

City of Beaufort Department of Planning and Community Development

Post Office Drawer 1167

1911 Boundary Street

Beaufort, South Carolina 29902

Phone (843) 525-7011 / Fax (843) 986-5606

Website: www.cityofbeaufort.org

See back of application for fees

App # 11551

PAID 7/27/15

CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised - 07/15/2011)

Application #: HRIS-24 Date Received: 7-27-15 Zoning District: CC

Property Address: 209 West Street, Beaufort, South Carolina 29902 R120-004000-0923000

Applicant: Beaufort Design Build Phone: 843.321.8277

Applicant's Address: 73 Sea Island Parkway, Suite 30, Beaufort, SC. 29907

Beaufort County 1997 Historic Sites Survey listing: N/A

Property Owner: West Street Farms / Graham Trask Phone: 845.706.2991

Owner's Address: 68 Fiddlers Bridge Road, Staatsburg, NY. 12580

Architect: Beaufort Design Build, LLC. Phone: 843.321.8277

Architect's Address: 73 Sea Island Parkway, Suite 30, Beaufort, SC. 29907

REQUEST FOR: [X] Conceptual Review [] Preliminary Review [] Final Approval [] Change After Certification

NATURE OF WORK: (Check All That Apply)

- [X] Color changes [X] Alterations, Additions
[X] Signage, Awnings [X] New Construction
[X] Legal Plat [X] Minor/Major Demolition or Relocation
[X] Other:

DRAWINGS/MATERIALS ACCOMPANYING APPLICATION: (Refer to Appropriate Checklists for Requirements)

- [X] Photographs [X] Floor/Roof Plans [X] Color Sample [X] Elevation Drawings
[X] Site Plan/Plat [X] Detail Drawing [X] Material Sample [X] Model

EXPLANATION AND DESCRIPTION OF WORK:

Project consist of the construction of a new, free standing, building. First floor will be commercial, second floor will be residential, and the third floor will be a residential penthouse.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the Beaufort Preservation Manual and Supplement, or the Northwest Quadrant Design Principles (refer to www.cityofbeaufort.org) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. Submittal Requirements: 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date. If the applicant or a representative is not present at the meeting, the application will not be reviewed.

OWNER'S SIGNATURE: (AGENT) DANIEL SACTRICK, AIA / BEAUFORT DESIGN BUILD DATE: 07.27.2015
APPLICANT'S SIGNATURE: ADAM BERRY / BEAUFORT DESIGN BUILD DATE: 07.27.2015

CITY OF BEAUFORT
Historic District Review Board
Full Board
Staff Report
Meeting of August 12, 2015

Case Number: HR15-24
Property Address: 209 West Street
Applicant: Beaufort Design Build
Type of Request: New Construction - Conceptual
Zoning: CC – Core Commercial

Historical: This building is proposed to be placed on a vacant parcel between 221 and 205 West Street. Historically, this parcel has contained buildings, but it has been vacant since at least 1912, based on Sanborn Map documentation. See 1894 Map below.



Request: The applicant requests conceptual approval for a new mixed use building. The ground floor is proposed to be commercial use, with residential uses above.

Background: This project has not appeared before the board previously.

Zoning Issues: CC – Core Commercial

- Setbacks: none
- Maximum Height: 35' from the sidewalk grade, with a maximum height of 50' at the interior. The building must step back at a 45 degree angle (max.) with no more than 1' in height for every 1' setback from the face of the building.

Size: The footprint of the structure is approx. 3,078 SF, with a 3, 078 SF 2nd floor. The 3rd floor would be stepped back, and contain 1,236 SF. The building is 32' above sidewalk grade, and increases to 45' to the median roof height at the stepped-back 3rd floor.

Summary of Applicable Guidelines:

