

**CITY OF BEAUFORT REHABILITATED HISTORIC PROPERTY / BAILEY BILL APPLICATION**  
**PART A – PRELIMINARY REVIEW FORM**

<b>PLANNING DEPARTMENT USE ONLY:</b> Application #: <u>BB15-05</u> Date Received: <u>8/5</u> Date Responded: _____	
_____ Certificate of Appropriateness Received #HR _____ ( <u>HR15-71</u> ) _____ Project Approved	_____ Project Denied (see attached sheet)
_____ Project Approved with Conditions (see attached sheet)	_____ Project Denied (see attached sheet)
_____ Authorized Signature	_____ Date

This application is used by the City to review rehabilitation work on historic properties, in accordance with South Carolina 1976 Code Sections 12-120 through 12-125, and pertinent regulations. A separate application should be submitted for each historic building, unless they were functionally-related during the historic period, in which case they can be submitted as a historic complex. Applications must include attachments as listed below and the required review fee to be considered complete. *Fee: \$150 for single family residences or duplexes; \$300 for all other properties.*

**1. PROPERTY INFORMATION**

Historic Name of Property (if known) \_\_\_\_\_ Parcel Id. Number: \_\_\_\_\_  
 Street Address: 1508 DuRoi St. Use: \_\_\_\_\_ Owner-occupied, or  Income-producing  
 Estimated project start date 8/17/15 Estimated project completion date 1/1/16  
 Fair market value of building\* \$ 50,000.00 Estimated project costs \$ 39,072.20  
 Has an application for any other tax incentives been filed for this property? \_\_\_\_\_ Yes  No

If Yes, please describe \_\_\_\_\_

*\*fair market value is based on County tax assessor data OR a recent appraisal (within 45 days) by a licensed appraiser*

**2. HISTORIC DESIGNATION**

The property must have been designated "historic" by the local government allowing this incentive.

This building is a:

- Contributing structure in the Historic District  
 Non-contributing structure, but over 50 years old, and in the Historic District  
 Structure located outside of the Historic District, but listed on the Beaufort County 1997 Historic Survey

Significance:

Construction Date: 8/17/50 Is this property individually listed on the National Register? \_\_\_\_\_ Yes  No

Describe previous major alterations or additions (give dates): \_\_\_\_\_

**3. ATTACHMENTS**

The following information is needed to process your application. Please send complete information with the initial submission:

- An original signed and completed Part A application;
- An original signed and completed Historic Review Board Project Application;
- Payment of \$150, for single family residences or duplexes; \$300 for all other properties – checks should be made out to the City of Beaufort
- An overall project narrative along with an itemized list describing the precise scope of work; and
- \_\_\_\_\_ All HRB Submission Requirements (found on the Checklist, pages 8-10) including but not limited to:
  - Location map showing where the building is located;
  - \_\_\_\_\_ Photographs clearly showing not only the areas to be rehabilitated, but also overall views of the building;
  - \_\_\_\_\_ Site plan, architectural floor plans and elevations of pre-rehabilitation conditions;
  - \_\_\_\_\_ Site plan, architectural floor plans and elevations of the proposed work.

**4. OWNER INFORMATION**

Name Allen Gallaway Signature Allen Gallaway Date 8/5/15  
 Mailing Address 8881 Coosaw Scenic Dr. City Ridgeland State SC Zip 29936  
 Email Address allen.gallaway@embargo.com Primary Phone Number 843-812-4430  
Ridgeland, SC

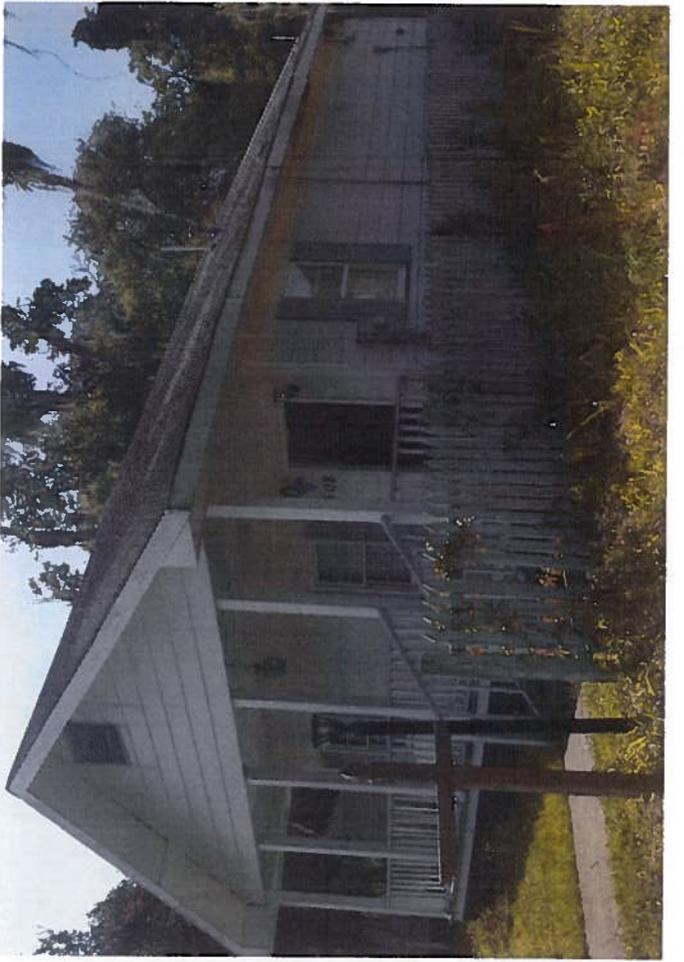
**CITY OF BEAUFORT REHABILITATED HISTORIC PROPERTY / BAILEY BILL APPLICATION  
 PART A – PRELIMINARY REVIEW FORM**

**5. DESCRIPTION OF PROPOSED WORK**

In addition to a separate narrative and itemized project list, use the spaces below to describe the proposed work in detail. Architectural elements would include items such as: roof; exterior brick or siding; porches; exterior elevations; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for any state or federal preservation Tax Credits, you may use a copy of the description of the proposed work from the state or federal forms for this section, but your submittal must still include the information in sections 1 through 4.

*(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)*

Architectural element: <u>Siding</u> Approximate age: <u>60</u> original <input type="checkbox"/> added; if added <input type="checkbox"/> date _____ <input type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: <u>Replace Siding</u> Photograph No. _____ Drawing No. _____	Describe work and impact on feature <u>Replace exterior siding to match new siding</u>
Architectural element: <u>Roof</u> Approximate age: <u>15</u> original <input type="checkbox"/> added; if added <input type="checkbox"/> date _____ <input type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: <u>Replace shingles</u> Photograph No. _____ Drawing No. _____	Describe work and impact on feature <u>Replace existing deteriorated shingles to match existing</u>
Architectural element: <u>Windows</u> Approximate age: <u>60</u> original <input type="checkbox"/> added; if added <input type="checkbox"/> date _____ <input type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: <u>Replace windows</u> Photograph No. _____ Drawing No. _____	Describe work and impact on feature <u>Replace deteriorated windows to match existing</u>
Architectural element: <u>Flooring, Drywall,</u> Approximate age: <u>15</u> original <input type="checkbox"/> added; if added <input type="checkbox"/> date _____ <input checked="" type="checkbox"/> Interior <input type="checkbox"/> Exterior; Location: N S E W Describe feature and its condition: <u>Replace flooring, drywall, elec fixtures, re-trim &amp; paint</u> Photograph No. _____ Drawing No. _____	Describe work and impact on feature <u>Replace all carpet, interior trim, doors, electrical fixtures and paint to match new color</u>



ITEM	DESCRIPTION	QUANTITY	UNIT sf, lf, ea, pr	MATERIAL COST	LABOR COST	Actual Total
	Demo	1	Days			\$690.00
	Gutters	50	lf			\$575.00
	Termite	868	sf			\$249.55
	Exterior Materials (Siding)	1301	lf			\$3,306.89
	Exterior Labor	1301	sf			\$7,762.50
Wood	Nails	1	ls			\$345.00
	Roof Mat	12	box			\$2,915.62
	Re-Roof Labor	14	SQ			\$1,127.00
	Single Hung Window	4	ea			\$5,626.31
	Interior Trim	1000	sf			\$2,300.00
	Fire Extinguisher	1	ea			\$230.00
	Interior Doors & Frame	2	ea			\$345.00
	Doors & Frames	2	ea			\$460.00
	Hardware	1	ls			\$230.00
	Door & Frame Install	1	Days			\$460.00
<b>SUB TOTAL</b>				\$0.00	\$0.00	\$26,622.86

