

Apt 1, 2794
\$ PAID
2-22-16

See back of application
for fees

CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised - 07/15/2011)

Application #: HR16-07 Date Received: 2-22-16 Zoning District: G1R

Property Address: 808 NEWCASTLE STREET

Applicant: COREY POST - SALTLINE CONSTRUCTION Phone: 834.263.1223

Applicant's Address: 4392 PINWOOD CIRCLE, BEAUFORT, SC 29906

Beaufort County 1997 Historic Sites Survey listing: _____

Property Owner: SUSAN SAGUI Phone: 575.885.4012

Owner's Address: 408 PIKE DRIVE, CARLSBAD NM 88220

Architect: THOMAS MICHAELS Phone: 843.252.2454

Architect's Address: PO BOX 58, PORT ROYAL SC 29935

REQUEST FOR: Conceptual Review Preliminary Review
 Final Approval Change After Certification

NATURE OF WORK: (Check All That Apply)

Color changes Alterations, Additions
 Signage, Awnings New Construction
 Legal Plat Minor/Major Demolition or Relocation
 Other: _____

DRAWINGS/MATERIALS ACCOMPANYING APPLICATION: (Refer to Appropriate Checklists for Requirements)

Photographs Floor/Roof Plans Color Sample Elevation Drawings
 Site Plan/Plat Detail Drawing Material Sample Model

EXPLANATION AND DESCRIPTION OF WORK:

THE PROJECT CONSISTES OF A NEW MAINHOUSE (1,880 SF HTD.) AND GUEST HOUSE (880 SF HTD.) TO THE PROPERTY. MATERIALS WILL INCLUDE HARDPLANK SIDING, METAL ROOF, WOOD COLUMNS AND A STUCCO FOUNDATION.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? ___ Yes XX No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the Beaufort Preservation Manual and Supplement, or the Northwest Quadrant Design Principles (refer to _____) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. **Submittal Requirements:** 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date. If the applicant or a representative is not present at the meeting the application will not be reviewed.

OWNER'S SIGNATURE: _____ DATE: - AGENT FOR OWNER 2/21/16

APPLICANT'S SIGNATURE: [Signature] DATE: 2-21-16

CITY OF BEAUFORT
Historic District Review Board
Full Board
Staff Report
Meeting of March 9, 2016

Case Number: HR16-07
Property Address: 808 Newcastle Street
Applicant: Corey Post – Saltline Construction
Type of Request: New Residential Construction - NWQ
Zoning: GR – General Residential

Historical: This parcel on Newcastle Street is located in the Northwest Quadrant Neighborhood. It previously contained two houses, but is currently vacant.

Request: **The applicant wishes to construct three structures:**

- 1. A primary house**
- 2. A garage with attached office, and**
- 3. A guest house in the rear**

Size: **The sizes are as follows:**

- 1. Primary House – 1,792 SF heated, 224 SF unheated**
- 2. Garage/Office – 375 heated SF, 875 SF unheated**
- 3. Guest House – 800 sf heated, 192 SF unheated**

All of the structures are proposed to be one story.

Zoning: **GR – General Residential – NWQ**

- **Setbacks:**
 - *Front: prevailing;* shown at 12' to building form with 8' porch encroachment.
 - *Side: 6';* shown at approx. 6.5' on one side and 12' on the other side
 - *Rear: 15';* shown at over 100'
 - *Side & Rear for Accessory Buildings (Historic District): 5';* guest cottage is within required setbacks; Garage is shown encroaching into required side setback and would require a variance.
- *Maximum Height: 35';* shown at 18' from grade to average median roof height
- *Impervious Surface Coverage, Max: 50%;* shown at 44%
- *Garage Footprint:* Cannot exceed 50% of the primary building footprint. As show, the total footprint of 1,250 SF is 70% of the primary building footprint and would require a variance.

Synopsis of Applicable Guidelines:

- The Northwest Quadrant Design Principles discuss appropriate new construction and details. With regards to Accessory Structures, the Principles state: It is preferred that the character of the accessory building be very modest and reflect the building form of the primary structure.
- The Preservation Manual Supplement, p. 13-15 discusses new construction. The

following items to be considered: Scale, Elevation of First Floor, Floor-to-floor heights, Bays, windows and doors, Absolute size, Massing, Orientation, Proportions (Volumes and Openings), Materials, Forms and Siting.

