

City of Beaufort Department of Planning and Community Development
Post Office Drawer 1167
1911 Boundary Street
Beaufort, South Carolina 29902
Phone (843) 525-7011 / Fax (843) 986-5606
Website: www.cityofbeaufort.org

See back of application for fees

CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised – 07/15/2011)

Application #: _____	Date Received: _____	Zoning District: _____
-----------------------------	-----------------------------	-------------------------------

Property Address: _____

Applicant: _____ Phone: _____

Applicant's Address: _____

Beaufort County 1997 Historic Sites Survey listing: _____

Property Owner: _____ Phone: _____

Owner's Address: _____

Architect: _____ Phone: _____

Architect's Address: _____

- REQUEST FOR:**
- | | |
|--|---|
| <input type="checkbox"/> Conceptual Review | <input type="checkbox"/> Preliminary Review |
| <input type="checkbox"/> Final Approval | <input type="checkbox"/> Change After Certification |

NATURE OF WORK: (Check All That Apply)

- | | |
|---|---|
| <input type="checkbox"/> Color changes | <input type="checkbox"/> Alterations, Additions |
| <input type="checkbox"/> Signage, Awnings | <input type="checkbox"/> New Construction |
| <input type="checkbox"/> Legal Plat | <input type="checkbox"/> Minor/Major Demolition or Relocation |
| <input type="checkbox"/> Other: _____ | |

DRAWINGS/MATERIALS ACCOMPANYING APPLICATION: (Refer to Appropriate Checklists for Requirements)

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> Photographs | <input type="checkbox"/> Floor/Roof Plans | <input type="checkbox"/> Color Sample | <input type="checkbox"/> Elevation Drawings |
| <input type="checkbox"/> Site Plan/Plat | <input type="checkbox"/> Detail Drawing | <input type="checkbox"/> Material Sample | <input type="checkbox"/> Model |

EXPLANATION AND DESCRIPTION OF WORK:

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? ___ Yes ___ No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the *Beaufort Preservation Manual and Supplement*, or the *Northwest Quadrant Design Principles* (refer to www.cityofbeaufort.org) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. **Submittal Requirements: 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date.** If the applicant or a representative is not present at the meeting, the application will not be reviewed.

OWNER'S SIGNATURE: _____ DATE: _____

APPLICANT'S SIGNATURE: _____ DATE: _____

CITY OF BEAUFORT
Historic District Review Board
Full Board
Staff Report
Meeting of August 12, 2015

Case Number: HR15-23
Property Address: 214 New Street
Applicant: Augustus Oemler & Deborah Warren
Type of Request: Alterations & Additions – Conceptual
Zoning: TBR - The Point

Historical: 214 New Street, a.k.a. the Hepworth-Pringle House is one of the oldest houses in Beaufort, c. 1760. It is listed as contributing on the 1997 Above Ground Historic Sites Survey. There have been a couple alterations including pre-1900 porch and two-story addition, 1950s porch infill.

Request: **The applicant would like Conceptual Approval for alterations and addition to this structure. The work includes:**

- **Modifying a 1950s-infilled porch into a hyphen**
- **Adding windows back into the other 1950s-infilled porch**
- **Adding a 650 SF addition to the west side**

Background: This project has not previously appeared before the HRB.

Zoning: TBR – The Point

- Setbacks –
 - Front: prevailing
 - Side: 10’
 - Rear: 15’ TBR
 - Side & Rear for Accessory Buildings (Historic District): 5’
- Maximum Height: 35’
- Impervious Surface Coverage, Max: 55% TBR

The existing structure sits very close to the property line along New Street. This setback may be extended, but a new building cannot encroach further into the setback.

Size: The existing structure has a 1,430 SF footprint, with 980 SF on the upper floor, for a total of 2,410 SF. A 650 SF addition is proposed to be added to the western side.

Synopsis of Applicable Guidelines:

- Secretary of the Interior Standards #9&10 discuss new additions to historic structures.
- The Preservation Manual Supplement, p. 17-19 discusses additions to historic buildings. The following items to be considered: Scale, Elevation of First Floor, Floor-to-floor heights, Bays, windows and doors, Absolute size, Massing, Orientation, Proportions (Volumes and Openings), Materials, Forms and Siting.
- With regards to scale, p. 17 states “An addition should be smaller than the original building.” With regards to massing, it states that massing should “complement but not

necessarily be the same as the original building.”

