

AP 13909
HR16-38

City of Beaufort Department of Planning and Community Development
1911 Boundary Street, Beaufort, SC 29902
Phone (843) 525-7011 / Fax (843) 986-5606
Website: www.cityofbeaufort.org

PAID
\$ 9/28/16
CK

**CITY OF BEAUFORT REHABILITATED HISTORIC PROPERTY / BAILEY BILL APPLICATION
PART A - PRELIMINARY REVIEW FORM**

PLANNING DEPARTMENT USE ONLY: Application #: <u>BB16-04</u> Date Received: <u>9/28/16</u> Date Responded: _____	
_____ Certificate of Appropriateness Received #HR _____	_____ Project Approved
_____ Project Approved with Conditions (see attached sheet)	_____ Project Denied (see attached sheet)
_____ Authorized Signature	_____ Date

This application is used by the City to review rehabilitation work on historic properties, in accordance with South Carolina 1976 Code Sections 12-120 through 12-125, and pertinent regulations. A separate application should be submitted for each historic building, unless they were functionally-related during the historic period, in which case they can be submitted as a historic complex. Applications must include attachments as listed below and the required review fee to be considered complete. Fee: \$150 for single family residences or duplexes; \$300 for all other properties.

1. PROPERTY INFORMATION

Historic Name of Property (if known) Pouitt's Grocery Parcel Id. Number: R120 004 000 0274
 Street Address: 1114 Greene St. Use: _____ Owner-occupied, or _____ Income-producing
 Estimated project start date 10/1/16 Estimated project completion date 2/1/17
 Fair market value of building* \$ 165,000 Estimated project costs \$ 135,000
 Has an application for any other tax incentives been filed for this property? _____ Yes No

If Yes, please describe _____

*fair market value is based on County tax assessor data OR a recent appraisal (within 45 days) by a licensed appraiser

2. HISTORIC DESIGNATION

The property must have been designated "historic" by the local government allowing this incentive.

This building is a:

- Contributing structure in the Historic District
- _____ Non-contributing structure, but over 50 years old, and in the Historic District
- _____ Structure located outside of the Historic District, but listed on the Beaufort County 1997 Historic Survey

Significance:

Construction Date: _____ Is this property individually listed on the National Register? _____ Yes _____ No

Describe previous major alterations or additions (give dates): _____

3. ATTACHMENTS

The following information is needed to process your application. Please send complete information with the initial submission:

- _____ An original signed and completed Part A application;
- _____ An original signed and completed Historic Review Board Project Application;
- _____ Payment of \$150, for single family residences or duplexes; \$300 for all other properties – checks should be made out to the City of Beaufort
- _____ An overall project narrative along with an itemized list describing the precise scope of work; and
- _____ All HRB Submission Requirements (found on the Checklist, pages 8-10) including but not limited to:
 - _____ Location map showing where the building is located;
 - _____ Photographs clearly showing not only the areas to be rehabilitated, but also overall views of the building;
 - _____ Site plan, architectural floor plans and elevations of pre-rehabilitation conditions;
 - _____ Site plan, architectural floor plans and elevations of the proposed work.

4. OWNER INFORMATION

Name John Trask SA
 Mailing Address 1612 Duane St
 Email Address john.trask@cityofbeaufort.com

Signature [Signature] Date 9/28/16
 City Beaufort State SC Zip 29902
 Primary Phone Number 843 912 2210

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5. DESCRIPTION OF PROPOSED WORK

In addition to a separate narrative and itemized project list, use the spaces below to describe the proposed work in detail. Architectural elements would include items such as: roof; exterior brick or siding; porches; exterior elevations; windows; doors; site/landscape features; entrance hall; main stair; parlors; fireplaces/mantles; floors/walls/ceilings; mechanical/ electrical/plumbing; etc. If an application has been submitted for any state or federal preservation Tax Credits, you may use a copy of the description of the proposed work from the state or federal forms for this section, but your submittal must still include the information in sections 1 through 4.

