

City of Beaufort Department of Planning and Community Development

Post Office Drawer 1167
1911 Boundary Street
Beaufort, South Carolina 29902
Phone (843) 525-7011 / Fax (843) 986-5606
Website: www.cityofbeaufort.org

See back of application for fees

CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised - 07/15/2011)

Application #: _____ Date Received: _____ Zoning District: _____

Property Address: 802 BAY STREET

Applicant: BEAUFORT DESIGN BUILD, LLC. / ADAM BIERY Phone: 843.321.8277

Applicant's Address: 73 SEA ISLAND PARKWAY SUITE 30, BEAUFORT SOUTH CAROLINA, 29907

Beaufort County 1997 Historic Sites Survey listing: 69000159 / U-13-977

Property Owner: 303 ASSOCIATES Phone: 843.521.9000

Owner's Address: 2015 Boundary St # 300, Beaufort, SC 29902

Architect: BEAUFORT DESIGN BUILD, LLC. / DANIEL C. SALTRICK Phone: 843.321.8277

Architect's Address: 73 SEA ISLAND PARKWAY SUITE 30, BEAUFORT SOUTH CAROLINA, 29907

REQUEST FOR: [] Conceptual Review [] Preliminary Review
[x] Final Approval [] Change After Certification

NATURE OF WORK: (Check All That Apply)

[x] Color changes [x] Alterations, Additions
[x] Signage, Awnings [x] New Construction
[x] Legal Plat [x] Minor/Major Demolition or Relocation
[x] Other:

DRAWINGS/MATERIALS ACCOMPANYING APPLICATION: (Refer to Appropriate Checklists for Requirements)

[x] Photographs [x] Floor/Roof Plans [x] Color Sample [x] Elevation Drawings
[x] Site Plan/Plat [x] Detail Drawing [x] Material Sample [x] Model

EXPLANATION AND DESCRIPTION OF WORK:

THE PRIMARY OBJECTIVE OF THIS PROJECT IS TO CONNECT THE EXISTING TERMAE SPACE "C", SALTUS RIVER GRILL, TO TENANT SPACE "B" IN ORDER TO DEVELOP A NEW PIZZA RESTAURANT. MAJOR EXTERIOR RENOVATIONS CONSIST OF NEW WINDOWS AND DOORS.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? ___ Yes ___x___ No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the Beaufort Preservation Manual and Supplement, or the Northwest Quadrant Design Principles (refer to www.cityofbeaufort.org) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. Submittal Requirements: 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date. If the applicant or a representative is not present at the meeting, the application will not be reviewed.

OWNER'S SIGNATURE: _____ DATE: _____

APPLICANT'S SIGNATURE: [Signature] DATE: 8.2.16

Julie Bachety

From: Adam Biery <adam@beaufortdesignbuild.com>
Sent: Wednesday, August 03, 2016 3:56 PM
To: Julie Bachety
Subject: RE: HRB Submittal - 802 Bay St

Hello Juile,

We are seeking finial HRB approval to the exterior of the building located at 802 Bay Street for Hearth at Saltus River Grill.

The proposed exterior renovation are as follows:

- Removal of exiting aluminum store front, and replacing with folding wood and glass doors.
- Removal of existing aluminum and glass store front doors and replacing with operable wood and glass doors.
- Removal of aluminum and glass store front window at the corner of Bay and Scott streets replacing with fix window with unit with simulated divided lite
- Addition of new windows along the Scott Street Façade. Lower windows will be operable double hung windows which will open to create an indoor / outdoor dining experience.
- Addition of porch area as illustrated along the Scott Street Façade.
- The existing nook (access to the Old Saltus House and the tenant space of focus) at the Scott Street side of the building, solid walls are to be replaced with wood / glass fixed doors to match the front, Bay Street, façade.

All new window are to be Anderson A Series.

All new doors to be solid wood and glass.

I think that is the extend of the proposed exterior renovations.

We look forward to discussing the project.

Thank you,

Adam Biery
Beaufort Design Build, LLC
73 Sea Island Pkwy, Ste 30
Beaufort, SC 29907
843-321-8277
Cell: 843.263.4344



John Rhodes House

802-806 Bay St.

John Rhodes (1747-1811) came to Beaufort from Shropshire, England, in 1774 as a ship's captain. He married Mary Talbird soon after his arrival and built this three-story masonry house ca. 1785. The building was sold after Rhodes' death in 1811 to John Habersham of Savannah.

The original structure was only one room deep with five bays across the facade in a central hall interior floor plan. The building is tabby with a stucco finish and has interior end chimneys. The only decorative detail on the structure is a denticulated cornice, a decorated frieze above the central bays and exterior blinds. The windows on the first two floors were originally nine over nine (9/9) lights, and six over six (6/6) lights on the third floor.

At the time of the Civil War, a two-story brick building, three bays wide with interior end chimneys, was on the southeast side of the building. This dependency was gone by the time of the storm in 1893. Between 1865 and 1893 a two-story porch had been added to the south side of the building.

During the Federal occupation of Beaufort, the building was used as a commissary store. The Belk-Simpson Company used the Federal Period structure as a department store until recently.

A very fine and delicate circular staircase with a cove ceiling rises from the second to the third floor. The upper two floors are in a near-original condition. It is believed that this is the only tabby three story single house in existence in the country.



Rhodes House, ca. 1864



The Habersham House as it appeared in the 1930s.

HISTORIC BEAUFORT FOUNDATION
The Rhodes House

ARCHITECTURAL-HISTORIC INVENTORY CARD #

OWNERSHIP RECORD

Present Owner Belk-Simpson Co,
Mailing Address Box 591, Beaufort, S.C.
Original Owner Rhodes

LOCATION

State — SOUTH CAROLINA
County — BEAUFORT
City or Town — BEAUFORT
Street Address 802-4-6 Bay St.

CLASSIFICATION

District _____ Site _____ Building Object _____

ARCHITECT OR BUILDER Rhodes (sold to Haberkam)

DATE OF CONSTRUCTION L-18 SOURCE _____

MAJOR ALTERATIONS Yes (over) YEAR _____

PRESENT USE Department store

ORIGINAL USE Customs house, hotel ?

ACCESSIBLE TO PUBLIC? Yes

PHYSICAL DESCRIPTION

Facade Materials (Street Facade)

WOOD: Clapboards _____ Shingle _____ Other stucco

MASONRY: Brick Stone _____ Concrete _____

HEIGHT IN FULL STORIES 1 2 3 4 5

PHYSICAL CONDITION

Structure Good Fair Poor

Grounds _____ nonP

Neighborhood Business district

LEGAL DESCRIPTION

City or Town BEAUFORT

Assessor's Book Map 4

Assessor's Plat 938

Block and Lot Number 61, Lot A

LOCATION OF LAST RECORDED DEED
75 - 388

APPROXIMATE LOT SIZE 60 x 200 OR
_____ ACRES

PROPERTY CURRENTLY ZONED _____

REPRESENTATION IN OTHER SURVEYS

Traces of Foundations

PHOTO

Roll No. _____ Negative _____

INTERIOR DETAILS OF SIGNIFICANCE

Woodwork: Mantels 1 Doors and W

Wainscoting _____ Panelling _____

Other Details: Murals _____ Wallpaper _____

Details _____ Other _____

Significance of Total Interior (over)

ARCHITECTURAL STYLE

Pre-Federal Ante-Bellur

Federal Other _____

Greek Revival _____ Not Classific

ARCHITECTURAL SIGNIFICANCE (including int

OUTSTANDING _____ NOTABLE _____

EXCELLENT WORTHY OF

SIGNIFICANT OUTBUILDINGS, IF ANY

Type _____

Condition _____

HISTORIC SIGNIFICANCE

NATIONAL _____ STATE _____ I

HISTORIC NOTES Built by Mr. Rhodes in late 18th or early 19th Century. Now Belk's Department Store. Was the Commissary Store House in Civil War.

Source _____



Area H
Block 61

U
Major alterations: Originally 3 stores, renovated as one in 1954-
13,000 sq. ft. added.

Significance of total interior: Spiral staircase to 3rd floor, with
oval dentil cornice work; 1 fine mantel, wide 12-inch floor
boards on 3rd floor.

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

INTENSIVE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 977
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Intensive Level-Building

Historic name(s): Captain Francis Saltus House Map Ref.: BFT 09 (BR) Tax Number: R120.004.000.0938.0000
Common name(s): Habersham House; Belk's City Block Ref.: 61 .06 Island: Port Royal Is.
Address/location: 802 Bay St. City/Vicinity of (vic.): Beaufort
Date: 1796 ca. Alteration date: multiple
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): single dwelling Current uses: commercial

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other SC-461 Habersham House
 Feiss-Wright (1969) 061 - 938 2 Excellent 48
 Historic Resources of the Lowcountry (1979) 38 BU 1069 The Bay
 Milner Historic District Inventory (1979) 061 (938) -1 Vol. 03; full form; as Habersham House
 A Guide to Historic Beaufort (1995 ed.) 03

Photograph:



Photographs:

- prints
- slides
- negatives

Date: 7.10.97
Recorder: C. Brooker, Brooker Arch. Cons.

