

HB Engineering, Inc.

site development consultants

June 22, 2016

Beaufort City Planning Department
1911 Boundary Street
Beaufort, SC 29902

Re: Case Number: 16-07 DRB.1
Dollar General
2811 Boundary Street

Ms. Julie Bachety:

The following is in response to staff comments and comments from the Design Review Board:

STAFF COMMENTS:

Site:

1. The long landscape island in the parking lot is not to be used for stormwater infiltration. The existing stormwater discharge pipe located on the northeast corner of the site is too shallow for the installation of an underdrain to the island. The island would have to overflow, carrying mulch out into the parking lot. The island is also being used for elevation change from the western side of the site to the eastern side. The western side is a foot higher than the eastern side.
2. Landspacing:
 - a. The existing palms onsite have been added to the demo plan.
 - b. Wheel stops have been added along the curbs that have shrubs directly behind them.
 - c. The shrub height at planting has been revised on the landscape plan.
 - d. Planting requirements and recommendations:
 - i. An additional willow oak has been added along the frontage.
 - ii. Additional shrubs have been added along the frontage.
 - iii. The Red Maples have been changed to Allee Elms.
 - iv. Podocarpus have been added along the western side of the building.
 - v. Additional plantings have been added along the east side of the building.

Lighting:

1. Smaller street lights are being proposed at the front of the site near Boundary Street. A new photometric plan is being created to show the new lights and type of fixture.
2. A more decorative light fixture has been proposed on the Boundary Street and parking lot side of the entrance.

Building:

1. The brick along the entrance was change to columns in order to create unity along the entrance.
2. A more rhythmic and continued shutter detail was added to the left side of the building.
3. Shutter detail was added to the right side of the building back to the existing building to the east.
4. A floor plan was drawn to show how the windows will relate to the interior space.

DRB COMMENTS:**Landscaping:**

1. The front buffer has been revised.
2. The tree plantings in the rear have been moved closer to the parking lot.

Stormwater:

1. A bioretention area has been added on the northeast corner of the property. It has to be 25' from the septic tank per DHEC regulations.

Please let me know if you have any questions.

Sincerely,



Robert P. Wilkins Jr.
JR LEX, LLC
Principal

**CITY OF BEAUFORT
DESIGN REVIEW BOARD
Staff Report
Meeting of July 14, 2016**

Case Number: 16-07 DRB.2
Project: Dollar General
Property Address: 2811 Boundary Street
Parcel #: R120 026 00A 0275 0000
Zoning: Highway Commercial
Design District: US Highway 21 Design District
Type of Review: **Final Review – New Construction**

Request:

The applicant is requesting to construct a new 10,640 square foot Dollar General store on 1.5 acres. This is a redevelopment project. The site formerly housed an auto dealership which will be demolished.

Background:

This project came before the DRB in June and received preliminary approval with conditions.

Zoning Issues:

Zoning - Highway Commercial, US Highway 21 Design District

Setbacks:	Front:	15'
	Side:	10'
	Rear:	15'

Percent Impervious: 75% maximum; the existing site is close to 100% impervious. The new project will reduce that to 75% impervious.

Building Height: 50' maximum

Applicable Guidelines:

- The Design District Standards in Section 6.6 of the UDO apply to this project
- The 2014 Civic Master Plan, p. 189, shows a concept plan for this area, particularly the land across the street from this parcel. The pattern of buildings brought closer to the street, with internal connectivity between parcels, aligns with what is being proposed for this parcel.

Staff Comments & Suggestions:

General:

- Staff appreciates applicant's diligence in addressing all of the items discussed at the Preliminary Review.

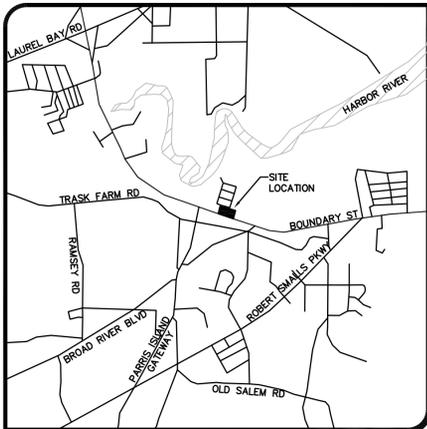
Site: all comments have been met.

Building:

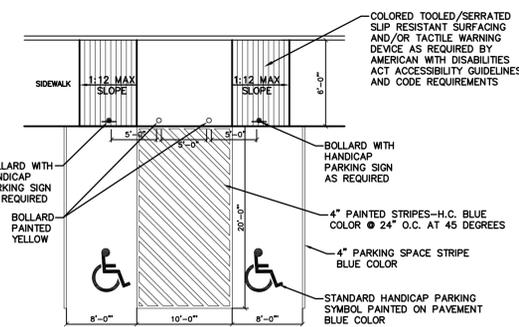
- The transom detail above the doors should be replicated in the adjacent bays where there are only windows.
- Could the cement panels to the left of the entry doors be converted to clear glass? What is to be located in this area, internally? Perhaps the lower panels could remain and the middle ones be glazed?
- Details of the wall sections, parapets, window head/sill/jamb and awnings will be required.
- A full materials list for all items including shutters, windows, columns, and dumpster enclosure doors, will be required.

Staff Recommendation:

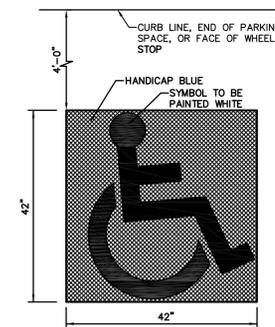
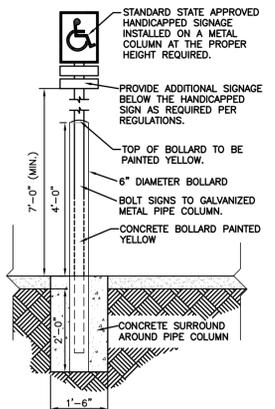
Staff recommends final approval of the project with modifications to shopfront, along with remaining additional information, to be approved by staff at building permit submission.



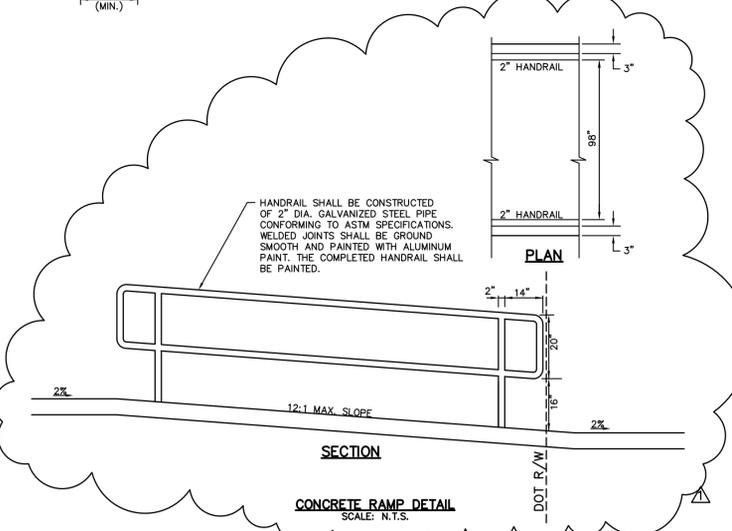
LOCATION MAP
N.T.S.