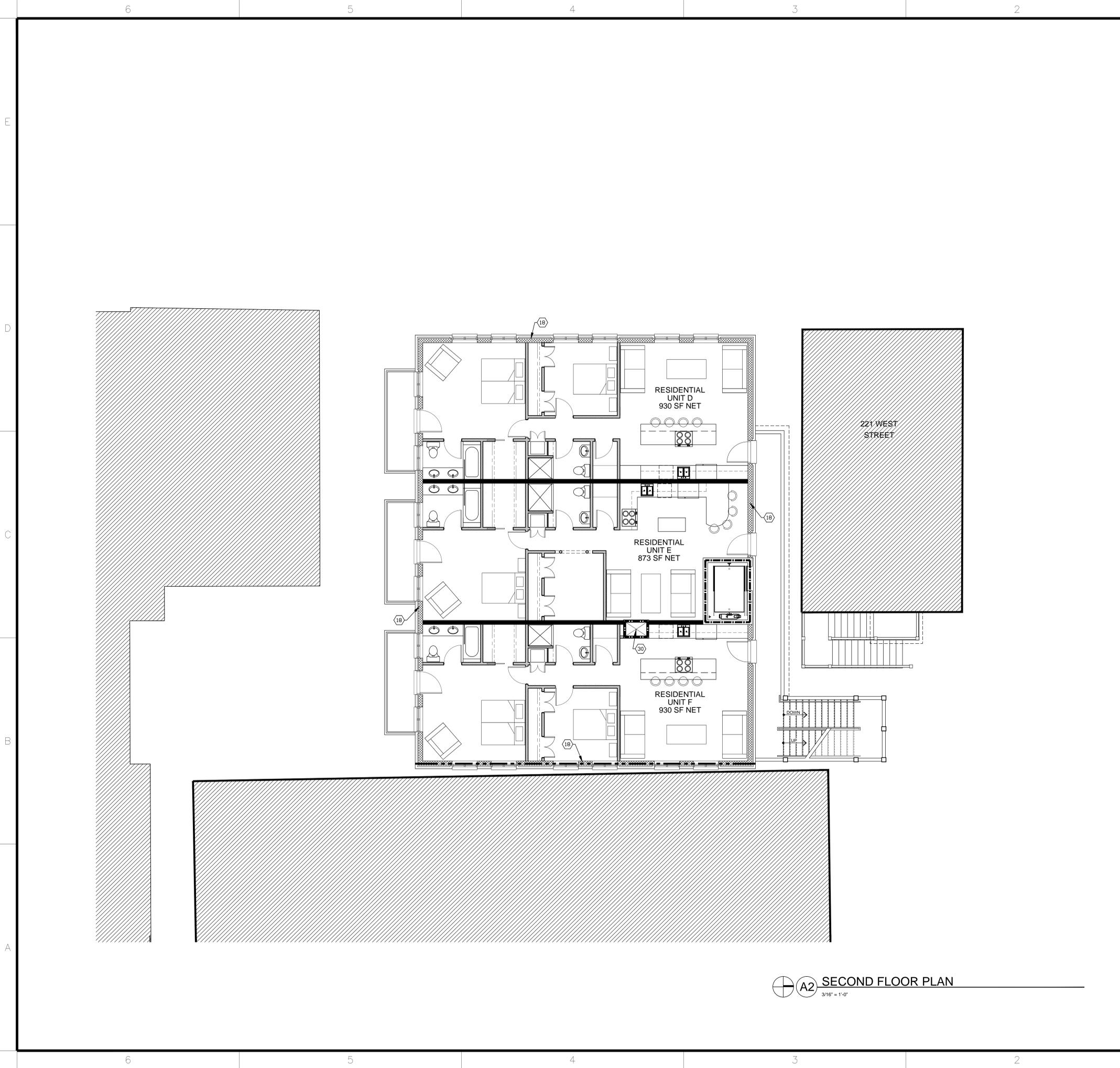
- The *Preservation Manual Supplement*, p. 13-15, discusses new construction.
 - In the case of Absolute Size, the *Supplement* states: “When the scale of the neighborhood buildings, or those of an entire community are relatively consistent, new construction should be restricted from drastically altering these relationships.
- The *Civic Master Plan* does not specifically address this property, but it does encourage infill and mixed-use development.

Staff Questions, Comments & Suggestions:**Site:**

- Staff is excited about this project and believes it will be a great addition to the downtown.
- The context directly adjacent to this property is varied. There is a two-story mixed use building, and a one story restaurant/shopfront building located on the same parcel. The structures along Bay Street on this block and the one to the west are two story, comprised of wood siding and brick. The structures across the street are one story.
- This building is sited appropriately, and addresses the increased height requirement due to the Base Flood Elevation appropriately.
- In general the size, mass, scale, proportions of the building, windows and openings are all compatible with the historic district.
- Staff appreciates the effort to step the building back more than the required distance, and also use lighter materials in the third story form.
- The open stair in the rear is an appropriate solution for egress in lieu of a tower.

Staff Recommendation:

Staff recommends conceptual approval as submitted to the site plan and building.



A2 SECOND FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES:

- A. SANBORN FIRE INSURANCE MAPS FROM 1884 THROUGH 1968 SHOW THE EXISTING PROPERTY AS VACANT. WHETHER OR NOT THE PROPERTY CONTAINED SHEDS, CISTERNS, STORAGE TANKS OR OTHER SMALL STRUCTURES IS UNKNOWN.
- B. ADJACENT PROPERTIES AT 221 AND 207 WEST STREET ARE LISTED ON THE SOUTH CAROLINA STATE HISTORIC PRESERVATION OFFICE'S 1997 HISTORIC SITES SURVEY AS CONTRIBUTING TO THE HISTORIC DISTRICT.
- C. EXISTING SUBSURFACE AND GEOTECHNICAL CONDITIONS ARE DESCRIBED IN CONESTOGA ROVERS & ASSOCIATES' REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION, DATED APRIL 24, 2015.