ITEM	DESCRIPTION	QUANTITY	UNIT sf, lf, ea, pr	MATERIAL COST	LABOR COST	Actual Total
	Paint	867.33333	sf			\$5,984.60
	Gypsum Materials 5/8"	1463	sf			\$672.98
	Gypsum Materials 1/2"	613.33333	sf			\$239.81
	Gypsum Labor	776.77778	sf			\$357.32
	Gypsum Repair	900	sf			\$414.00
	Carpet Labor & Mat	112	sy			\$2,480.69
	Flooring Prep	1	ls			\$575.00
Electrical	Electrical Labor & Materials	1	ls			\$1,725.00
<b>SUB TOTAL</b>				\$0.00	\$0.00	\$12,449.40

DESCRIPTION	QUANTITY	UNIT sf, lf, ea, pr	ACTUAL COST	CHANGE ORDER	Cost
					Actual
Page 1			\$0.00	\$0.00	\$26,622.86
Page 2			\$0.00	\$0.00	\$12,449.40
<b>TOTAL</b>			\$0.00	\$0.00	\$39,072.26

**CITY OF BEAUFORT**  
**Historic District Review Board**  
**Full Board**  
**Staff Report**  
**Meeting of August 12, 2015**

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**Case Number:** BB15-05  
**Property Address:** 1508 Duke Street  
**Applicant:** William Galloway  
**Type of Request:** Alterations & Additions – Preliminary  
**Zoning:** GC – General Commercial – Northwest Quadrant

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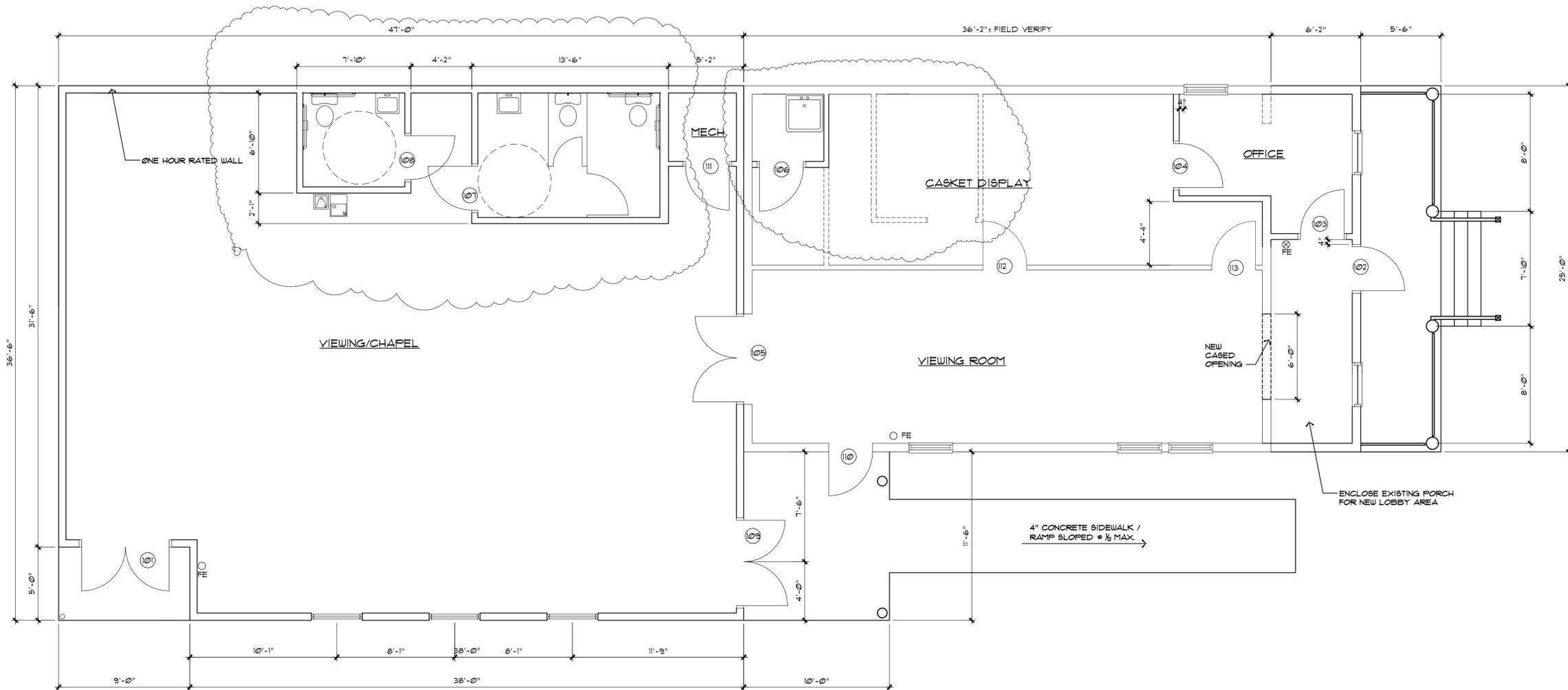
**Historical:** 1508 Duke Street, c. 1940s, is not contributing to the historic district. A structure in that location, but without a front porch, is indicated on the 1958 Sanborn map. The building currently houses Allen Funeral Home.

**Request:** **The applicant is proposing alterations and additions to the original structure. The applicant is requesting approval of the Bailey Bill application for the work being done to the original portion of the structure.**

**Background:** This project appeared before the HRB in May 2015. HRB gave approval with conditions, and final approval to staff. Staff granted final approval to this project on May 27, 2015. That approved plan has been provided digitally. The only provision that was placed on the building permit plan review was that the shutters have to fit the windows and have operable hardware. If that cannot be achieved (eg. on a paired window condition) the shutters are to be removed.

**Staff Comments:** In general, the work done to the original structure improves the streetscape along Duke Street, and makes the non-contributing structure more compatible with the rest of the district. The proportions of the addition are not typical to other projects in the historic district, but overall, the project is an improvement to the streetscape, neighborhood and district.

**Staff Recommendation:** Staff recommends final approval of this Bailey Bill application, as submitted, with the shutter condition as described above.



1 FLOOR PLAN  
 A4.1 SCALE: 1/4" = 1'-0"



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No.	Revisions	Date
	GENERAL-BEAUFORT CODE REVIEW	7/2/15

Drawing Status	Date
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	
BIDDING	
CODE APPROVAL	04-21-2015
CONSTRUCTION	

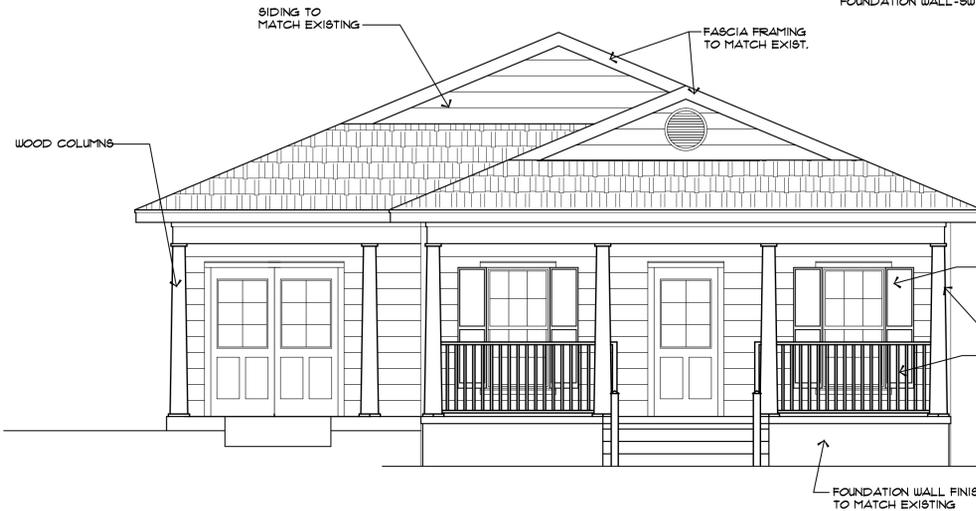
Project Title  
 ADDITION TO:  
 ALLEN FUNERAL HOME  
 1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