(Please feel free to make copies of this sheet. Use as many spaces as necessary to fully describe your project.)

<p>Architectural element: <u>roof on eastern part</u> Approximate age: <u>70</u> original <input checked="" type="checkbox"/> added; if added ___ date ___ ___ Interior ___ Exterior; Location: N S E W Describe feature and its condition: <u>currently shed w/ a gable</u></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <u>shed roof</u></p>
<p>Architectural element: <u>interior</u> Approximate age: <u>75</u> original <input checked="" type="checkbox"/> added; if added ___ date ___ <input checked="" type="checkbox"/> Interior ___ Exterior; Location: N S E W Describe feature and its condition: <u>cutting interior to convert Interior in v. poor shape</u></p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature <u>Converting to 2BR 2BA house</u></p>
<p>Architectural element: _____ Approximate age: ___ original ___ added; if added ___ date ___ ___ Interior ___ Exterior; Location: N S E W Describe feature and its condition:</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p>
<p>Architectural element: _____ Approximate age: ___ original ___ added; if added ___ date ___ ___ Interior ___ Exterior; Location: N S E W Describe feature and its condition:</p> <p>Photograph No. _____ Drawing No. _____</p>	<p>Describe work and impact on feature</p>

See back of application
for fees

AP# 13907

CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised - 07/15/2011)

Application #: HR16-38 Date Received: 9-23-16 Zoning District: GR

Property Address: 1114 Greene Street, Beaufort, SC 29902

Applicant: Johan Niemand Phone: (843) 605-6168

Applicant's Address: 73 Sams Point Road, Beaufort, SC 29907

Beaufort County 1997 Historic Sites Survey listing: _____

Property Owner: John Trask III Phone: (843) 812-2210

Owner's Address: 1612 Duke Street, Beaufort, SC 29902

Architect: Johan Niemand Phone: (843) 605-6168

Architect's Address: 73 Sams Point Road, Beaufort, SC 29907

REQUEST FOR: Conceptual Review Preliminary Review
 Final Approval Change After Certification

NATURE OF WORK: (Check All That Apply)

Color changes Alterations, Additions
 Signage, Awnings New Construction
 Legal Plat Minor/Major Demolition or Relocation
 Other: _____

DRAWINGS/MATERIALS ACCOMPANYING APPLICATION: (Refer to Appropriate Checklists for Requirements)

Photographs Floor/Roof Plans Color Sample Elevation Drawings
 Site Plan/Plat Detail Drawing Material Sample Model

EXPLANATION AND DESCRIPTION OF WORK:

REMODEL & ADDITION OF 'FRUIT'S' STORE BUILDING TO
CREATE 2 BEDROOM RESIDENCE.

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the *Beaufort Preservation Manual and Supplement*, or the *Northwest Quadrant Design Principles* (refer to www.cityofbeaufort.org) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. **Submittal Requirements:** 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date. If the applicant or a representative is not present at the meeting, the application will not be reviewed.

OWNER'S SIGNATURE: _____ DATE: _____
APPLICANT'S SIGNATURE: _____ DATE: 09-23-2016

**BEAUFORT COUNTY
HISTORIC SITES SURVEY - 1997**

RECONNAISSANCE LEVEL BUILDING INVENTORY FORM

Statewide Survey Site Form
State Historic Preservation Office
South Carolina Department of Archives and History
Columbia, SC

Site Number: U- 13 - 1088
Access County Site #
USGS Quad: 025 Beaufort
Doc. Level: Reconnaissance Level

Historic name(s): Ed Pruitt's Grocery Store Map Ref.: BFT 09 (TL) Tax Number: R120 004 000 0274 0000
Common name(s): _____ City Block Ref.: 85 Island: Port Royal Is.
Address/location: 1114 Greene St. City/Vicinity of (vic.) Beaufort
Date: 1905 ca. Alteration date: _____
Ownership: 1. private 2. city 3. county 4. state 5. federal 6. unknown
Category: 1. building 2. site 3. structure 4. object
Historic use(s): commercial - store/shop Current uses: vacant