SHEET KEY NOTES:

- 1. CONCRETE MASONRY UNIT (CMU) FOUNDATION WALL.
- 2. ELECTRICAL METER AND DISCONNECT, TYPICAL FOR EACH TENANT SPACE.
- 3. FIRST FLOOR HVAC CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
- 4. 221 WEST STREET FIRST FLOOR CONDENSING UNIT.
- 5. 221 WEST STREET SECOND FLOOR CONDENSING UNIT.
- 6. 4" #57 STONE BASE ON 6 MIL VAPOR BARRIER ON COMPACTED FILL.
- 7. EDGE OF 4" REINFORCED CONCRETE FLOOR SLAB ON 6 MIL VAPOR BARRIER ON COMPACTED FILL.
- 8. 6" ROOF DRAIN.
- 9. 6" OVERFLOW DRAIN.
- 10. ROOF PARAPET.
- 11. SINGLE-PLY MEMBRANE ROOF.
- 12. CANOPY BELOW.
- 13. CANOPY ABOVE.
- 14. FOUNDATION WALL DROPS 4" AND CONTINUES UNDER CONCRETE STAIR.
- 15. REINFORCED CONCRETE STAIR.
- 16. MODULAR BRICK VENEER WITH 2" CONCAVE JOINT. PROVIDE HOT-DIPPED GALVANIZED BRICK TIES AT 16" ON CENTER - VERTICAL AND HORIZONTAL.
- 17. SECOND AND THIRD FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
- 18. 8" LOAD BEARING CMU.
- 19. SINGLE PLY MEMBRANE ROOF ON TAPERED RIGID INSULATION ON GALVANIZED METAL ROOF DECK.
- 20. RECYCLED COMPOSITE DECK BOARDS.
- 21. PLANTER.
- 22. ALUMINUM STOREFRONT.
- 23. FIRE DEPARTMENT CONNECTION.
- 24. FIRE SPRINKLER RISER WITH BACKFLOW PREVENTER.
- 25. 2x6 WOOD FRAMED EXTERIOR WALL.
- 26. PAINTED CEMENTITIOUS SIDING.
- 27. FIRST FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
- 28. DOMESTIC WATER RISER WITH BACKFLOW PREVENTER.
- 29. SANITARY SEWER STACK.
- 30. 30"x36" 2-HOUR FIRE RATED SHAFT FOR FUTURE RESTAURANT HOOD DUCT.

2012 INTERNATIONAL BUILDING CODE COMMENTS:

- 1. PER SECTION 1015.1, EXISTS OR EXIT ACCESS DOORWAYS FROM SPACES, ONLY ONE MEANS OF EGRESS IS REQUIRED FROM THE SECOND FLOOR R-2 OCCUPANCY.
IN GROUP R-2 AND R-3 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 30 WHERE THE DWELLING UNIT IS EQUIPPED WITH THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE SECTION 903.1.1 OR 903.1.2.
- 2. PER SECTION 1018.4, IN OCCUPANCIES IN GROUP R-2, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE LENGTH OF A DEAD END CORRIDOR SHALL NOT EXCEED 50 FEET.

ZONING COMMENTS:

- 1. ZONE: CORE COMMERCIAL
- 2. OVERLAY: HISTORIC
- 3. SETBACKS: NOT REQUIRED
- 4. OFF STREET PARKING: NOT REQUIRED

LEGEND:

- 1-HOUR FIRE RATED EXTERIOR WALL IN ACCORDANCE WITH 2012 IBC TABLE 602 (FIRE SEPARATION DISTANCE < 5'-0")
- 8" LOAD BEARING CMU
- 1/2-HOUR FIRE PARTITION SEPARATING DWELLING UNITS IN ACCORDANCE WITH 2012 IBC SECTION 420.2 AND 708.1
- ACCESSIBLE RAMP - MINIMUM 36" CLEAR WIDTH AND MAXIMUM 1:12 SLOPE

BUILDING TO BE PROVIDED WITH FIRE SPRINKLER SYSTEM THROUGHOUT

BEAUFORT
73 Sea Island Parkway, S. 30
Beaufort, SC 29907

CHARLOTTE
7315 Swansea Lane
Cornellus, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