Roll # Neg. View of:
B-19 30 N facade, fac. SE

Style: Federal Commercial Form:

Core Shape: rectangular Stories: 3 or more stories Construction: tabby
 Roof Shape: gable (lateral) Material: composition shingle

Chimney: Type: interior Material: stuccoed brick

Exterior Walls: tabby

Windows: single Type: casement Pane 6/6
 double hung Config.: 9/9

Doors: original lost Foundation: tabby

Porch Height: Porch Width: Porch Roof Shape:

Porch Details: Decorative Elements:

Outbuildings: Interior elliptical stair in timber, domed stair hall with plaster
 Features: centerpiece installed about 1820. Original late 18th century mantel and trim second floor, east room,

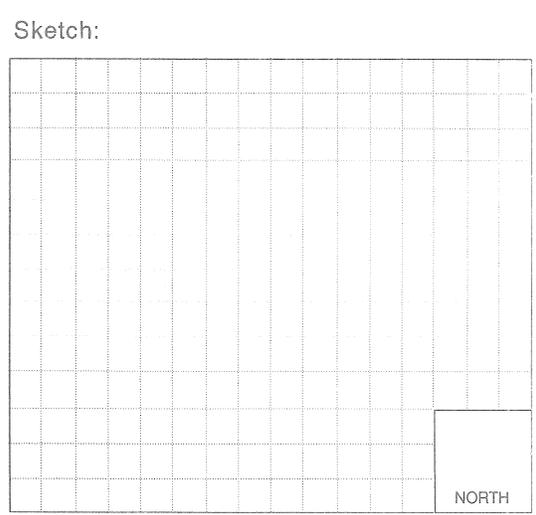
Number of Related Resources:

Surroundings: commercial, urban Acreage: less than 1 acre Quadrangle: Beaufort

Alterations: Alteration date: multiple Integrity: good Condition: deteriorated
 House apparently reworked in 1820's when present staircase installed. Much altered after 1870 by D.C. Wilson who introduced retail space at ground level which required the original first floor to be lowered.

Description: Important tabby structure, formerly 3 full stories over raised basement. 5 bay main facade faces street to north, first floor walls N and S removed to create retail space c.1870. End walls E and W are gabled with low parapet emerging above roof line. End chimneys rise above, the chimneys constructed in brick and stuccoed to match scored stucco finish on tabby. N. elevation has enriched cornice with modillions, pyramidal pendants and a frieze board carved to represent foliage. Single story block to west raised over basement with cobble floor contemporary with main house but now much rebuilt. To south tabby house is extended by 2 story reinforced concrete framed structure erected as a department store in late 1950's.

Historical Data: House built by Captain Francis Saltus in 1796. Saltus was a merchant with commercial connections in New York, Charleston, SC and West Indies. There is strong archaeological evidence suggesting that Saltus had a boatyard behind (ie. south of) his house where 5 gun boats were built for the US Navy in 1808. Following Civil War, property bought at auction by D.C. Wilson. House is of particular significance as one of the tallest surviving tabby structures known.



Site Number: U - 13 - 977

Informant/ Bibliography: Colin Brooker " Architectural and Archaeological Investigation at 802 Bay St. SC. " 1996. Listed in Feiss-Wright survey as 802-806 Bay St.

802 Bay Street 2001



CITY OF BEAUFORT
Historic District Review Board
Full Board
Staff Report
Meeting of August 17, 2016

Case Number: HR16-29
Property Address: 802 Bay Street
Applicant: Adam Biery, Beaufort Design Build
Type of Request: Alterations and Additions
Zoning: CC – Core Commercial

Historical: The property is the Saltus House building (a.k.a. Rhode’s House, Habersham House, Belk’s), c. 1796. It is listed as contributing on the *Beaufort County Above Ground Historic Sites Survey*.

Request: **The applicant wishes to modify fenestration along the front and side of the original historic structure, and to add fenestration on the side of the rear addition.**

Background: This project has not appeared before the board previously.

Size: **The project will not add any square footage.**

Zoning: CC – Core Commercial – there are no zoning issues associated with this project.

Synopsis of Applicable Guidelines:

- The Preservation Manual (c. 1979) p. 48 & 50 discusses façade improvements to the Bay Street façade of this building. There is also a corresponding sketch. The intent of this sketch is to take the structure back to its original composition when it was built as a residential dwelling – see c. 1860s photo attached.
- The Secretary of the Interior Standards, # 2 and 4, apply. Standard #4 states: *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Staff Questions, Comments & Suggestions:

- Historically, the shopfront facades of many commercial buildings, including this one, change and evolve as the interior uses change. This building began as a residence, and was converted, over a series of iterations, into a commercial shopfront.
- The Preservation Manual’s focus on restoring the original residential façade of this structure may not be appropriate given the current commercial use, one that has been established since at least 1930 – see attached photo.
- The restoration of a wood shopfront with more traditional glazing patterns is an appropriate intervention.
- The additional glazing and activation along the Scott Street façade is a welcome modification to this monotonous, non-historic façade. Note that the patio encroachment into the Scott Street extension will require an encroachment permit and lease from the City of Beaufort, as it’s a city-owned right-of-way.

Staff Recommendation: Staff recommends final approval to this request, as submitted.

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OWNER'S SIGNATURE: _____ DATE: _____

APPLICANT'S SIGNATURE: [Signature] DATE: 8.2.16

HEARTH AT SALTUS RIVER GRILL

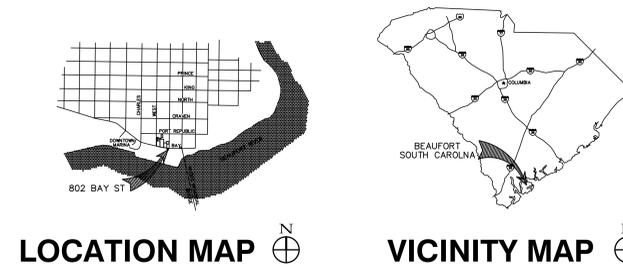
802 BAY STREET
BEAUFORT, SOUTH CAROLINA 29902

SCOPE OF WORK:

- THIS PROJECT CONSIST OF THE RENOVATION AN EXISTING RETAIL SPACE. THE RENOVATED SPACE WILL SERVE AS PIZZA RESTAURANT.
- THE BUILDING IS CURRENTLY DIVIDED INTO THREE (3) TENANT SPACES. THIS PROJECT DOES NOT CREATE ADDITIONAL TENANT SPACES.
- THE EXISTING STAIRS TO THE MEZZANINE, AND RESTROOM IN TENANT SPACE A ARE TO BE RELOCATED AS TO ALLOW FOR A CONNECTION BETWEEN TENANT SPACE B AND C.
- THE EXISTING MEZZANINE IS WILL BE ENLARGED TO FORM ADDITIONAL DINNING, GAME ROOM, AND OFFICE.
- THE EXTENT OF THE WORK ON THE BUILDING FACADE IN THE REMOVAL OF THE EXISTING STORE FRONT AND ADDITION OF NEW WOOD / GLASS DOORS, THE ADDITION OF GLASS CURTAIN WALL ON THE EAST FACADE (SCOTT STREET EXTENSION)

DESIGN TEAM

ARCHITECT
BEAUFORT DESIGN BUILD, LLC.
73 SEA ISLAND PKWY. STE.30
BEAUFORT SC. 29907
P: 843.321.8277



DRAWING SHEET INDEX:

GENERAL

- G-101 COVER SHEET, DRAWING INDEX AND SCOPE OF WORK
- G-102 2012 INTERNATIONAL BUILDING CODE SUMMARY
- G-103 LIFE SAFETY PLAN
- G-104 TYPICAL ACCESSIBILITY DETAILS
- G-105 SUPPORTING DOCUMENTS

ARCHITECTURAL

- EC-101 EXISTING CONDITIONS FLOOR PLAN
- EC-201 EXISTING CONDITIONS ELEVATIONS
- A-101 PROPOSED FLOOR PLANS
- A-102 ENLARGED PROPOSED FLOOR PLAN
- A-201 PROPOSED EXTERIOR ELEVATIONS
- A-202 EXTERIOR RENDERING IMAGES
- A-301 SECTIONS

ABBREVIATIONS

A/C	AIR CONDITIONER(ING)	OSB	ORIENTED STRAND BOARD
AFF	ABOVE FINISH(ED) FLOOR	PSF	POUNDS PER SQUARE FOOT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	RD	(USDA) RURAL DEVELOPMENT
BOT	BOTTOM	SF	SQUARE FEET (FOOT)
CMU	CONCRETE MASONRY UNIT	TYP	TYPICAL
CONT.	CONTINUOUS	UFAS	UNIFORM ACCESSIBILITY STANDARDS
DHEC	DEPARTMENT OF HEALTH & ENVIRONMENTAL CONTROL	USDA	UNITED STATES DEPARTMENT OF AGRICULTURE
DP	DESIGN PRESSURE	V.I.F.	VERIFY IN FIELD
EQUIP	EQUIPMENT	#	NUMBER
EX	EXISTING OR EXTERIOR		
EXT	EXTERIOR		
FE	FIRE EXTINGUISHER		
FIN	FINISH		
FL	FLOOR		
GWB	GYPSUM WALL BOARD		
IBC	INTERNATIONAL BUILDING CODE		
ICC	INTERNATIONAL CODE COUNCIL		
LFT	LINEAR FEET		
MFR	MANUFACTURER		
MIN	MINIMUM		
N/A	NOT APPLICABLE		
NCSBC	NORTH CAROLINA STATE BUILDING CODE		
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION		
NO.	NUMBER		
OC	ON CENTER		

SYMBOLS

(XX)	COLUMN LINE	(XX/AXX)	INTERIOR ELEVATION CASEWORK OR MILLWORK ELEVATION
X###	ROOM NUMBER	(X/X-101)	ENLARGED DETAIL OR PLAN DETAIL
(108)	DOOR NUMBER (CORRESPONDS WITH ROOM NUMBER)	(X/X-101)	WALL SECTION
(#)	BUILDING EQUIPMENT SYMBOL	(X-101)	EXISTING CONDITIONS PHOTOGRAPH
(R#)	TOILET ACCESSORY	(X)	DRAWING KEYNOTE
000.00	FIN FLOOR ELEVATION HEIGHT ABOVE FIN FLOOR SPOT ELEVATION	(X)	WINDOW TAG
A#	PARTITION TYPE INDICATOR		
(X/AXX)	INTERIOR ELEVATION CASEWORK OR MILLWORK ELEVATION		

GENERAL CONSTRUCTION NOTES

1. TEXT



IMAGE PROVIDED FOR REFERENCE ONLY

BEAUFORT
73 Sea Island Pkwy, Ste 30
Beaufort, SC 29902

CHARLOTTE
7315 Swansea Lane
Cornelius, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