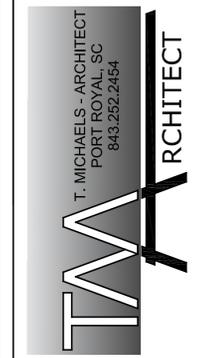
Staff Questions, Comments & Suggestions:

- **General:** This lot is unique in that it is very deep; it extends over 180', 2/3 of a block. It previously had been occupied by up to three residential structures. Staff appreciates the applicant's desire to utilize the depth of the lot while maintaining the characteristics of the streetscape.
- **Scale:** The mass and scale of the primary building is appropriate for this neighborhood and meets the intent of the Preservation Manual Supplement and NWQ Design Principles. The mass and scale of the garage building seems fairly large in relationship to the primary structure. Consider reducing that to two cars. A covered carport may be able to be added to enclose a third car if needed.
- **Proportions & Details:**
 - Roof pitch: Overall for all buildings - have you considered reducing the roof pitch of the main building form (not the porch gable) to something lower, perhaps 6:12? Since it isn't habitable, it seems to be very tall. This reduction would reduce the roof mass on the street.
- **Primary Structure:**
 - **Scale:** The mass and scale of the primary building is appropriate for this neighborhood and meets the intent of the Preservation Manual Supplement and NWQ Design Principles.
 - **Proportions and Details:**
 - BaysThe proportions of bays meets the character of the district.
 - With regards to openings (windows and doors) consider the following:
 - Transoms are not traditionally used over windows. Consider replacing them with larger windows that take up the whole opening.
 - The sidelites on the entry door seem out of scale and character with the Victorian/Cracker style that the slim turned posts and turned balusters are evoking. Consider an alternative solution for the front door. Consider narrower sidelites with lite divisions, or a pair of doors with more glazing in the door (similar to the door to the office). If sidelites remain, consider also spanning the transom over the entire assembly.
 - On the south elevation, the very shallow awning window should be reconsidered.
 - Grouped windows should be trimmed out between each window, and not installed as an assembly as is shown in the dining room
- **Garage:**
 - **Scale:** The mass and scale of the garage building seems fairly large in relationship to the primary structure. Consider reducing that to two cars. A covered carport may be able to be added to enclose a third car if needed.
 - **Proportions and Details:**
 - the building should be shifted enough as to not require the eaves to be

- clipped to avoid overhang.
- Consider using a shed roof on the bay window – this is the only place a hip is seen.
- Consider centering the bay window in the gable.
- Consider a shallower roof pitch, particularly if the roof of the primary building is modified.
- **Materials:**
 - We'll need a detailed color list.

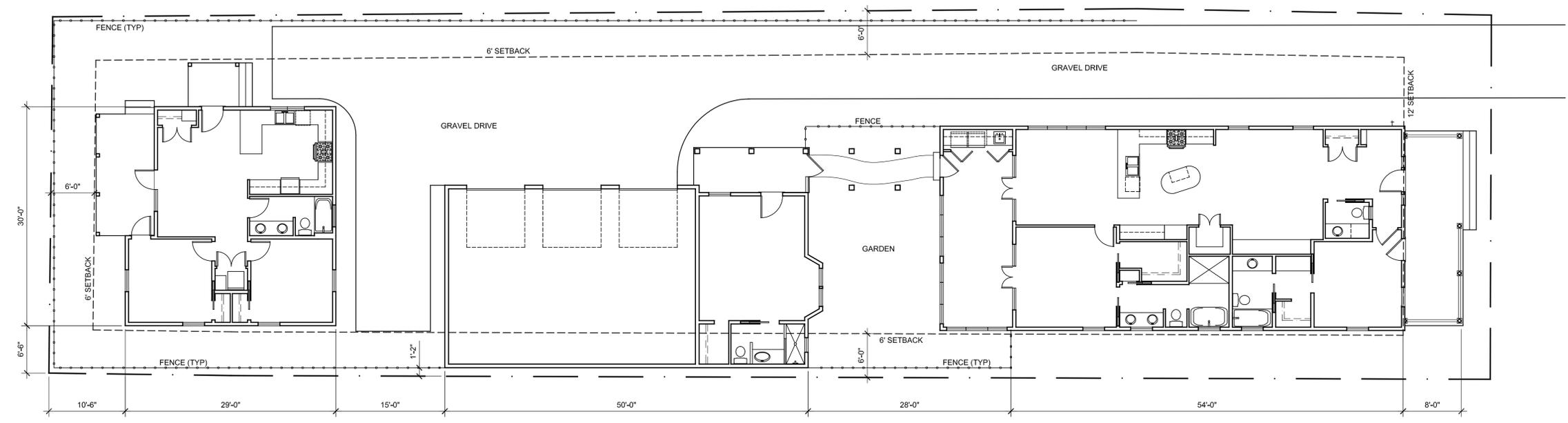
Staff Recommendation: Staff recommends preliminary approval to this request on the condition that the applicant take into consideration the items listed above regarding Proportions and Details of the buildings, and the Scale of the garage building. A final approval request to the board should be contingent on the zoning issues being resolved. Staff also requests that the board make a recommendation to the ZBOA as to whether or not the variance requests (if submitted) should be approved.