Copyright © 2013 Beaufort Design Build, LLC

WEST STREET FARMS, LLC

209 WEST

209 WEST STREET
BEAUFORT, SC 29907

DESIGN DEVELOPMENT

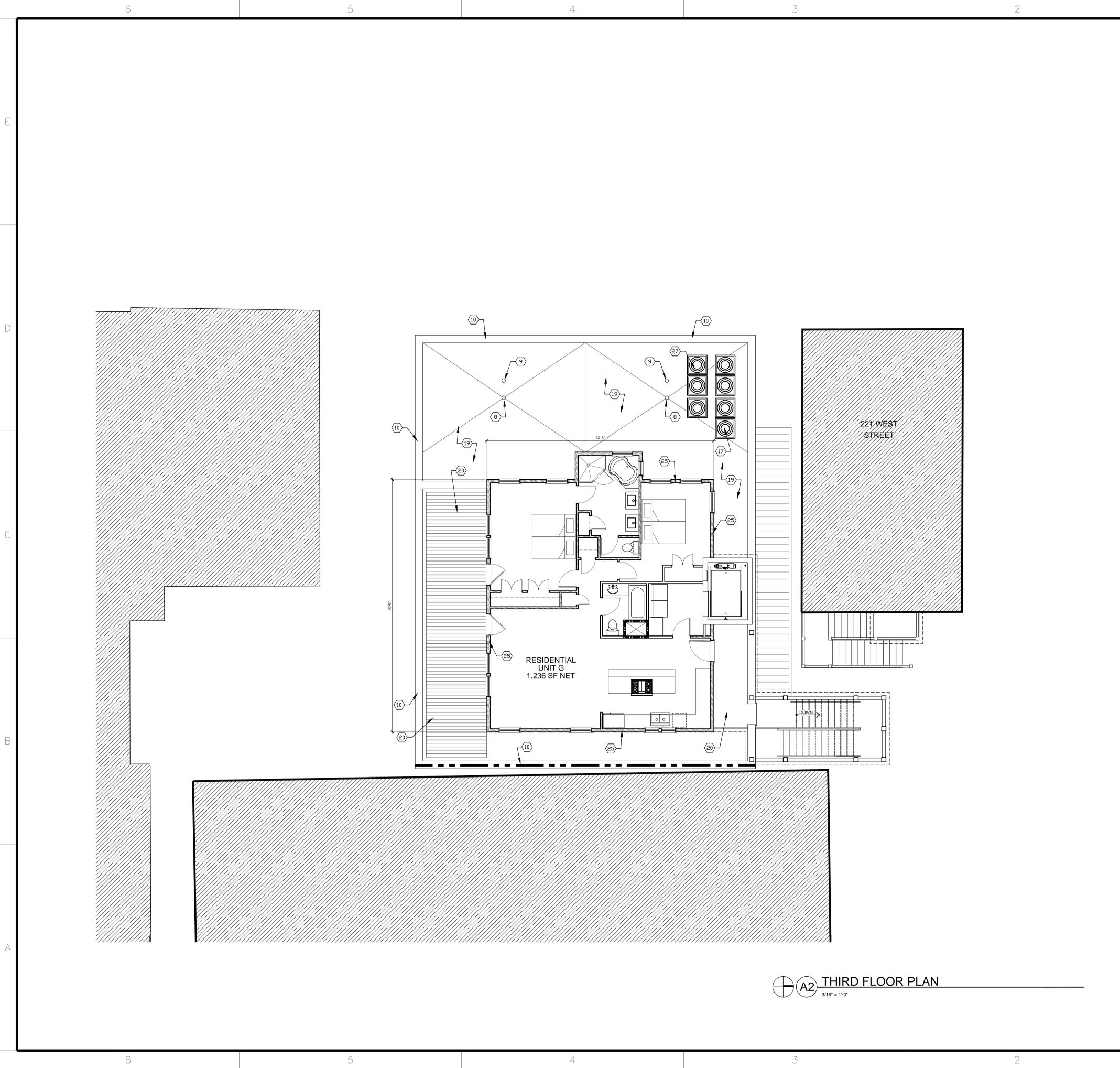
NO.	REVISIONS / SUBMISSIONS	DESCRIPTION	DATE

SHEET INFORMATION

DATE	JUNE 5, 2015
JOB NUMBER	14015.01
DRAWN	ADB
CHECKED	DCS
APPROVED	DCS

PROPOSED SECOND FLOOR PLAN

A-103



A2 THIRD FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES:

- A. SANBORN FIRE INSURANCE MAPS FROM 1884 THROUGH 1968 SHOW THE EXISTING PROPERTY AS VACANT. WHETHER OR NOT THE PROPERTY CONTAINED SHEDS, CISTERNS, STORAGE TANKS OR OTHER SMALL STRUCTURES IS UNKNOWN.
- B. ADJACENT PROPERTIES AT 221 AND 207 WEST STREET ARE LISTED ON THE SOUTH CAROLINA STATE HISTORIC PRESERVATION OFFICE'S 1997 HISTORIC SITES SURVEY AS CONTRIBUTING TO THE HISTORIC DISTRICT.
- C. EXISTING SUBSURFACE AND GEOTECHNICAL CONDITIONS ARE DESCRIBED IN CONESTOGA ROYERS & ASSOCIATES' REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION, DATED APRIL 24, 2015.

