

**City of Beaufort Department of Planning and Community Development**  
Post Office Drawer 1167  
1911 Boundary Street  
Beaufort, South Carolina 29902  
Phone (843) 525-7011 / Fax (843) 986-5606  
Website: [www.cityofbeaufort.org](http://www.cityofbeaufort.org)

See back of application  
for fees

apt# 11172

**CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised - 07/15/2011)**

Application #: HR15-05 Date Received: 2-23-15 Zoning District: GIR

Property Address: 1006 Washington Street

Applicant: Thomas Michaels, RA Phone: 843.252.2454

Applicant's Address: PO Box 58, Port Royal, SC 29935

Beaufort County 1997 Historic Sites Survey listing: N/A

Property Owner: Don and June Jones Phone: 803.553.2384

Owner's Address: 137 Alexander Circl, Columbia, SC 29206

Architect: Thomas Michaels, RA Phone: 843.252.2454

Architect's Address: PO Box 58, Port Royal, SC 29935

REQUEST FOR:  Conceptual Review  Preliminary Review  
 Final Approval  Change After Certification

**NATURE OF WORK:** (Check All That Apply)

Color changes  Alterations, Additions  
 Signage, Awnings  New Construction  
 Legal Plat  Minor/Major Demolition or Relocation  
 Other: \_\_\_\_\_

**DRAWINGS/MATERIALS ACCOMPANYING APPLICATION:** (Refer to Appropriate Checklists for Requirements)

Photographs  Floor/Roof Plans  Color Sample  Elevation Drawings  
 Site Plan/Plat  Detail Drawing  Material Sample  Model

**EXPLANATION AND DESCRIPTION OF WORK:**

The project consists of a new 1,744 sq. ft. heated new residence and a two car garage with a guest suit above. The site is accessed off of Charles Street by means of a 9 ft. access easement.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes  No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the Beaufort Preservation Manual and Supplement, or the Northwest Quadrant Design Principles (refer to [www.cityofbeaufort.org](http://www.cityofbeaufort.org)) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. **Submittal Requirements:** 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date. If the applicant or a representative is not present at the meeting, the application will not be reviewed.

OWNER'S SIGNATURE: [Signature] DATE: Feb. 20, 2015  
APPLICANT'S SIGNATURE: [Signature] DATE: Feb. 20, 2015

**T. Michaels**  
architect

po box 58, port royal  
south carolina, 29935

ph. 843.252.2454  
www.tmichaelsarchitect.com

# NEW RESIDENCE FOR: DON AND JUNE JONES 1006 WASHINGTON STREET BEAUFORT, SOUTH CAROLINA

RELEASED FOR CONSTRUCTION  
 NOT FOR CONSTRUCTION

NEW RESIDENCE FOR:  
DON AND JUNE JONES  
1006 WASHINGTON STREET  
BEAUFORT, SOUTH CAROLINA

## Vicinity Map (nts)



## Project Information

ADDRESS: 1006 WASHINGTON STREET  
BEAUFORT, SOUTH CAROLINA

PIN: R120 004 000 0390 0000

## Architect:

THOMAS MICHAELS, RA  
PO BOX 58  
PORT ROYAL, SOUTH CAROLINA 29935  
P: 843.252.2454  
EMAIL:  
THOMAS@TMICHAELSARCHITECT.COM  
CONTACT: THOMAS MICHAELS

## NOTES:

1. THESE PLANS DO NOT CONTAIN ALL INCIDENTAL DETAILS, CONNECTIONS, BEAMS, OR LOAD DISTRIBUTIONS NECESSARY TO COMPLETE THE WORK. THE CONTRACTOR AND THE OWNER SHALL BE RESPONSIBLE FOR ALL STRUCTURAL DETAILS, CONNECTIONS AND LOAD DISTRIBUTION TO THE FOUNDATION, WALLS, BEAMS, ETC., WHETHER SAID INFORMATION IS INDICATED ON THE PLANS OR NOT. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION METHODS OR DECISIONS MADE BY THE CONTRACTOR OR OWNER.
2. NEITHER THE ARCHITECT NOR A REPRESENTATIVE OF THE ARCHITECT HAS BEEN CONTRACTED TO PERFORM ANY TYPE OF CONSTRUCTION OR CONTRACT MANAGEMENT FOR THIS PROJECT. ALL ELEMENTS OF CONSTRUCTION REST SOLELY ON THE CONTRACTOR OR THE CONTRACTOR'S CONSULTANTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS REQUIRED TO CONSTRUCT ALL ASPECTS OF THE PROJECT AND SHALL CONTACT THE ARCHITECT IN WRITING FOR THE NEED OF CLARIFICATIONS OR DISCREPANCES IN THE DOCUMENTS.
4. THE DRAWINGS COMMUNICATE INFORMATION CONCERNING SIZES, LOCATIONS, RELATIONSHIPS, CONFIGURATIONS, AND OTHER SIMILAR ITEMS WHICH REQUIRE CAREFUL COORDINATION OF VARIOUS SUBCONTRACTORS, TRADES AND RELATED CONSULTANTS BY THE CONTRACTOR AND THE OWNER TO OBTAIN THE INTENDED RESULTS. THE DRAWINGS DO NOT CONTAIN EXPLICIT INFORMATION ON EVERY DETAIL OF THE CONSTRUCTION.

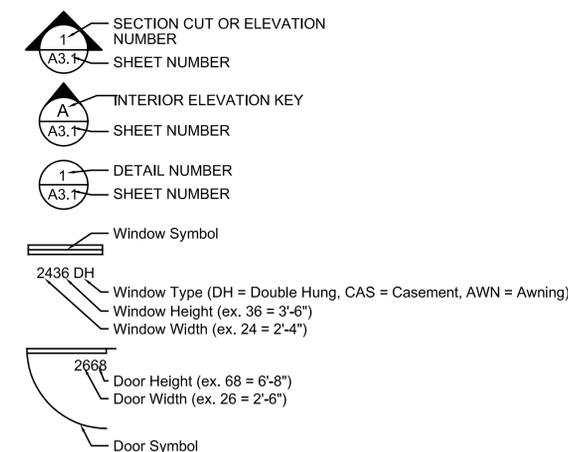
## Code Information:

DESIGN CODE: 2012 INTERNATIONAL RESIDENTIAL CODE & ASCE 7 AS APPLICABLE.