Staff Questions, Comments & Suggestions:

- This project is coming for conceptual review, so the size, mass, scale and disposition of the building is what is being reviewed.
- The general size, mass and disposition of this project are appropriate and in conformance with the standards listed above.
- Staff appreciates the effort to bring the two unsympathetically infilled porches back to more open structures, which are closer to the way they originally functioned as porches.
- Are there any trees proposed to be removed as part of this project? That will need to be documented in the next submission.
- Have you considered making the 5’ porch off the master bedroom wider, so it’s more functional? Consider a minimum of 8’ if possible, as this is not only more function, but also more in keeping with the nature of this original structure and historic additions.
- In that same area, the curved steps don’t seem to be in keeping with the orthogonal nature of the house, nor the axial nature of the landscaping plan. Consider a different design for these.
- This is more specific than conceptual, but all new windows should have similar lite patterns and proportions as the existing house. For instance the windows proposed in the south elevation on the existing building show a 12/12 pattern, while the ones adjacent are 9/9. Consistency on this and other building elements is required.

Staff Recommendation: Staff recommends conceptual approval of this project as submitted, with consideration given to modifying the rear porch and steps as described above.

MONTGOMERY
ARCHITECTURE &
PLANNING, INC.

July 27, 2015

Augustus Omeler & Deborah Warren

214 New Street

NARRATIVE

Renovation of 214 New Street including the conversion of west appendage to a hyphen connecting a new 570 sf Master Bedroom wing and associated southern porches.

There have been numerous generations of additions and modifications to this 18th century structure (as noted in Carl Lounsbury, Colonial Williamsburg Architect's study) over it's life. Modifications to the exterior of the original structure are limited to work done in the 1950's: a) conversion of existing "modern" bathrooms into the hyphen noted above; and b) new fenestration which mimics the second generation porch configuration (Reference attached HABS photo – South Elevation) in the Southwest room, South wall and West wall.

Existing building is 1,430 sf on the main floor and 980 sf on the second floor on proposed addition totals 650 sf.

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

INTENSIVE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 868
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Intensive Level-Building

Historic name(s): _____ Map Ref.: BFT 09 (BR) Tax Number: R120 004 000 0958 0000
Common name(s): Hepworth-Pringle House City Block Ref.: 38 .02 Island: Port Royal Is.
Address/location: 214 New St. City/Vicinity of (vic.): Beaufort
Date: 1760 ca. Alteration date: not known
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: single dwelling

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey:

- H.A.B.S.
- Feiss-Wright (1969)
- Historic Resources of the Lowcountry (1979)
- Milner Historic District Inventory (1979)
- A Guide to Historic Beaufort (1995 ed.)

Reference:
 Other SC-016
038 - 958
38 BU 1036
038 (958) -1

Notes:
Hepworth, Thomas, House
1 Outstanding 13
The Point
Vol. 14; full form

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 7.22.97

Recorder: C. Brooker, Brooker Arch. Cons.

Roll # Neg. View of:
B-11 21 E facade & S elev., fac. NW
B-11 22 E facade & N elev., fac. SW

Style: English Colonial Commercial Form:

Core Shape: rectangular Stories: 1.5 stories Construction: frame
 Roof: Shape: gable (lateral) Material: composition shingle

Chimney: Type: interior Material: brick

Exterior Walls: beaded weatherboard

Windows: single Type: Pane 6/6
 Config.:

Doors: single Foundation: brick
 stuccoed masonry

Porch Height: 1 story Porch Width: over 1 bay, less than full Porch Roof Shape: shed
 Porch Details: columns Decorative
 slat balusters Elements:

Outbuildings: none visible Interior early woodwork
 Features:

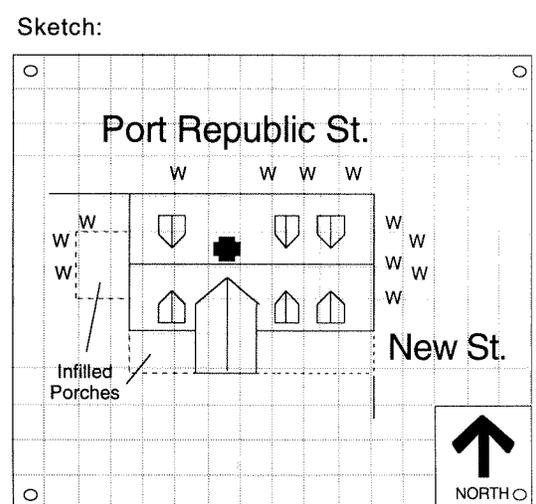
Number of Related Resources:

Surroundings: residential/commercial Acreage: less than 1 acre Quadrangle: Beaufort

Alterations: Alteration date: not known Integrity: good Condition: good
 pre-1884, 2-story stair tower added to S elev.; btwn. 1884 & 1999, extended 1 bay to the east; porch @ S elev. to W of stair infilled in recent years, as was porch at W elev.; S porch stair & brick wall shown in ca. 1940 photo

Description: 1 1/2 story frame dwelling on masonry piers; typical mid-18th. century form having lateral gable roof, clustered brick chimney stack and garret accommodation lighted by end gable windows and dormer windows (facing north and south). Main (S) facade altered, now includes 1 story porch with slender Tuscan column supports and 2 story "L" projecting south (these alterations were in place by the late 1800s).

Historical Data: Construction attributed to Thomas Hepworth in 1720 but this date probably far too early, construction, or reconstruction c. 1760 being more likely on stylistic grounds. According to the 1968 Feiss-Wright survey: "Chief Justice of Charleston, Thomas Hepworth, was granted this lot in 1717, with the stipulation that a house be built thereon within five years....The sequence of ownership is as follows: Hepworth to Burton, to Barnwell to Deceaux, then to John Johnson to William Johnson to Zealy to Waterhouse, passing to Richard Bray an heir and was purchased by Kathryn and Somers Pringle in 1952. Restoration (it was vacant for four or five years) made no changes in the roof line or exterior contours." The source for this information is not cited. Tales of "long piercings in the tabby foundation" cut "to hold muskets" (HBF Guidebook) are pure fantasy, the so called piercings being slots for ventilation



Site Number: U - 13 - 868

Informant/ Bibliography: Historic Resources of the Low Country 1979 where designated 38BU1036. See also WPA Guide to Early American Homes. Historic Beaufort Foundation historic sites survey files (HABS photos & drawings).

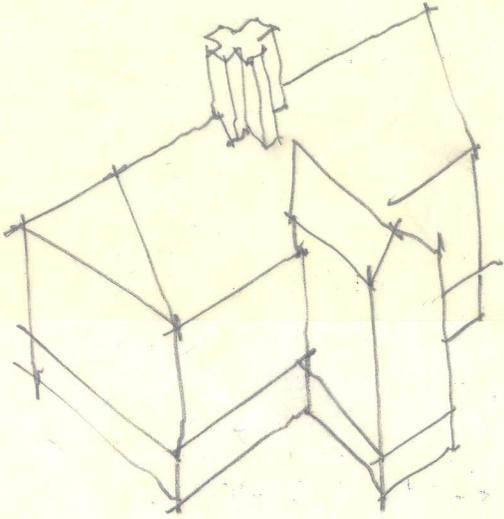


MONTGOMERY
ARCHITECTURE &
PLANNING, INC.

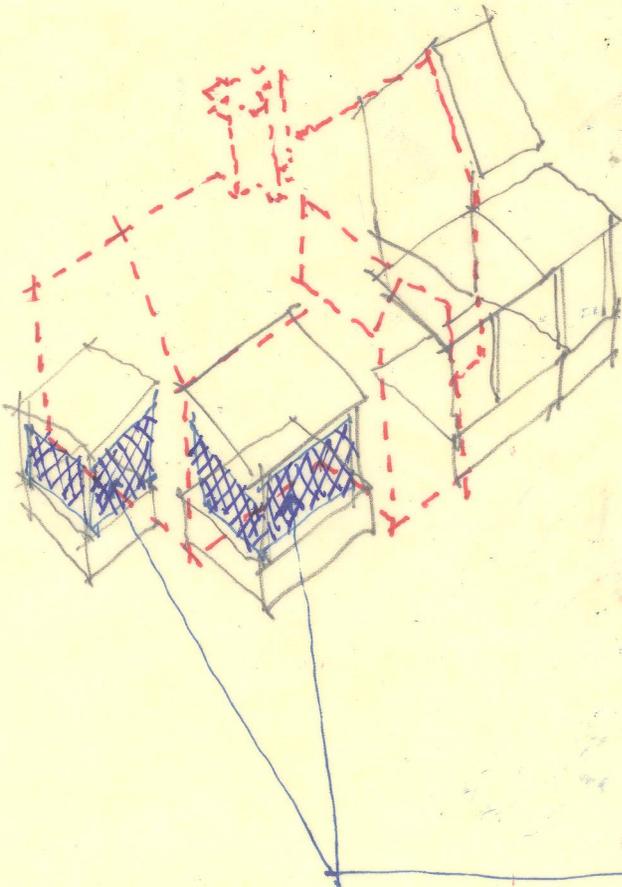
www.monarchpl.com

HABS Photo - South Elevation

214 New Street



1717 - 1741



porches 1880's
(ALTHOUGH COULD BE 1825)

