

**CITY OF BEAUFORT  
DESIGN REVIEW BOARD  
Staff Report  
Meeting of March 12, 2015**

---

**Case Number:** 15-01 DRB.1  
**Project:** Parker's Convenience Store & Gas Station  
**Property Address:** 3462 Trask Parkway  
**Parcel #:** R120-025-000-0012-0000 & R100-025-000-012C-0000  
**Zoning:** Highway Commercial  
**Design District:** U.S. Highway 21 District  
**Type of Review:** Conceptual Review – New Construction

---

**Background:**

At the January Design Review Board (DRB) meeting, the Board was asked to give conceptual review to a new 4,480 SF Parker's Convenience Store with an associated 16-pump gas station and canopy. The applicant was preparing to go before the Zoning Board of Appeals (ZBOA) to request a variance to the Conditions of Fuel Sales (attached) that state that gas pumps must be located in the side or the rear of the building, as they desire to have the pumps in the front with the building towards the rear of the site. The applicant was seeking a conceptual recommendation from the DRB that they can take to the ZBOA. The Board gave conceptual approval to the application as outlined in the attached letter.

**Request:**

The applicant has added a drive-thru window to the project as shown on the attached site plan. Staff believes that the addition of the drive-thru is a significant change to the project to the extent that a new conceptual review is needed before the applicant could appear before the ZBOA stating the DRB has endorsed the project.