NOTE: ALL HANDICAPPED RAMP AND ACCESS AISLES SHALL MEET ALL CODES AND ADAAG REGULATIONS



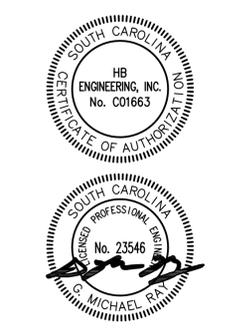
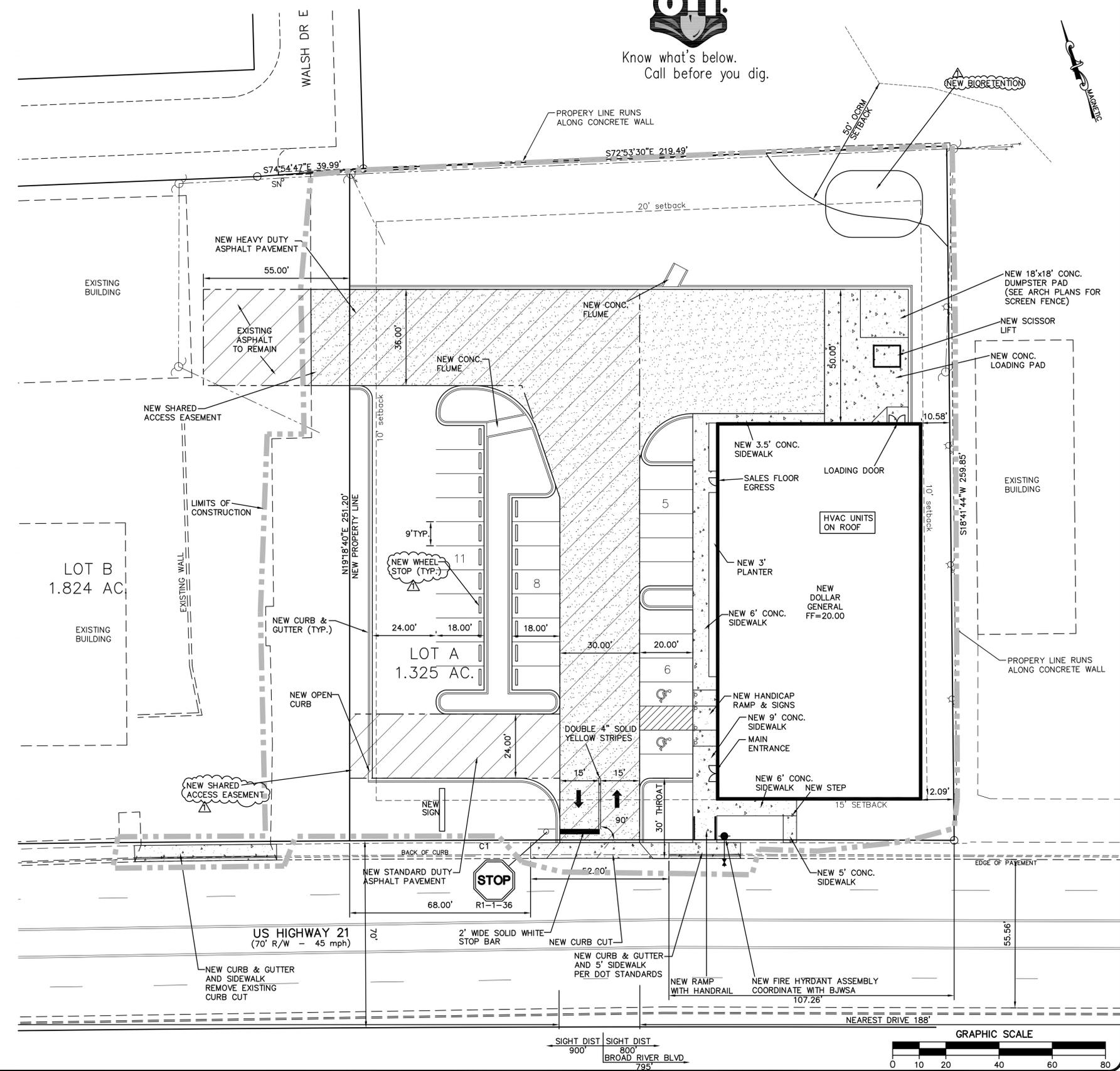
HANDICAP PARKING SYMBOL
SCALE: N.T.S.



CONCRETE RAMP DETAIL
SCALE: N.T.S.

USE:	GENERAL RETAIL
BUILDING SIZE:	10,640 SF
BUILDING HEIGHT:	20 FT
PARKING PROVIDED:	28 STANDARD SPACES 2 HANDICAP SPACES 30 TOTAL SPACES

OWNER:	JR LEX2, LLC 955 OLD CHEROKEE ROAD LEXINGTON, SC 29072 PH: 803-359-9545, FAX: 803-359-0621 CONTACT: ROBERT P. WILKINS, JR.
TMS#:	R100 026 00A 0257 0000
ADDRESS:	1812 BOUNDARY STREET
TOTAL AREA:	3.15 AC.
DISTURBED AREA:	1.5 AC.



HB Engineering
SITE DEVELOPMENT CONSULTANTS
720 OLD CHEROKEE ROAD
LEXINGTON, SOUTH CAROLINA 29072
803-957-7027 FAX 877-728-0808

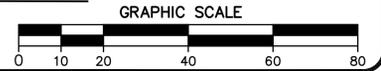
DOLLAR GENERAL
BEAUFORT
CITY OF BEAUFORT
SOUTH CAROLINA

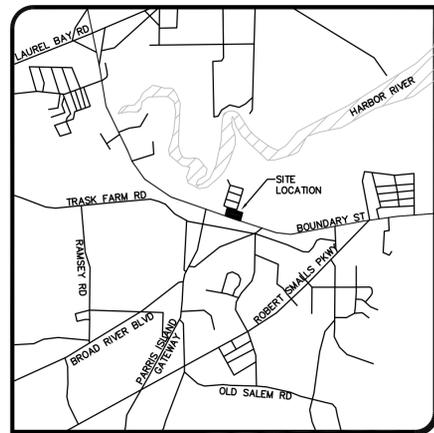
No.	Date	Revision
1	6/22/16	WHEEL STOPS BIORETENTION IN NORTHEAST CORNER ADDED ACCESS EASE. IN FRONT RAMP W/ RAIL DETAIL

Drawn by:	MR
Designed by:	MR
Checked by:	MR
Scale:	1"=20'
Project No.:	16122
Date:	5/25/16

C2

SITE PLAN

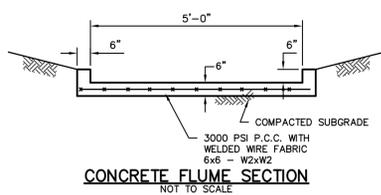




RECOMMENDED MINIMUM GRASSING SCHEDULE
THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THIS SCHEDULE

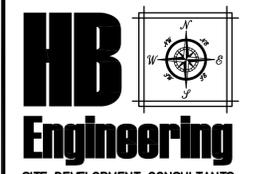
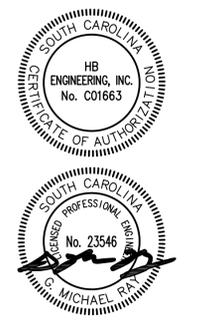
- SUMMER: FERTILIZATION: 1000 LBS. OF 10-10-10 PER ACRE
- PERMANENT COVER:
 - BAHIA GRASS: 40 LBS. PER ACRE ALONE, 20 LBS. PER ACRE W/MIXTURE, 8 LBS. PER ACRE ALONE, 4 LBS. PER ACRE W/MIXTURE
 - BERMUDA SPRIGS: 100 LBS. PER ACRE BROADCAST, 40 LBS. PER ACRE ALONE, 40 LBS. PER ACRE IN MIXTURES, 2 LBS. PER ACRE PLANT IN MIXTURES ONLY
 - TEMPORARY SUMMER COVER:
 - LESPEDeza, ANNUAL: 7 LBS. PER ACRE IN MIXTURE (DO NOT PLANT ON SANDY SOILS), 40 LBS. PER ACRE ALONE
 - BROWN TOP MILLET: 20 LBS. PER ACRE IN MIXTURES
- WINTER:
 - WINTER PERMANENT:
 - TALL MEADOW FESCUE: 40 LBS. PER ACRE FROM SEPT. 1 TO APRIL 15 ONLY ON FERTILE SANDY CLAY OR CLAY SOILS.
 - PLANTING FROM SEPT. 15 TO FEB. 15 ON SANDS MUST BE OF TEMPORARY WINTER COVER AND THEN SEED TO A PERMANENT SUMMER COVER.
 - WINTER TEMPORARY: SEPT. 1 TO MAY 1
 - RYE GRASS: 60 LBS. PER ACRE ALONE, 20 LBS. PER ACRE IN MIXTURES
 - OATS: 4 LBS. PER ACRE ALONE, 2 LBS. PER ACRE IN MIXTURE
 - RYE: SEPT. 1 TO MAR. 1, 1-1/2 LBS. PER ACRE ALONE, 1 LB. PER ACRE IN MIXTURE