WEST & SOUTH-WEST
ENCLOSED 1950's porch



East Elevation



North Elevation

MONTGOMERY
ARCHITECTURE &
PLANNING, INC.

www.monarchpl.com

214 New Street



West Elevation - Northern View



West Elevation - Southern View

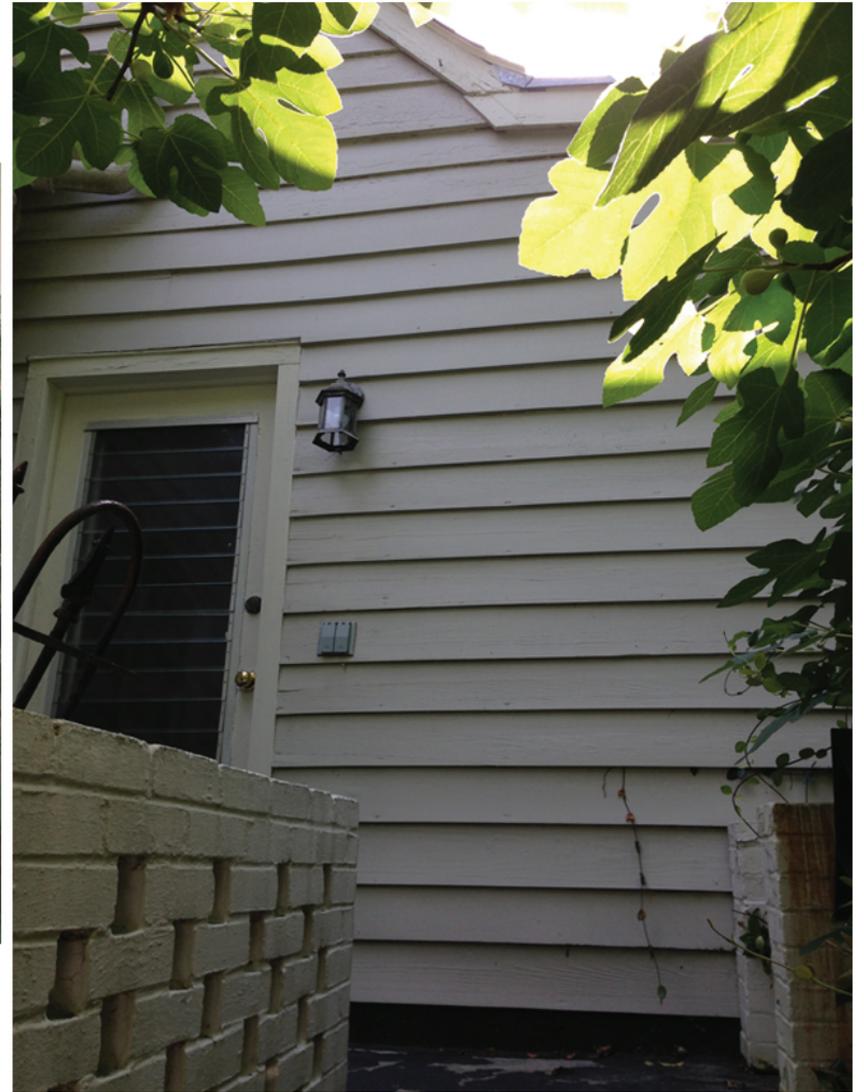
MONTGOMERY
ARCHITECTURE &
PLANNING, INC.