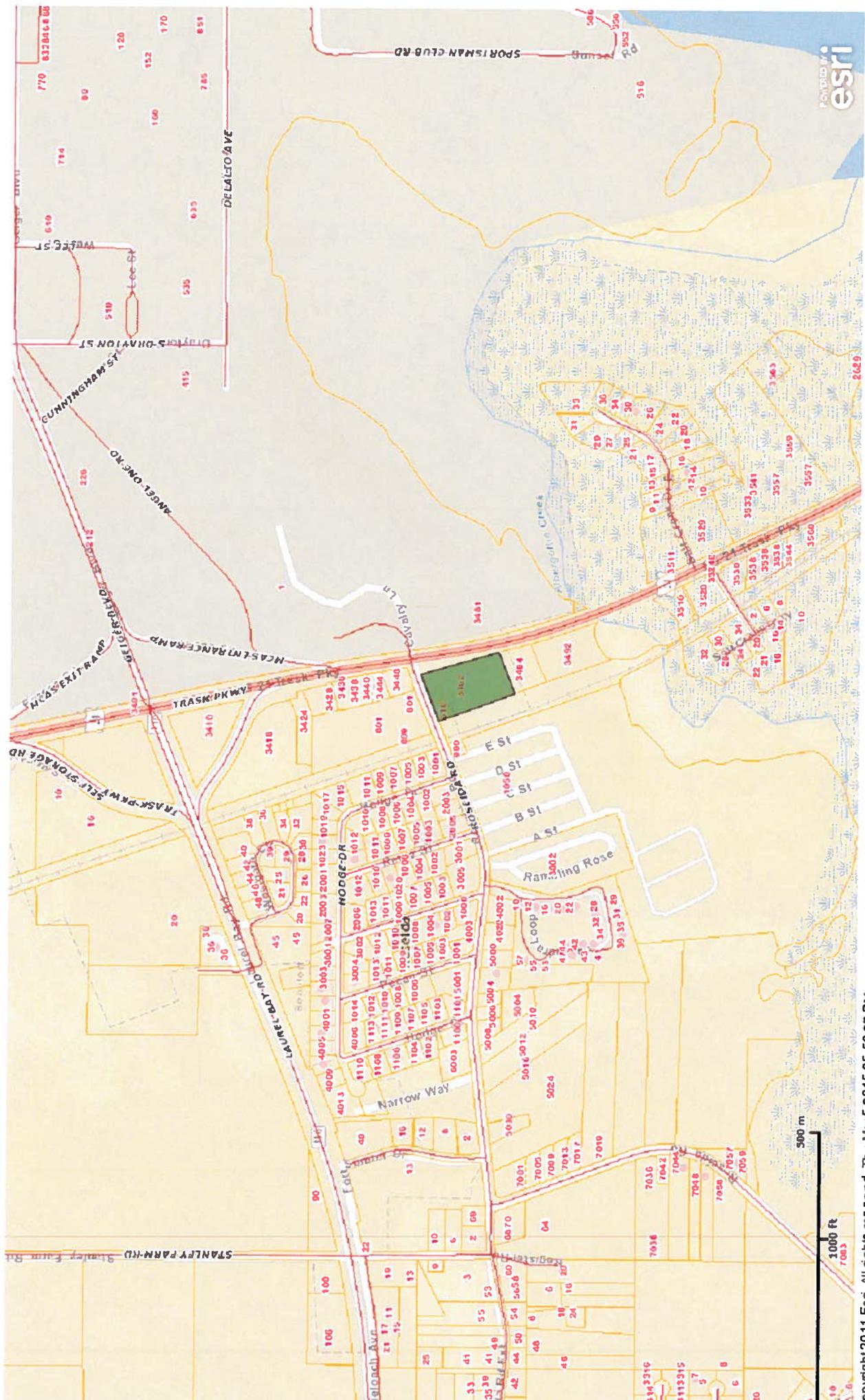
**Applicable Guidelines:**

- UDO Section 5.3.D.10 (attached) addresses specific conditions of Fuel Sales.
- The Design District Standards in Section 6.6 of the UDO apply to this project.
- The Gas Station Design Guidelines in the Appendix of the UDO apply to this project
  - With regards to pump islands, these standards state that "the primary building should be at least 50% as long as the distance along the longest line of pumps parallel to the street.
- This property is on the periphery of city limits. The 2009 Comprehensive Plan depicts this area as O-2 Rural Conservation Land and states that: "this sector consists of lands that should be off-limits to development except occasional...urban service factors, and proximity to the MCAS operations.
- This area is not addressed in the 2014 Civic Master Plan.

**Staff Comments:**

The Board's decision at the January meeting included several items pertaining to the site plan. The applicant should outline what changes have been made to the site plan that address these requirements.

# Site Location Map





**CITY OF BEAUFORT  
DESIGN REVIEW BOARD  
1911 BOUNDARY STREET  
BEAUFORT, SOUTH CAROLINA 29902  
(843) 525-7011**

**CONCEPTUAL APPROVAL LETTER**

January 28, 2015

Mr. Bill Bishop  
Gregory M. Parker, Inc.  
222 Drayton Street  
Savannah, GA 31401

**RE: 3462 Trask Parkway – Parkers Convenience Store (DRB 15-01 DRB.1)**

Dear Mr. Bishop:

On January 26, 2015, the City of Beaufort Design Review Board (DRB) gave **Conceptual Approval** to this project, and recommendation to the Zoning Board of Appeals to issue the requested variance, with the following conditions as per staff recommendations and board discussion:

On the Site:

- Install a low wall/fence with landscaping as discussed at the corner of the property along Roseida Road and US-21/Trask Parkway. This should be integrated into the pump station fencing. Pump station is ok to remain in its currently depicted location at the corner of the Spanish Moss Trail and Roseida Road;
- Relocate the storage tanks to avoid conflicts with trees to be preserved;
- Obtain an arborist report to ensure trees to be preserved are in good health;
- The shared access off of Trask Parkway should be thought of more comprehensively so that the future development parcel better integrates with the Parker's property; and
- Pond/stormwater should be further investigated to see if it's possible to use some of that water for irrigation.

On the Building:

- The rear (Spanish Moss Trail) elevation should be articulated with building and/or landscape elements to avoid a long blank façade;
- A color other than bright white should be considered;
- Consider using a solution other than the large concrete balls to protect the building from vehicle impacts; and
- Consider a trellis or arbor on the corner to shade visitors and better link to the rail trail.

Please submit eight sets of full size plans for your next submittal review by the Board at your convenience. Be advised that this approval will expire 12 months from the date of this letter as per Section 3.1.M.1 of the *City of Beaufort Unified Development Ordinance* unless a complete Design

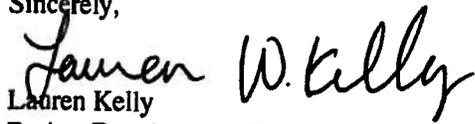
Mr. Bill Bishop

p. 2

Review Board application for preliminary or final review is on file with the City Planning Department.