## Abbreviations

&	And	DTL.	Detail	HORIZ.	Horizontal	PR.	Pair	STL.	Steel
@	At	D.F.	Drinking Fountain	HGT.	Height	P.S.F.	Pounds Per Square Foot	SUSP.	Suspended
ABV.	Above	DIA.	Diameter	KIT.	Kitchen	P.S.I.	Pounds Per Square Inch	T.	Tread
ADJ.	Adjacent	DIM.	Dimension	LAM.	Laminate	PTD.	Painted	TEL.	Telephone
A.F.F.	Above Finish Floor	DN.	Down	LAV.	Lavatory	P.V.C.	Polyvinyl Chloride	THK.	Thick
ALUM.	Aluminum	DS.	Down Spout	LT.	Light	QTY.	Quantity	THRES.	Threshold
ALT.	Alternate	DWG.	Drawing	MAS.	Masonry	R.	Riser	THRU.	Through
ANG.	Angle	EA.	Each	MAX.	Maximum	RAD.	Radius	T.O.P.	Top of Plate
APPROX.	Approximate	E.J.	Expansion Joint	MECH.	Mechanical	R.D.	Roof Drain	T.O.S.	Top of Steel
BD.	Board	EL.	Elevation	MEMB.	Membrane	REF.	Refrigerator	T.O.SH.	Top of Sheathing
BLDG.	Building	ELEC.	Electrical	MET.	Metal	REINF.	Reinforcing	T.O.SL.	Top of Slab
BLKG.	Blocking	EMER.	Emergency	MFR.	Manufacturer	REV.	Revision	TYP.	Typical
BM.	Beam	EQ.	Equal	MIN.	Minimum	REQD.	Required	UON.	Unless Otherwise Noted
BSMT.	Basement	EQUIP.	Equipment	MISC.	Miscellaneous	R.J.	Roof Joist	VCT.	Vinyl Composition Tile
BOT.	Bottom	E.W.	Each Way	M.O.	Masonry Opening	RM.	Room	VERT.	Vertical
CAB.	Cabinet	E.	Existing	N.I.C.	Not In Contract	R.O.	Rough Opening	V.I.F.	Verify in Field
CL.	Center Line	EXT.	Exterior	#	Number	SCHED.	Schedule	W/	With
C.T.	Ceramic Tile	F.D.	Floor Drain	N.T.S.	Not To Scale	SCWD.	Solid Core Wood	WD.	Wood
CLG.	Ceiling	FL.	Floor	O.C.	On Center	S.F.	Square Foot	W/O	Without
CLO.	Closet	F.J.	Floor Joist	O.D.	Outside Diameter	SH.	Shelf	WP.	Waterproofing
CM.	Centimeter	FT.	Foot	OPNG.	Opening	SHT.	Sheet	WT.	Weight
CMU.	Concrete Masonry Unit	GA.	Gauge	OPT.	Optional	SIM.	Similar	WWF	Welded Wire Fabric
C.O.	Cased Opening	GALV.	Galvanized	P.C.	Precast	S.M.P.	Solid Masonry Pier		
COL.	Column	GYP.	Gypsum Board	PL.	Plate	SPEC.	Specification		
CONC.	Concrete	H.B.	Hose Bib	P.LAM	Plastic Laminate	SQ.	Square		
CONT.	Continuous	HCWD.	Hollow Core Wood	P.T.	Pressure Treated	S.S.	Stainless Steel		
DEPT.	Department	H.M.	Hollow Metal	PLYWD.	Plywood	STD.	Standard		

## Symbols



## Drawing Index

No.	Title	Date
G-101	TITLE SHEET / GENERAL INFORMATION	02.20.15
A-101	SITE PLAN	02.20.15
A-201	PLANS	02.20.15
A-301	ELEVATIONS	02.20.15
A-302	ELEVATIONS	02.20.15
A-401	DETAILS	02.20.15
A501	GARAGE PLANS / ELEVATIONS	02.20.15

No.	Issue / Revision Description	Date
	BEAUFORT HRB SUBMISSION	02.20.15

Sheet Title  
**SITE PLAN**

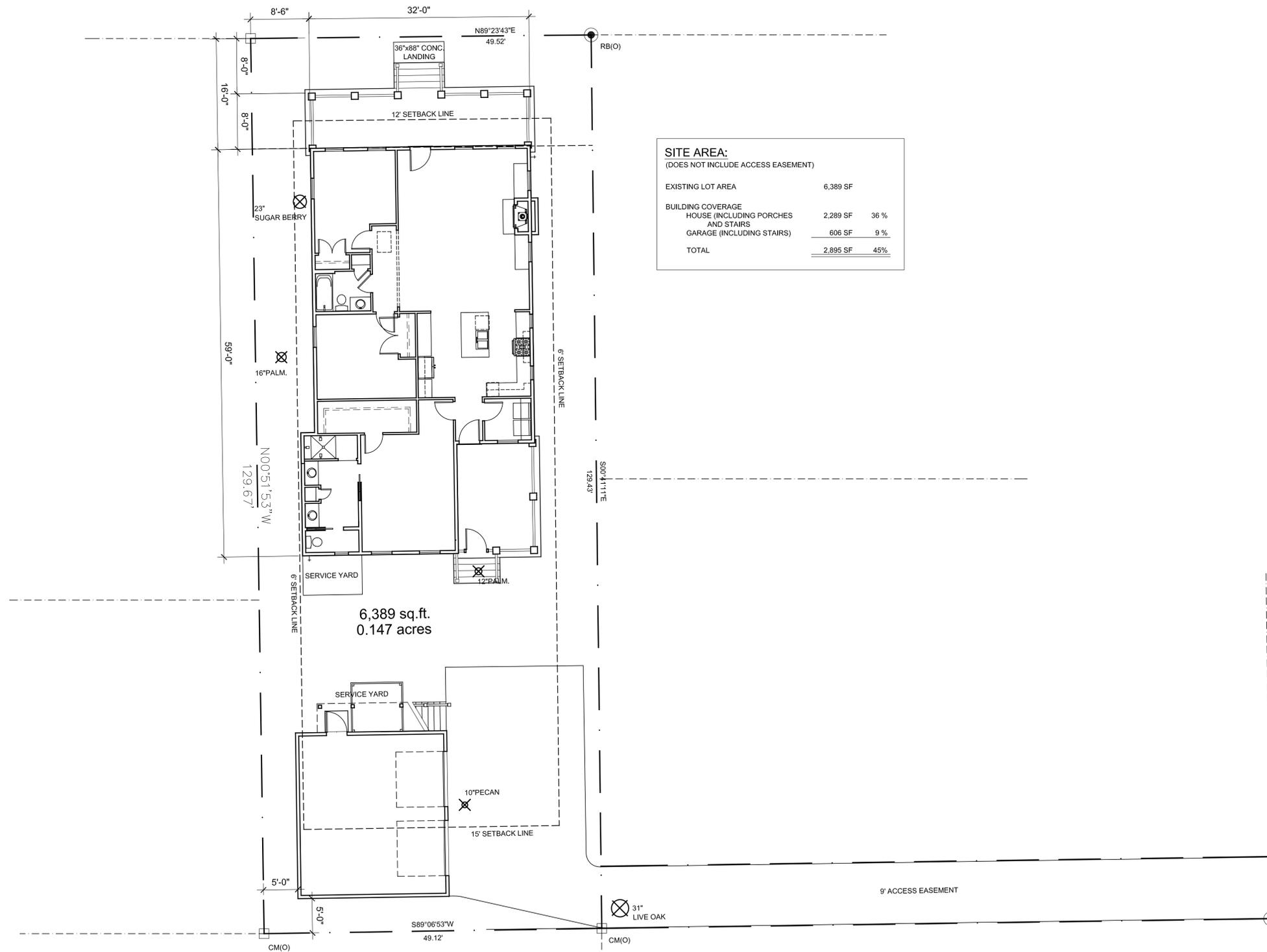
Drawn By: T. Michaels  
Chk'd By: T. Michaels  
Project ID: 15007