www.monarchpl.com

214 New Street



Southern Steps



Contemporary Materials

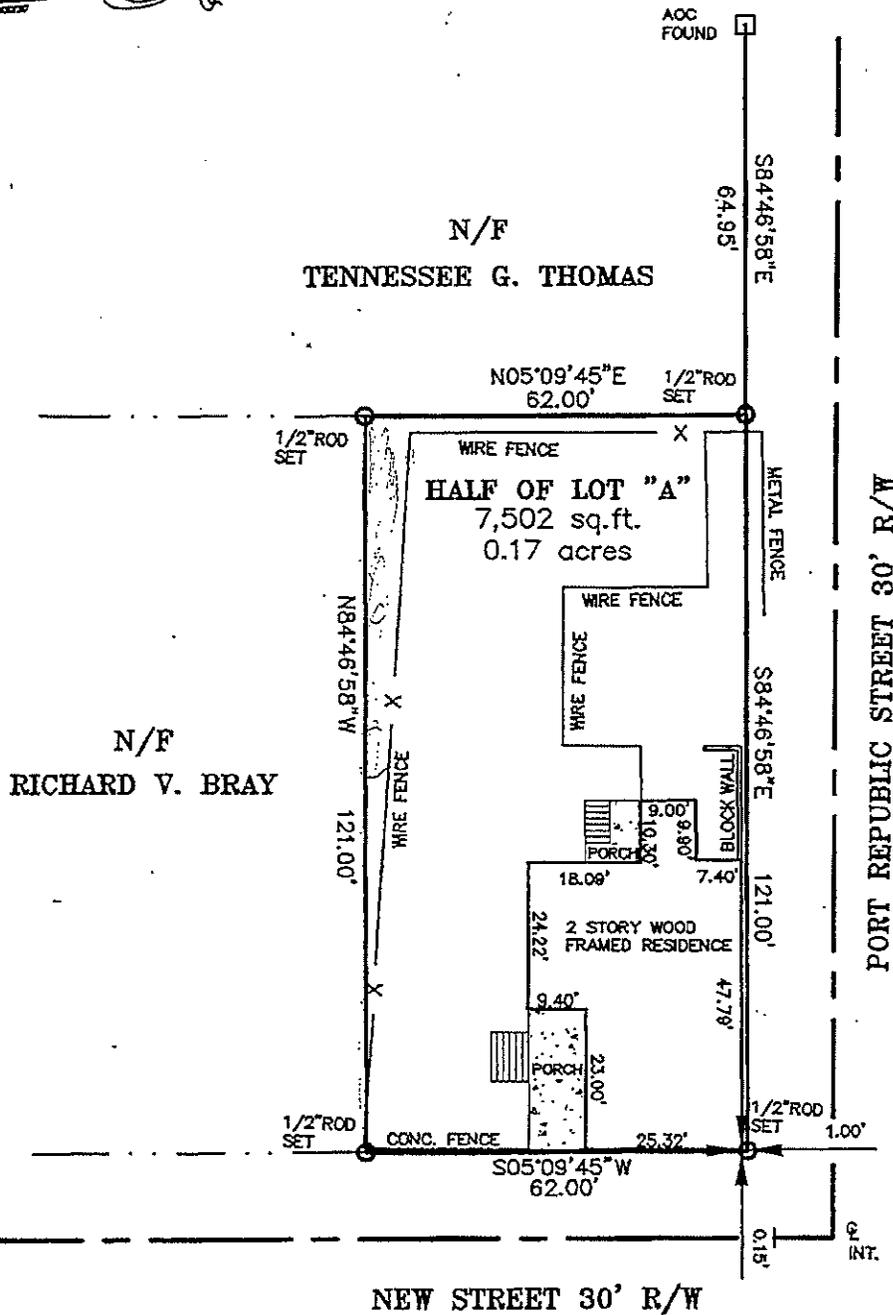
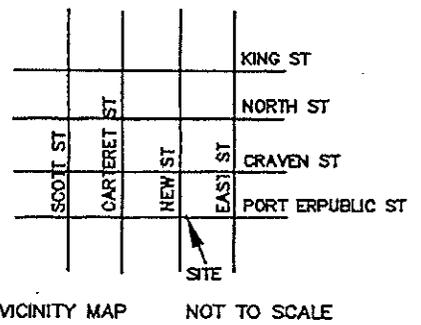
MONTGOMERY
ARCHITECTURE &
PLANNING, INC.

www.monarchpl.com

214 New Street

GASQUE & ASSOCIATES INC.
LAND SURVEYORS & PLANNERS

703 BLADEN STREET, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 PHONE (843) 522-1798



ASBUILT SURVEY PREPARED FOR

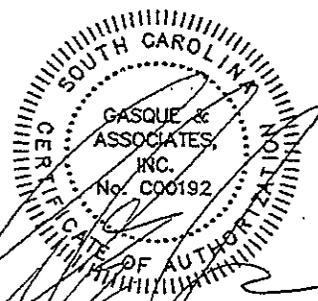
WILLIAM McINTOSH III & SUZANNE McINTOSH

BEING THE NORTHERN HALF OF LOT "A" BLOCK "B" AS SHOWN ON A PLAT OR MAP OF THE TOWN OF BEAUFORT AS PER UNITED STATES DIRECT TAX COMMISSIONERS LOCATED IN THE CITY OF BEAUFORT, BEAUFORT COUNTY S.C. BEAUFORT TAX MAP 120-004-0958