RELEASED FOR CONSTRUCTION
 NOT FOR CONSTRUCTION



SAGUI RESIDENCE
808 NEWCASTLE STREET
BEAUFORT, SC

SITE AREA:	
EXISTING LOT AREA	9,990 SF
BUILDING COVERAGE	
HOUSE	
HEATED	1,887 SF
UNHEATED	1,471 SF
GUEST HOUSE	3,358 SF 34 %
HEATED	800 SF
UNHEATED	193 SF
TOTAL	993 SF 10%
TOTAL	4,351 SF 44%



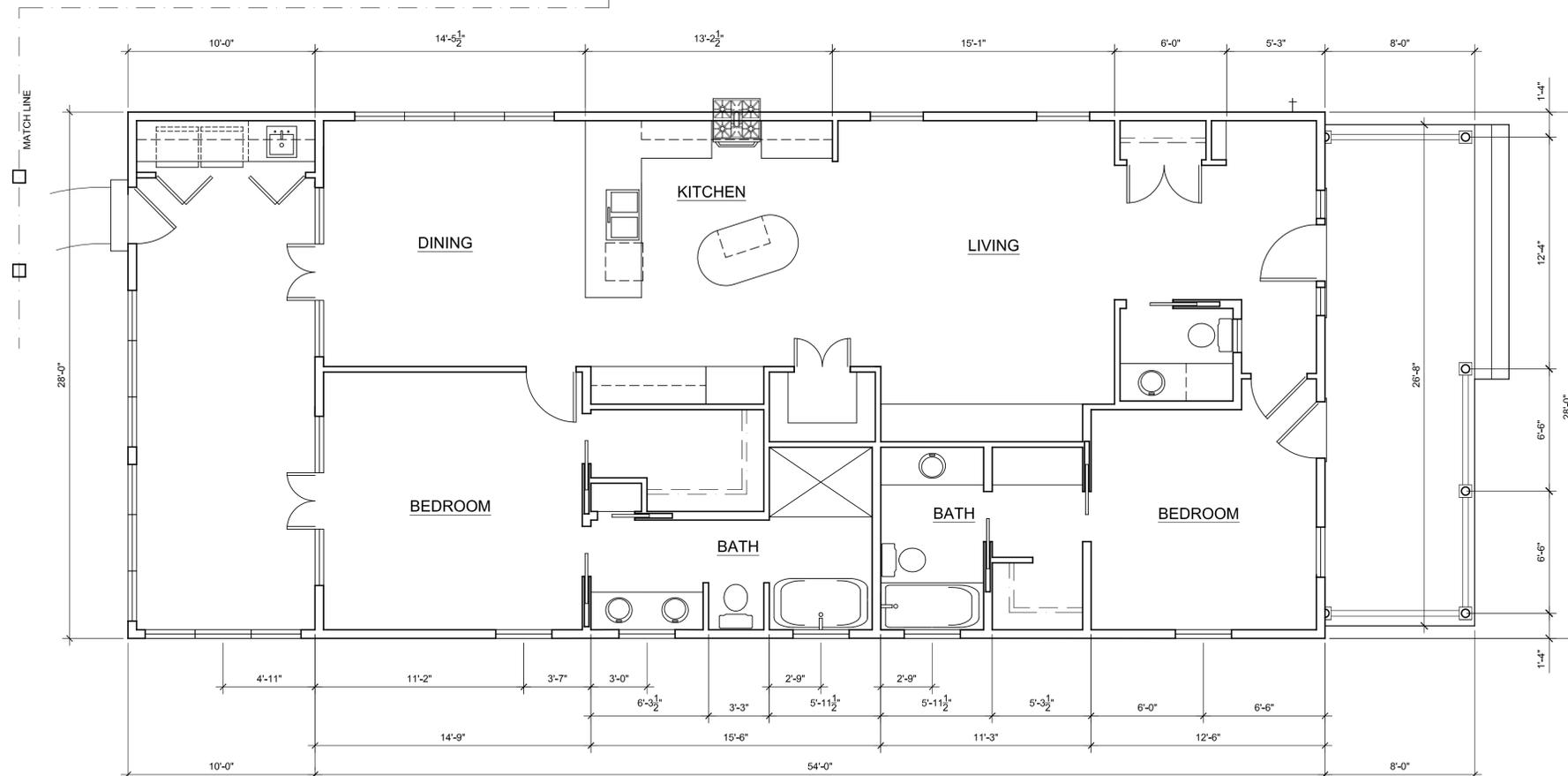
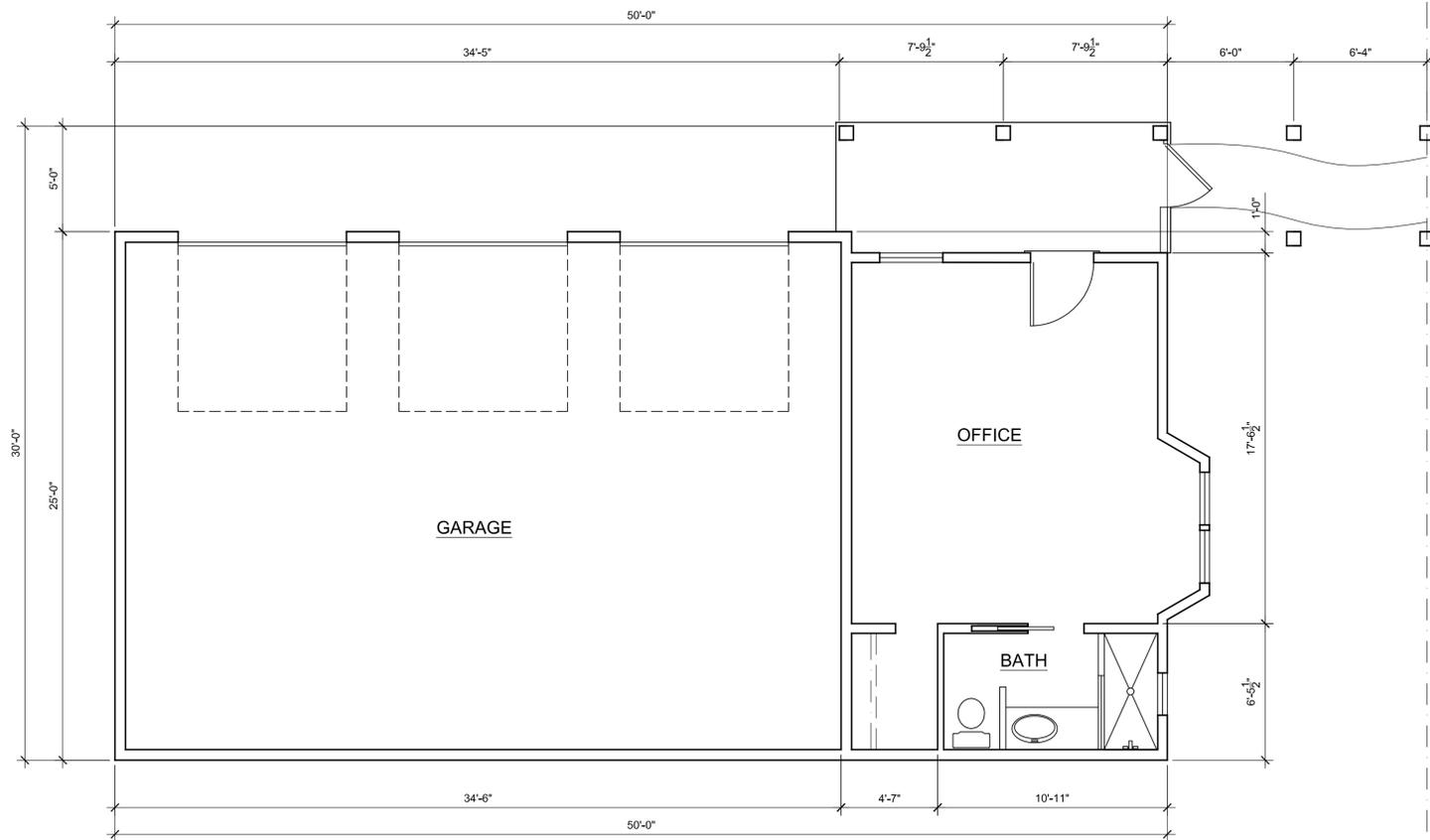
1 SITE PLAN
 A101 SCALE: 1/8" = 1'-0"