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**HEARTH AT SALTUS
RIVER GRILL**
802 BAY STREET
BEAUFORT, SC 29902

**NOT FOR
CONSTRUCTION**

NO.	REVISIONS	DESCRIPTION	DATE

SHEET INFORMATION	
DATE	AUGUST 1, 2016
JOB NUMBER	16017.00
DRAWN	ADB
CHECKED	DCS
APPROVED	DCS

COVER SHEET,
DRAWING INDEX
AND SCOPE OF WORK

G-101

2012 INTERNATIONAL BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(INCLUDES: NEW CONSTRUCTION, UPFITS, RENOVATIONS, AND ADDITIONS)
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSE)

A. PROJECT INFORMATION - (REQUIRED INFORMATION FOR ALL PROJECTS)

Name of Project: **HEARTH AT SALTUS RIVER GRILL**
 Address: **802 BAY STREET, BEAUFORT, SOUTH CAROLINA** Zip Code: **29902**
 Proposed Use: **RESTAURANT: EXPANSION OF SALTUS RIVER GRILL FOR A NEW PIZZA RESTAURANT**
 Owner or Authorized Agent: **DANIEL C. SALTTRICK, AIA** Phone #: **(843) 321-8277** E-Mail: **DANIEL@DESIGNBUILD.COM**
 Owned By: City/County **BEAUFORT** Private State
 Code Enforcement Jurisdiction: City **BEAUFORT, SC** County State

B. PROJECT SUMMARY/ ALTERNATIVE MEANS OF COMPLIANCE

Building description: **---**

 Scope of work details: **---**

C. DESIGN PROFESSIONAL INFORMATION

LEAD DESIGNER PROFESSIONAL: **DANIEL C. SALTTRICK, AIA - BEAUFORT DESIGN BUILD LLC.**
 DESIGNER FIRM NAME LICENSE # TELEPHONE # EMAIL
BEAUFORT DESIGN BUILD LLC DANIEL C. SALTTRICK SC-7195 (843) 321-8277 DANIEL@DESIGNBUILD.COM
 Architectural: _____
 Size: _____
 Electrical: _____
 Fire Alarm: _____
 Plumbing: _____
 Mechanical: _____
 Sprinkler Standpipe: _____
 Structural: _____
 Remaining Walls -> High: _____
 Other: _____

D. TYPE OF WORK BEING PERFORMED

What type of work is being performed?
 New Construction.
 Addition: (An Existing Building that is adding heated or unheated space. This could be an addition to the footprint or a vertical expansion)
 Uplift: (First Time Interior Completion)
 Uplift - the first time interior completion of a virgin never occupied shell space in a newly constructed building. The applicant must provide a copy of the approval shell.
 Alteration/Renovation: (Previously Occupied Space) This includes Change of Use.

E. CODE INFORMATION

Building Code: 2015 International Building Code (IBC)
 2015 Chapter 34 attach building evaluation per section 3412)
 Prior International Building Code (list year / version _____)
 New Building: New building Shell building Addition
 First time interior completion (uplift) Alteration/Renovation
 Existing Building: Change of use / occupancy Addition
 Building / tenant space interior completion (Alteration/ Renovation)
 Year of construction: **UNKNOWN** Previous use: **COMMERCIAL - RETAIL**

F. REHAB CODE (NOT USED)

G. BASIC BUILDING DATA

Construction Type: (Table 601) I-A I-B I-C I-D I-E I-F I-G I-H I-I I-J I-K I-L I-M I-N I-O I-P I-Q I-R I-S I-T I-U I-V I-W I-X I-Y I-Z
 (Check all that apply)
 Sprinklers: (Section 903) No Partial Yes NFA 13-07 NFA 13R-07 NFA 13D-07
 Standpipes: (Section 905) No Yes Class I II III Dry NFA 13-07
 Fire District: No Yes
 Flood Hazard Area: (Appendix G) No Yes
 Building Height: (Feet) **15'** AT RIDGE (Table 503) Stories: **1** (ONE)
 Gross Building Area:

FLOOR	EXISTING (SQFT)	NEW (SQFT)	RENOVATED (SQFT)	COMMENTS
4th Floor				
3rd Floor	1,074 SQFT	0	0	
2nd Floor	1,074 SQFT	0	0	
Mezzanine	373 SQFT	832 SQFT	373 SQFT	
1st Floor	10,622 SQFT	0	3,618 SQFT	
Basement	N/A	N/A	N/A	
TOTAL	13,143 SQFT	832 SQFT	3,991 SQFT	

H. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION

Occupancy: (Chapter 3)
 Assembly (303) A-1 A-2 A-3 A-4 A-5
 Business (304) B
 Educational (305) E
 Factory (306) F-1 Moderate F-2 Low
 Hazardous (307) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional (308) I-1 I-2 I-3 I-4
 I-3 Condition 1 2 3 4 5
 Mercantile (309) M
 Residential (310) R-1 R-2 R-3 R-4
 Storage (311) S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous (312) U

Accessory Occupancies: (310a); (508) If Applicable
 Assembly (303) A-1 A-2 A-3 A-4 A-5
 Business (304) B
 Educational (305) E
 Factory (306) F-1 Moderate F-2 Low
 Hazardous (307) H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional (308) I-1 I-2 I-3 I-4
 I-3 Condition 1 2 3 4 5
 Mercantile (309) M
 Residential (310) R-1 R-2 R-3 R-4
 Storage (311) S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous (312) U

H. ALLOWABLE AREA: OCCUPANCY CLASSIFICATION (CONT.)

Incidental Uses: If applicable - areas with additional occupancies (Table 508.2.5)
 Furnace room where any piece of equipment is over 400,000 Btu per hour input
 Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
 Refrigerant machine room
 Hydrogen cutoff rooms, not classified as Group H
 Incinerator rooms
 Paint shops, not classified as Group H, located in occupancies other than Group F
 Laboratories and vocational shops, not classified as Group H, located in Group E or I-2 occupancy
 Laundry rooms over 100 square feet
 Group I-3 cells equipped with padded surfaces
 Group I-2 waste and linen collection rooms
 Waste and linen collection room over 100 square feet
 Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterruptible power supplies.
 Room containing fire pumps Room containing Life-Safety generator Rooms containing primary transformers
 Group I-2 storage room over 100 square feet
 Group I-2 commercial kitchens
 Group I-2 laundries equal to or less than 100 square feet
 Group I-2 rooms or spaces that contain fuel-fired heating equipment

Special Uses: If Applicable
 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416
 417 418 419 420 421 422 423 424 425 426 427

Special Provisions: If Applicable
 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy Use: (506.5) If Applicable
 No Yes Separation: _____ Hr. Exception: _____
 Incidental Use Separation (508.2.5)
 This separation is to be used for a Non-Separated Use (see exceptions).
 Non-Separated Use (508.3)
 The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations.
 For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1. If applicable to this project please provide a key plan with all occupancies identified with square footage.

STORY	DESCRIPTION AND USE	(A) ALLOWABLE AREA PER STORY (TABLE 503)	(B) ACTUAL AREA PER STORY (TABLE 503)	(C) RATIO (B)/(A)	(D) ALLOWABLE AREA PER STORY (TABLE 503)	(E) ACTUAL AREA PER STORY (TABLE 503)	(F) RATIO (E)/(D)	(G) MAXIMUM BUILDING AREA*
1	A2-RESTAURANT	10,622 SF	6,000 SF	N/A	12,000 SF	18,000 SF		18,000 SF
2	B/ART STUDIO	1,074 SF	9,000 SF	N/A	18,000 SF	27,000 SF		36,000 SF*
2	B/ART STUDIO	1,074 SF	9,000 SF	N/A	18,000 SF	27,000 SF		

Actual Area of Occupancy A + Actual Area of Occupancy B = _____ ≤ 1.00
 Allowable Area of Occupancy A + Allowable Area of Occupancy B = _____ ≤ 1.00

I. ALLOWABLE HEIGHT (CHAPTER 5)

*MAXIMUM ALLOWABLE BUILDING AREA IS 36,000 SF, BASED ON SECTION 508.3 - NONSEPARATED MIXED OCCUPANCY - THE MAXIMUM BUILDING AREA IS THE ALLOWABLE BUILDING AREA, AS DEFINED IN TABLE 503, FOR THE MOST RESTRICTIVE OCCUPANCY, WHICH IS A3-ASSEMBLY
 *Maximum Building Area = total number of stories in the building x E (506.4.1).
 *The maximum area of open parking garage must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 112.2.
 *Unlimited area applicable under conditions of Sections 507.
 *Maximum Building Area = total number of stories in the building x E (506.4.1).
 *The maximum area of open parking garage must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 112.2.
 *Unlimited area applicable under conditions of Sections 507.
 *Maximum Building Area = total number of stories in the building x E (506.4.1).
 *The maximum area of open parking garage must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 112.2.
 *Unlimited area applicable under conditions of Sections 507.