Drawing Title  
 FLOOR PLAN

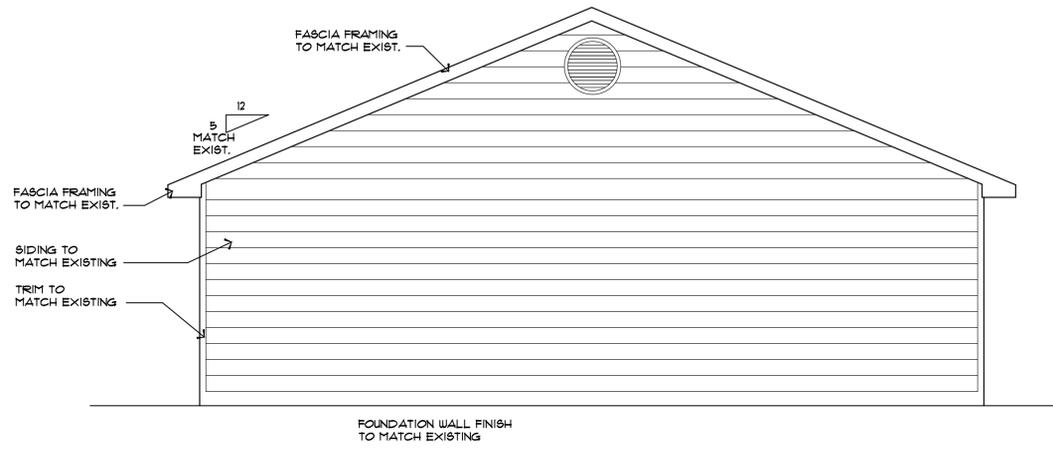
Designer  
**GSS** architecture + design  
 100B Ellis Avenue Lexington SC 29072 803-399-8663

		Date	06-25-2012
		Drawn By	GAS/JD
		Drawing No.	A1.1

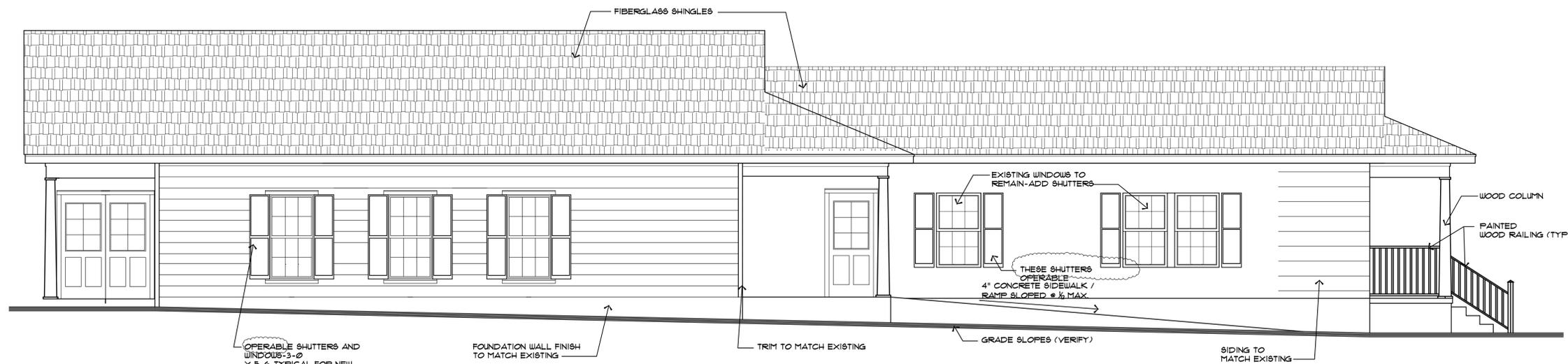
**EXTERIOR COLOR SCHEDULE**  
 SHINGLES-GAF TIMBERLINE COOL SERIES-ANTIQUE SLATE  
 EXTERIOR TRIM-WHITE  
 SIDING-WHITE  
 FOUNDATION WALL-SW 6141 DERBYSHIRE



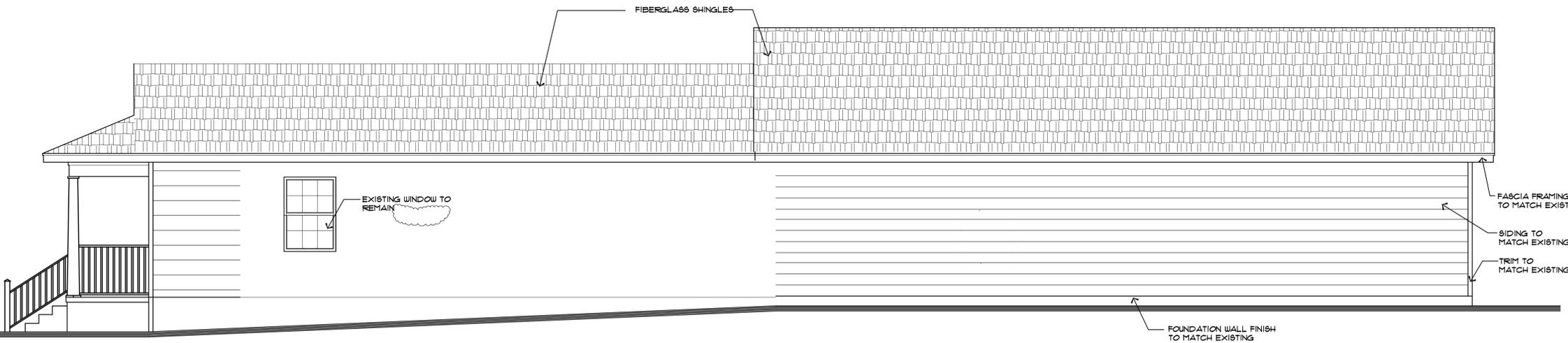
**1 FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**2 REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**3 LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**4 RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"

NOTE 2 ALL WINDOWS AND DOORS SHALL BE IMPACT-RESISTANT ACCORDING TO IBC SECTION 1609.1.2

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	GENERAL-BEAUFORT CODE REVIEW	7/2/15

Drawing Status	Date
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	
BIDDING	
CODE APPROVAL	04-21-2015
CONSTRUCTION	

Project Title  
**ADDITION TO:  
 ALLEN FUNERAL HOME**  
 1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

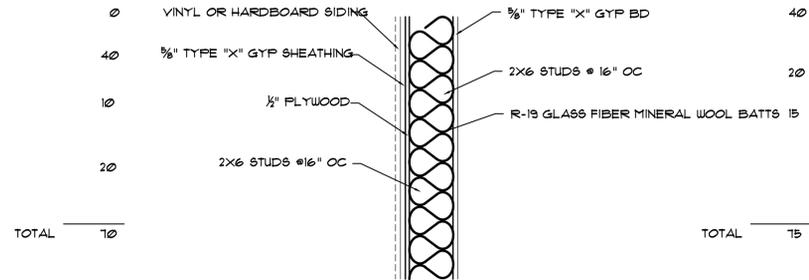
Drawing Title  
**EXTERIOR ELEVATIONS**

Designer  
**G&S architecture + design**  
 100B Ellis Avenue Lexington SC 29072 803-399-8663

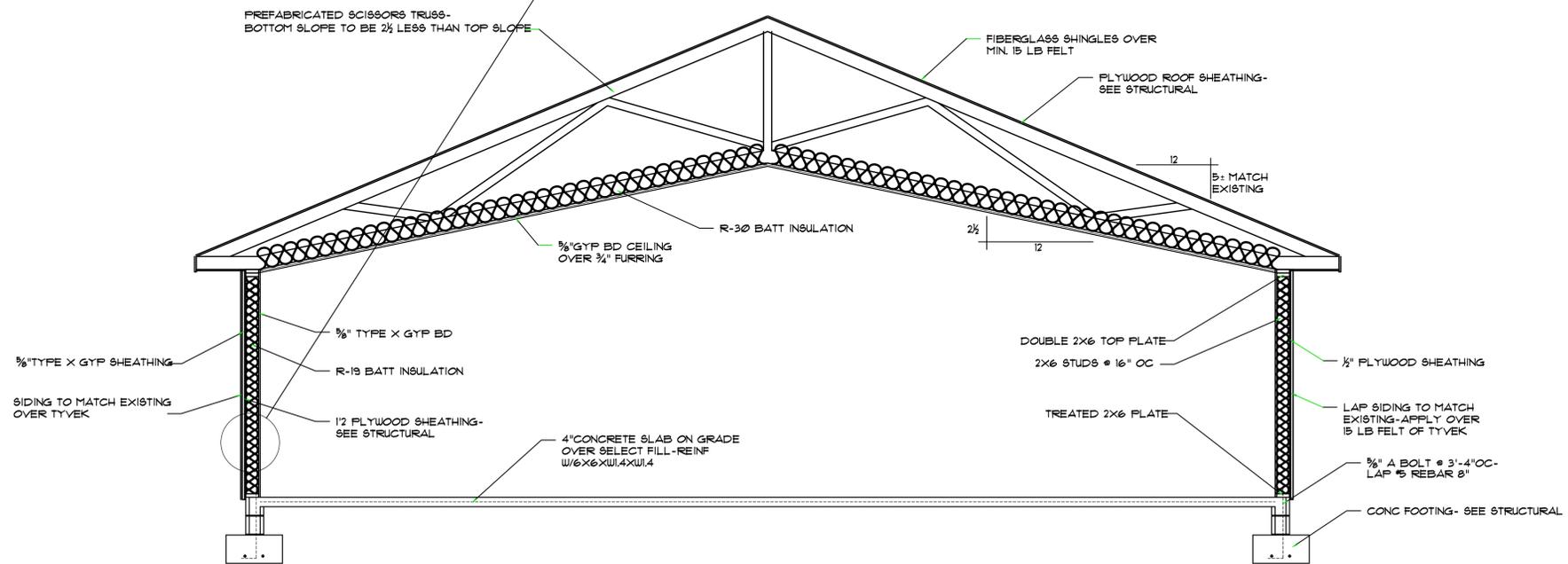
Date 06-25-2012  
 Drawn By GAS/JD  
 Drawing No. **A2.1**