Sheet No.  
**A-101**

SITE PLAN  
SCALE: 1/8" = 1'-0"

WASHINGTON STREET 60' R\W

SIDEWALK



**SITE AREA:**  
(DOES NOT INCLUDE ACCESS EASEMENT)

EXISTING LOT AREA	6,389 SF	
BUILDING COVERAGE	2,289 SF	36 %
HOUSE (INCLUDING PORCHES AND STAIRS)	606 SF	9 %
GARAGE (INCLUDING STAIRS)	606 SF	9 %
<b>TOTAL</b>	<b>2,895 SF</b>	<b>45%</b>

6,389 sq. ft.  
0.147 acres

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architect

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Sheet Title  
SITE PLAN

Drawn By: T. Michaels  
Chk'd By: T. Michaels  
Project ID: 15007

Sheet No.  
A-101

SITE PLAN  
SCALE: 1/8" = 1'-0"

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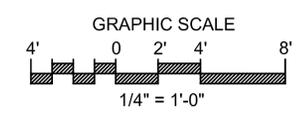
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



NORTH ELEVATION (WASHINGTON STREET)  
SCALE: 1/4" = 1'-0"



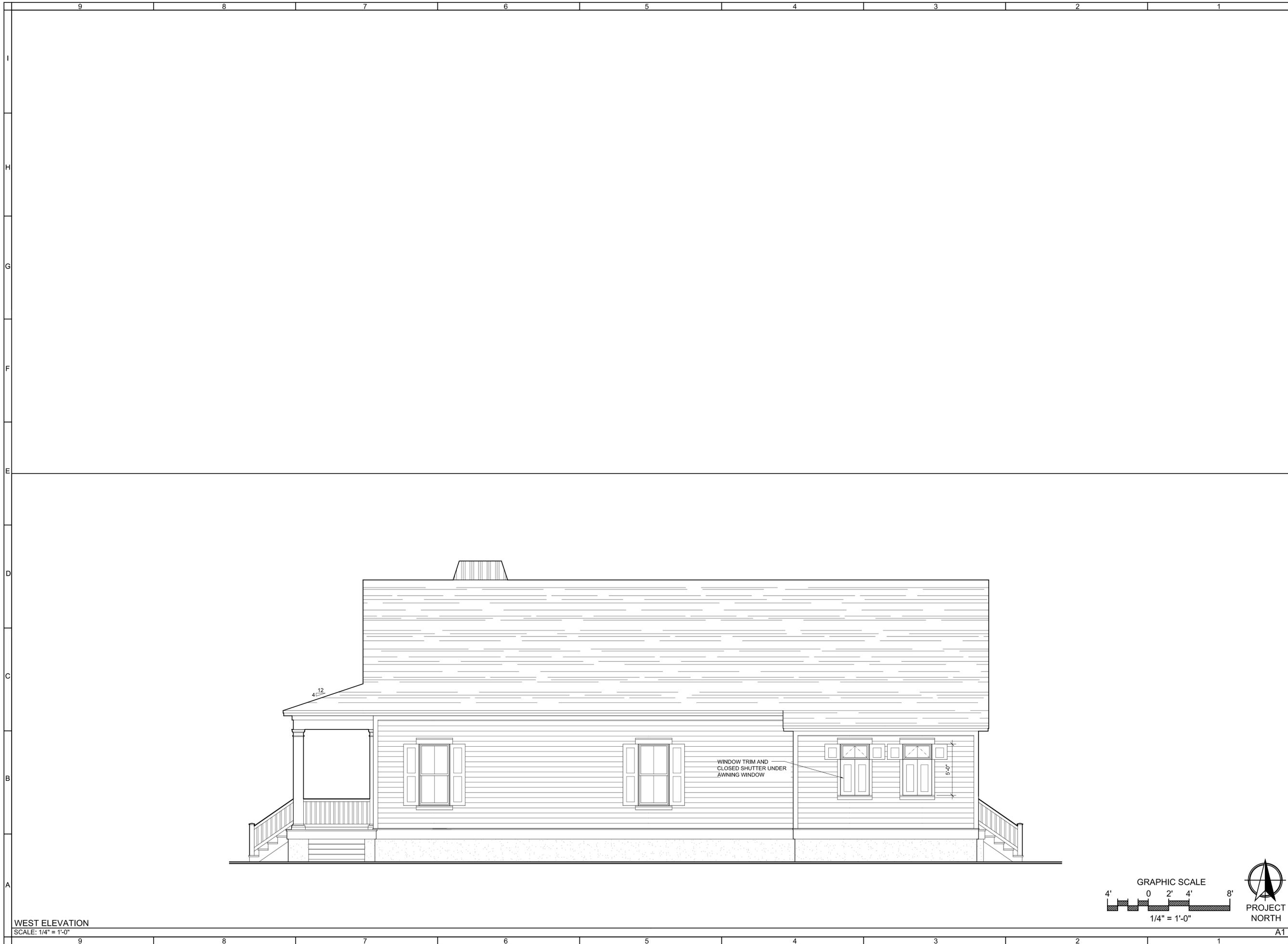
No.	Issue / Revision Description	Date
1	BEAUFORT HRB SUBMISSION	02.20.15