J. FIRE PROTECTION REQUIREMENTS (CHAPTER 7)

BUILDING ELEMENT	FIRE PROTECTION DISTANCE (FEET)	RATING*	PROVIDED (NO. OF RATED UNITS)	DETAIL AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINT	DESIGN # FOR RATED PROTECTIVE
Structural Frame including columns, girders, trusses	N/A	1-HR	1-HR					
Bearing Walls (See Section 601-602 if rated)								
Exterior								
North	ONLY THE HISTORIC 3-STORY STRUCTURE UTILIZES LOAD BEARING EXTERIOR WALLS. THIS STRUCTURE IS NOT BEING MODIFIED OR RENOVATED IN ANY WAY							
East								
West								
South								
Interior	N/A	N/A	N/A					
Nonbearing Walls and Partitions (See Section 601-602 if rated)								
Exterior								
North	<3'-0"	1-HR	1-HR					
East	<3'-0"	1-HR	1-HR					
West	<3'-0"	1-HR	1-HR					
South	<3'-0"	1-HR	1-HR					
Floor Construction including supporting beams and joists	N/A	1-HR	1-HR					
Roof Construction including supporting beams and joists	N/A	1-HR	1-HR					
Shaft Enclosures - Exit	N/A	2-HR	2-HR					
Shaft Enclosures - Other	N/A	1-HR	1-HR					
Corridor Separation	N/A	1-HR	1-HR					
Occupancy Separation	N/A	1-HR	1-HR					
Party Fire Wall Separation	N/A	N/A	N/A					
Smoke Barrier Separation	N/A	N/A	N/A					
Tenant Separation	N/A	1-HR	1-HR					
Incidental Separation	N/A	N/A	N/A					

*Indicate section number permitting reduction

K. PERCENTAGE OF WALL OPENING CALCULATIONS

FIRE SEPARATION DISTANCE FROM PROPERTY LINE (TABLE 703)	DEGREE OF OPENING PROTECTION (TABLE 703)	ALLOWABLE AREA (%)	ACTUAL OPENING AREA (%)	COMMENTS
EAST (SCOTT ST EXT)	UNLIMITED*	N/A	N/A	*705.8.1, EXCEPTION FOR A WALL THAT FACES A STREET WITH A FIRE SEPARATION OF MORE THAN 15'-0".
NORTH (BAY STREET)	NO CHANGE TO EXISTING			
SOUTH (RIVER FRONT)	NO CHANGE TO EXISTING			
WEST	NO CHANGE TO EXISTING			

CHAPTER 2 DEFINES FIRE SEPARATION DISTANCE AS THE DISTANCE MEASURED FROM THE BUILDING FACE TO ...2. THE CENTER LINE OF A STREET... MEASURED AT RIGHT ANGLES

I. WALL LEGENDS

REQUIRED FOR ALL PROJECTS
 CHECK THE FOLLOWING ARE PRESENT AND INDICATED BY A WALL LEGEND ON ALL PLANS
 Fire Walls 706 Fire Barriers 707 Shaft Enclosure 708 Fire Partitions 709 Smoke Barriers 710
 Smoke Partitions 711 No rated walls are present

M. LIFE SAFETY SYSTEMS (EXISTING OR NEW SYSTEMS)

REQUIRED FOR ALL PROJECTS
 Emergency Lighting: (1006) No Yes
 Exit Signs: (1011) No Yes
 Fire Alarm: (907, NFPA 72-07) No Yes
 Smoke Detection System: 907 No Yes Partial _____
 Panic Hardware: S1008.1.10 No Yes
 Life Safety systems generator: S2702.2 No Yes

N. LIFE SAFETY PLAN CHECK LIST FOR COMPLIANCE

REQUIRED FOR ALL PROJECTS - CHECK ITEMS THAT ARE APPLICABLE TO YOUR PROJECT
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Existing structures within 30' of the proposed building
 Location of doors with panic hardware (1008.1.10)
 Occupant load for each area
 Exit access travel distances (1016)
 Common path of travel distances (1014.3&1028.8)
 Dead end lengths (1018.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purpose of occupancy separation
 Location of doors with panic hardware (1008.1.10)
 Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
 Location of doors with electromagnetic egress locks (1008.1.9.8)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1029)
 The square footage of each fire area (902)
 The square footage of each smoke compartment (407.4)
 Note any code exceptions or table notes that may have been utilized regarding the items above

O. EXIT REQUIREMENTS

REQUIRED FOR ALL PROJECTS
 NUMBER AND ARRANGEMENT OF EXITS (TABLE 1002.1)

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM # OF EXITS	TRAVEL DISTANCE	ARRANGEMENT MEANS OF EXITS
1ST FLOOR	4	200'	115'
MEZZANINE	2		48'-5"
SECOND FLOOR			73'-3"
THIRD FLOOR			

 1 Corridor dead ends (Section 1018.4)
 2 Buildings with Single Exits (Table 1002.2), Spaces with one means of egress (Table 1015.1)
 3 Common Path of Travel (Section 1014.3)
 OCCUPANT LOAD AND EXIT WIDTH (TABLE 1004.1.1)

USE GROUP OR SPACE DESIGNATION	NO. OF OCCUPANTS	EXIT WIDTH (INCHES)	ACTUAL WIDTH (INCHES)
ASSEMBLY (1)			
BUSINESS			
STORAGE			

 *See Table 1004.1.2 to determine whether net or gross area is applicable.
 See definition "Area, Gross" and "Area, Net" (Section 1002)
 1 Minimum stairway width (Section 1009.1); min. corridor width (Section 1018.2); min. door width (Section 1008.1.1)
 2 Minimum width of exit passageway (Section 1023.2)
 3 See Section 1004.5 for converging exits.
 4 The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1008.1)
 5 Assembly occupancies (Section 1028)
 6 Stairs within occupancies or groups shall be calculated independently. (Ex. Lobbies, lounges, break rooms, conference rooms.)

P. ACCESSIBLE DWELLING UNITS AND SLEEPING UNITS

ACCESSIBLE DWELLING UNITS (1107)

TOTAL UNITS	UNITS REQUIRED	UNITS PROVIDED	TOTAL UNITS	UNITS REQUIRED	UNITS PROVIDED	TOTAL UNITS	UNITS REQUIRED	UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Q. ACCESSIBLE PARKING

PROJECTS THAT ARE NEW CONSTRUCTION, ADDITION, CHANGE OF USE
 ACCESSIBLE PARKING (1106)

LOT OR PARKING AREA	TOTAL PARKING SPACES	# OF ACCESSIBLE SPACES PROVIDED	COMMENTS
	REQUIRED	PROVIDED	
	REQUIRED	PROVIDED	
TOTAL			

R. STRUCTURAL DESIGN

PRIMARY FOR NEW CONSTRUCTION, ADDITIONS AND CHANGE OF USE
 Located on Structural Sheet Number _____
 DESIGN LOADS:
 Implosion Factors: (ASCESEI 7-05-11.5) Wind _____
 Snow _____
 Seismic _____
 Live Loads: Roof: (1603.1.2, 1607.11, 1611) _____ psf
 Floor: (1603.1.1, 1607.10, 11607.10) _____ psf
 Live load reductions: (1603.1.1, 1607.9) _____ psf
 Ground Snow Load: (1608.2) _____
 Wind Load: Basic Wind Speed: (1609.3) (V_{ult} ultimate) _____ mph (ASCE-7)
 Exposure Category: (1609.4) _____
 Wind Base Shears (for MWFRS) (Engineer Cal's) V_{ult} = _____ Y_{ult} = _____
 (UL level)
 SEISMIC DESIGN CATEGORY: (1613.1, 1613.5.6)
 Provide the following Seismic Design Parameters:
 Occupancy Category: (Table 1604.5) A B C D E
 Spectral Response Acceleration: (Engineer cal's) S_s = _____ S₁ = _____
 Site Classification: (Table 1613.5.2) A B C D E F
 Data Source: Field Test Prescriptive Historical Data
 Basic Structural System (Check one) Bearing Wall Dual w/ Special Moment Frame
 Ground Storey Load Building Frame Dual w/ Intermediate RC or Special Steel
 Moment Frame Inverted Pendulum
 Wind Load: V_{ult} = _____ Y_{ult} = _____
 Seismic base shear: (Engineer Cal's) V_{ult} = _____ Y_{ult} = _____
 Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
 Yes No Anchorage of components as required per ASCE Chapter 13
 Architectural, Mechanical, Components anchored? Yes No
 LATERAL DESIGN CONTROL: Earthquake Wind (Varies)

S. SPECIAL INSPECTIONS:

SCHEDULE OF SPECIAL INSPECTIONS
 No special inspections required for this project
 Special inspections required
 The following sheets comprise the required schedule of Special Inspections for this project. The construction division which require special inspections for this project are as follows:
 IT-1 Verification of Soils
 IT-2 Excavation and Fill
 IT-3 Piling and Drilling Piers
 IT-4 Modular Retaining Walls
 IT-5 Reinforced Concrete
 IT-6 Post Tension Slab
 IT-7 Pre-cast Concrete Erection
 IT-8 Pre-stressed Concrete
 IT-9 Inspection of Pre-cast Fabricators
 IT-10 Inspection of Structural Steel Fabricators
 IT-11 Structural Masonry
 IT-12 Masonry
 IT-13 High Strength Bolts & Steel Framing Joints
 IT-14 Sprayed Fire Resistance Materials
 IT-15 Exterior Insulation and Finish System
 IT-16 Seismic Resistance
 IT-17 Smoke Control
 IT-18 Detention Basin
 IT-19 Special Cases

T. PLUMBING FIXTURES REQUIREMENTS

NEW CONSTRUCTION, ADDITIONS, UPFITS, ALTERATIONS AND CHANGE OF USE OR INCREASING OCCUPANT LOAD
 TABLE 500.1

OCCUPANCY	WATER CLOSURES	URINALS	LAVATORIES	SHOWERS	WATER FOUNTAINS
RESTAURANT	—	—	—	—	—
TOTAL REQUIRED	—	—	—	—	—
TOTAL PROVIDED	1	2	1	2	0