THIS PROPERTY LIES IN FLOOD ZONE A-11 EL. 13.00 AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450025 0005 D. DATED 09/29/86 (INDEX DATE 11/04/92)

THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY SHOWN HEREON COMPLIES WITH THE BEAUFORT COUNTY DEVELOPMENT STANDARDS ORDINANCE

I, DAVID E. GASQUE, HEREBY CERTIFY TO WILLIAM McINTOSH III & SUZANNE McINTOSH THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL AREA DETERMINED BY COORDINATE METHOD.



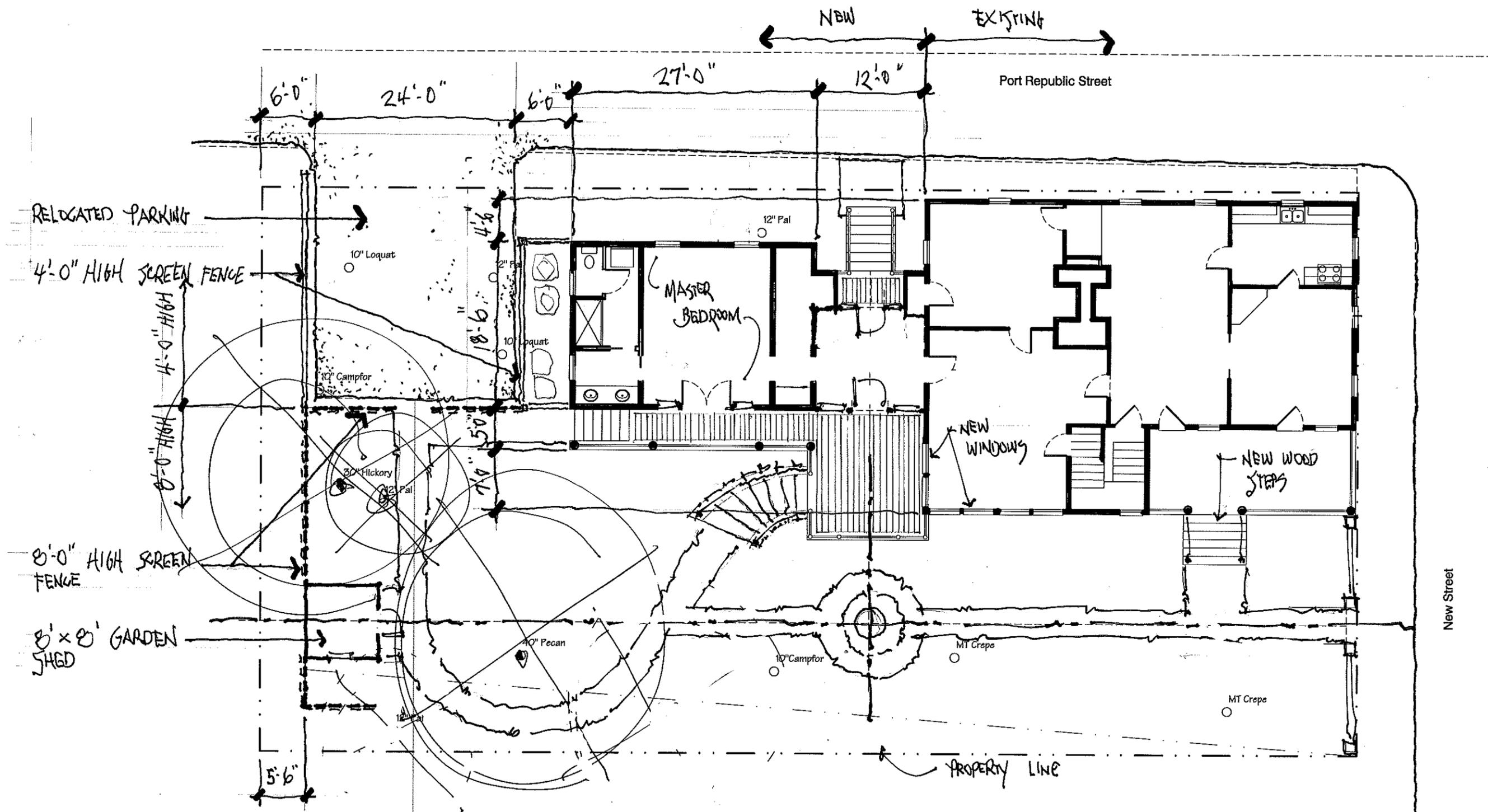
30 15 0 30 60 90

SCALE 1"=30'

