equal to the parking lot elevation in terms of articulation and detailing, and also to provide protection to pedestrians traveling on the sidewalk.
- Consider wrapping the corner treatment around to the Sea Island Parkway façade.
- Staff appreciates the effort to detail these buildings and realizes that they are subject to change based on tenant needs and time of construction. However, the general mass, scale and fenestration is appropriate.
- In general, staff recommends simplifying the articulation of the façade. There are four materials/colors introduced, in addition to the metal awnings. Consider the following:
  - All awnings should be a minimum of 5’ deep
  - Avoid introducing a new material mid-building – e.g., on the front elevation, the larger light tan block bay could be eliminated and the window pattern on the left could be continued. Similarly, staff recommends removing that material as a base on the rear elevation, and rethinking the composition using the wood paneling, and two types of brick.
  - The wood paneling is an addition and seems appropriate for buildings that are smaller in scale such as these.
  - The corner areas with the wood paneling above should still have a base similar to the rest of the building. Also, these areas should be at least as tall, if not taller, than the center portion of the building. Currently, one corner is taller and the other one is shorter. Consider evening these up, or at least raising the shorter one a bit.
  - All window and door openings should have proper headers (and sills for windows)
  - The cornice seems thin; consider a piece of trim slightly wider, perhaps tying in the wood panel element to create unity between the two ends of the building. In addition, there are areas above some windows, particularly on the rear and sides, that are tall and unarticulated. The wider cornice, combined perhaps with a brick soldier course below, could help to alleviate this.
  - A material board and details will be required for final approval.

**Staff Recommendation for Liner Building:**

Staff recommends Conceptual Approval for the liner buildings, with comments from staff and board to be taken into consideration in the next submission. In particular, the street elevation of this building needs to be better articulated, since it faces a major right-of-way.