SHEET KEY NOTES:

- 1. CONCRETE MASONRY UNIT (CMU) FOUNDATION WALL.
- 2. ELECTRICAL METER AND DISCONNECT, TYPICAL FOR EACH TENANT SPACE.
- 3. FIRST FLOOR HVAC CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
- 4. 221 WEST STREET FIRST FLOOR CONDENSING UNIT.
- 5. 221 WEST STREET SECOND FLOOR CONDENSING UNIT.
- 6. 4" #57 STONE BASE ON 6 MIL VAPOR BARRIER ON COMPACTED FILL.
- 7. EDGE OF 4" REINFORCED CONCRETE FLOOR SLAB ON 6 MIL VAPOR BARRIER ON COMPACTED FILL.
- 8. 6" ROOF DRAIN.
- 9. 6" OVERFLOW DRAIN.
- 10. ROOF PARAPET.
- 11. SINGLE-PLY MEMBRANE ROOF.
- 12. CANOPY BELOW.
- 13. CANOPY ABOVE.
- 14. FOUNDATION WALL DROPS 4" AND CONTINUES UNDER CONCRETE STAIR.
- 15. REINFORCED CONCRETE STAIR.
- 16. MODULAR BRICK VENEER WITH 2" CONCAVE JOINT. PROVIDE HOT-DIPPED GALVANIZED BRICK TIES AT 16" ON CENTER - VERTICAL AND HORIZONTAL.
- 17. SECOND AND THIRD FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
- 18. 8" LOAD BEARING CMU.
- 19. SINGLE PLY MEMBRANE ROOF ON TAPERED RIGID INSULATION ON GALVANIZED METAL ROOF DECK.
- 20. RECYCLED COMPOSITE DECK BOARDS.
- 21. PLANTER.
- 22. ALUMINUM STOREFRONT.
- 23. FIRE DEPARTMENT CONNECTION.
- 24. FIRE SPRINKLER RISER WITH BACKFLOW PREVENTER.
- 25. 2x6 WOOD FRAMED EXTERIOR WALL.
- 26. PAINTED CEMENTITIOUS SIDING.
- 27. FIRST FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
- 28. DOMESTIC WATER RISER WITH BACKFLOW PREVENTER.
- 29. SANITARY SEWER STACK.
- 30. 30"x36" 2-HOUR FIRE RATED SHAFT FOR FUTURE RESTAURANT HOOD DUCT.

2012 INTERNATIONAL BUILDING CODE COMMENTS:

- 1. PER SECTION 1015.1, EXISTS OR EXIT ACCESS DOORWAYS FROM SPACES, ONLY ONE MEANS OF EGRESS IS REQUIRED FROM THE SECOND FLOOR R-2 OCCUPANCY.
IN GROUP R-2 AND R-3 OCCUPANCIES, ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 30 WHERE THE DWELLING UNIT IS EQUIPPED WITH THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE SECTION 903.1.1 OR 903.1.2.
- 2. PER SECTION 1018.4, IN OCCUPANCIES IN GROUP R-2, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE LENGTH OF A DEAD END CORRIDOR SHALL NOT EXCEED 50 FEET.

ZONING COMMENTS:

- 1. ZONE: CORE COMMERCIAL
- 2. OVERLAY: HISTORIC
- 3. SETBACKS: NOT REQUIRED
- 4. OFF STREET PARKING: NOT REQUIRED

LEGEND:

- 1-HOUR FIRE RATED EXTERIOR WALL IN ACCORDANCE WITH 2012 IBC TABLE 602 (FIRE SEPARATION DISTANCE < 5'-0")
- 8" LOAD BEARING CMU
- 1/2-HOUR FIRE PARTITION SEPARATING DWELLING UNITS IN ACCORDANCE WITH 2012 IBC SECTION 420.2 AND 708.1
- ACCESSIBLE RAMP - MINIMUM 36" CLEAR WIDTH AND MAXIMUM 1:12 SLOPE

BUILDING TO BE PROVIDED WITH FIRE SPRINKLER SYSTEM THROUGHOUT

BEAUFORT
73 Sea Island Parkway, S. 30
Beaufort, SC 29907

CHARLOTTE
7315 Swansea Lane
Cornellus, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