OTHER PLANTINGS OR SEEDING AS CONTAINED IN THE CRITICAL AREA STABILIZATION SECTION OF SCS HANDBOOK "EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS" MAY BE USED PROVIDED ALL APPLICABLE SPECIFICATIONS CONTAINED IN SAID HANDBOOK ARE COMPLIED WITH.



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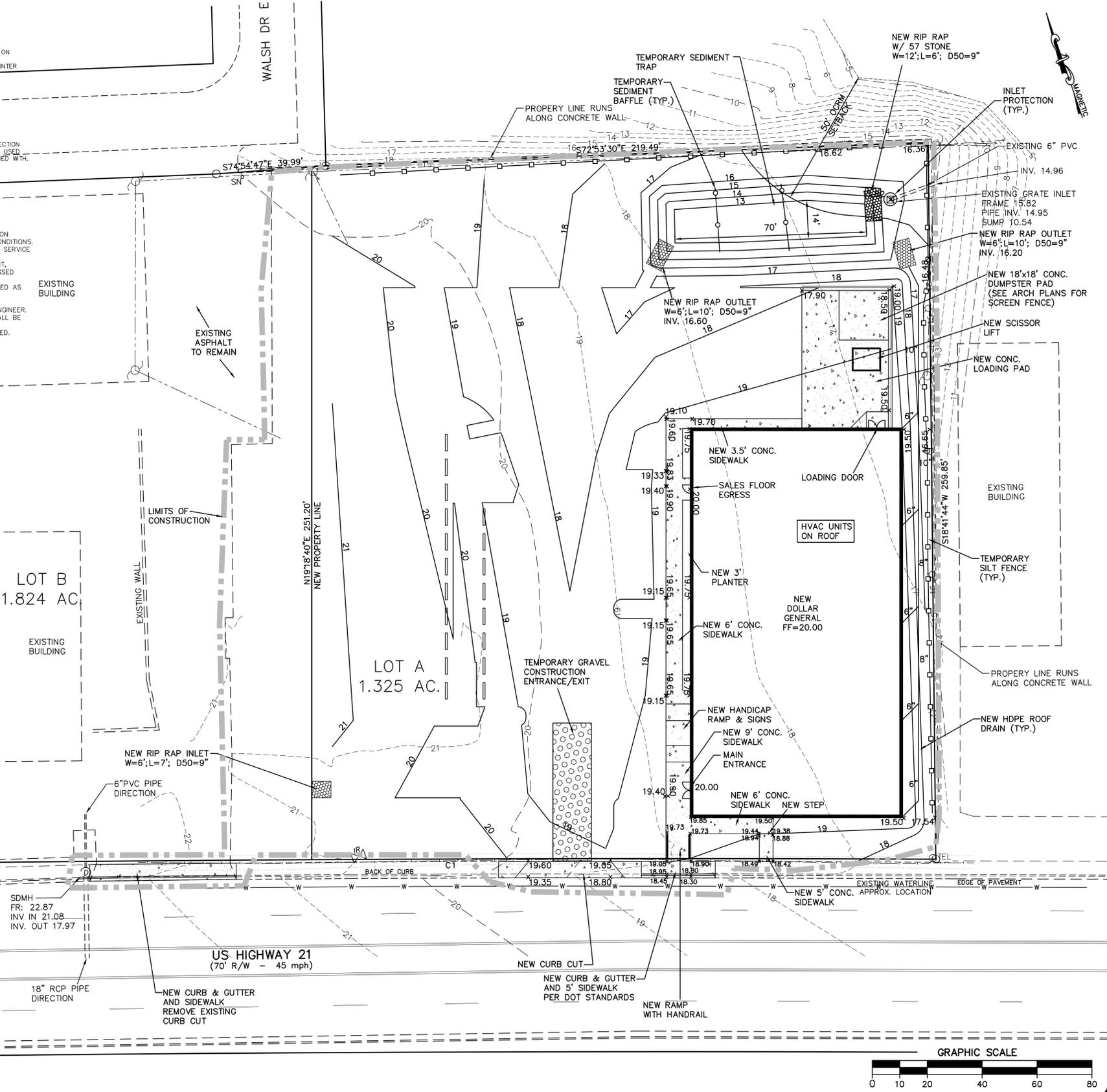
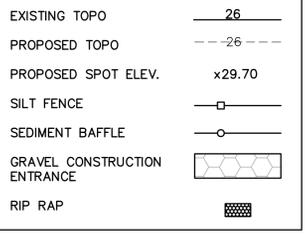
SEDIMENT AND EROSION CONTROL NOTES:

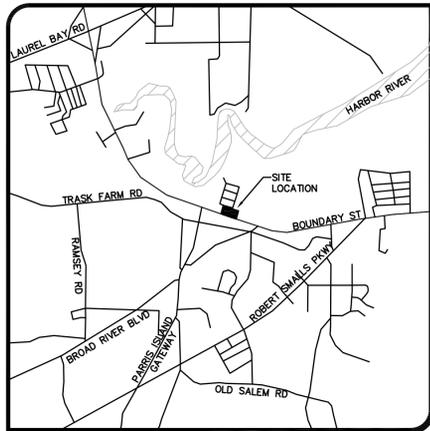
- IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ON THE PAVED ROADWAY CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR DIVERT SEDIMENT LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTION RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING. WHEEL WASH WATER, AND OTHER WASH WATERS, WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE
- IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SCS WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB MORE THAN ONE ACRE, THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

NOTES

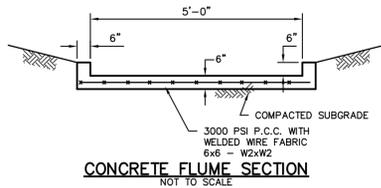
- ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL DATUM.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND UTILITY LOCATION SERVICE AT LEAST 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION.
- ALL AREAS DISTURBED BY CONSTRUCTION (NOT COVERED BY PAVEMENT, BUILDINGS OR OTHER STRUCTURES) SHALL BE FINE GRADED AND GRASSED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL SUITABLE EXCESS SOILS EXCLUDING TOP SOIL SHALL BE STOCKPILED AS DIRECTED BY THE ENGINEER AND COMPACTED IN 8" LAYERS TO 90% MAXIMUM DRY DENSITY.
- TOP SOIL SHALL BE STOCKPILED SEPARATELY AS DIRECTED BY THE ENGINEER.
- ALL AREAS OF STOCKPIILING SHALL HAVE POSITIVE DRAINAGE AND SHALL BE GRASSED PER SPECIFICATIONS.
- ALL STORM DRAIN PIPING SHALL BE CLASS III UNLESS OTHERWISE NOTED.