**Convenience Store Building:**

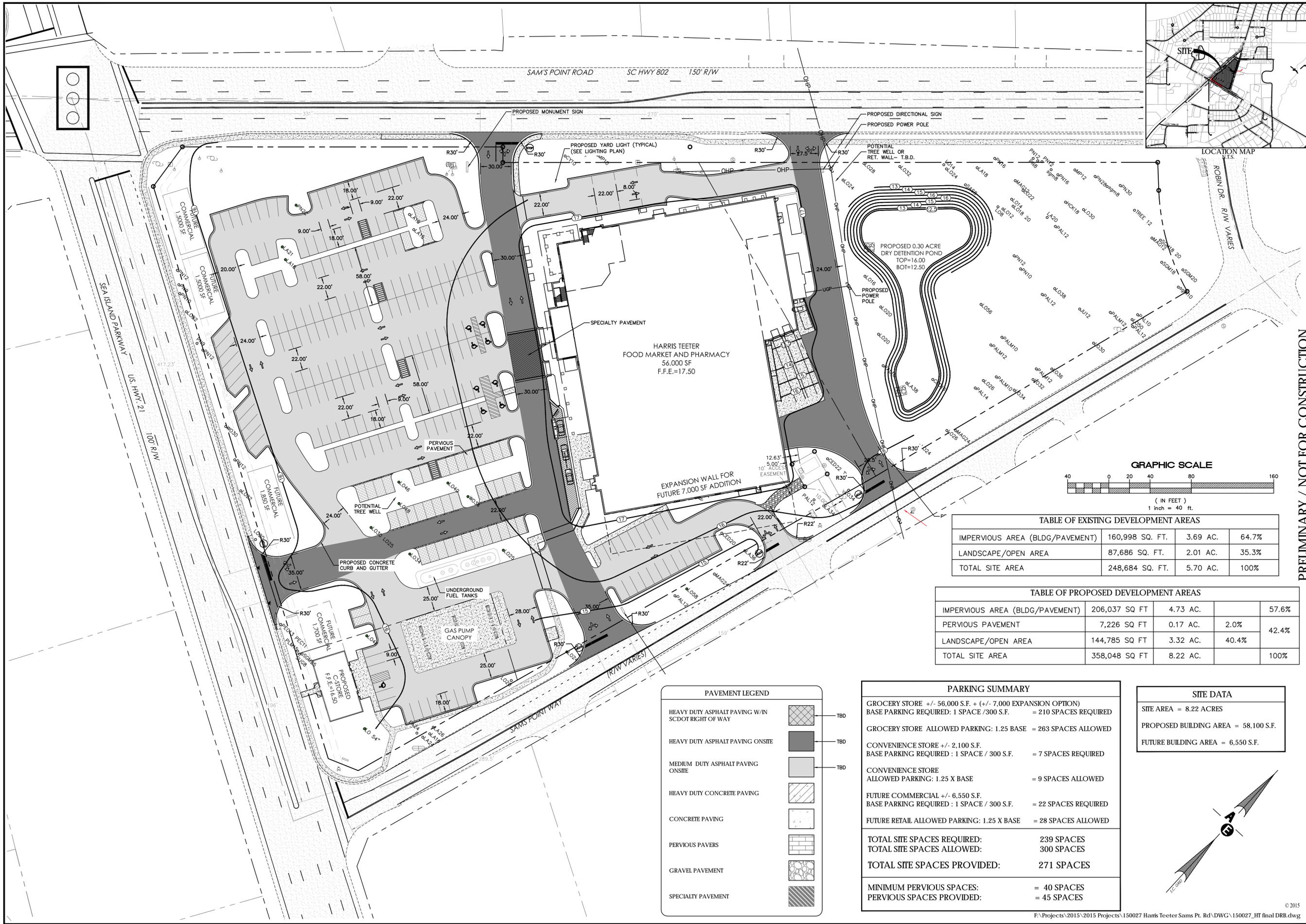
- For clarity, the architect confirmed that the “Front Elevation” is facing the gas pumps and the “Rear Elevation” is facing Sea Island Parkway.
- Please provide a floor plan for the Convenience Store. Per the architect, the windows shown on the sides and rear are to be “non vision” windows, as there are coolers directly on the interior behind the windows.
- Regarding the Sea Island Parkway elevation, this is the “Front Elevation” for the city and should be treated as such. The window pattern should be regular and utilize clear glazing. This district requires 50% minimum fenestration coverage on the ground floor; plastic glazing and use of highly reflective glass is prohibited (Section 6.6.D.9). This needs to be reconsidered on this façade.
- Similar to the comments on the Liner Building, staff recommends simplifying this building. This could be accomplished in the following ways:
  - Remove the tower
  - Eliminate the larger brick modules as a base, and below the windows, and replace with a darker brick base/water table similar to the Liner buildings
  - Eliminate the wood trim around the windows. All window and door openings should have proper headers (and sills for windows)
  - Consider a wider trim piece for the cornice, with the soldier course below.
  - A material board and details will be required for final approval.
  - What is the design envisioned for the gas canopy? Design guidelines for Gas Stations, including canopies, are found in the Appendix of the UDO. Please provide an elevation showing the building and gas canopy from Sams Point Way in the next submission.

**Staff Recommendation for Convenience Store Building:**

Staff feels that the street elevation of this building needs to be better articulated, since it faces a major right-of-way. This should be resolved and resubmitted, addressing other staff comments and board comments as well.



Example of brackets being used as part of a cornice

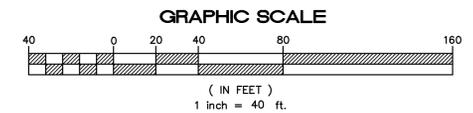


**PLAN REVISIONS**

NO.	DESCRIPTION	DATE	BY
1	REVISED SAMS PT STREETSCAPE	07/11/16	RL
2			
3			
4			
5			
6			
7			
8			

THE DESIGNS AND IDEAS PRESENTED IN THESE DRAWINGS ARE THE COPYRIGHTED PROPERTY OF ANDREWS ENGINEERING CO., INC. THE USE OR REPRODUCTION OF THESE PLANS OR THEIR CONTENT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.