We appreciate your patience and cooperation during the review process.

Sincerely,

A handwritten signature in black ink that reads "Lauren W. Kelly". The signature is written in a cursive, flowing style.

Lauren Kelly  
Project Development Planner

cc: Nathan Long, Thomas and Hutton, 50 Park Commerce Way, Savannah, GA 31405

- a. In the TR, RE, R-1, R-2, R-3, R-4, and GR districts, the use is owned and managed by the neighborhood association or property owners' association in which the use is located.
- b. In the NC zoning district, the building footprint of such use shall be no more than 2,500 square feet. Larger facilities shall be permitted as part of a mixed-use development.



#### **10. Fuel Sales**

In the GC District, Fuel Sales are permitted as a conditional use in the SC 170 Design District and the US 21 District outside the Boundary Street Redevelopment District. In all other GC Districts, Fuel Sales are permitted by special exception. Fuel Sales in all districts where permitted by this UDO, are permitted subject to the following standards:

- a. Parking and/or service areas shall be separated from adjoining residential properties by a suitable planting screen, fence or wall at least six feet in height;
- b. No open storage of any type, including the overnight storage of vehicles, shall occur in conjunction with the operation.
- c. No more than two Fuel Sales facilities are permitted at an intersection of any Arterial Street (Section 7.2.B). Nor more than one Fuel Sales facility is permitted at the intersection of other streets.
- d. In new development, pumps should not be located between the building and the adjacent street, but instead be placed behind the building, although the Design Review Board may permit pumps to be located to one side of the building based on unique site conditions including the presence of wide buffers. In such cases, the pumps, including the canopy, shall not project further toward the street than the front line of the building.
- e. No signs shall be located on any canopy over the pumps.
- f. Any freestanding light fixtures shall be reduced in height to fifteen feet if the use adjoins a residential district or residential use.
- g. Any service bay doors shall not be oriented toward any public right-of-way.
- h. Fuel sales are subject to the general Design District standards set out in Section 6.6 and the specific Gas Station Design Guidelines set out in the Appendix.

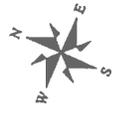
#### **11. Housing, Short Term Rental**

Short term rentals are permitted in all residential zoning districts with the exception of the Traditional Beaufort Residential District, The Point, or where prohibited by covenants. Short term rental of the primary dwelling, or rental of an accessory dwelling unit on property where the property owner does not live on the premises, shall be by special exception subject to the standards shown below. Short term rental of an accessory dwelling unit where the property where the property owner lives on the premises, and short term

SITE DATA TABLE	
PARCEL 1	2.65 AC.
PARKING SPACES REQUIRED	14
1/ 300 SF (4,078 SF. BUILDING)	
PARKING SPACES PROVIDED	25
(INCLUDING 1 ACCESSIBLE SPACE)	
MAX IMPERVIOUS AREA ALLOWED	65%
IMPERVIOUS AREA PROPOSED	49%

**NOTES:**

1. SITE DATA TABLE CALCULATIONS ARE FOR PARCEL 1 ONLY. STORM SYSTEM IS ANTICIPATED TO BE DESIGNED TO ACCOMMODATE BOTH PARCELS. ONLY PARCEL 1 IS PROPOSED FOR DEVELOPMENT AT THIS TIME.
2. PARCEL 2 LAYOUT IS CONCEPTUAL. FINAL PLAN SHALL BE PROVIDED PRIOR TO DEVELOPMENT.