U. SPECIAL APPROVALS

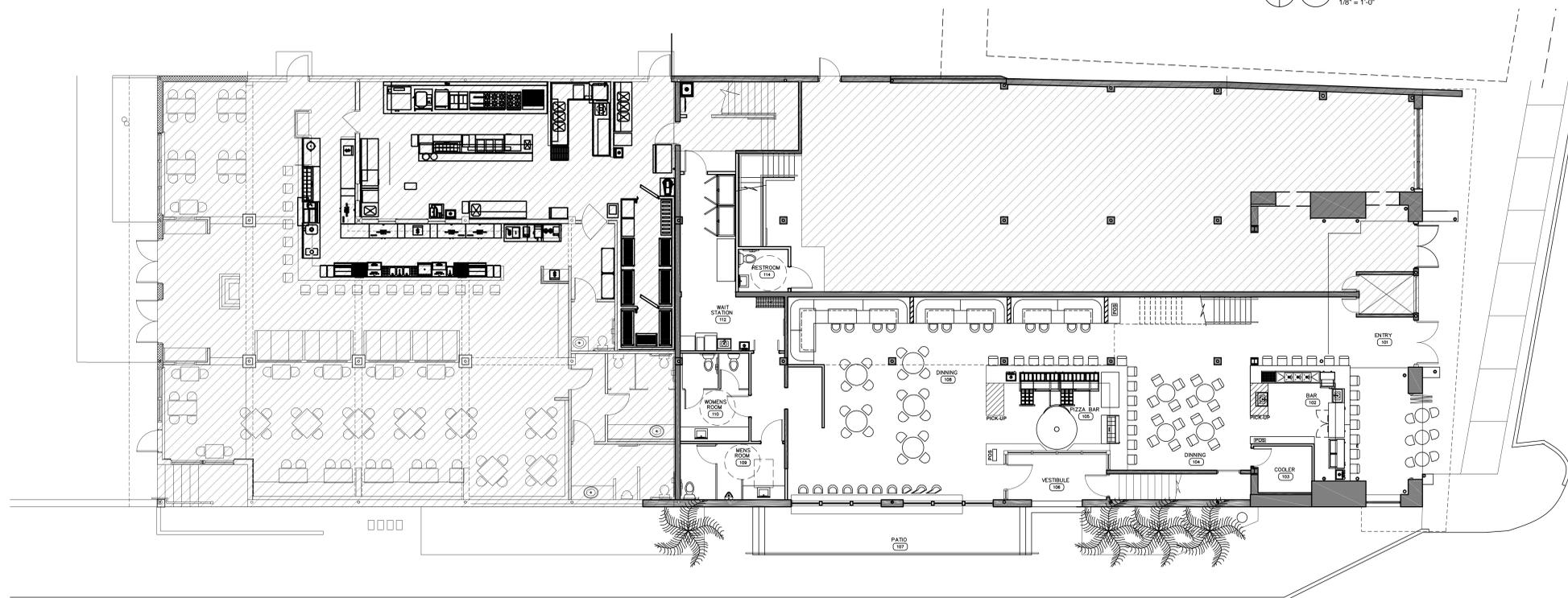
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
 CITY OF BEAUFORT HISTORICAL REVIEW BOARD

V. ENERGY SUMMARY

BUILDING ENVELOPE:
 ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the North Carolina Energy Conservation Code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the



D2 SECOND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



A2 FIRST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"

GENERAL NOTES:

- A. ALL EXTERIOR WALLS ARE LOAD BEARING
- B. PERCENTAGE OF WALL OPENING AT EACH EXTERIOR WALL IS UNLIMITED, PER 2012 IBC 705.8.1, EXCEPTION 2
- C. PER 2012 IBC TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES, ASSEMBLY AND BUSINESS OCCUPANCIES DO NOT REQUIRE A FIRE RATED SEPARATION.

SHEET KEY NOTES:

- 1. VOTING MACHINE STORAGE ON RACKS, 7'-0" HIGH MAX
- 2. PORTABLE FOLDING PARTITION TO BE USED FOR EARLY VOTING

IBC 2012 EGRESS REQUIREMENTS:

- OCCUPANT LOAD: 82 PEOPLE
 BUILDING IS NOT FIRE SPRINKLERED
 OCCUPANCY TYPE: (B) BUSINESS & (A) ASSEMBLY
- MAXIMUM TRAVEL DISTANCE: 200' (WITHOUT SPRINKLER SYSTEM)
 MAXIMUM DEAD END CORRIDOR: 20' (PROVIDED = 10'-0")
 MINIMUM NUMBER OF EXITS: 2 (PROVIDED = 2)
 MINIMUM CORRIDOR WIDTH: 44" (PROVIDED = 52")
- EGRESS NOTES:
- 1. BUILDING DIAGONAL = 96'-10"
 - 2. ACTUAL DISTANCE PROVIDED BETWEEN REQUIRED EGRESS DOORS = 73'-3" WHICH IS MORE THAN 1/2 OF BUILDING DIAGONAL (48'-5")
 - 3. ALL EGRESS DOORS ARE 36" WIDE AND PROVIDE A MINIMUM 34" CLEAR OPENING.
 - 4. PRIMARY OCCUPANCY IS B (BUSINESS)

OCCUPANT LOAD SUMMARY (IBC SECTION 1004, TABLE 1004.1.2)

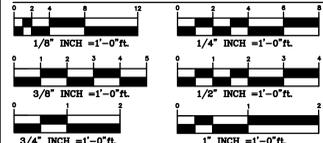
SEE OCCUPANCY DIAGRAM E2/G-103

USE GROUP OR SPACE DESCRIPTION	AREA ¹ sq. ft.	AREA PER OCCUPANT (TABLE 1003.2.2.2)	CALCULATED OCCUPANT LOAD (a/b)
ASSEMBLY UNCONCENTRATED	989 SF	15 NET	69
BUSINESS AREAS	864 SF	100 GROSS	10
STORAGE AREAS	731 SF	300 GROSS	3
TOTAL			82

LEGEND:

- BUILDING DIAGONAL
- EGRESS TRAVEL PATH AND DISTANCE
- EXIT DISCHARGE
 - SINGLE DOOR WITH A MINIMUM 34" CLEAR OPENING
 - CEILING MOUNTED ILLUMINATED EXIT SIGN
 - ILLUMINATED EXIT SIGN AND EMERGENCY EXIT LIGHT COMBO WITH 90 MINUTE BATTERY BACKUP ON INTERIOR AND EMERGENCY EXIT LIGHT WITH 90 MINUTE BATTERY BACKUP ON EXTERIOR
- NAME: ROOM TAG:
 - #/#/#: ROOM NAME
 - #/#/#: ROOM NUMBER
 - #/#/#: SF/NET
 - #/#/#: SF/NET
 - #/#/#: # OF OCCUPANTS
- INTERIOR EMERGENCY EGRESS LIGHT AND EXIT SIGN WITH 90 MIN. EMERGENCY BATTERY BACKUP.
- EMERGENCY EGRESS LIGHT WITH 90 MIN EMERGENCY BATTERY BACKUP
- PORTABLE HAND HELD FIRE EXTINGUISHER MOUNTED TO WALL IN MANUFACTURER PROVIDED BRACKET. MOUNT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. MOUNTED WITH TOP NO MORE THAN 5'-0" AFF. REVIEW EXTINGUISHER TYPES AND LOCATIONS WITH LOCAL FIRE MARSHALL. EXTINGUISHER AND INSTALLATION PER NFPA 10. PROVIDE PROPER HANGERS AND BLOCKING FOR EACH WALL TYPE

GRAPHIC SCALES:



BEAUFORT
73 Sea Island Pkwy, Ste 30
Beaufort, SC 29902

CHARLOTTE
7315 Swansea Lane
Cornellius, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

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HEARTH AT SALTUS RIVER GRILL
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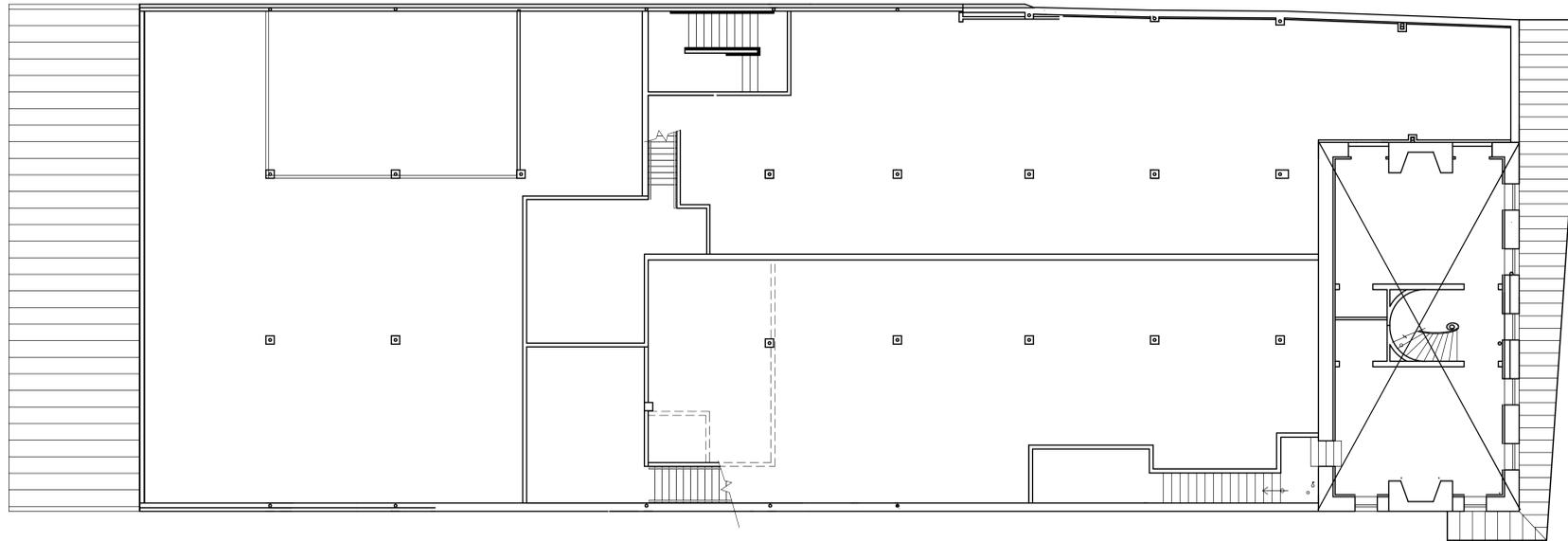
NO.	REVISIONS	DATE
	DESCRIPTION	