CALCULATED FIRE RESISTANCE  
FROM EXTERIOR FIRE SIDE

CALCULATED FIRE RESISTANCE  
FROM INTERIOR FIRE SIDE



ONE-HOUR RATED EXTERIOR WALL DETAIL



WALL SECTION  
SCALE: 1/2" = 1'-0"

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	GENERAL - BEAUFORT CODE REVIEW	1/2/15

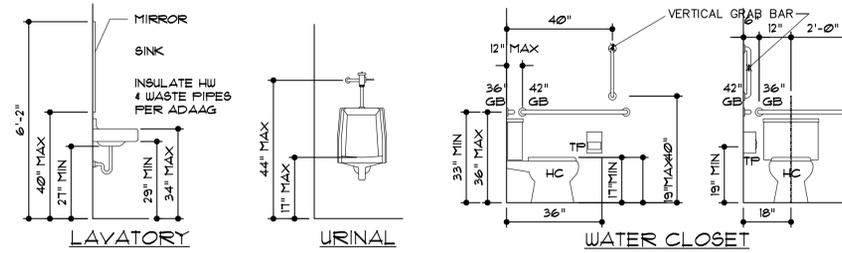
Drawing Status	Date
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	
BIDDING	
CODE APPROVAL	04-21-2015
CONSTRUCTION	

Project Title  
**ADDITION TO:  
 ALLEN FUNERAL HOME**  
 1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

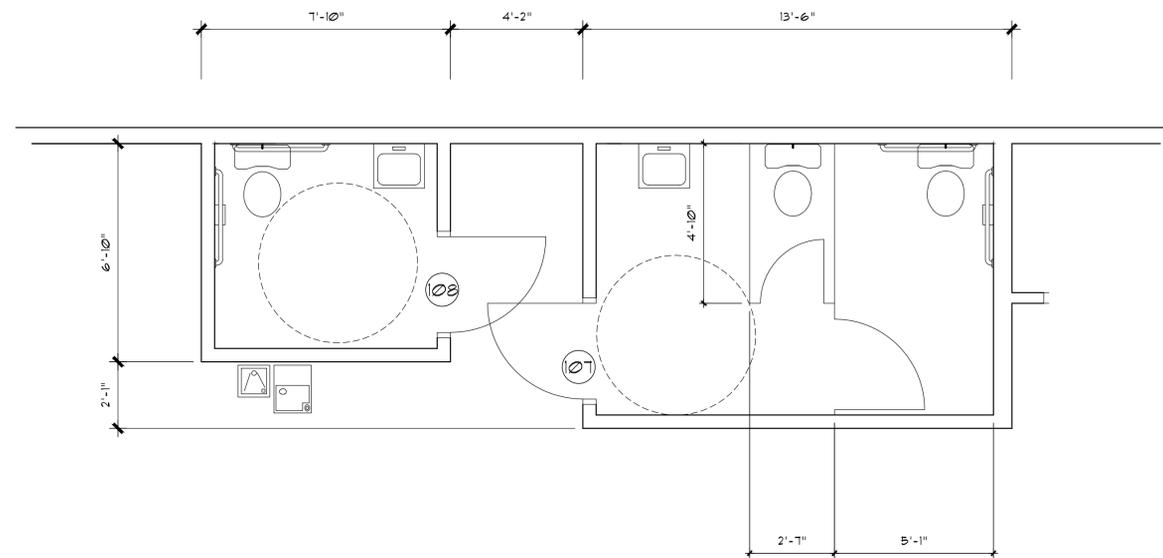
Drawing Title  
**SCHEDULES, DETAILS**

Designer  
**GSS architecture + design**  
 100B Ellis Avenue Lexington SC 29072 803-399-8663

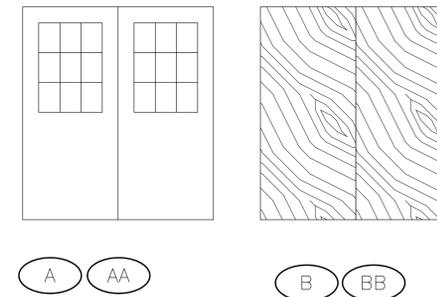
		Date 06-22-2025
		Drawn By GSS
		Drawing No. A3.1



10  
A13 A13  
TYPICAL MOUNTING HEIGHTS & CLEARANCES  
FOR HC RESTROOM FIXTURES & ACCESSORIES  
SCALE: 3/8" = 1'-0"



1  
A4.1  
ENLARGED TOILET PLAN  
SCALE: 3/8" = 1'-0"



NOTE 1 ACTIVE LEAF TO HAVE PANIC HARDWARE; INACTIVE LEAF TO HAVE HEAD AND FOOT BOLT.  
NOTE 2 ALL WINDOWS AND DOORS SHALL BE IMPACT-RESISTANT ACCORDING TO IBC SECTION 1609.1.2

DOOR SCHEDULE											
DOOR NO.	DOOR TYPE	OPENING SIZE	THICK	MATERIAL & FINISH	FRAME			MATERIAL & FINISH	LABEL	HDWE. SET NO.	REMARKS
					TYPE	DETAIL					
					HEAD	JAMB	SILL				
101	AA	6'-0"X7'-0"	1 3/4"	HCM							NOTE 1
102	A	3'-0"X7'-0"	1 3/4"	HCM							PANIC HARDWARE, CLOSER
103	B	3'-0"X7'-0"	1 3/4"	SCW							
104	B	3'-0"X6'-8"	1 3/4"	SCW							
105	BB	6'-0"X7'-0"	1 3/4"	SCW							CLOSERS
106	B	3'-0"X7'-0"	1 3/4"	SCW							
107	B	3'-0"X7'-0"	1 3/4"	SCW							SPRING HINGE
108	B	3'-0"X7'-0"	1 3/4"	SCW							SPRING HINGE
109	AA	6'-0"X7'-0"	1 3/4"	HCM							NOTE 1
110	A	3'-0"X7'-0"	1 3/4"	HCM							PANIC HARDWARE, CLOSER
111	B	3'-0"X7'-0"	1 3/4"	SCW							
112											EXISTING TO REMAIN
113											EXISTING TO REMAIN

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No.	Revisions	Date
	GENERAL - BEAUFORT CODE REVIEW	1/2/15

Drawing Status	Date
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	
BIDDING	
CODE APPROVAL	04-21-2015
CONSTRUCTION	

Project Title  
**ADDITION TO:  
ALLEN FUNERAL HOME**  
1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