Sheet Title  
ELEVATIONS

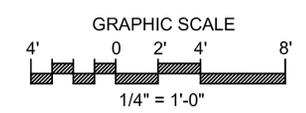
Drawn By: T. Michaels  
Chk'd By: T. Michaels  
Project ID: 15007

Sheet No.  
A-301





WEST ELEVATION  
SCALE: 1/4" = 1'-0"



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No.	Issue / Revision Description	Date
	BEAUFORT HRB SUBMISSION	02.20.15

Sheet Title  
**ELEVATIONS**

Drawn By: T. Michaels  
Chk'd By: T. Michaels  
Project ID: 15007

Sheet No.  
**A-302**

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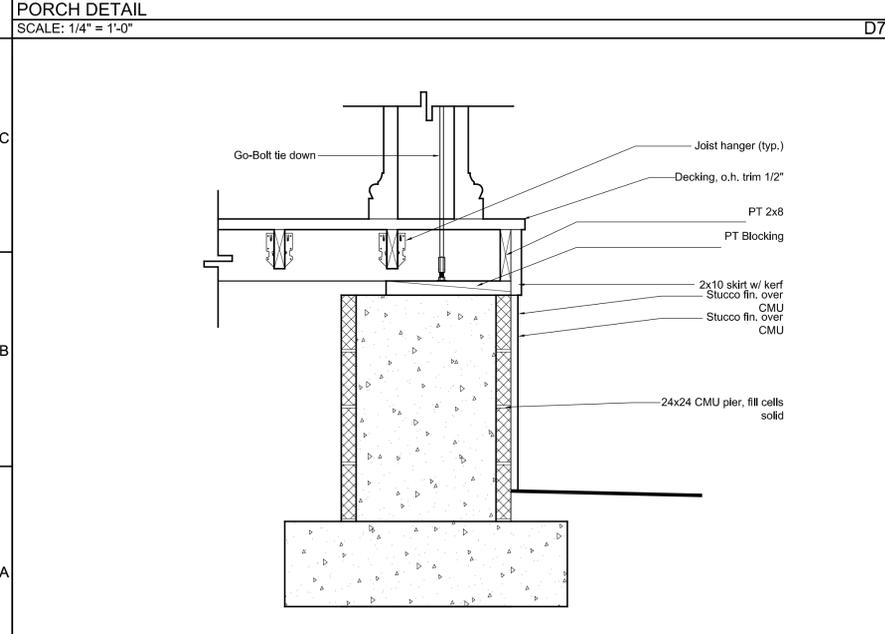
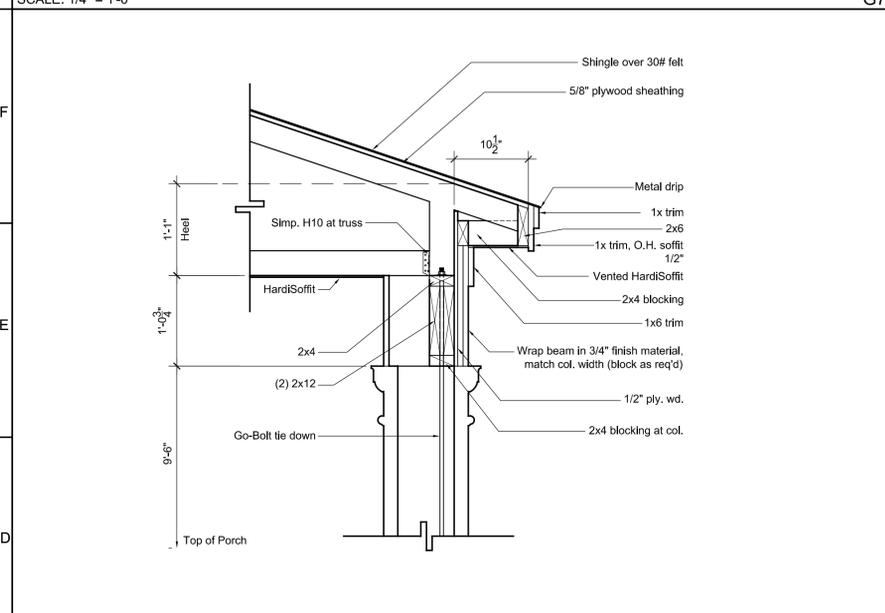
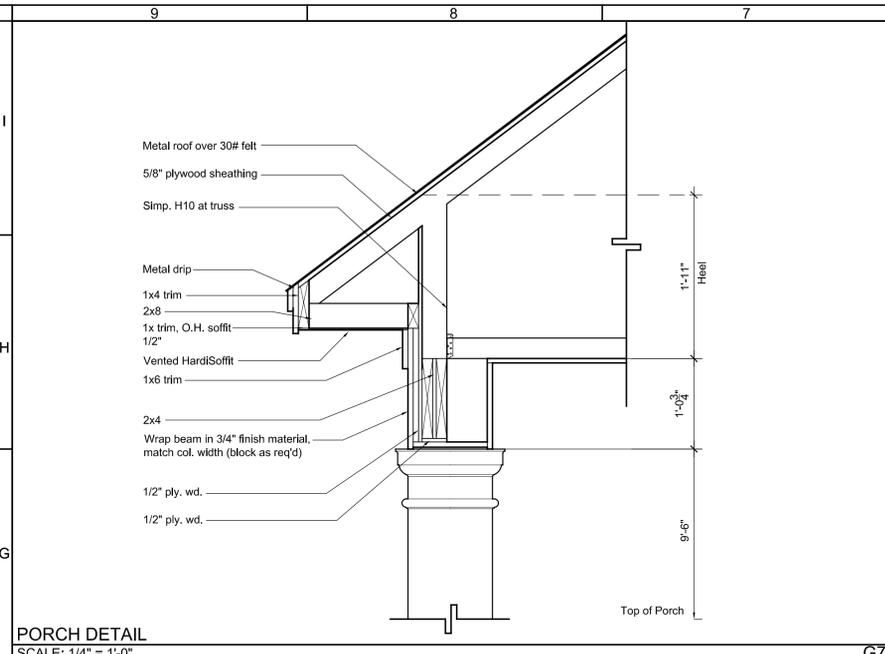
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No.	Issue / Revision Description	Date
02.20.15	BEAUFORT HRB SUBMISSION	