PRELIMINARY / NOT FOR CONSTRUCTION



**TABLE OF EXISTING DEVELOPMENT AREAS**

IMPERVIOUS AREA (BLDG/PAVEMENT)	160,998 SQ. FT.	3.69 AC.	64.7%
LANDSCAPE/OPEN AREA	87,686 SQ. FT.	2.01 AC.	35.3%
TOTAL SITE AREA	248,684 SQ. FT.	5.70 AC.	100%

**TABLE OF PROPOSED DEVELOPMENT AREAS**

IMPERVIOUS AREA (BLDG/PAVEMENT)	206,037 SQ FT	4.73 AC.		57.6%
PERVIOUS PAVEMENT	7,226 SQ FT	0.17 AC.	2.0%	42.4%
LANDSCAPE/OPEN AREA	144,785 SQ FT	3.32 AC.	40.4%	
TOTAL SITE AREA	358,048 SQ FT	8.22 AC.		100%

**PAVEMENT LEGEND**

HEAVY DUTY ASPHALT PAVING W/IN SCOT RIGHT OF WAY		TBD
HEAVY DUTY ASPHALT PAVING ONSITE		TBD
MEDIUM DUTY ASPHALT PAVING ONSITE		TBD
HEAVY DUTY CONCRETE PAVING		TBD
CONCRETE PAVING		
PERVIOUS PAVERS		
GRAVEL PAVEMENT		
SPECIALTY PAVEMENT		

**PARKING SUMMARY**

GROCERY STORE +/- 56,000 S.F. + (+/- 7,000 EXPANSION OPTION)	
BASE PARKING REQUIRED: 1 SPACE / 300 S.F.	= 210 SPACES REQUIRED
GROCERY STORE ALLOWED PARKING: 1.25 BASE	= 263 SPACES ALLOWED
CONVENIENCE STORE +/- 2,100 S.F.	
BASE PARKING REQUIRED : 1 SPACE / 300 S.F.	= 7 SPACES REQUIRED
CONVENIENCE STORE ALLOWED PARKING: 1.25 X BASE	= 9 SPACES ALLOWED
FUTURE COMMERCIAL +/- 6,550 S.F.	
BASE PARKING REQUIRED : 1 SPACE / 300 S.F.	= 22 SPACES REQUIRED
FUTURE RETAIL ALLOWED PARKING: 1.25 X BASE	= 28 SPACES ALLOWED
<b>TOTAL SITE SPACES REQUIRED:</b>	<b>239 SPACES</b>
<b>TOTAL SITE SPACES ALLOWED:</b>	<b>300 SPACES</b>
<b>TOTAL SITE SPACES PROVIDED:</b>	<b>271 SPACES</b>
MINIMUM PERVIOUS SPACES:	= 40 SPACES
PERVIOUS SPACES PROVIDED:	= 45 SPACES

**SITE DATA**

SITE AREA = 8.22 ACRES
PROPOSED BUILDING AREA = 58,100 S.F.
FUTURE BUILDING AREA = 6,550 S.F.

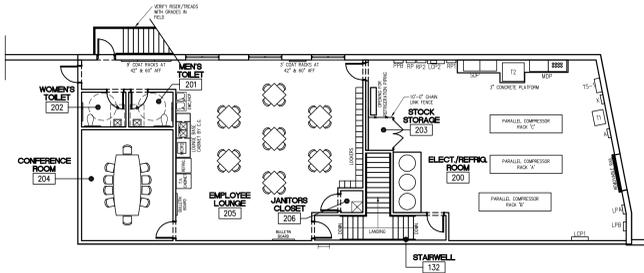
Site Development Plan  
For  
Harris Teeter  
Sam's Point Road  
Lady's Island  
Beaufort County, SC

Site Plan  
Lease Exhibit "B"