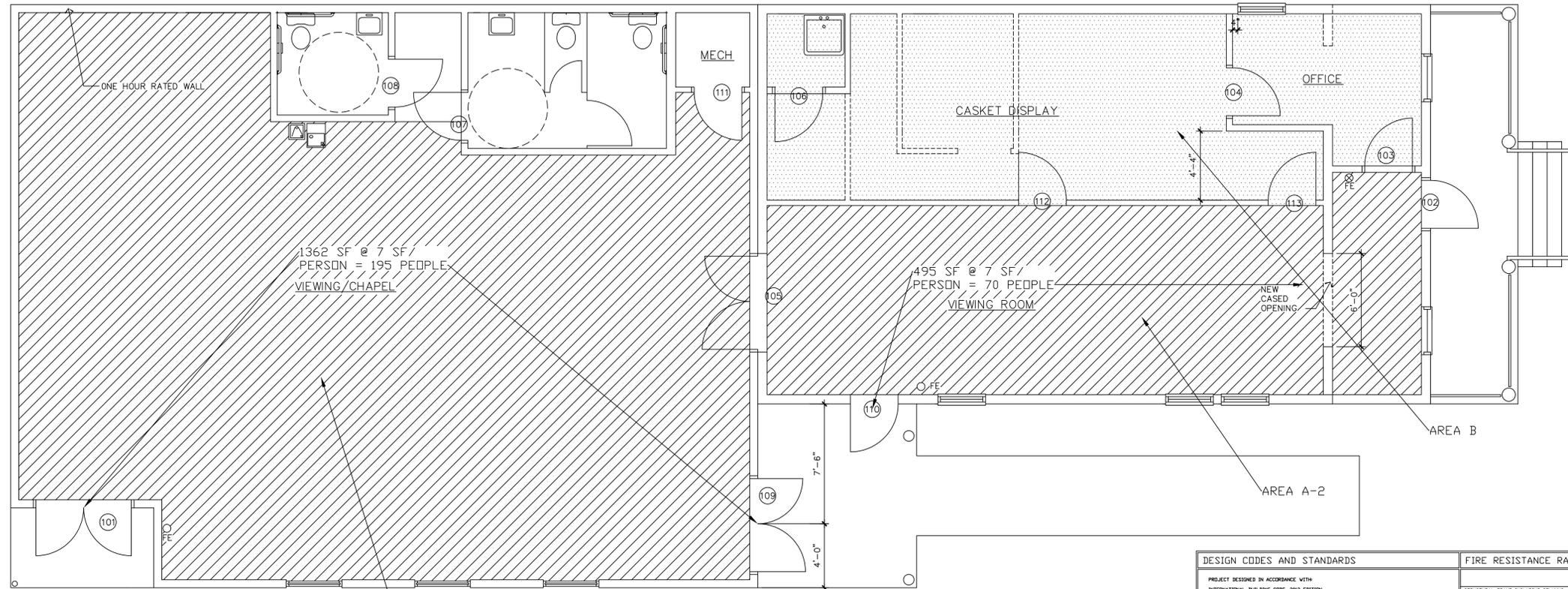
Drawing Title  
**SCHEDULES, DETAILS**

Designer  
**GSS architecture + design**  
100B Ellis Avenue Lexington SC 29072 803-399-8663

Date  
**06-05-2015**

Drawn By  
**GSSD**

Drawing No.  
**A4.1**



PLAN NORTH

1 FIRE SAFETY PLAN  
A4.1 SCALE: 1/4" = 1' - 0"

DESIGN CODES AND STANDARDS		FIRE RESISTANCE RATING OF BUILDING ELEMENTS			
PROJECT DESIGNED IN ACCORDANCE WITH: INTERNATIONAL BUILDING CODE, 2009 EDITION INTERNATIONAL EXISTING BUILDING CODE, 2002 EDITION INTERNATIONAL FIRE CODE, 2003 EDITION INTERNATIONAL MECHANICAL CODE, 2002 EDITION INTERNATIONAL PLUMBING CODE, 2002 EDITION NATIONAL ELECTRICAL CODE, NFPA 70, 2002 EDITION ICC/ANSI-A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES		STRUCTURAL FRAME INCLUDING COLLUMS, BEAMS AND TRUSSES (PER IBC TABLE 601)	RATING AS DESIGNED (ON HOURS)	RATING REQUIRED (ON HOURS)	AGENCY TESTING # (GL, FM, ETC)
BASIC CODE REVIEW INFORMATION		BEARING WALLS - EXTERIOR (PER IBC TABLE 602)	1	1	IBC CALCULATED
1. OCCUPANCY (PER ALL CHAPTERS) 2. OCCUPANCY CLASSIFICATION: A-3 3. TYPE OF CONSTRUCTION (PER ALL CHAPTERS) A. CONSTRUCTION CLASSIFICATION: TYPE V-B CONSTRUCTION B. THE BUILDING CONSTRUCTION PROTECTED OR UNPROTECTED: UNPROTECTED C. THE BUILDING CONSTRUCTION OF COMBUSTIBLE OR NONCOMBUSTIBLE MATERIALS: COMBUSTIBLE *CHECK THE BUILDING HAVE AN AUTOMATIC SPINKLER SYSTEM: NO		BEARING WALLS - INTERIOR (PER IBC TABLE 602)	0	---	---
BUILDING AREA		NONBEARING WALLS & PARTITIONS, EXTERIOR (PER IBC TABLE 602)	0	---	---
OCCUPANCY		NONBEARING WALLS & PARTITIONS, INTERIOR (PER IBC TABLE 602)	0	---	---
TOTAL FLOOR AREA: 2,688 SF		FLOOR CONSTRUCTION	N/A	---	---
TOTAL ALLOWABLE AREA: 6,000		ROOF CONSTRUCTION	0	---	---
BUILDING HEIGHT		FIRE WALLS, PER IBC SECTION 706	N/A	---	---
AS DESIGNED: 20'-0" (1 STORY)		FIRE BARRIERS, PER IBC SECTION 707	N/A	---	---
AS ALLOWED BY IBC (TABLE 502): 50' (2 STORIES)		SMALL ENCLOSURES, PER IBC SECTION 710	N/A	---	---
BUILDING DESIGN OCCUPANT LOAD (PER IBC 1003)		FIRE PARTITIONS, PER IBC SECTION 710	N/A	---	---
TOTAL BUILDING DESIGN OCCUPANT LOAD: 270		OPENING PROTECTION, PER IBC TABLE 706.3	0	---	---
EXITING CAPACITY PROVIDED: 600 PEOPLE		INCREMENTAL USE AREAS (PER IBC SECTION 509.2)	0	---	---
FIRE RATING - EXTERIOR WALLS IBC (T602)		EXIT ACCESS CORR. (PER IBC TABLE 1018.1)	0	---	---
DISTANCE					
LESS THAN 5'		WALLS (N.S.V)	RATING		
5' TO 10'		N	1 HR		
10' TO 30'		---	---		
OVER 30'		E.S.V	0		
		---	---		

EXITS ARE AT DOORS 101, 102, 109, & 110

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No.	Revisions	Date

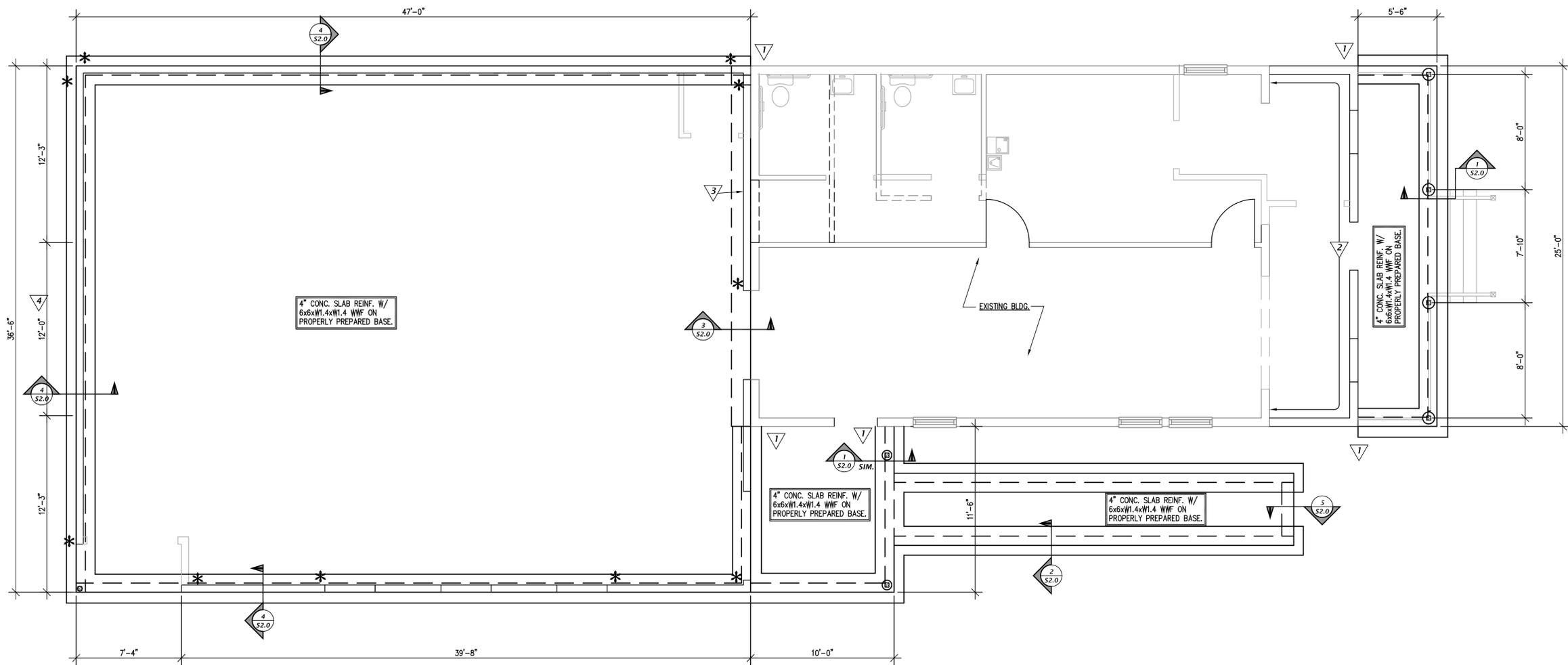
Drawing Status	Date
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	
BIDDING	
CODE APPROVAL	04-27-2015
CONSTRUCTION	