LEGEND





LOCATION MAP
N.T.S.

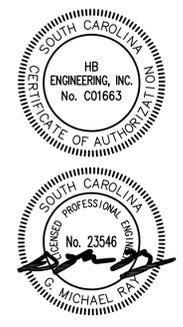


CONCRETE FLUME SECTION
NOT TO SCALE



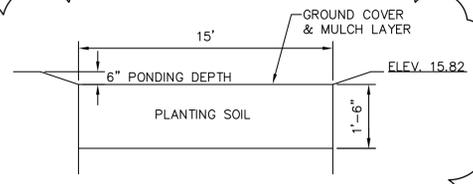
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DISTURBED AREA:	1.5 AC.



LEGEND

EXISTING TOPO	—26
PROPOSED TOPO	-26
PROPOSED SPOT ELEV.	x29.70
SILT FENCE	—□—
SEDIMENT BAFFLE	—○—
GRAVEL CONSTRUCTION ENTRANCE	▨
RIP RAP	▩



BIO-RETENTION FILTER DETAIL
N.T.S.

BIO-RETENTION FILTER SPECIFICATIONS

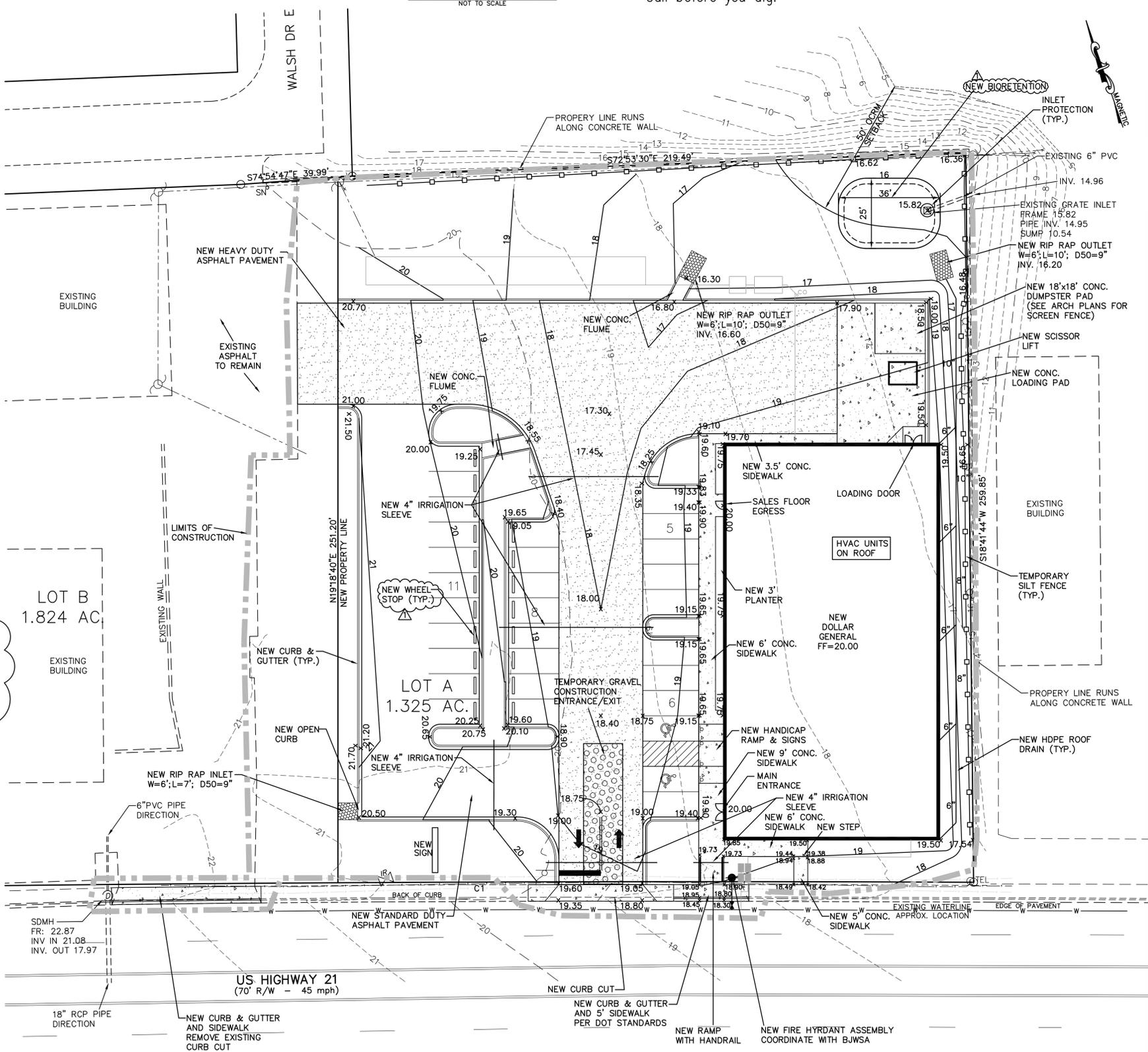
SOIL MIX	
SAND:	50%
LEAF COMPOST:	30%
TOP SOIL:	20%
SOIL TESTING	
pH RANGE:	5.0 - 7.0
ORGANIC MATTER:	GREATER THAN 1.5
MAGNESIUM:	100+ UNITS
PHOSPHORUS:	150+ UNITS
POTASSIUM:	120+ UNITS
SOLUBLE SALTS:	NOT TO EXCEED 900 ppm/9 MMHOS/cm (SOIL) NOT TO EXCEED 3000 ppm/2.5 MMHOS/cm (ORGANIC MIX)

SOIL PLACEMENT
SOIL SHALL BE PLACED IN TWO EQUAL LIFTS AND LIGHTLY COMPACTED BY TAMPING OR ROLLED WITH A HAND-OPERATED LANDSCAPE ROLLER.

HERBACEOUS GROUND COVER
HERBACEOUS GROUND COVER SHALL BE TUFTED HAIRGRASS (DESCHAMPSIA CAESPITOSA). IT SHALL BE PLANTED USING PLUGS.

MULCH
MULCH SHALL BE SHREDDED HARDWOOD, SHREDDED WOOD CHIPS, OR SIMILAR PRODUCTS. PLACE MULCH AFTER TREES, SHRUBS AND HERBACEOUS GROUND COVER HAVE BEEN PLANTED. DO NOT COVER HERBACEOUS GROUND COVER WITH MULCH. MULCH TO BE SPREAD 3" THICK.

PLANTINGS
SEE LANDSCAPE PLAN FOR PLANTINGS.



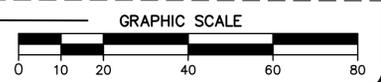
DOLLAR GENERAL
BEAUFORT
CITY OF BEAUFORT
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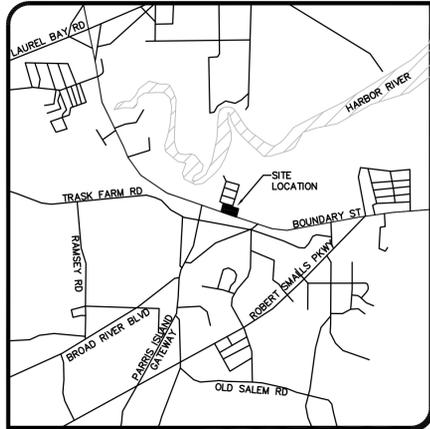
No.	Date	Revision
1	6/22/16	WHEEL STOPS BIORETENTION IN NORTHEAST CORNER