SHEET INFORMATION

DATE	AUGUST 1, 2016
JOB NUMBER	16017.00
DRAWN	ADB
CHECKED	DCS
APPROVED	DCS

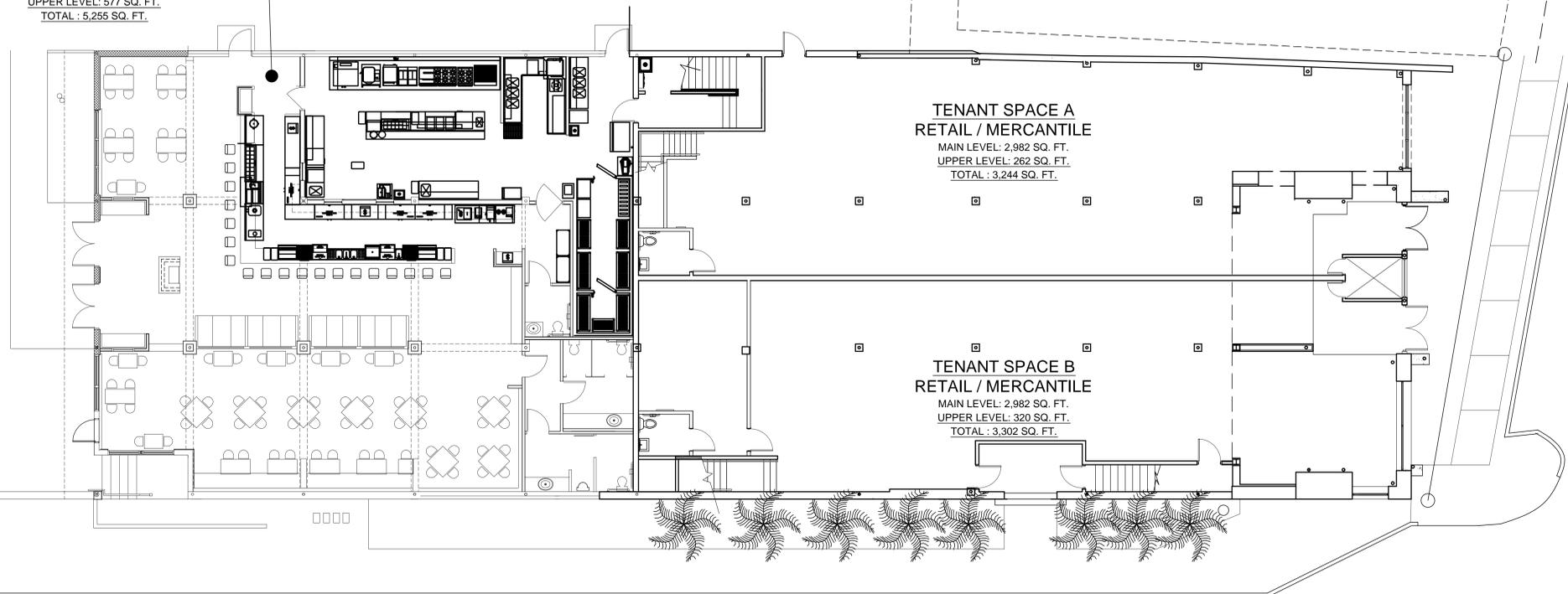
LIFE SAFETY PLAN

G-103



D2 EXISTING SECOND FLOOR PLAN
1/8" = 1'-0"

TENANT SPACE C
RESTAURANT / ASSEMBLY (A-2)
MAIN LEVEL: 4,678 SQ. FT.
UPPER LEVEL: 577 SQ. FT.
TOTAL : 5,255 SQ. FT.

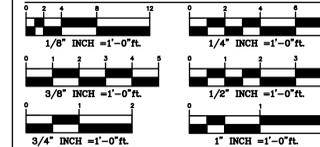


TENANT SPACE A
RETAIL / MERCANTILE
MAIN LEVEL: 2,982 SQ. FT.
UPPER LEVEL: 262 SQ. FT.
TOTAL : 3,244 SQ. FT.

TENANT SPACE B
RETAIL / MERCANTILE
MAIN LEVEL: 2,982 SQ. FT.
UPPER LEVEL: 320 SQ. FT.
TOTAL : 3,302 SQ. FT.

A2 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"

GRAPHIC SCALES:



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73 Sea Island Pkwy, Ste 30
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CHARLOTTE
7315 Swainsea Lane
Cornellius, NC 28031
(843) 324-8277
info@beaufortdesignbuild.com
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NO.	DESCRIPTION	DATE

SHEET INFORMATION

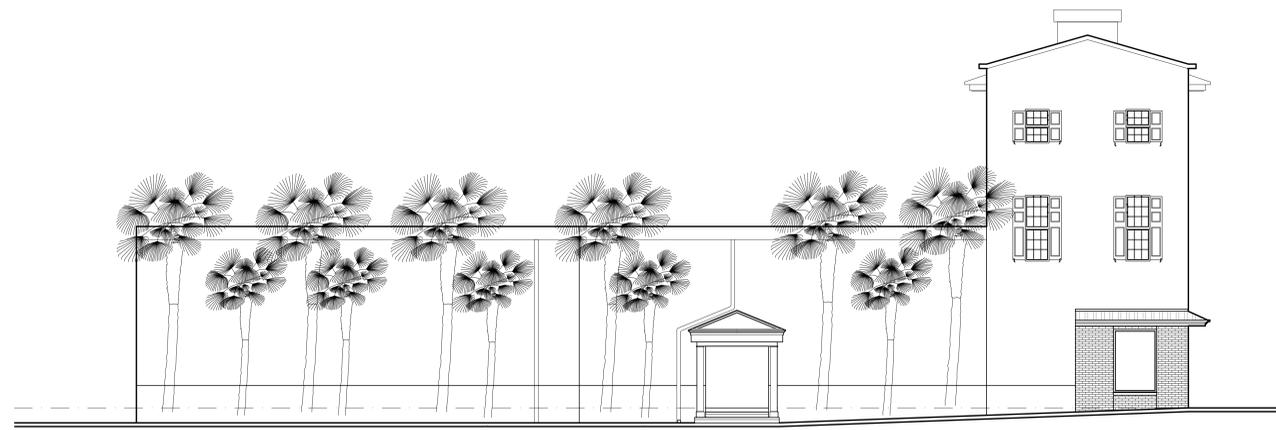
DATE	AUGUST 1, 2016
JOB NUMBER	16017.00
DRAWN	CJW
CHECKED	DCS
APPROVED	DCS

EXISTING
CONDITIONS
FLOOR PLAN

EC-101

6 5 4 3 2 1

E
D
C
B
A

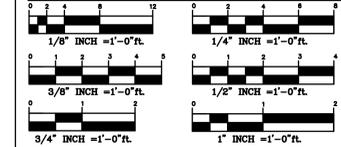


C2 EAST ELEVATION
1/8" = 1'-0"



A2 NORTH ELEVATION
1/8" = 1'-0"

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73 Sea Island Pkwy, Ste 30
Beaufort, SC 29902

CHARLOTTE
7315 Swainsea Lane
Cornellius, NC 28031
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info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

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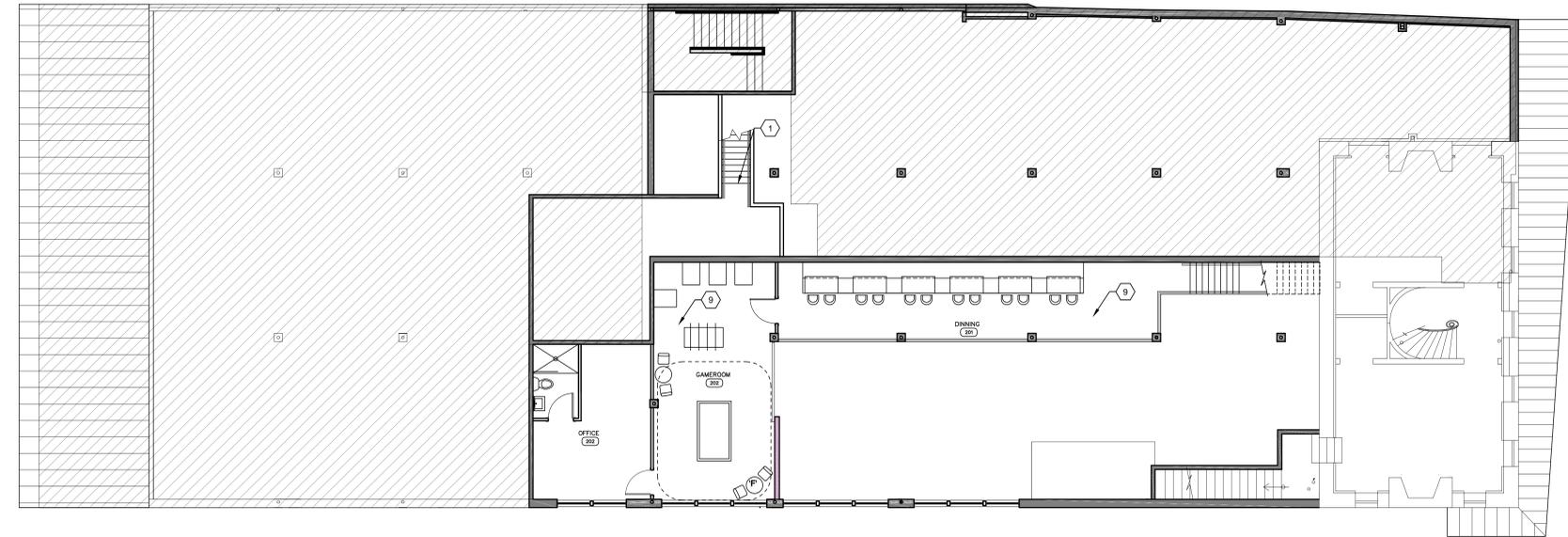
NO.	REVISIONS	DATE
	DESCRIPTION	