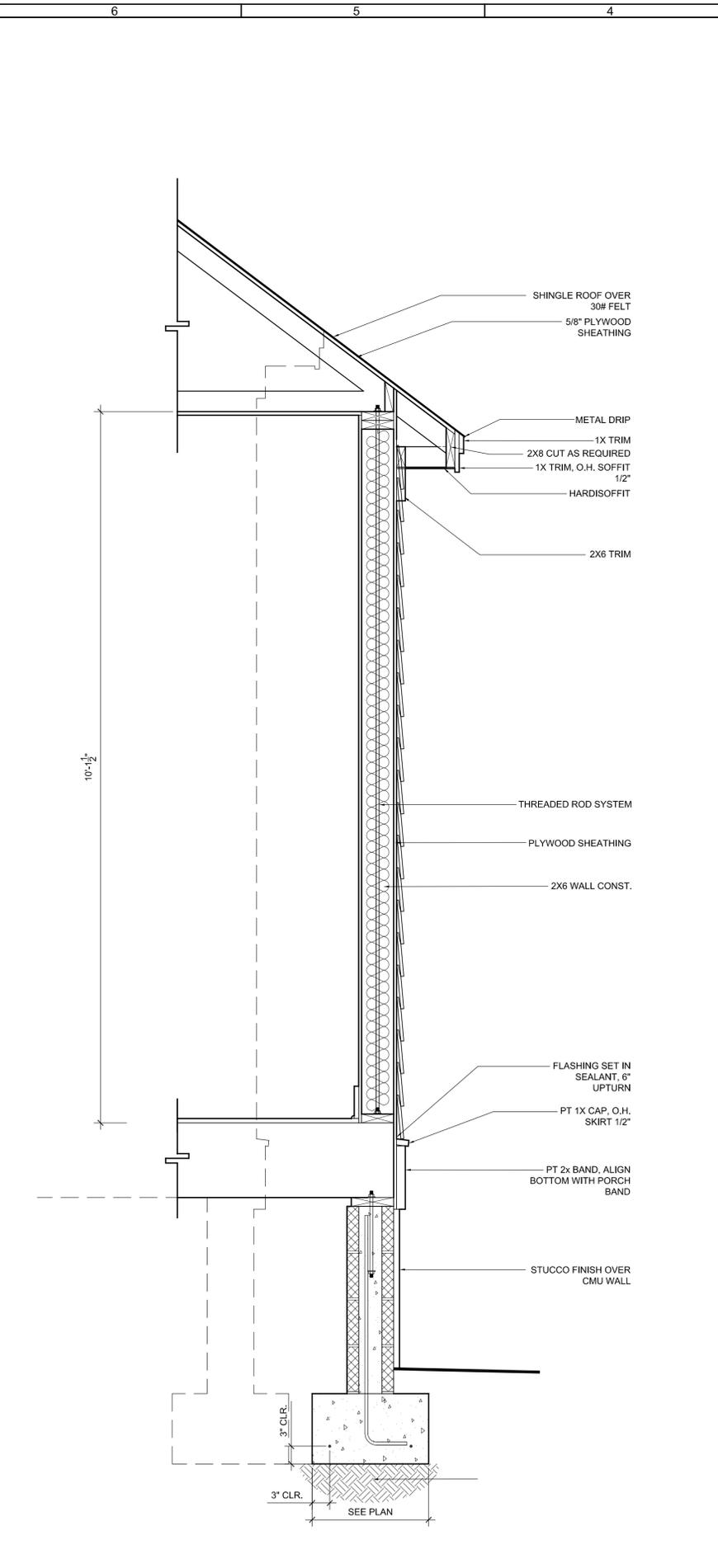
Sheet Title  
DETAILS

Drawn By: T. Michaels  
Chk'd By: T. Michaels  
Project ID: 15007

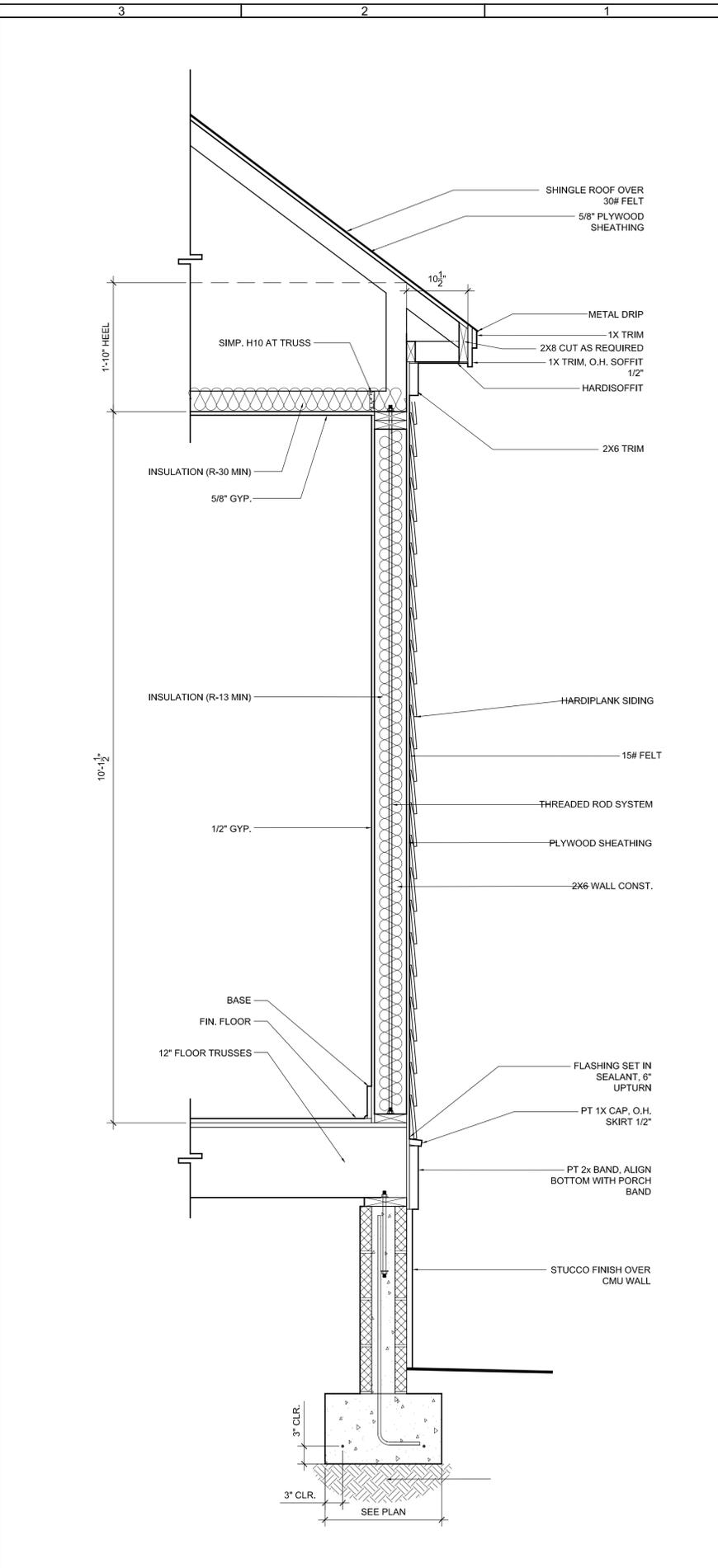
Sheet No.  
A-401



**PORCH DETAIL**  
SCALE: 1/4" = 1'-0"



**WALL SECTION**  
SCALE: 1" = 1'-0"



**WALL SECTION**  
SCALE: 1" = 1'-0"

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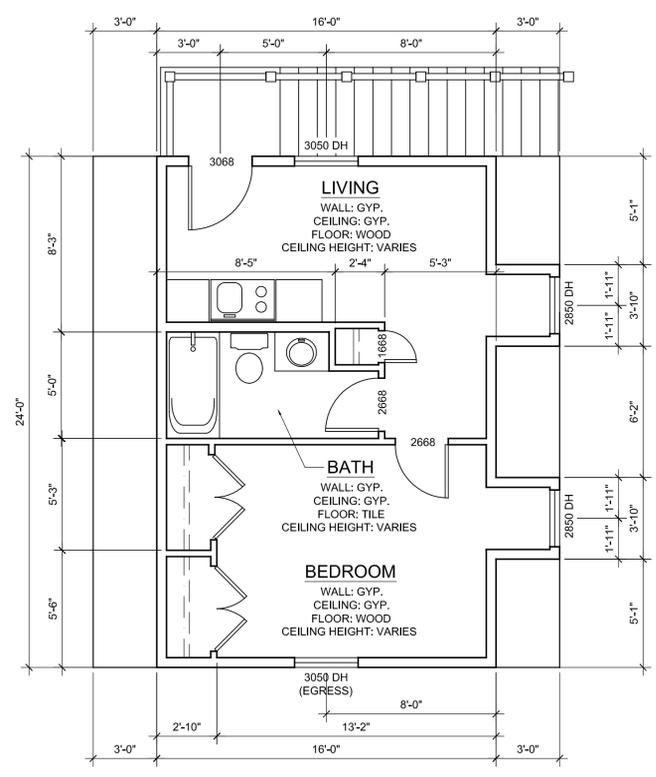