No.	Issue / Revision Description	Date
ARB SUBMITTAL		02.21.16

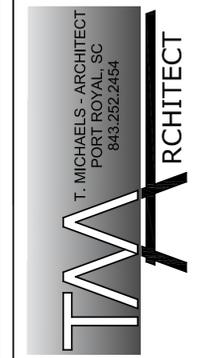
Sheet Title
SITE PLAN
 Drawn By: T. Michaels
 Chk'd By: T. Michaels
 Project ID: 16004

Sheet No.
A101



1 FLOOR PLAN (MAIN HOUSE)
A201 SCALE: 1/4" = 1'-0"

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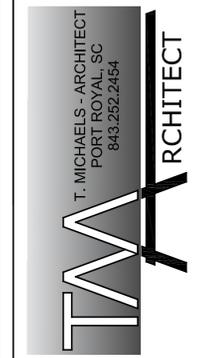
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Sheet Title
MAIN HOUSE
PLAN

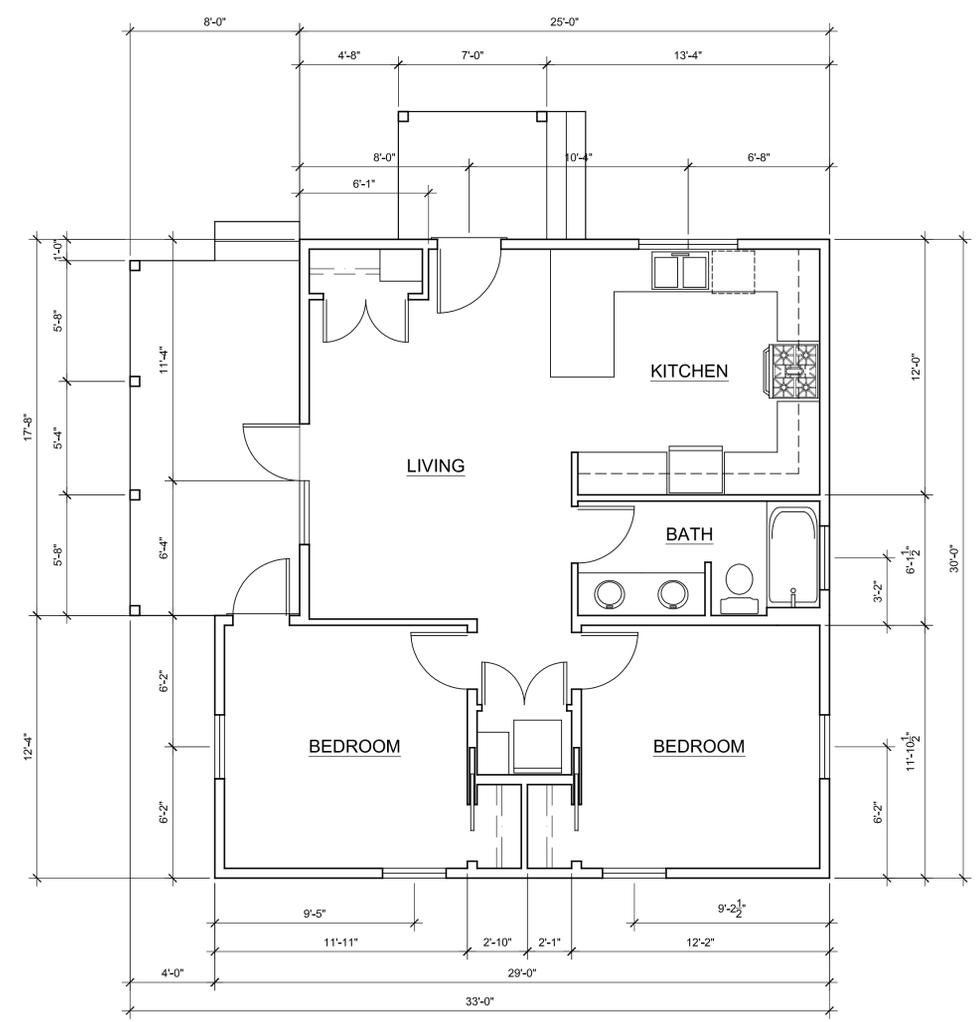
Drawn By: T. Michaels
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Sheet No.
A201

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SAGUI RESIDENCE
 808 NEWCASTLE STREET
 BEAUFORT, SC



1 FLOOR PLAN (GUEST HOUSE)
 A202 SCALE: 1/4" = 1'-0"

No.	Issue / Revision Description	Date
ARB SUBMITTAL		02.21.16

Sheet Title
GUEST HOUSE PLANS
 Drawn By: T. Michaels
 Chk'd By: T. Michaels
 Project ID: 16004