FINAL GRADING,
DRAINAGE & EROSION
CONTROL PLAN

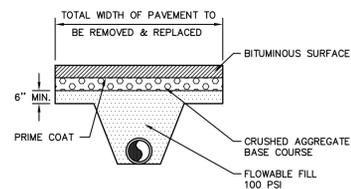
Drawn by:	MR
Designed by:	MR
Checked by:	MR
Scale:	1"=20'
Project No.:	16122
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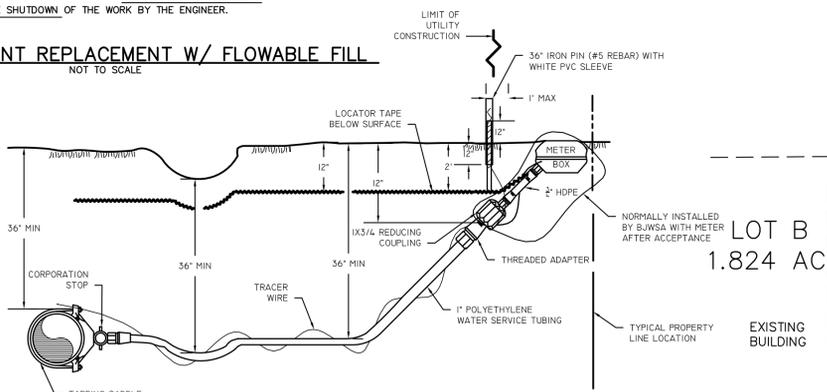
LOCATION MAP
N.T.S.



NOTES:

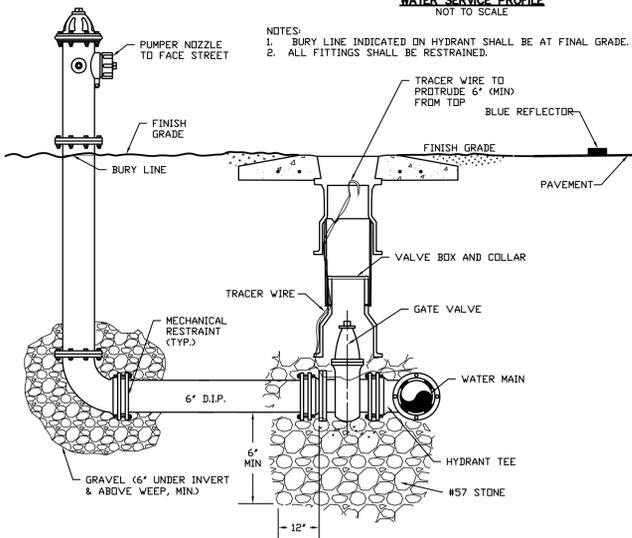
1. ALL BACKFILL LOCATED WITHIN THE VEHICULAR LOAD ZONE IS TO BE PLACED IN LIFTS NOT TO EXCEED 6" AND COMPACTED TO 95% OF STANDARD PROCTOR TEST. (ASTM D698)
2. ALL BACKFILL OUTSIDE THE VEHICULAR LOAD ZONE BUT LOCATED IN THE RIGHT OF WAY IS TO BE COMPACTED TO 90% OF STANDARD PROCTOR TEST. (ASTM D698)
3. THE LACK OF PROPER COMPACTION EQUIPMENT OR THE USE OF IMPROPER COMPACTION METHODS SHALL BE CAUSE FOR THE IMMEDIATE SHUTDOWN OF THE WORK BY THE ENGINEER.

TYPICAL PAVEMENT REPLACEMENT W/ FLOWABLE FILL
NOT TO SCALE



WATER SERVICE PROFILE
NOT TO SCALE

- NOTES:
1. BURY LINE INDICATED ON HYDRANT SHALL BE AT FINAL GRADE.
 2. ALL FITTINGS SHALL BE RESTRAINED.



STANDARD FIRE HYDRANT
NOT TO SCALE

ROMAC INDUSTRIES, INC. 48130, 8912
1-800-426-0241
www.romac.com

"FTS445" Steel Fabricated Tapping Sleeve

Fabricated Tapping Sleeve for Weld-on Outlets

Material Specifications
Body and Outlet Nozzle: Carbon steel, A-36 or equal. Also available with type 304 stainless steel (style ST5445).
Flange: Carbon steel, A-36 or equal, AWWA Class 10" plate flange, ANSI CL150 drilling, proper reaming for tapping valves. Will accommodate tapping flanges per MSS D190.
Test Plug: 3/4" NPT type 304 stainless steel test plug.
Coatings: Romac shopcoat for corrosion protection in transit. Other coatings available upon request.

FLANGE SIZE	A	B	C	D	MIN PIPE DIAMETER
4"	9.0	5.18	5.03	4.73	6.00
6"	12.0	5.18	7.03	6.73	8.00
8"	16.0	5.18	9.03	8.73	10.00
10"	20.0	5.50	11.03	10.73	12.00
12"	24.0	5.75	13.03	12.73	14.00
14"	28.0	6.00	15.03	14.73	16.00
16"	32.0	6.00	17.03	16.73	20.00
18"	36.0	6.00	19.03	18.73	22.00
20"	38.0	6.00	21.03	20.73	24.00
24"	42.0	6.63	25.03	24.73	36.00

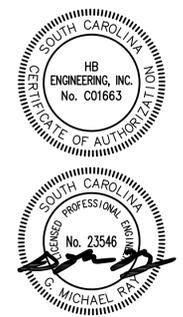
Sleeves designed for a minimum pipe wall thickness of 0.25" and a minimum pipe material yield strength of 30 ksi with collar style.
Size on size sleeves, and sleeves for thinner or lower strength pipe will require full wrap style sleeve (see illustration on below).

* Please specify tapping valve manufacturer, and flange dimensions for flange sizes larger than 12 inches. Larger sizes and outlets available.
All prices F.O.B.