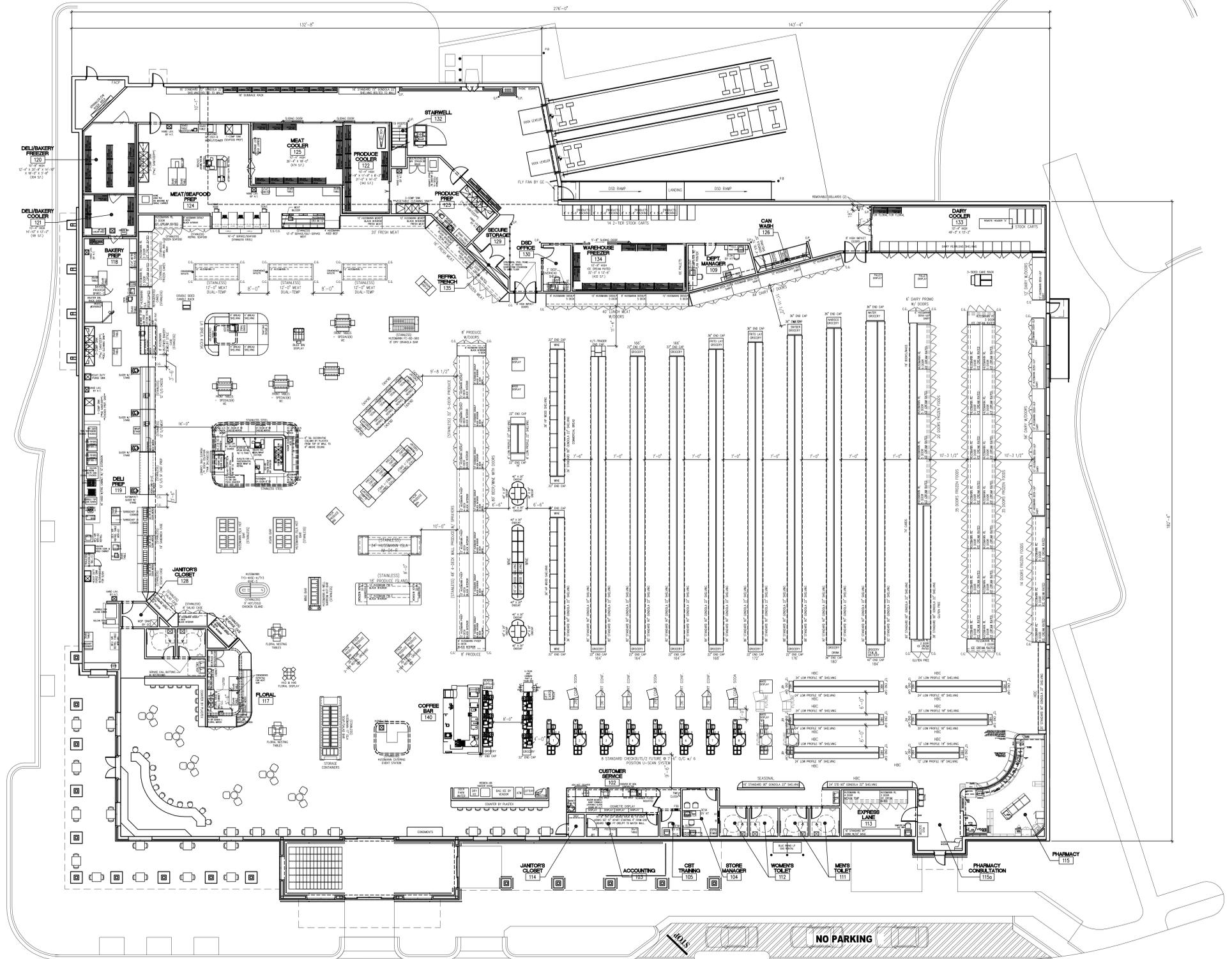
Date Drawn: 09/09/15  
Last Revised: 07/07/16  
Drawn By: R. Lyle  
Engineer: S. Andrews