SHEET INFORMATION	
DATE	AUGUST 1, 2016
JOB NUMBER	16017.00
DRAWN	CJW
CHECKED	DCS
APPROVED	DCS

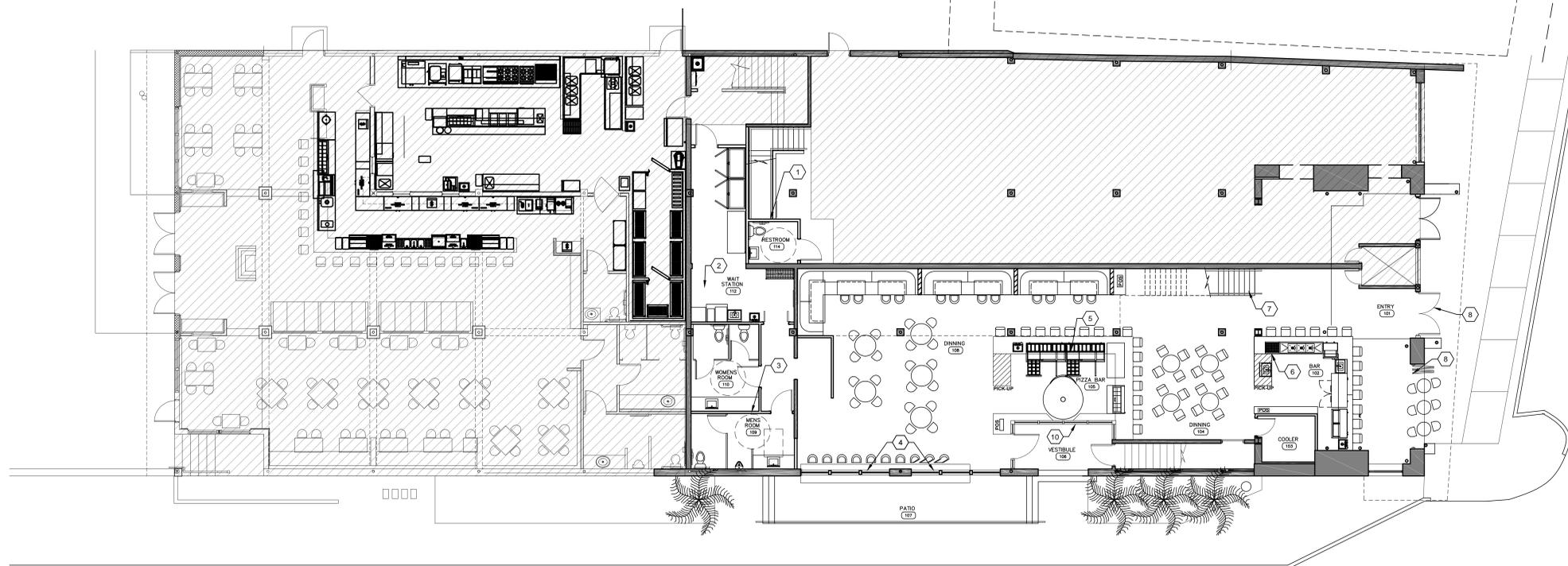
EXISTING
CONDITIONS
ELEVATIONS

EC-201

6 5 4 3 2 1



D2 PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"



A2 PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

BUILDING DATA:

A. TEXT

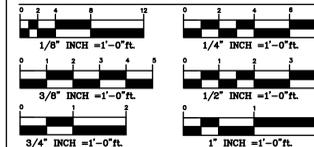
SHEET KEY NOTES: X

1. RELOCATED RESTROOM AND STAIR IN TENANT SPACE "A"
2. NEW WAIT STATION / CONNECTING ROOM BETWEEN TERNATE SPACE "B" AND "C"
3. NEW RESTROOMS (MEN'S AND WOMEN'S)
4. PROPOSED WINDOWS ALONG SCOTT STREET EXTENSION
5. NEW PIZZA BAR / OVEN AREA
6. NEW BAR AREA
7. RELOCATED STAIR TO MEZZANINE
8. PROPOSES WOOD / GLASS ENTRY / STORE FRONT
9. ENLARGED MEZZANINE TO ACCOMMODATE ADDITIONAL DINNING AND GAME ROOM
10. FIXED WOOD / GLASS DOOR PANELS AT EXISTING RECESS ALONG SCOTT STREET EXTENSION

LEGEND:

NO WORK IN THIS AREA

GRAPHIC SCALES:



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73 Sea Island Pkwy, Ste 30
Beaufort, SC 29902

CHARLOTTE
7315 Swainsea Lane
Cornellius, NC 28031

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info@beaufortdesignbuild.com
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CONSTRUCTION**

NO.	DESCRIPTION	DATE

SHEET INFORMATION

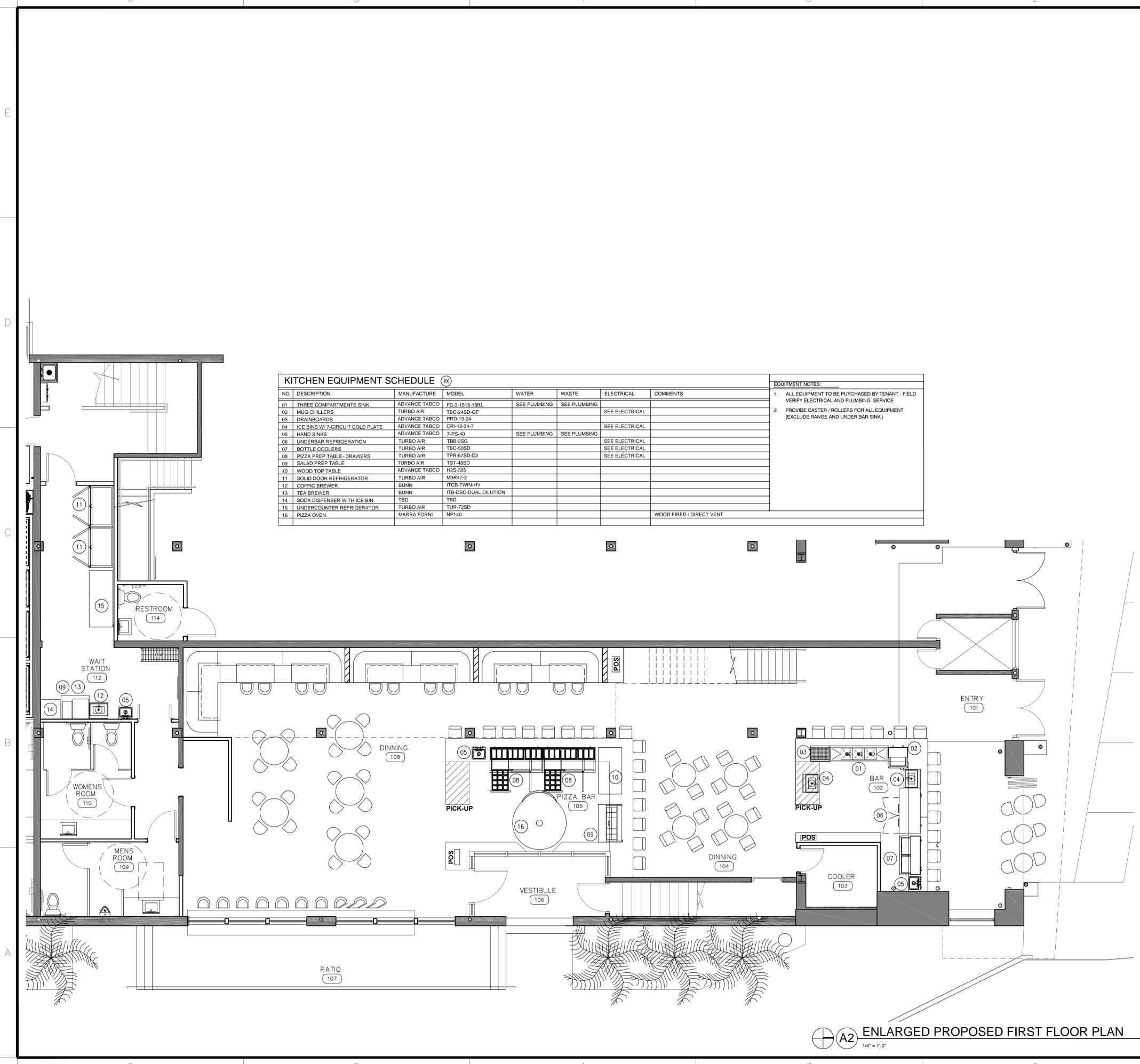
DATE	AUGUST 1, 2016
JOB NUMBER	16017.00
DRAWN	CJW
CHECKED	DCS
APPROVED	DCS

PROPOSED FLOOR PLANS

A-101

KITCHEN EQUIPMENT SCHEDULE (X)							EQUIPMENT NOTES:
NO.	DESCRIPTION	MANUFACTURE	MODEL	WATER	WASTE	ELECTRICAL	COMMENTS
01	THREE COMPARTMENTS SINK	ADVANCE TABCO	FC-3-1515-15RL	SEE PLUMBING	SEE PLUMBING	SEE ELECTRICAL	
02	MUG CHILLERS	TURBO AIR	TBC-24SD-GF				
03	DRAINBOARDS	ADVANCE TABCO	PRD-19-24				
04	ICE BINS W/ 7-CIRCUIT COLD PLATE	ADVANCE TABCO	CRI-12-24-7			SEE ELECTRICAL	
05	HAND SINKS	ADVANCE TABCO	7-PS-40	SEE PLUMBING	SEE PLUMBING		
06	UNDERBAR REFRIGERATION	TURBO AIR	TBB-25G			SEE ELECTRICAL	
07	BOTTLE COOLERS	TURBO AIR	TBC-60SD			SEE ELECTRICAL	
08	PIZZA PREP TABLE, DRAWERS	TURBO AIR	TPR-67SD-D2			SEE ELECTRICAL	
09	SALAD PREP TABLE	TURBO AIR	TST-48SD			SEE ELECTRICAL	
10	WOOD TOP TABLE	ADVANCE TABCO	H2S-305				
11	SOLID DOOR REFRIGERATOR	TURBO AIR	M3R47-2				
12	COFFIC BREWER	BUNN	ITCB-TWIN-HV				
13	TEA BREWER	BUNN	ITB-DBC-DUAL DILUTION				
14	SODA DISPENSER WITH ICE BIN	TBD	TBD				
15	UNDERCOUNTER REFRIGERATOR	TURBO AIR	TUR-72SD				
16	PIZZA OVEN	MARRA FORNI	NP140				WOOD FIRED / DIRECT VENT