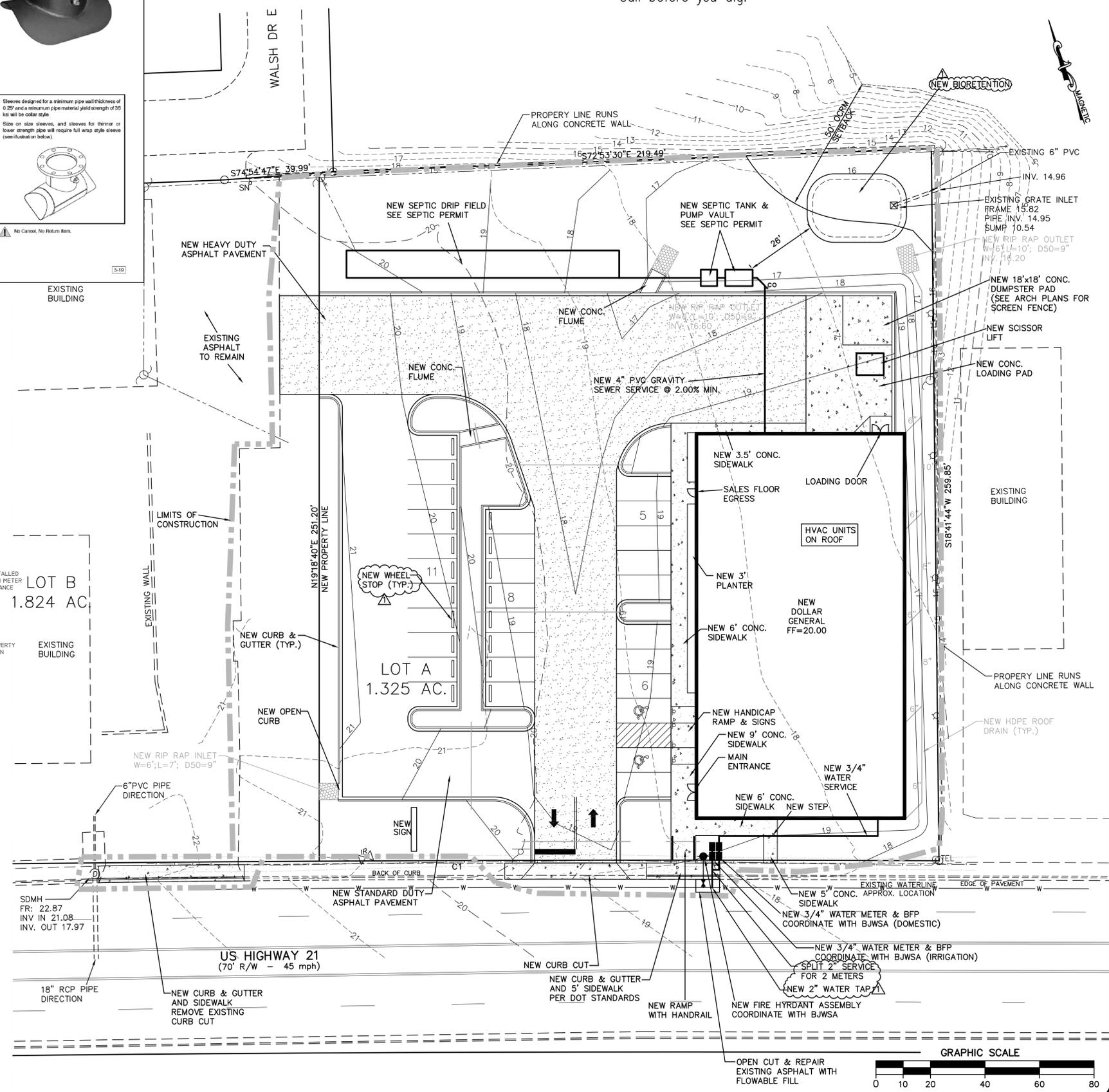
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OWNER:	JR LEX2, LLC 955 OLD CHEROKEE ROAD LEXINGTON, SC 29072 PH: 803-359-9545, FAX: 803-359-0621 CONTACT: ROBERT P. WILKINS, JR.
TMS#:	R100 026 00A 0257 0000
ADDRESS:	1812 BOUNDARY STREET
TOTAL AREA:	3.15 AC.
DISTURBED AREA:	1.5 AC.



HB Engineering
SITE DEVELOPMENT CONSULTANTS
720 OLD CHEROKEE ROAD
LEXINGTON, SOUTH CAROLINA 29072
803-957-7027 FAX 877-728-0808

DOLLAR GENERAL
BEAUFORT
CITY OF BEAUFORT
SOUTH CAROLINA

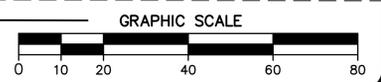


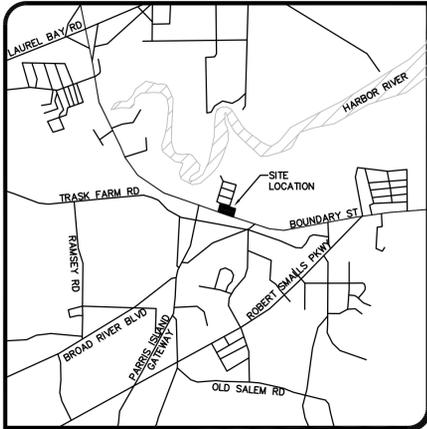
No.	Date	Revision
1	6/22/16	WHEEL STOPS BIORETENTION IN NORTHEAST CORNER SINGLE 2\"/>

Sheet Title:
WATER SERVICE & SEPTIC PLAN

Drawn by: MR
Designed by: MR
Checked by: MR
Scale: 1"=20'
Project No. 16122
Date: 5/25/16

C6
8





LOCATION MAP
N.T.S.

RECOMMENDED MINIMUM GRASSING SCHEDULE
THE SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THIS SCHEDULE

- SUMMER FERTILIZATION: 1000 LBS. OF 10-10-10 PER ACRE
- PERMANENT COVER:
 - BAHIA GRASS: 40 LBS. PER ACRE ALONE, 20 LBS. PER ACRE W/MIXTURE, 8 LBS. PER ACRE ALONE, 4 LBS. PER ACRE W/MIXTURE
 - BERMUDA SPRIGS: 100 LBS. PER ACRE BROADCAST
 - SERICA LESPEDeza (SCARIFIED): 40 LBS. PER ACRE ALONE, 40 LBS. PER ACRE IN MIXTURES
 - LOVEGRASS, WEEPING: 2 LBS. PER ACRE PLANT IN MIXTURES ONLY
- TEMPORARY SUMMER COVER:
 - LESPEDeza, ANNUAL: 7 LBS. PER ACRE IN MIXTURE (DO NOT PLANT ON SANDY SOILS)
 - BROWN TOP MILLET: 40 LBS. PER ACRE ALONE, 20 LBS. PER ACRE IN MIXTURES
- WINTER:
 - A. WINTER PERMANENT:
 - 1) TALL MEADOW FESCUE, 40 LBS. PER ACRE FROM SEPT. 1 TO APRIL 15 ONLY ON FERTILE SANDY CLAY OR CLAY SOILS.
 - 2) PLANTING FROM SEPT. 15 TO FEB. 15 ON SANDS MUST BE OF TEMPORARY WINTER COVER AND THEN SEED TO A PERMANENT SUMMER COVER.
 - B. WINTER TEMPORARY: SEPT. 1 TO MAY 1
 - RYE GRASS: 60 LBS. PER ACRE ALONE, 20 LBS. PER ACRE IN MIXTURES
 - OATS: 4 LBS. PER ACRE ALONE, 2 LBS. PER ACRE IN MIXTURE
 - SEPT. 1 TO MAR. 1: 1-1/2 LBS. PER ACRE ALONE, 1 LB. PER ACRE IN MIXTURE

OTHER PLANTINGS OR SEEDING AS CONTAINED IN THE CRITICAL AREA STABILIZATION SECTION OF SCS HANDBOOK "EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS" MAY BE USED PROVIDED ALL APPLICABLE SPECIFICATIONS CONTAINED IN SAID HANDBOOK ARE COMPLIED WITH.

DOLLAR GENERAL LAWN SEEDING AND SOODING NOTES:

- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SOODED.
- ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
- AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
- SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND, 1/4 TO 1/3 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AID IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
- STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

LANDSCAPE NOTES:

- PROVISIONS FOR LOCAL AND/OR REGIONAL REQUIREMENTS, INCLUDING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTION REQUIREMENTS.
- ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING AS REQUIRED.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- PRIOR TO THE FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS OUTLINED IN SECTIONS ABOVE.

PLANTING SCHEDULE					
QUANTITY	SYMBOL	COMMON NAME	SIZE	SPACING	CALIPER
7		WILLOW OAK	MIN. 10'	MIN. 25'	2"
13		LIVE OAK	MIN. 10'	MIN. 25'	2"
6		ALLEE ELM	MIN. 10'	MIN. 25'	2"
11		CRAPE MYRTLE	MIN. 6'	*	1"
65		BURFORD HOLLY	30" TALL AT PLANTING	*	*
64		YARUPON HOLLY	30" TALL AT PLANTING	*	*
31		CARISSA HOLLY	30" TALL AT PLANTING	*	*
6		PODOCARPUS	30" TALL AT PLANTING	*	*
10		ARROWWOOD	3 GAL	*	*
10		WINGED EUONYMUS	3 GAL	*	*