Copyright © 2013 Beaufort Design Build, LLC



WEST STREET FARMS, LLC

209 WEST

209 WEST STREET
BEAUFORT, SC 29907

DESIGN DEVELOPMENT

NO.	REVISIONS / SUBMISSIONS	DESCRIPTION	DATE

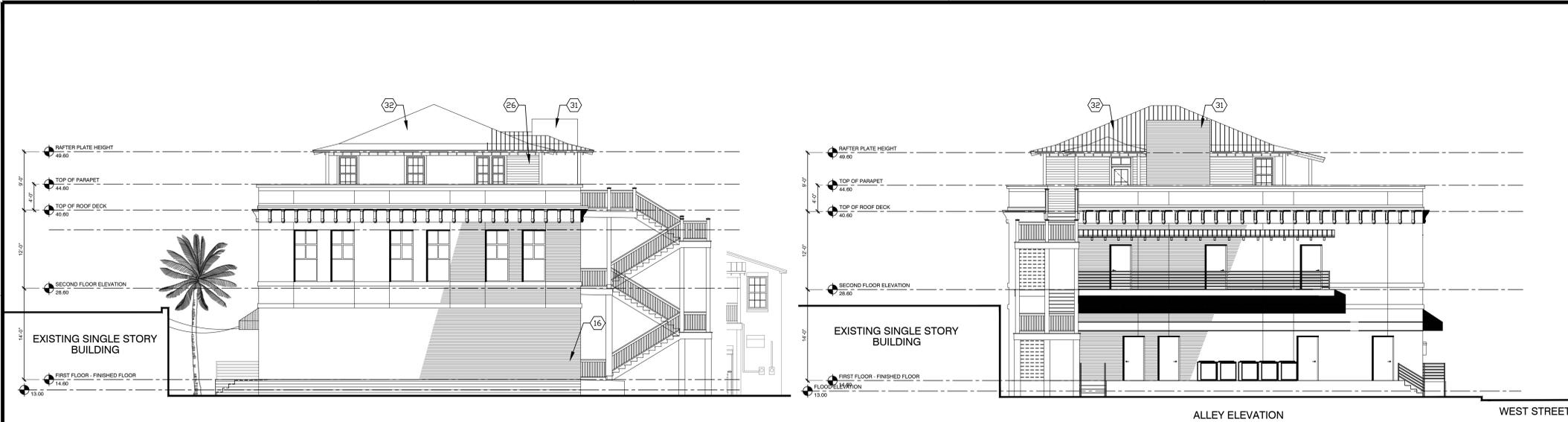
SHEET INFORMATION

DATE	JUNE 5, 2015
JOB NUMBER	14015.01
DRAWN	ADB
CHECKED	DCS
APPROVED	DCS

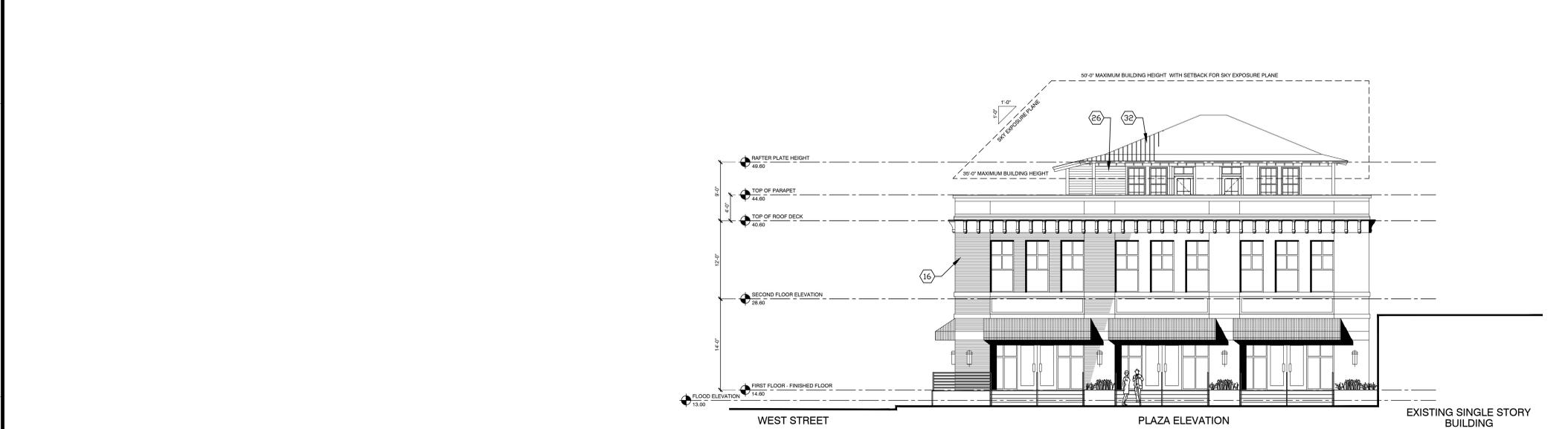
PROPOSED THIRD FLOOR PLAN

A-104

6 5 4 3 2 1



E5 EAST ELEVATION 1/8" = 1'-0"
E3 NORTH ELEVATION 1/8" = 1'-0"



B2 SOUTH (PLAZA) ELEVATION 1/8" = 1'-0"



A2 WEST (WEST STREET) ELEVATION 1/8" = 1'-0"