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02.20.15	BEAUFORT HRB SUBMISSION	

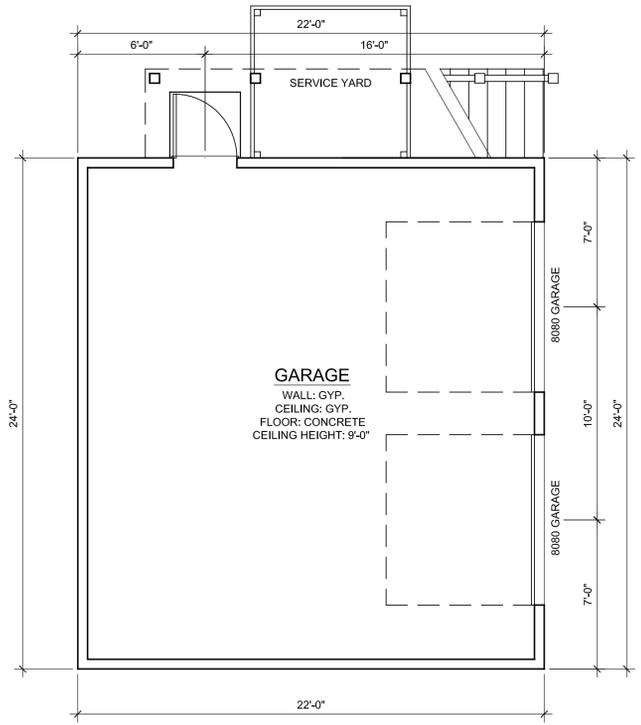
Sheet Title  
**GARAGE  
PLANS AND  
ELEVATIONS**

Drawn By: T. Michaels  
Chk'd By: T. Michaels  
Project ID: 15007

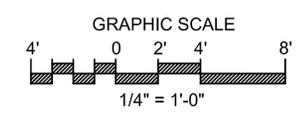
Sheet No.  
**A-501**



SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



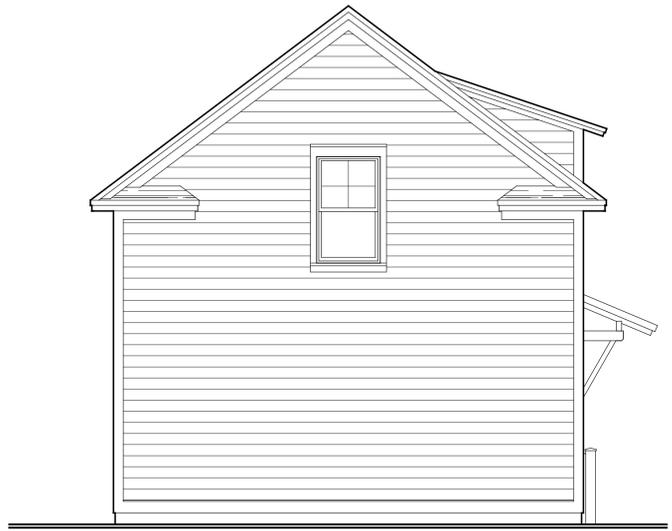
WEST ELEVATION  
SCALE: 1/4" = 1'-0"