SHEET #:  
**1**  
of 1

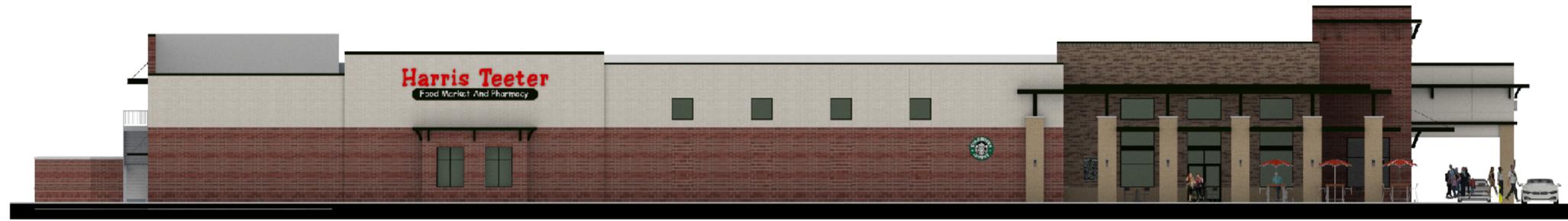
JOB: 150027



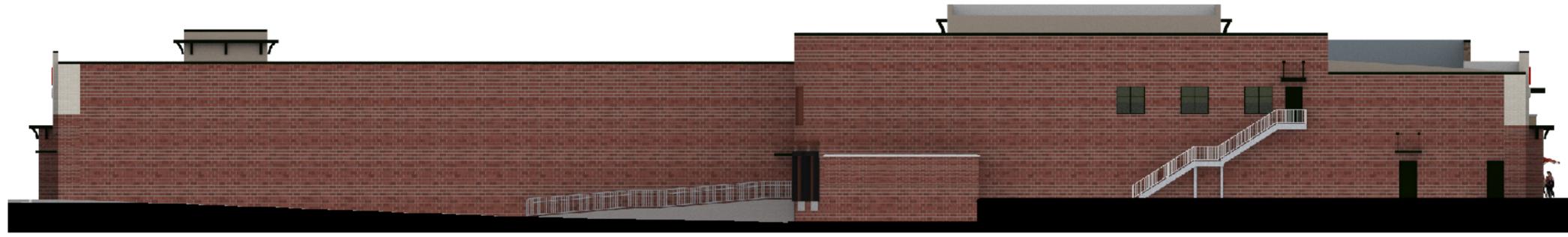
MEZZANINE FIXTURE PLAN  
SCALE: 3/32" = 1'-0"



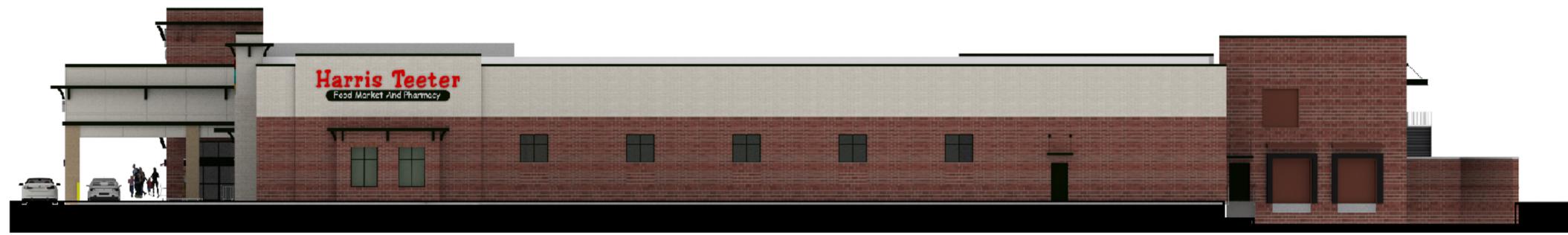
FIXTURE PLAN  
SCALE: 3/32" = 1'-0"



LEFT ELEVATION



REAR ELEVATION



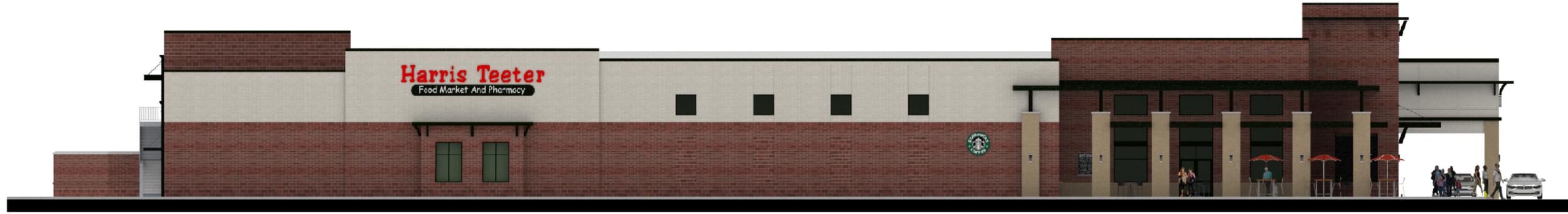
RIGHT ELEVATION



FRONT ELEVATION

Harris Teeter #429  
Lady's Island, SC

7/11/16



LEFT ELEVATION



FRONT ELEVATION

Harris Teeter #429  
Alternate Material Design  
Lady's Island, SC



REAR ELEVATION Sea Island Parkway Elevation



RIGHT ELEVATION



FRONT ELEVATION Parking Lot Elevation



LEFT ELEVATION





REAR ELEVATION Sea Island Parkway Elevation



LEFT ELEVATION



FRONT ELEVATION Parking Lot Elevation



RIGHT ELEVATION

Harris Teeter Convenience Store  
Lady's Island, SC

7/11/16