Project Title  
ADDITION TO:  
ALLEN FUNERAL HOME  
1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

Drawing Title  
FLOOR PLAN

Designer  
**GBS** architecture + design  
100B Ellis Avenue Lexington SC 29072 803-399-8663

Date	06-05-2012
Drawn By	GAS/JD
Drawing No.	LS1.1



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NOTES:**

- 1/ - EPOXY NEW FTG. REINF. 6" INTO EXIST. FTG.
- 2/ - NEW 2x6's @ 16" o.c. W/ 5/8" DIA. EPOXY BOLT @ 32" o.c. INTO EXIST. W/ 6" min. EMBED.
- 3/ - INSTALL 1/2" PLYWOOD ON INSIDE FACE OF NEW WOOD STUD WALL.
- 4/ - (2)-2x6's @ 16" o.c. IN MIDDLE 12'-0" OF NEW GABLE END WALL.
- \* - SIMPSON 1/2" HDUS-SDS2.5" ON DBL. STUDS/ INSTALL WITHIN 6" OF END OF WALL.

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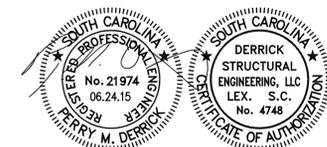
No.	Revisions	Date

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DESIGN DEVELOPMENT	
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BIDDING	
CODE APPROVAL	04-21-2015
CONSTRUCTION	

Project Title  
**ADDITION TO:  
 ALLEN FUNERAL HOME**  
 1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

Drawing Title  
**FOUNDATION PLAN**

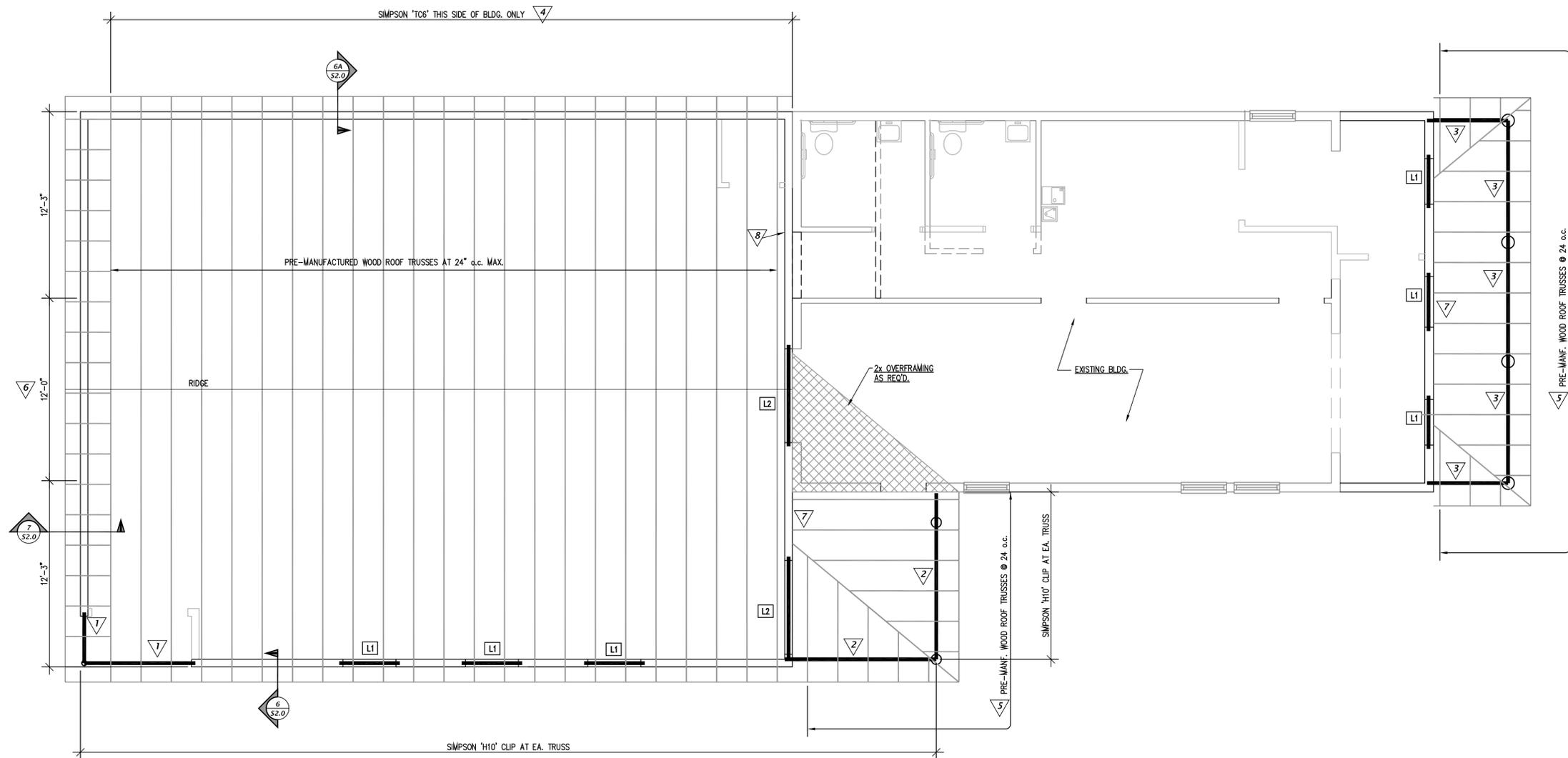
Designer  
**GSS architecture + design**  
 100B Ellis Avenue Lexington SC 29072 803-399-8663



**DSE**

Derrick Structural Engineering, LLC  
 3050 Two Notch Road  
 Lexington, SC 29072  
 803.218.8193  
 perny@derrickstructural.com

Date	06-24-2015
Drawn By	FMD
Drawing No.	S1.0



**SHEET NOTES:**

- ▽1 - (2)-2x12's W/ SIMPSON 'CC' COLUMN CAP. PROVIDE (2)-2x BUNDLED STUDS AT WALL.
- ▽2 - (2)-2x10's W/ SIMPSON 'CC' COLUMN CAP. PROVIDE (2)-2x BUNDLED STUDS AT WALL.
- ▽3 - (2)-2x8's W/ SIMPSON 'CC' COLUMN CAP. PROVIDE (2)-2x BUNDLED STUDS AT WALL.
- ▽4 - INSTALL NAILS INTO CENTER OF SLOTTED HOLES. DO NOT SEAT THESE NAILS INTO TRUSS--ALLOW ROOM UNDER THE NAIL HEAD FOR MOVEMENT OF THE TRUSS WITH RESPECT TO THE WALL. AFTER INSTALLATION OF ALL ROOFING MATERIAL NAILS ARE TO BE FULLY SEATED. THESE WALLS MUST BE BRACED UNTIL ALL FRAMING IS COMPLETE AND NAILS ARE SEATED.
- ▽5 - PROVIDE SIMPSON 'H2.5' CLIP AT EA. ROOF MEMBER. CONTRACTORS OPTION TO USE 2x6 RAFTERS AND 2x4 CEILING JOISTS @ 24" o.c. (W/ DBL MEMBER HIP) IN LIEU OF ROOF TRUSSES
- ▽6 - (2)-2x6's @ 16" o.c. IN MIDDLE 12'-0" OF NEW GABLE END WALL.
- ▽7 - ATTACH ROOF TRUSSES TO NEW WALL W/ SIMPSON 'LSU28' HANGER PROVIDE SOLID BLOCKING AS REQ'D. IN NEW STUD WALL FOR HANGER ATTACHMENT. ATTACH 2x MEMBERS TO NEW WALL W/ SIMPSON 'LRU' RAFTER HANGERS WITH 'SD' SCREWS. PROVIDE SOLID BLOCKING AS REQ'D. IN NEW STUD WALL FOR HANGER ATTACHMENT.
- ▽8 - INSTALL 1/2" PLYWOOD ON INSIDE FACE OF NEW WOOD STUD WALL.