Sheet No.
A202

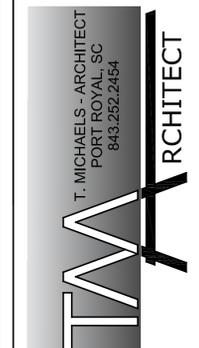


2 WEST ELEVATION (MAIN HOUSE)
A301 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION (MAIN HOUSE)
A301 SCALE: 1/4" = 1'-0"

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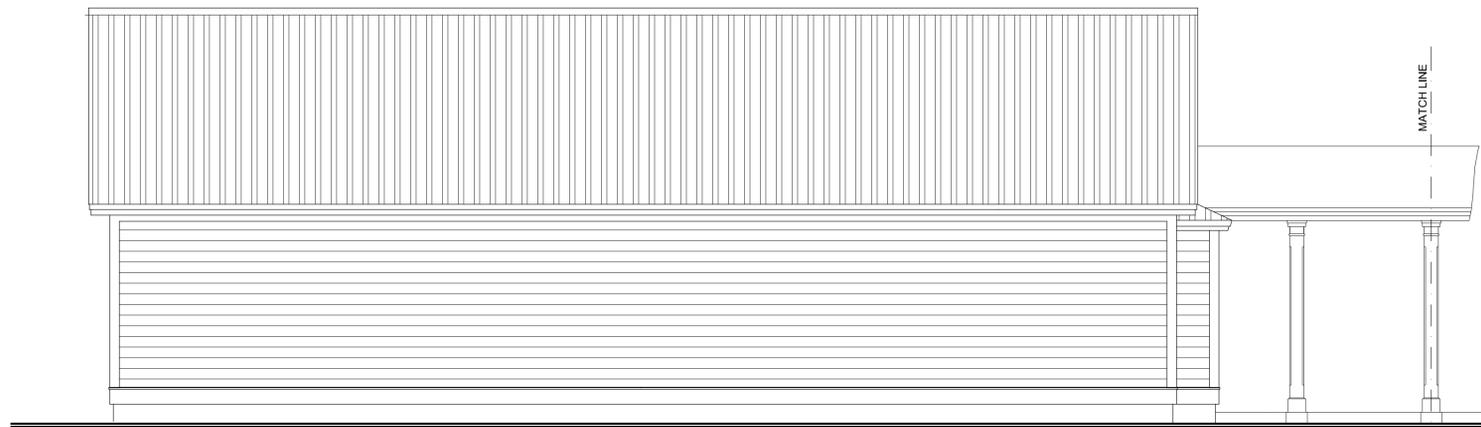
SAGUI RESIDENCE
808 NEWCASTLE STREET
BEAUFORT, SC