* NOT APPLICABLE IN THIS CASE
** TRELLISED TO FENCE

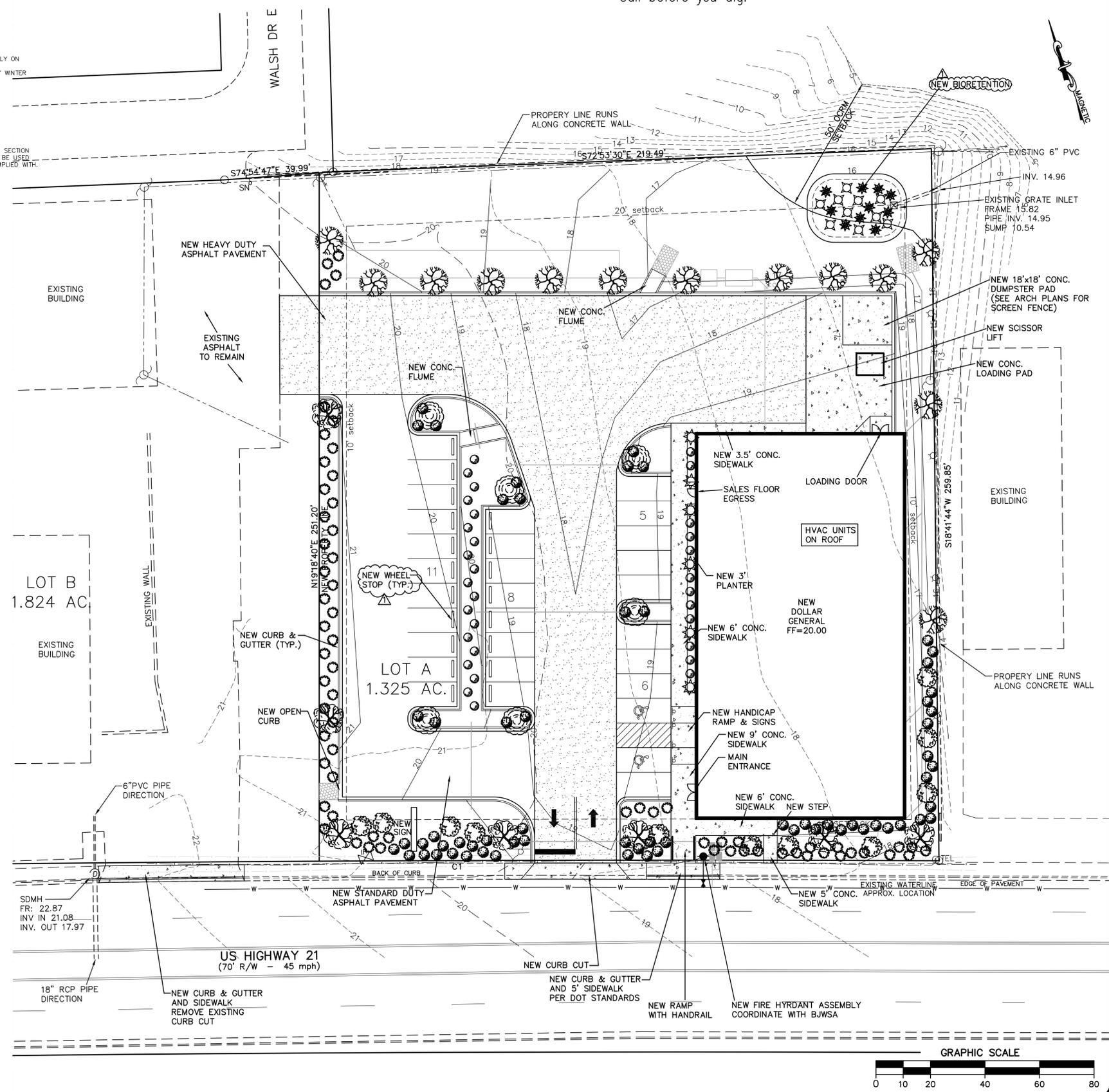
- NOTES:
- SOIL IN PLANTING BEDS SHOULD BE AMENDED WITH ORGANIC MATERIAL AS APPROPRIATE FOR PROPER GROWTH OF PLANT MATERIALS. A SOILS TEST IS RECOMMENDED.
 - ALL PLANTING BEDS WILL BE MULCHED WITH A HARDWOOD OR PINESTRAW MULCH.
 - SIZE IS MINIMUM PLANTED HEIGHT.
 - IRRIGATION SHALL BE PROVIDED FOR ALL NEW PLANTINGS.

GROUND COVER NOTE:
ALL AREAS NOT COVERED BY PAVEMENT OR BUILDING ARE TO BE EITHER GRASSED OR MULCHED PLANTING BEDS.



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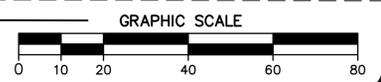
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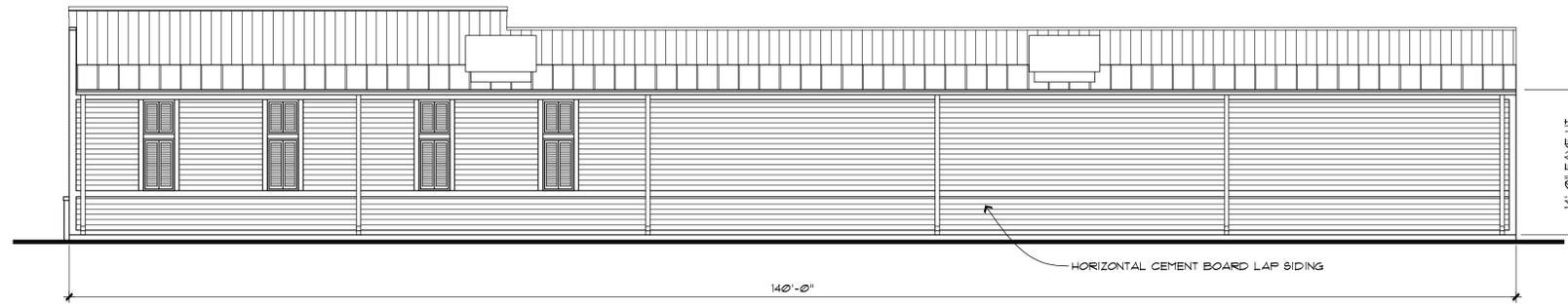
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No.	Date	Revision

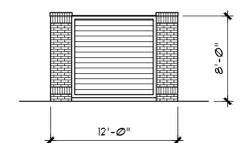
Sheet Title:
LANDSCAPE PLAN

Drawn by: MR
Designed by: MR
Checked by: MR
Scale: 1"=20'
Project No. 16122 or 1
Date: 5/25/16 Drawing No.

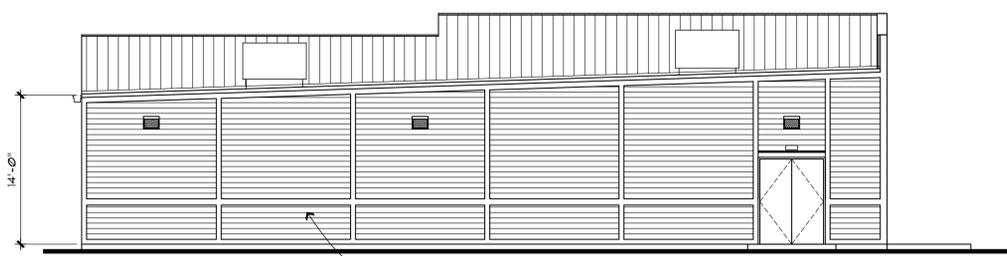




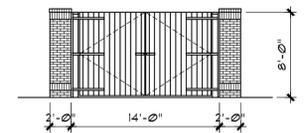
4 RIGHT ELEVATION
A2.1 SCALE: 1/8" = 1' - 0"