EAST ELEVATION  
SCALE: 1/4" = 1'-0"



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

**CITY OF BEAUFORT**  
**Historic District Review Board**  
**Full Board**  
**Staff Report**  
**Meeting of March 11, 2015**

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**Case Number:** HR15-05  
**Property Address:** 1006 Washington Street (PIN R120 004 000 0390 0000)  
**Applicant:** Tom Michaels, RA  
**Type of Request:** New Residential Construction  
**Zoning:** GR – General Residential – Northwest Quadrant

---

**Historical:** This parcel on Washington Street is located in the Northwest Quadrant Neighborhood. A site location map is attached. The lot is currently vacant. The property is located across the street from Washington Street Park. According to the Sanborn Maps, there was a one story cottage on this lot constructed between 1912-1924. It was demolished sometime after 1958. Photos of the existing structures on this block face are attached.

**Request:** **The applicant wishes to construct a new one story single family residence. The total square footage is 1,785 SF heated, with an additional 432 SF of covered porches, and a detached 524 SF garage with a 324 SF accessory dwelling unit above. The main structure is approximately 22' from grade to the average median roof height. The garage is approximately 19' from grade to the average median roof height.**

**Zoning: GR – General Residential – Northwest Quadrant**

- **Setbacks:** there are no setback issues with this project
  - *Front: prevailing;* shown at 16' to building form with porch encroachment.
  - *Side: 6';*
  - *Rear: 15';*
  - *Rear for garages & carports (alley accessed): 5'*
  - *Side & Rear for Accessory Buildings (Historic District): 5';*
- *Maximum Height: 35';* shown at 22' to average median roof height
- *Impervious Surface Coverage, Maximum: 55%;* shown at approximately 37%

**Synopsis of Applicable Guidelines:**

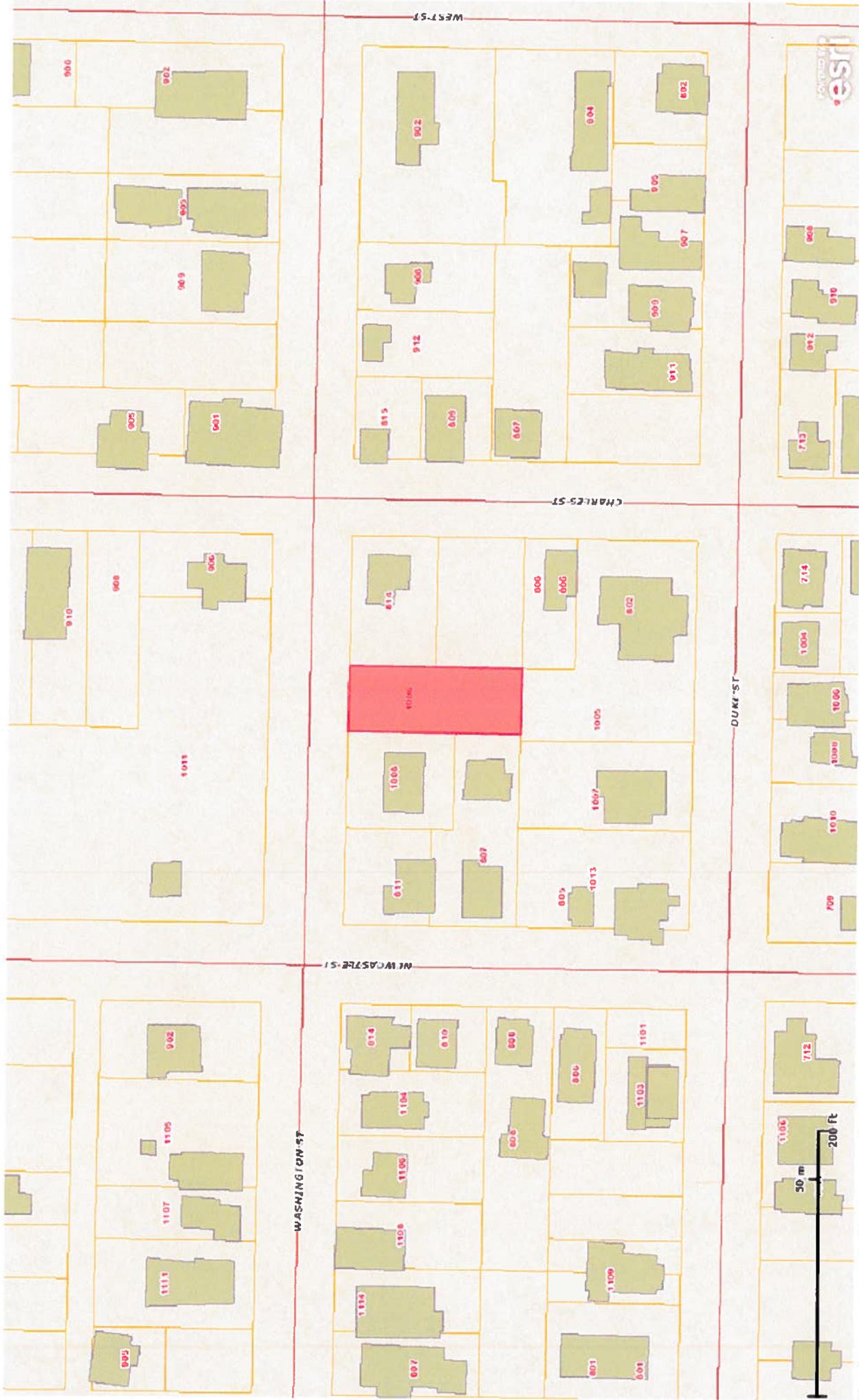
- The Preservation Manual Supplement, p. 13-15 discusses new construction. The following items to be considered: Scale, Elevation of First Floor, Floor-to-floor heights, Bays, windows and doors, Absolute size, Massing, Orientation, Proportions (Volumes and Openings), Materials, Forms and Siting.
- The Northwest Quadrant Design Guidelines p. 23-24 discusses new construction in this district.
- Section 5.3 of the UDO discusses Accessory Dwelling Units. This project meets all of the standards listed.