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ARB SUBMITTAL		02.21.16

Sheet Title
ELEVATIONS

Drawn By: T. Michaels
Chk'd By: T. Michaels
Project ID: 16004

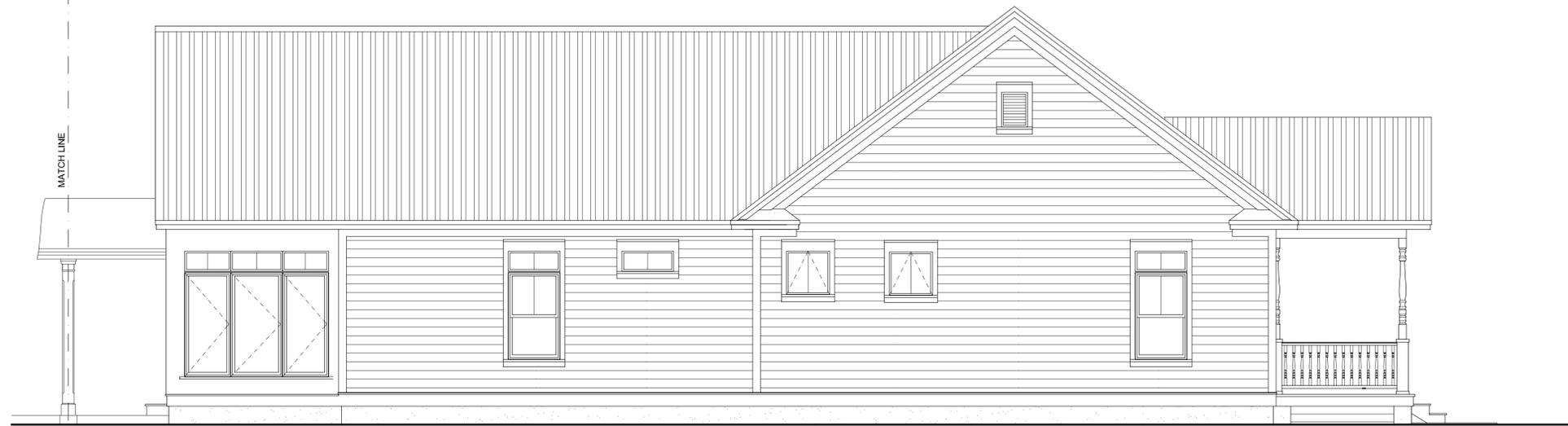
Sheet No.
A301



1 SOUTH ELEVATION (MAIN HOUSE)
A302 SCALE: 1/4" = 1'-0"

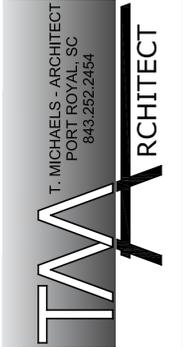


2 WEST ELEVATION (MAIN HOUSE)
A302 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION (MAIN HOUSE)
A302 SCALE: 1/4" = 1'-0"

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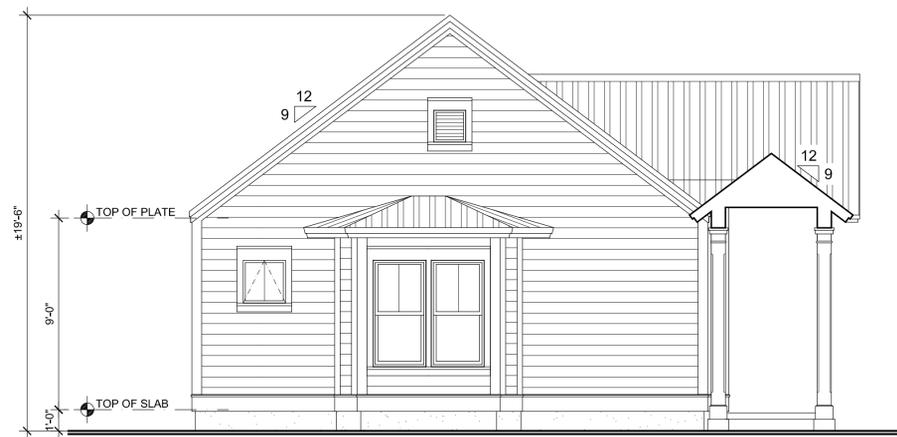
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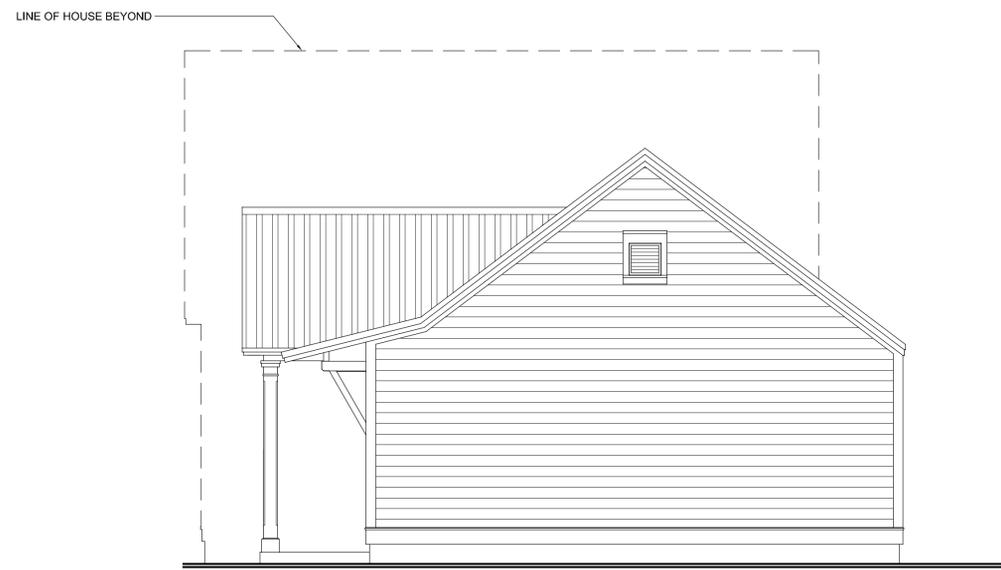
Sheet Title
ELEVATIONS