**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

**LINTELS:**

- L1 (3)-2x6's + 1/2" PLYWOOD W/ 3" BRG. EA. END.
- L2 (3)-2x8's + 1/2" PLYWOOD W/ 3" BRG. EA. END.

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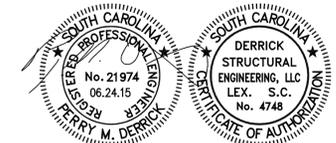
No.	Revisions	Date

Drawing Status	Date
DESIGN DEVELOPMENT	
CONSTRUCTION DOCUMENTS	
BIDDING	
CODE APPROVAL	04-21-2015
CONSTRUCTION	

Project Title  
**ADDITION TO:  
 ALLEN FUNERAL HOME**  
 1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

Drawing Title  
**ROOF FRAMING PLAN**

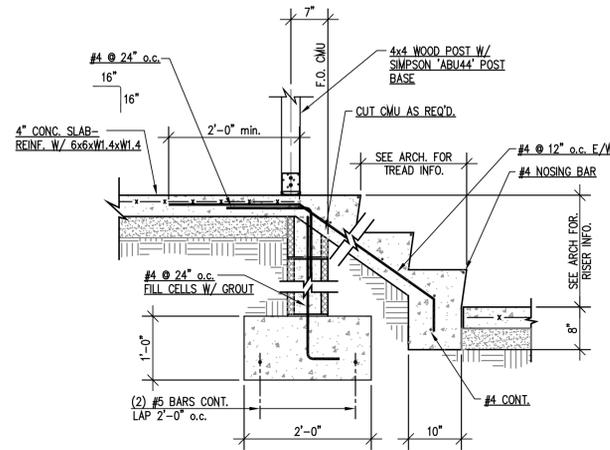
Designer  
**GSS architecture + design**  
 100B Ellis Avenue Lexington SC 29072 803-399-8663



**DSE**

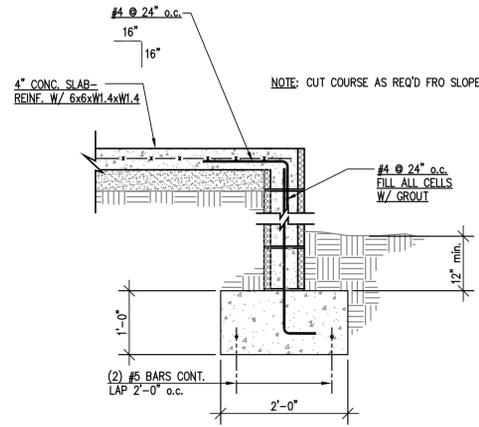
Derrick Structural Engineering, LLC  
 3050 Two Notch Road  
 Lexington, SC 29072  
 803.218.8193  
 perny@derrickstructural.com

Date	06-24-2015
Drawn By	FMD
Drawing No.	S1.1

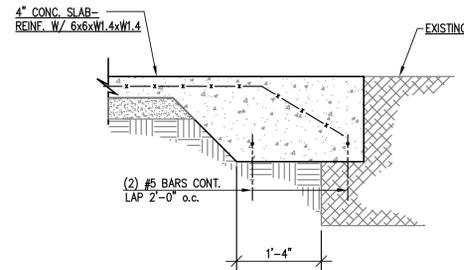


**SECTION 1**  
SCALE: 3/4"=1'-0" S2.0

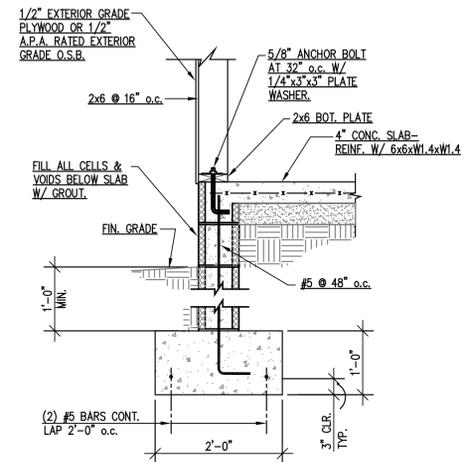
NOTE: SIM. SECTION DOES NOT CONTAIN STEPS.



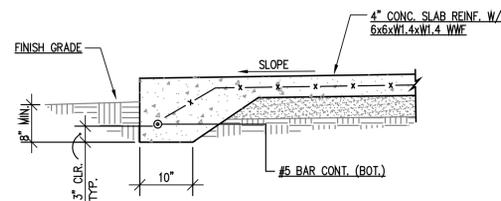
**SECTION 2**  
SCALE: 3/4"=1'-0" S2.0



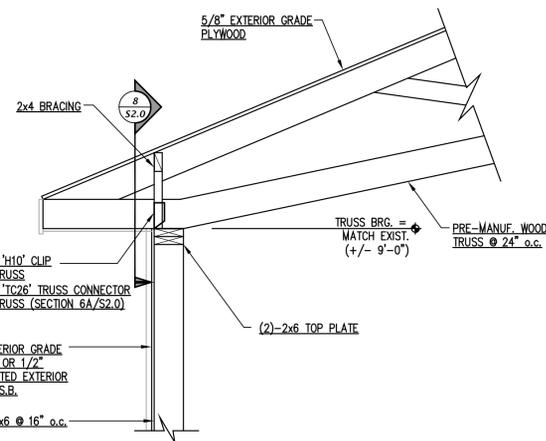
**SECTION 3**  
SCALE: 3/4"=1'-0" S2.0



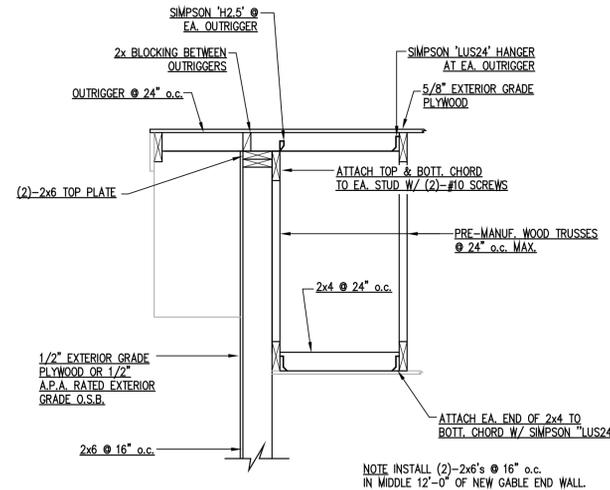
**SECTION 4**  
SCALE: 3/4"=1'-0" S2.0



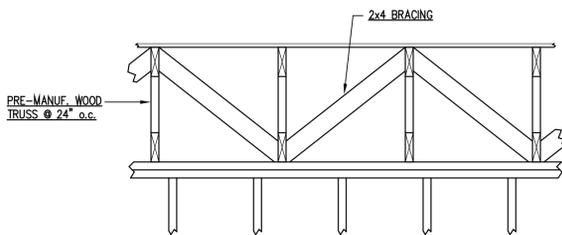
**SECTION 5**  
SCALE: 3/4"=1'-0" S2.0



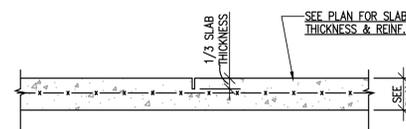
**SECTION 6** 6A  
SCALE: 3/4"=1'-0" S2.0 S2.0



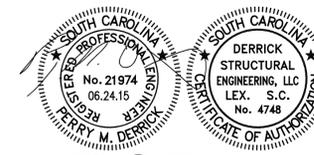
**SECTION 7**  
SCALE: 3/4"=1'-0" S2.0



**SECTION 8**  
SCALE: 3/4"=1'-0" S2.0



TYP. SAW JOINT DETAIL



**DSE**

Derrick Structural Engineering, LLC  
3050 Two Notch Road  
Lexington, SC 29072  
803.218.8193  
perry@derrickstructural.com

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No.	Revisions	Date

Drawing Status	Date
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CODE APPROVAL	04-21-2015
CONSTRUCTION	

Project Title  
ADDITION TO:  
ALLEN FUNERAL HOME  
1508 DUKE ST., BEAUFORT, SOUTH CAROLINA

Drawing Title  
SECTIONS & DETAILS

Designer  
**G&S** architecture + design  
100B Ellis Avenue Lexington SC 29072 803-399-8663

Date	06-24-2015
Drawn By	FMD
Drawing No.	S2.0

STRUCTURAL NOTES:

1. THE ARCHITECTURAL DRAWINGS ARE THE LEAD DRAWINGS FOR THE DIMENSIONING FOR THE PROJECT. CONSTRUCTION AND DETAILING DIMENSIONS SHALL BE TAKEN (OR DERIVED) FROM THE ARCHITECTURAL DRAWINGS.