- ALL EQUIPMENT TO BE PURCHASED BY TENANT - FIELD VERIFY ELECTRICAL AND PLUMBING SERVICE
- PROVIDE CASTER / ROLLERS FOR ALL EQUIPMENT (EXCLUDE RANGE AND UNDER BAR SINK)



A2 ENLARGED PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

BUILDING DATA:

A. TEXT

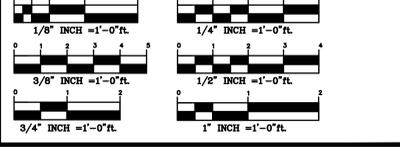
SHEET KEY NOTES: (X)

- RELOCATED RESTROOM AND STAIR IN TENANT SPACE "A"
- NEW WAIT STATION / CONNECTING ROOM BETWEEN TERNATE SPACE "B" AND "C"
- NEW RESTROOMS (MENS AND WOMENS)
- PROPOSED WINDOWS ALONG SCOTT STREET EXTENSION
- NEW PIZZA BAR / OVEN AREA
- NEW BAR AREA
- RELOCATED STAIR TO MEZZANINE
- PROPOSES WOOD / GLASS ENTRY / STORE FRONT
- ENLARGED MEZZANINE TO ACCOMMODATE ADDITIONAL DINNING AND GAME ROOM
- FIXED WOOD / GLASS DOOR PANELS AT EXISTING RECESS ALONG SCOTT STREET EXTENSION

LEGEND:



GRAPHIC SCALES:



BEAUFORT
73 Sea Island Pkwy, Ste 30
Beaufort, SC 29902

CHARLOTTE
7315 Swainsea Lane
Cornellius, NC 28031

(843) 321-8277
info@beaufortdesignbuild.com
www.beaufortdesignbuild.com

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HEARTH AT SALTUS RIVER GRILL
802 BAY STREET
BEAUFORT, SC 29902

NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE

SHEET INFORMATION		
DATE	AUGUST 1, 2016	
JOB NUMBER	16017.00	
DRAWN	CJW	
CHECKED	DCS	
APPROVED	DCS	

ENLARGED PROPOSED FLOOR PLAN

A-102

6

5

4

3

2

1

E

D

C

B

A

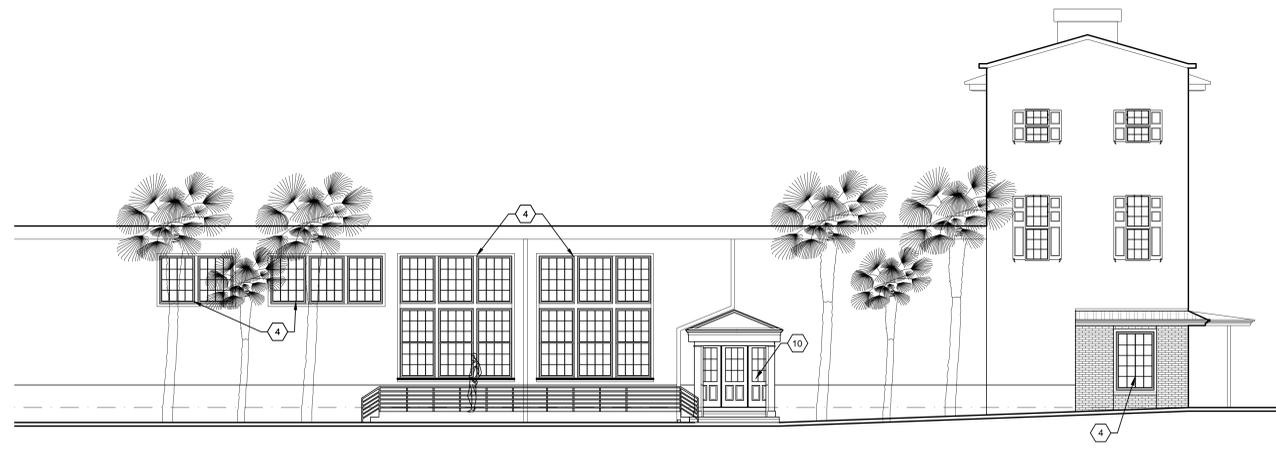
BUILDING DATA:

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LEGEND:

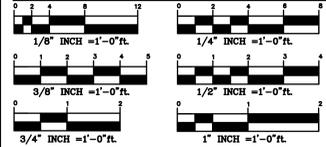


C2 EAST ELEVATION
1/8" = 1'-0"



A2 NORTH ELEVATION
1/8" = 1'-0"

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NO.	REVISIONS	DESCRIPTION	DATE

SHEET INFORMATION

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JOB NUMBER: 16017.00
DRAWN: CJW
CHECKED: DCS
APPROVED: DCS

PROPOSED EXTERIOR ELEVATIONS

A-201

6

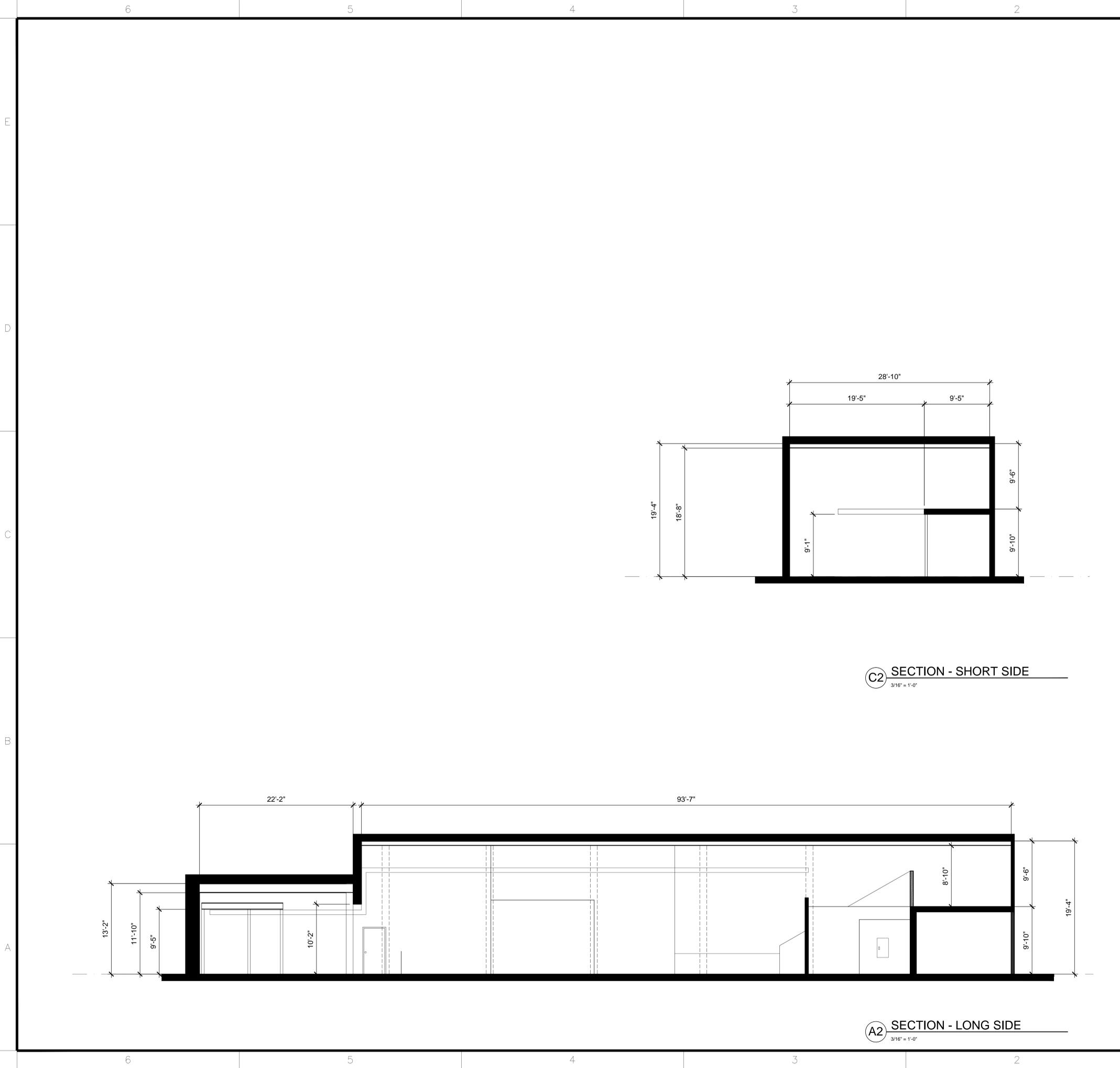
5

4

3

2

1



C2 SECTION - SHORT SIDE
3/16" = 1'-0"

A2 SECTION - LONG SIDE
3/16" = 1'-0"

BUILDING DATA:

A. TEXT

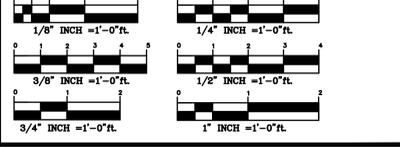
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LEGEND:

NO WORK IN THIS AREA

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SECTIONS

A-301