GENERAL NOTES:

- A. SANBORN FIRE INSURANCE MAPS FROM 1884 THROUGH 1968 SHOW THE EXISTING PROPERTY AS VACANT. WHETHER OR NOT THE PROPERTY CONTAINED SHEDS, CISTERNS, STORAGE TANKS OR OTHER SMALL STRUCTURES IS UNKNOWN.
- B. ADJACENT PROPERTIES AT 221 AND 207 WEST STREET ARE LISTED ON THE SOUTH CAROLINA STATE HISTORIC PRESERVATION OFFICE'S 1997 HISTORIC SITES SURVEY AS CONTRIBUTING TO THE HISTORIC DISTRICT.
- C. EXISTING SUBSURFACE AND GEOTECHNICAL CONDITIONS ARE DESCRIBED IN CONESTOGA ROYERS & ASSOCIATES' REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION, DATED APRIL 24, 2015.

SHEET KEY NOTES:

1. CONCRETE MASONRY UNIT (CMU) FOUNDATION WALL.
2. ELECTRICAL METER AND DISCONNECT, TYPICAL FOR EACH TENANT SPACE.
3. FIRST FLOOR HVAC CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
4. 221 WEST STREET FIRST FLOOR CONDENSING UNIT.
5. 221 WEST STREET SECOND FLOOR CONDENSING UNIT.
6. 4" #5 STONE BASE ON 8 MIL VAPOR BARRIER ON COMPACTED FILL.
7. EDGE OF 4" REINFORCED CONCRETE FLOOR SLAB ON 8 MIL VAPOR BARRIER ON COMPACTED FILL.
8. 6" ROOF DRAIN.
9. 6" OVERFLOW DRAIN.
10. ROOF PARAPET.
11. SINGLE-PLY MEMBRANE ROOF.
12. CANOPY BELOW.
13. CANOPY ABOVE.
14. FOUNDATION WALL DROPS 4" AND CONTINUES UNDER CONCRETE STAIR.
15. REINFORCED CONCRETE STAIR.
16. MODULAR BRICK VENEER WITH 2" CONCAVE JOINT. PROVIDE HOT-DIPPED GALVANIZED BRICK TIES AT 16" ON CENTER - VERTICAL AND HORIZONTAL.
17. SECOND AND THIRD FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
18. 8" LOAD BEARING CMU.
19. SINGLE PLY MEMBRANE ROOF ON TAPERED RIGID INSULATION ON GALVANIZED METAL ROOF DECK.
20. RECYCLED COMPOSITE DECK BOARDS.
21. PLANTER.
22. ALUMINUM STOREFRONT.
23. FIRE DEPARTMENT CONNECTION.
24. FIRE SPRINKLER RISER WITH BACKFLOW PREVENTER.
25. 2x6 WOOD FRAMED EXTERIOR WALL.
26. PAINTED CEMENTITIOUS SIDING.
27. FIRST FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE.
28. DOMESTIC WATER RISER WITH BACKFLOW PREVENTER.
29. SANITARY SEWER STACK.
30. 30"x36" 2-HOUR FIRE RATED SHAFT FOR FUTURE RESTAURANT HOOD DUCT.
31. ELEVATOR TOWER.
32. METAL ROOF.

2012 INTERNATIONAL BUILDING CODE COMMENTS:

1. PER SECTION 1015.1, EXISTS OR EXIT ACCESS DOORWAYS FROM SPACES, ONLY ONE MEANS OF EGRESS IS REQUIRED FROM THE SECOND FLOOR R-2 OCCUPANCY.
2. PER SECTION 1018.4, IN OCCUPANCIES IN GROUP R-2, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, THE LENGTH OF A DEAD END CORRIDOR SHALL NOT EXCEED 50 FEET.

ZONING COMMENTS:

1. ZONE: CORE COMMERCIAL
2. OVERLAY: HISTORIC
3. SETBACKS: NOT REQUIRED
4. OFF STREET PARKING: NOT REQUIRED

LEGEND:

- 1-HOUR FIRE RATED EXTERIOR WALL IN ACCORDANCE WITH 2012 IBC TABLE 602 (FIRE SEPARATION DISTANCE < 5'-0")
- 8" LOAD BEARING CMU
- 1/2-HOUR FIRE PARTITION SEPARATING DWELLING UNITS IN ACCORDANCE WITH 2012 IBC SECTION 420.2 AND 708.1
- ACCESSIBLE RAMP - MINIMUM 36" CLEAR WIDTH AND MAXIMUM 1:12 SLOPE

BUILDING TO BE PROVIDED WITH FIRE SPRINKLER SYSTEM THROUGHOUT

BEAUFORT
73 Sea Island Parkway, S. 30
Beaufort, SC 29907

CHARLOTTE
7315 Swainsa Lane
Cornellus, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