2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL THE DESIGN AND ERECTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE STRUCTURAL SYSTEM AND STRUCTURAL COMPONENTS DURING ALL PHASES OF CONSTRUCTION. MEANS AND METHODS ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGN PROFESSIONALS DO NOT CONTROL THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, PROCEDURES AND/OR QUALITY CONTROL IN PERFORMING THE WORK. SITE SAFETY OR SAFETY PROGRAMS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

GEOTECHNICAL:

1. A GEOTECHNICAL ENGINEER AND/OR TESTING LABORATORY SHALL BE RETAINED TO ASSURE ADEQUATE SOIL SUPPORT FOR FOUNDATION AND SLABS-ON-GRADE. THIS DESIGN IS BASED UPON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.

2. ALL FOOTINGS SHALL BE BELOW FROST DEPTH AND DOWN TO SOLID BEARING MATERIAL REGARDLESS OF ELEVATIONS SHOWN. SEE GEOTECHNICAL REQUIREMENTS BY GEOTECHNICAL ENGINEER AS NEEDED FOR PROPER COMPACTION AND PREPARATION OF SOILS.

3. TOP OF FOOTINGS SHALL BE A MINIMUM OF 8" BELOW FINISHED GRADE.

CONCRETE:

1. CONCRETE AND REINFORCING SHALL BE INSTALLED ACCORDING TO THE LATEST EDITION OF ACI-318.

2. REINFORCEMENT SHALL BE HELD IN PLACE DURING CONCRETE PLACEMENT. IF REQUIRED, ADDITIONAL REINFORCEMENT MAY BE PROVIDED BY THE CONTRACTOR TO ENSURE PROPER REINFORCEMENT PLACEMENT.

3. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS (AS A MINIMUM):

FOOTINGS	3000 PSI
SLABS ON GRADE	3000 PSI

CALCIUM CHLORIDE SHALL NOT BE USED IN ANY CONCRETE MIX.

4. THE CONTRACTOR SHALL FOLLOW RECOMMENDATIONS BY AMERICAN CONCRETE INSTITUTE FOR COLD OR HOT WEATHER CONSTRUCTION.

5. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE ABOVE THAT PRESCRIBED IN THE MIX DESIGN.

6. REINFORCING SHALL BE GRADE 60. REINFORCING SHALL BE LAPPED AS A MINIMUM IN ACCORDANCE W/ ACI-318.

7. WELDED WIRE FABRIC SHALL BE LAPPED A 12".

8. CONCRETE SLAB-ON-GRADE SAW JOINTS SHALL BE INSTALLED AT 8 TO 12 FEET ON CENTER IN EACH DIRECTION.

WOOD/LUMBER:

1. ALL WOOD FRAMING MEMBERS INCLUDING TOP AND BOTTOM WALL PLATES SHALL BE SOUTHERN YELLOW PINE EXCEPT WALL STUDS. WALL STUDS SHALL BE SPRUCE PINE FIR (SPF) #2 OR BETTER.

2. ALL EXTERIOR WALLS AND SHEARWALLS SHALL BE SHEATHED WITH 1/2" EXTERIOR GRADE PLYWOOD (OR 1/2" APA RATED OSB). ALL SEAMS SHALL BE BLOCKED. PLYWOOD IS TO BE GLUED AND NAILED TO ALL STUDS, TOP & BOTTOM PLATES, SILL PLATES, AND BLOCKING. PLYWOOD SHALL BE ATTACHED WITH 8d NAILS @ 4" ON CENTER AT SHEATHING EDGES AND 12" ON CENTER AT ALL INTERMEDIATE LOCATIONS.

3. ALL ROOFING SHALL BE 5/8" EXTERIOR GRADE PLYWOOD. ALL SEAMS SHALL BE BLOCKED. PLYWOOD ROOF DECKING SHALL BE ATTACHED WITH 8d NAILS @ 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT ALL INTERMEDIATE LOCATIONS.

4. BUILT-UP WOOD BEAMS AND LINTELS SHALL BE GLUED AND NAILED TOGETHER.

5. ALL WOOD MEMBERS SUBJECT TO MOIST CONDITIONS SHALL BE TREATED.

PRE-MANUFACTURED WOOD COMPONENTS:

1. THE BASIC INSTALLATION OF THE TEMPORARY BRACING FOR TRUSSES SPACED UP TO 24 INCHES ON CENTER MAY BE INSTALLED USING HIB-91 "HANDLING, INSTALLING AND BRACING" BY THE TRUSS PLATE INSTITUTE. THE CONSTRUCTION DOCUMENTS INDICATE ROOF SHEATHING WHICH MAY BE CONSIDERED BY THE TRUSS SUPPLIER FOR PROVIDING PERMANENT BRACING FOR THE APPLICABLE CHORDS OF THE WOOD TRUSSES.

2. ROOF TRUSSES TO BE DESIGNED FOR A MINIMUM OF:

- WIND SPEED PER 2012 INTERNATIONAL BUILDING CODE (PRESSURE AND SUCTION)

- TOP CHORD

DEAD LOAD = ACTUAL LOADS  
LIVE LOAD = 20 PSF

- BOTTOM CHORD

DEAD LOAD = ACTUAL LOADS  
LIVE LOAD = 0 PSF (EXCEPT ATTIC AREAS)  
LIVE LOAD = 30 PSF (ATTIC AREAS)

3. THE WOOD TRUSS DESIGNER SHALL MAKE ALLOWANCES/PROVISIONS FOR MECHANICAL UNITS, DUCTS, PLATFORMS FOR SERVICING UNITS, AND THE NECESSARY WALKWAYS AND CLEARANCES PER THE APPLICABLE CODE(S) OR MECHANICAL EQUIPMENT SUPPLIER (WHICHEVER IS MORE STRINGENT).

STRUCTURAL LOADS:

1. STRUCTURAL DESIGN BASED ON 2012 INTERNATIONAL BUILDING CODE.

2. DEAD LOADS: ACTUAL LOAD OF MATERIAL.

3. LIVE LOADS: ASSEMBLY = 100 PSF  
ROOF = 20 PSF

4. SNOW LOAD: GROUND = 10 PSF  
FLAT-ROOF = 10 PSF

5. WIND LOAD: ULTIMATE DESIGN WIND SPEED (V<sub>ult</sub>) = 140 MPH (FIG. 1609A)  
WIND IMPORTANCE FACTOR = 1.0  
WIND EXPOSURE = C

INTERNAL PRESSURE COEFFICIENT = 0.18  
COMPONENT & CLADDING WIND PRESSURES (DP RATING):  
ROOF ZONE 1: PRESSURE = 30 PSF  
SUCTION = -46 PSF  
ROOF ZONE 2: PRESSURE = 30 PSF  
SUCTION = -54 PSF  
ROOF ZONE 3: PRESSURE = 30 PSF  
SUCTION = -85 PSF  
WALL ZONE 4: PRESSURE = 38 PSF  
SUCTION = -42 PSF  
WALL ZONE 5: PRESSURE = 38 PSF  
SUCTION = -50 PSF

6. SEISMIC LOAD: SEISMIC IMPORTANCE FACTOR = 1.0  
OCCUPANCY CATEGORY = II  
S<sub>s</sub> = 0.54 S<sub>1</sub> = 0.18  
S<sub>ds</sub> = 0.50 S<sub>d1</sub> = 0.25  
SEISMIC DESIGN CATEGORY = D  
BASIC SEISMIC FORCE RESISTING SYSTEM =  
LIGHT-FRAMED WOOD SHEATHED WALLS  
C<sub>s</sub> = 0.06  
R = 6.5  
ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE  
DSIGN BASE SHEAR = 12 KIPS

NOTE: ALL WINDOWS AND DOORS SHALL BE IMPACT-RESISTANT ACCORDING TO IBC SECTION 1609.1.2.



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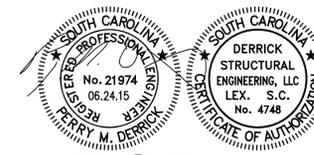
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 STRUCTURAL NOTES

Designer  
**GSS** architecture + design  
 100B Ellis Avenue Lexington SC 29072 803-399-8663



**DSE**

Derrick Structural Engineering, LLC  
 3050 Two Notch Road  
 Lexington, SC 29072  
 803.218.8193  
 perry@derrickstructural.com

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