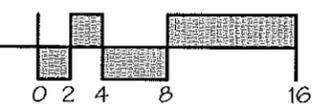
SCALE IN FEET

DATE 01/06/99

DAVID E. GASQUE, R.L.S. JOB# 13376 FB#301
 S.C. REGISTRATION NUMBER 10506 DES# 3 S.D.



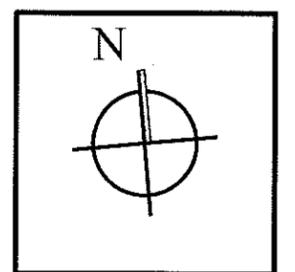
Site & Building Plan



MONTGOMERY
ARCHITECTURE &
PLANNING, INC.

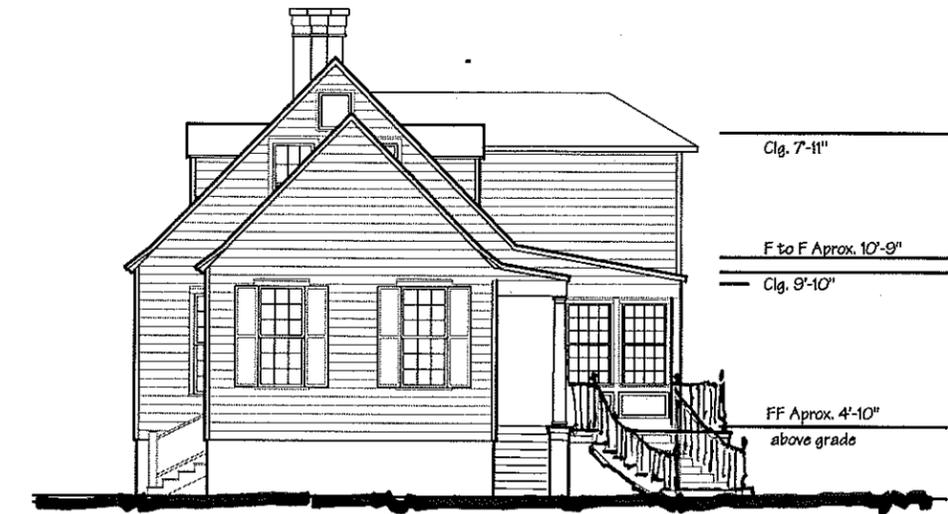
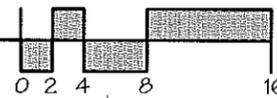
7-27-15
www.monarchpl.com

Oemler Residence
214 New Street
Proposed Plan

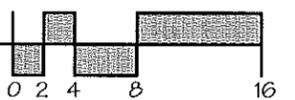




North Elevation



West Elevation Profile

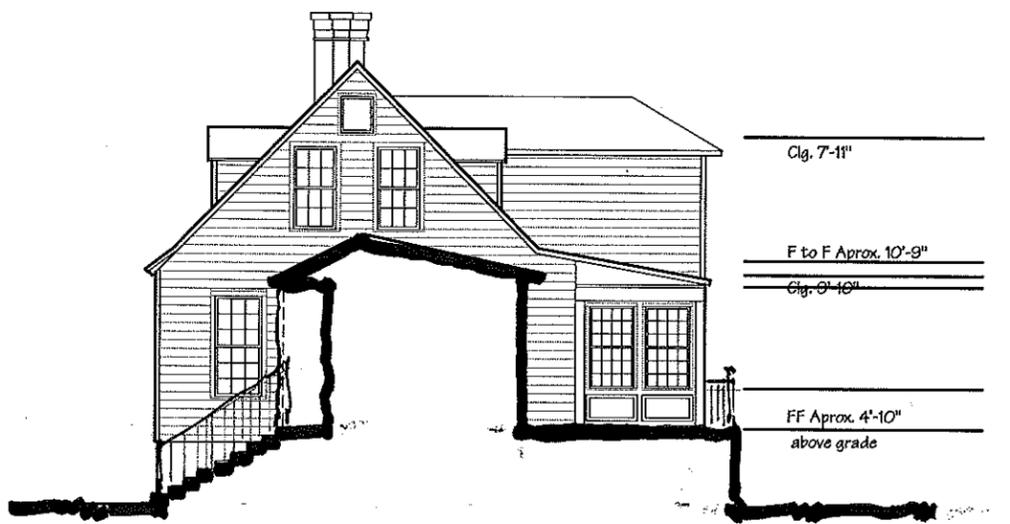


Clg. 7'-11"