**Staff Questions, Comments & Suggestions:**

- **Scale:** The scale of building is appropriate for this neighborhood and meets the intent of the Preservation Manual Supplement.
- **Proportions & Details:**
  - The building proportions are appropriate for this neighborhood.
  - Staff recommends replacing the awning windows in the master bathroom with the 2628 casements used on either side of the chimney. This would simplify this elevation and eliminate the need for false shutters. Given the siting, orientation and adjacent building, this side elevation will be very visible from the street.
- Colors will be required for final approval.

**Staff Recommendation:** Staff recommends final approval to this request, with colors to be submitted for approval by staff, and consideration by the board to modify awning windows in the master bathroom.

# 1006 Washington St





View looking East



View of Lot



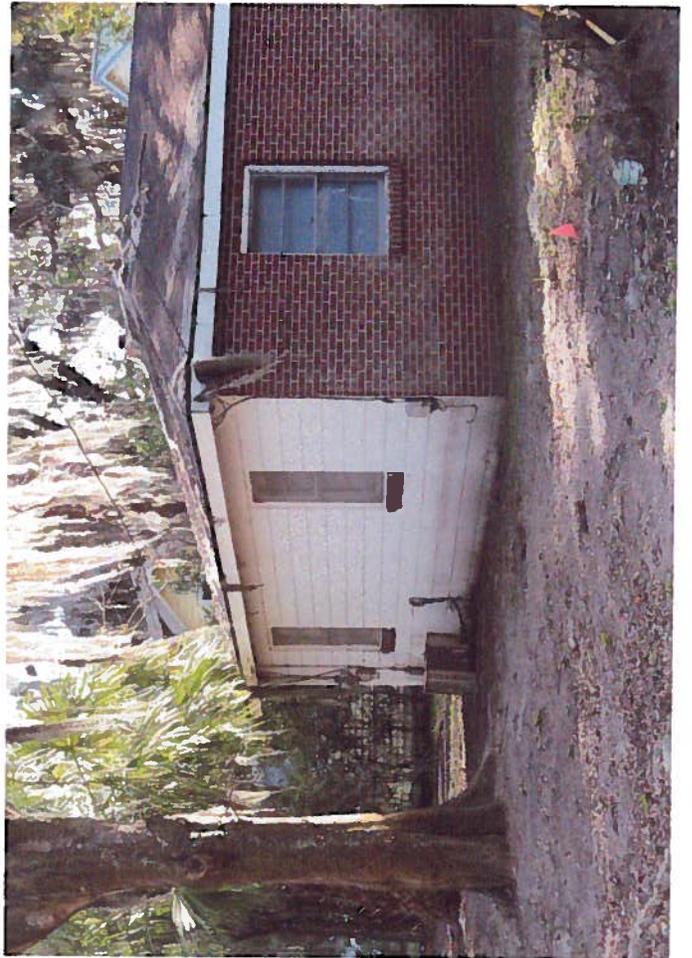
View Looking West 1



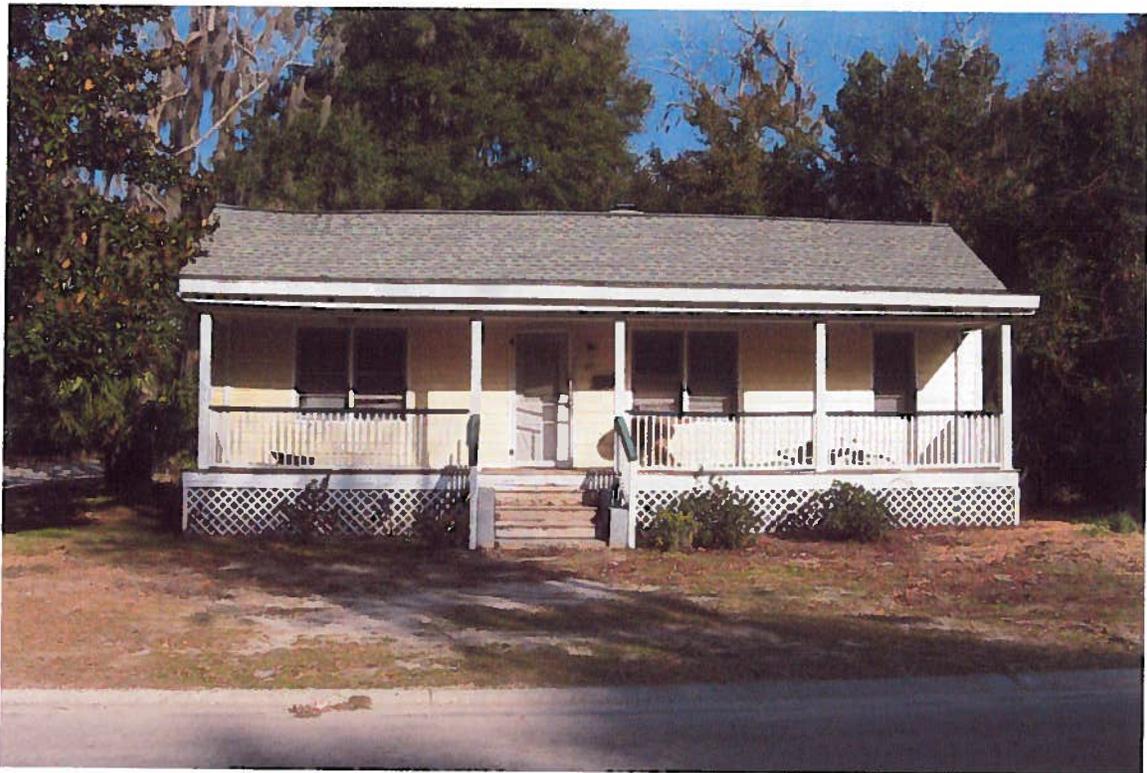
View Looking West 2



Park Across Street



1008 Washington St



811 Newcastle St



814 Charles St