6 SIDES AND REAR ELEVATION
A2.1 SCALE: 1/8" = 1' - 0"

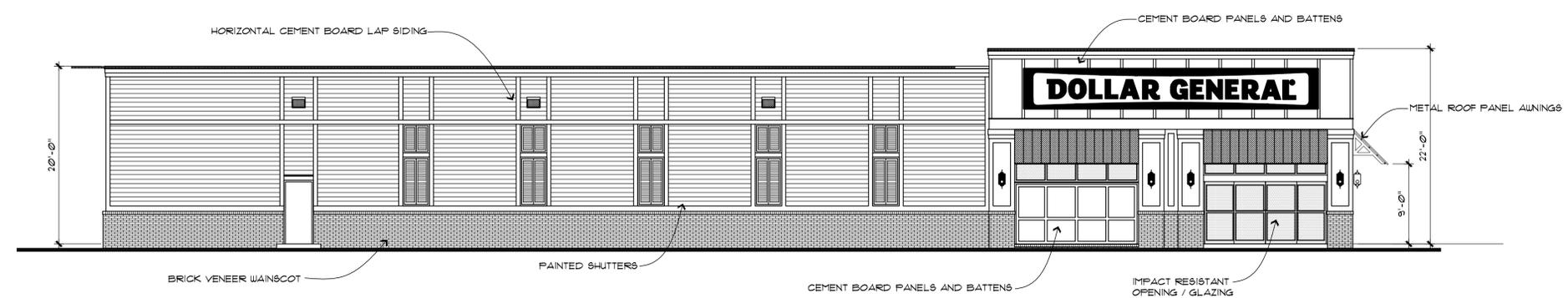


3 REAR ELEVATION
A2.1 SCALE: 1/8" = 1' - 0"

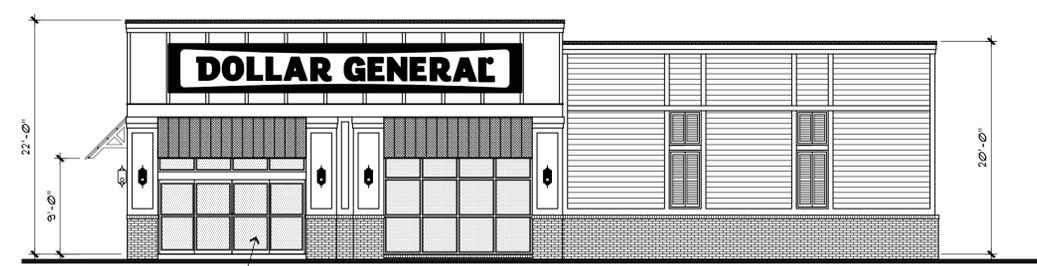


5 FRONT ELEVATION
A2.1 SCALE: 1/8" = 1' - 0"

DUMPSTER ELEVATIONS



2 LEFT ELEVATION
A2.1 SCALE: 1/8" = 1' - 0"



1 FRONT ELEVATION
A2.1 SCALE: 1/8" = 1' - 0"

Craig A. Otto
ARCHITECT, INC.

DESIGN • PLANNING • ARCHITECTURE

5044 Augusta Road
Lexington, South Carolina 29072
Phone (803) 957-9004
Fax (803) 957-2050

No.	Revisions	Date

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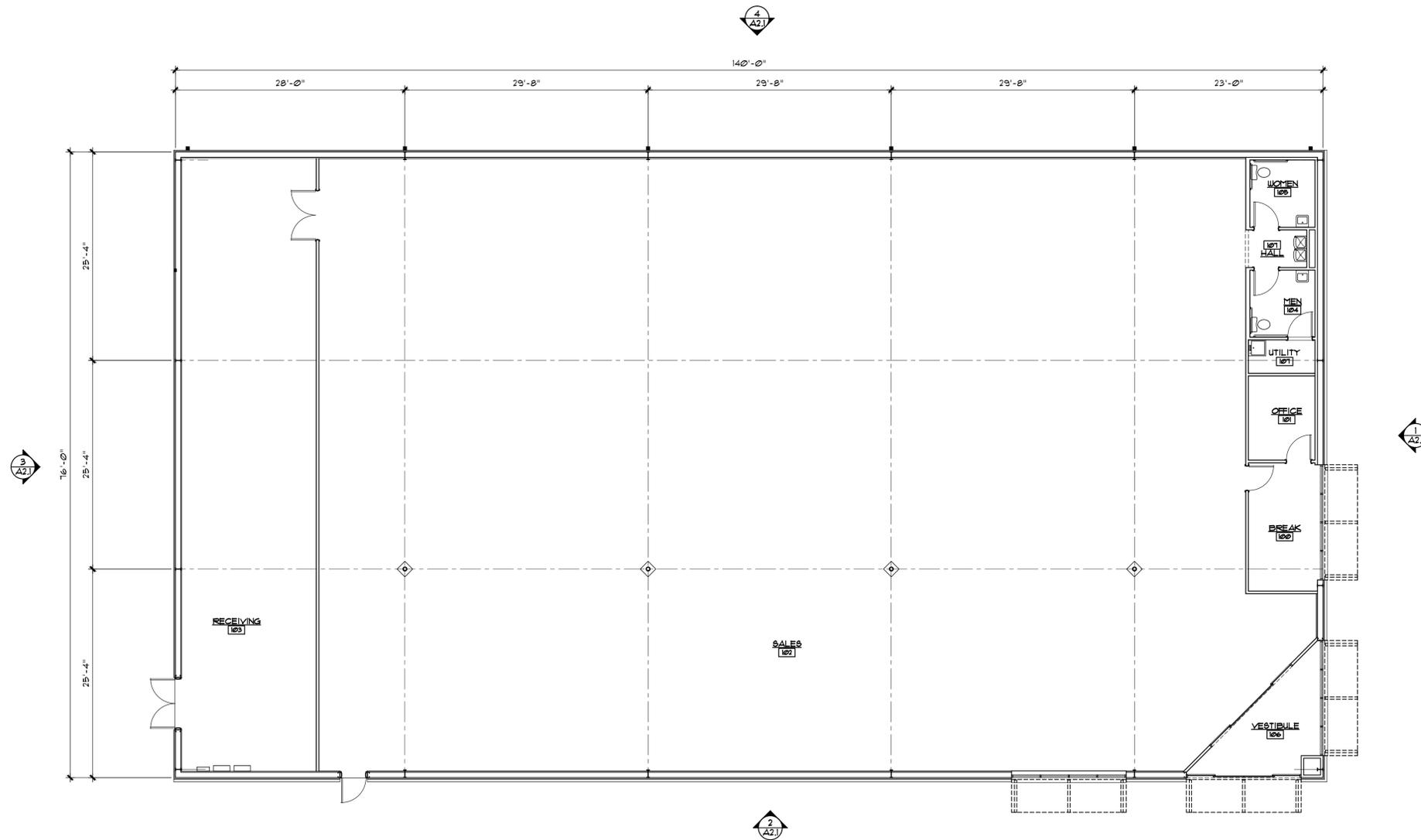
Project Title: **DOLLAR GENERAL PLUS #3364**
BOUNDARY STREET, BEAUFORT, SC

Drawing Title: **EXTERIOR ELEVATIONS**

Consultant:

Seal	Date JUNE 24, 2016
	Drawn By OTTO
	Drawing No. A2.1

NOT FOR CONSTRUCTION



1 ARCHITECTURAL FLOOR PLAN (PROTOTYPE E PLUS)
 A1.1 SCALE: 1/8" = 1' - 0" 10,640 SQUARE FEET

Craig A. Otto
 ARCHITECT, INC.
 DESIGN • PLANNING • ARCHITECTURE

5044 Augusta Road
 Lexington, South Carolina 29072
 Phone (803) 957-9004
 Fax (803) 957-2050

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Drawing Title: **ARCHITECTURAL FLOOR PLAN**

Consultant:

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	Drawn By OTTO
	Drawing No. A1.1

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