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Chk'd By: T. Michaels
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Sheet No.
A302

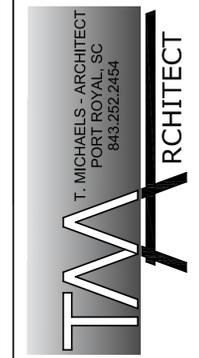


2 EAST ELEVATION (MAIN HOUSE AT GARAGE)
A303 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION (MAIN HOUSE AT GARAGE)
A303 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION
 NOT FOR CONSTRUCTION



T. MICHAELS - ARCHITECT
PORT ROYAL, SC
843.252.2454

**SAGUI RESIDENCE
808 NEWCASTLE STREET
BEAUFORT, SC**

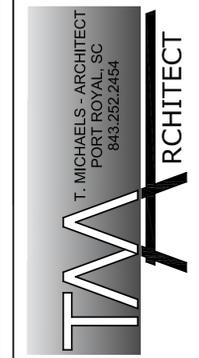
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Sheet No.
A303

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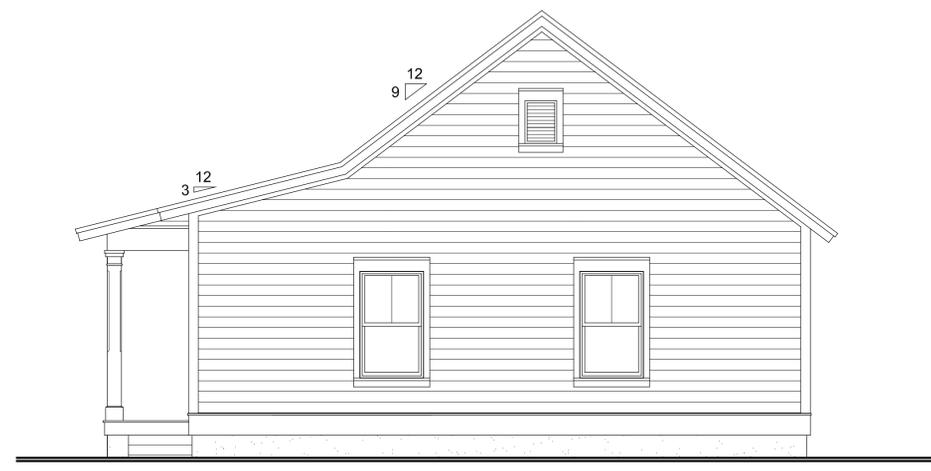
SAGUI RESIDENCE
 808 NEWCASTLE STREET
 BEAUFORT, SC



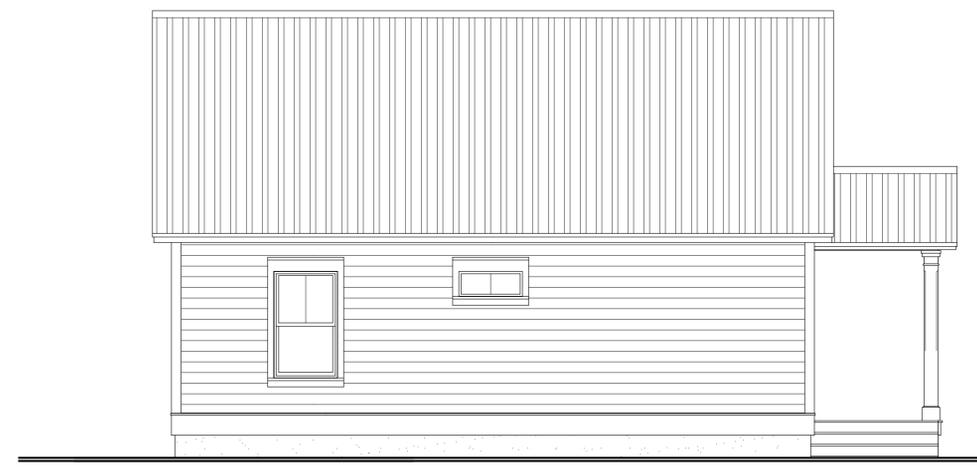
4 WEST ELEVATION
 A304 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
 A304 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 A304 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
 A304 SCALE: 1/4" = 1'-0"

No.	Issue / Revision Description	Date
ARB SUBMITTAL		02.21.16

Sheet Title
ELEVATIONS

Drawn By: T. Michaels
 Chk'd By: T. Michaels
 Project ID: 16004

Sheet No.
A304