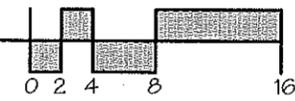
F to F Approx. 10'-9"

Clg. 9'-10"

FF Approx. 4'-10" above grade



West Elevation @ Hyphen

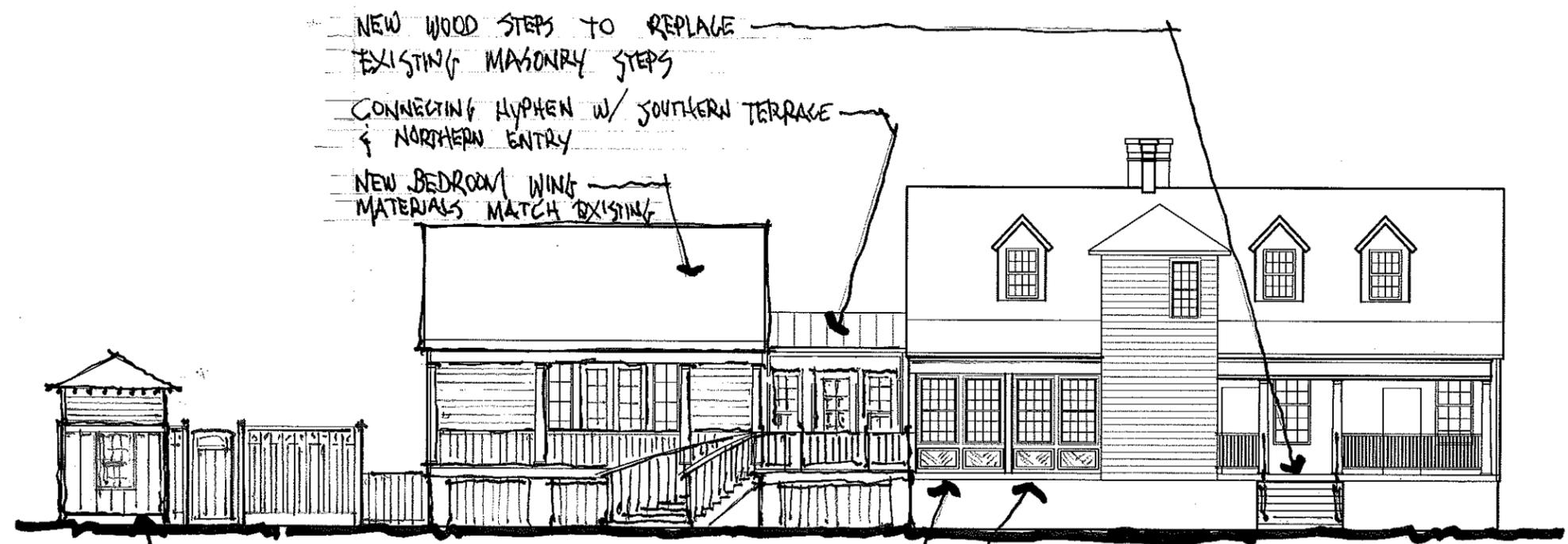


Clg. 7'-11"

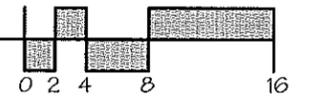
F to F Approx. 10'-9"

Clg. 9'-10"

FF Approx. 4'-10" above grade



South Elevation



NEW WOOD STEPS TO REPLACE EXISTING MASONRY STEPS

CONNECTING HYPHEN W/ SOUTHERN TERRACE & NORTHERN ENTRY

NEW BEDROOM WING MATERIALS MATCH EXISTING

NEW GARDEN SHED W/ INTEGRAL 8' WOOD FENCE

NEW DOUBLE HUNG WINDOWS IN EXISTING BUILDING

MONTGOMERY ARCHITECTURE & PLANNING, INC.

7-27-15

www.monarchpl.com

Oemler Residence
214 New Street
Proposed Elevations