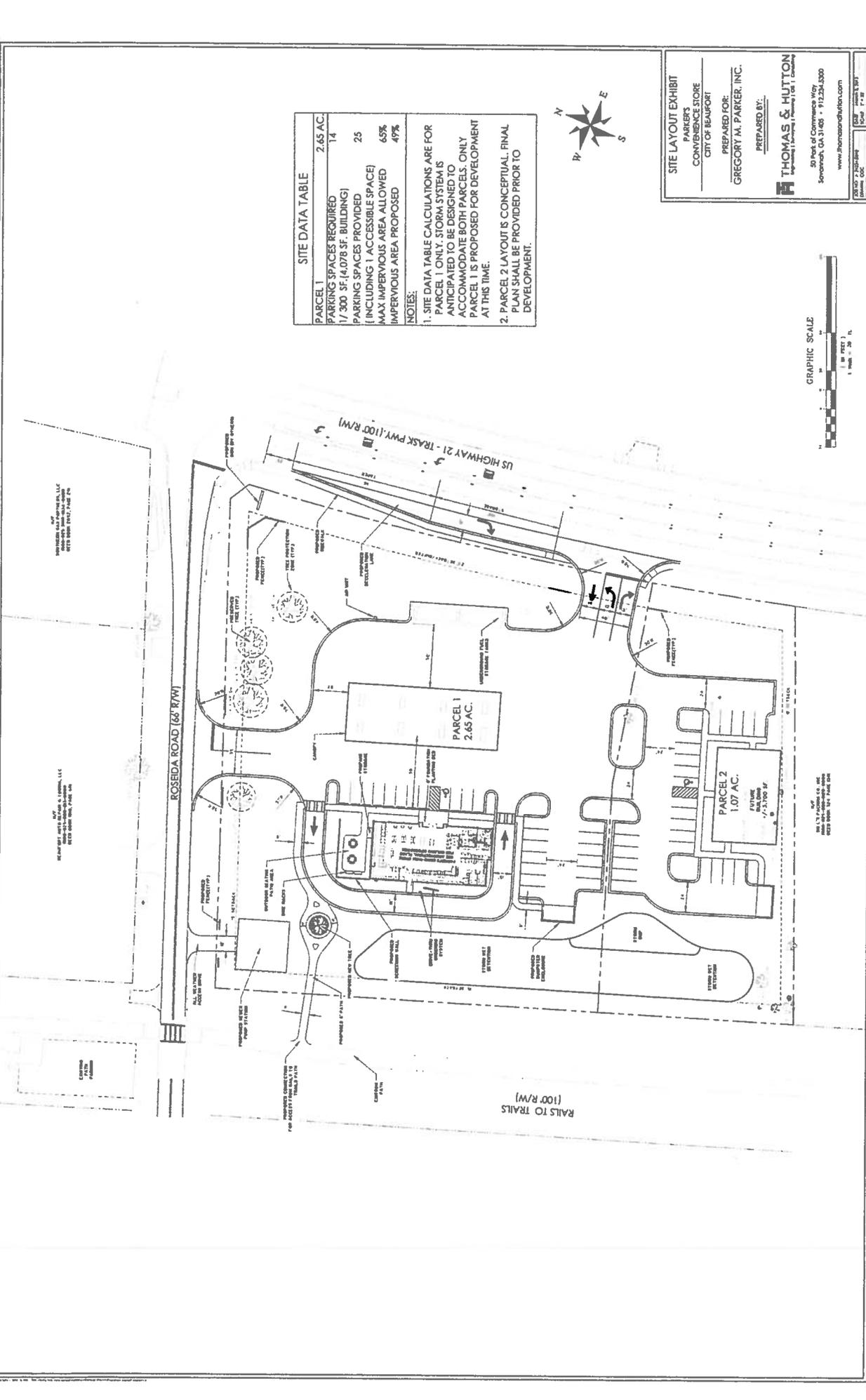


**SITE LAYOUT EXHIBIT**  
**PARKERS**  
**CONVENIENCE STORE**  
**CITY OF BEAUFORT**

PREPARED FOR:  
**GREGORY M. PARKER, INC.**

PREPARED BY:  
**THOMAS & HUTTON**  
 50 West of Commerce Way  
 Savannah, GA 31405 • 912.235.3300  
 www.thomasandhutton.com

DATE: 11/15/17  
 DRAWING NO: 17-001  
 SHEET NO: 1 OF 1



GRAPHIC SCALE



PREPARED BY: GREGORY M. PARKER, INC.  
 1000 W. BEAUFORT BLVD.  
 BEAUFORT, GA 31513

PREPARED BY: GREGORY M. PARKER, INC.  
 1000 W. BEAUFORT BLVD.  
 BEAUFORT, GA 31513

DATE: 11/15/17  
 DRAWING NO: 17-001  
 SHEET NO: 1 OF 1