Copyright © 2013 Beaufort Design Build, LLC



WEST STREET FARMS, LLC

209 WEST

209 WEST STREET
BEAUFORT, SC 29907

DESIGN DEVELOPMENT

NO.	REVISIONS / SUBMISSIONS	DESCRIPTION	DATE

SHEET INFORMATION

DATE	JUNE 5, 2015
JOB NUMBER	14015.01
DRAWN	ADB
CHECKED	DCS
APPROVED	DCS

PROPOSED EXTERIOR BUILDING ELEVATIONS

A-201

E
D
C
B
A

6 5 4 3 2 1



A5 PARTIAL EXTERIOR ELEVATION
NOT TO SCALE



D2 WEST (WEST STREET) ELEVATION
NOT TO SCALE



B2 SOUTH (PLAZA) ELEVATION
NOT TO SCALE



A2 WEST (WEST STREET) ELEVATION
NOT TO SCALE

GENERAL NOTES:

- A. SANBORN FIRE INSURANCE MAPS FROM 1884 THROUGH 1968 SHOW THE EXISTING PROPERTY AS VACANT. WHETHER OR NOT THE PROPERTY CONTAINED SHEDS, CISTERNS, STORAGE TANKS OR OTHER SMALL STRUCTURES IS UNKNOWN.
- B. ADJACENT PROPERTIES AT 221 AND 207 WEST STREET ARE LISTED ON THE SOUTH CAROLINA STATE HISTORIC PRESERVATION OFFICE'S 1997 HISTORIC SITES SURVEY AS CONTRIBUTING TO THE HISTORIC DISTRICT.
- C. EXISTING SUBSURFACE AND GEOTECHNICAL CONDITIONS ARE DESCRIBED IN CONESTOGA ROVERS & ASSOCIATES' REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION, DATED APRIL 24, 2015.

SHEET KEY NOTES:

1. CONCRETE MASONRY UNIT (CMU) FOUNDATION WALL
2. ELECTRICAL METER AND DISCONNECT, TYPICAL FOR EACH TENANT SPACE
3. FIRST FLOOR HVAC CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE
4. 221 WEST STREET FIRST FLOOR CONDENSING UNIT
5. 221 WEST STREET SECOND FLOOR CONDENSING UNIT
6. 4" #57 STONE BASE ON 6 MIL VAPOR BARRIER ON COMPACTED FILL
7. EDGE OF 4" REINFORCED CONCRETE FLOOR SLAB ON 6 MIL VAPOR BARRIER ON COMPACTED FILL
8. 6" ROOF DRAIN
9. 6" OVERFLOW DRAIN
10. ROOF PARAPET
11. SINGLE-PLY MEMBRANE ROOF
12. CANOPY BELOW
13. CANOPY ABOVE
14. FOUNDATION WALL DROPS 4" AND CONTINUES UNDER CONCRETE STAIR
15. REINFORCED CONCRETE STAIR
16. MODULAR BRICK VENEER WITH 2" CONCAVE JOINT. PROVIDE HOT-DIPPED GALVANIZED BRICK TIES AT 16" ON CENTER - VERTICAL AND HORIZONTAL
17. SECOND AND THIRD FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE
18. 8" LOAD BEARING CMU
19. SINGLE PLY MEMBRANE ROOF ON TAPERED RIGID INSULATION ON GALVANIZED METAL ROOF DECK
20. RECYCLED COMPOSITE DECK BOARDS
21. PLANTER
22. ALUMINUM STOREFRONT
23. FIRE DEPARTMENT CONNECTION
24. FIRE SPRINKLER RISER WITH BACKFLOW PREVENTER
25. 2x6 WOOD FRAMED EXTERIOR WALL
26. PAINTED CEMENTITIOUS SIDING
27. FIRST FLOOR CONDENSING UNIT, TYPICAL FOR EACH TENANT SPACE
28. DOMESTIC WATER RISER WITH BACKFLOW PREVENTER
29. SANITARY SEWER STACK
30. 30"x36" 2-HOUR FIRE RATED SHAFT FOR FUTURE RESTAURANT HOOD DUCT

BEAUFORT
73 Sea Island Parkway, S. 30
Beaufort, SC 29907

CHARLOTTE
7315 Swansea Lane
Cornellus, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

Copyright © 2015 Beaufort Design Build, LLC



WEST STREET FARMS, LLC

209 WEST

209 WEST STREET
BEAUFORT, SC 29907

DESIGN DEVELOPMENT

NO.	REVISIONS / SUBMISSIONS	DESCRIPTION	DATE

SHEET INFORMATION

DATE	JUNE 5, 2015
JOB NUMBER	14015.01
DRAWN	ADB
CHECKED	DCS
APPROVED	DCS

PROPOSED EXTERIOR BUILDING ELEVATIONS

A-202