Notes: Rectangular 1 story 3 x 3 bay frame store w/front-facing gable roof

National Register Status: _____ Date: _____ Listing Name: _____ NRIS # _____
National Register Historic District (NHL, 11/73) 12/17/69 Beaufort Historic District 69000159

SHPO National Register Evaluation: Contributes to listed district Name: Beaufort Historic District

Consultant Recommendation: _____ Name: _____

Previous Survey: _____ Reference: _____ Notes: _____
 H.A.B.S. Other _____
 Feiss-Wright (1969) _____
 Historic Resources of the Lowcountry (1979) 38 BU 1089 The Neighborhood
 Milner Historic District Inventory (1979) _____
 A Guide to Historic Beaufort (1995 ed.) _____

Photograph:



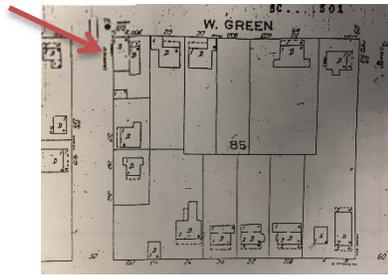
Photographs:
 prints
 slides
 negatives

Date: 8/1/97
Recorder: D. Schneider, Historic Beaufort Fdn. Roll # 9 Neg. View of: N facade & W elev., fac. SE

CITY OF BEAUFORT
Historic District Review Board
Full Board
Staff Report
Meeting of October 26, 2016

Case Number: HR16-38 & BB16-04
Property Address: 1114 Greene Street
Applicant: Johan Niemand
Type of Request: Alterations and Additions – Final + Bailey Bill Approval
Zoning: NC – Neighborhood Commercial (NWQ)

Historical: 1114 Greene Street, a.k.a. Pruitt’s Grocery, is listed on the *1997 Beaufort County Above Ground Historic Sites Survey* as “Contributing to the listed district.” It’s estimated that this building is c.1905. It appears on the 1924 Sanborn Maps in a similar configuration as exists today – a store on the corner and a dwelling attached to the east side. It is one of the only remaining corner stores in the Historic District, and the only one with a residence attached.



Request: The applicant is proposing interior renovations, along with the following exterior modifications:

- Enclosing the front recessed porch and modifying the roof line
- Modifying window and door openings on the eastern wing
- Modifying the shed entry on the rear (south) elevation

Background: This project has not previously appeared before the board.

Zoning: NC – Neighborhood Commercial – NWQ

Setbacks:

- *Front Setback:* 3-10’
- *Rear:* 10’
- *Side:* 0’
- *Side & Rear for Accessory Uses:* 5’ – n/a
- *Impervious Surface Coverage:* 60% max.; *please provide the proposed %*

Size: This project adds an additional 31 SF of unheated rear entry porch area, and 160 SF of patio space.

Synopsis of Applicable Guidelines:

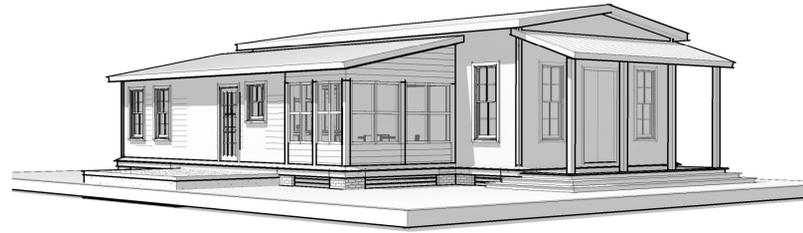
- The Secretary of the Interior Standards, #1 and 2 apply to this project.

- The Northwest Quadrant Design Principles discuss appropriate construction methods and design details.
 - Principle 19 (p. 42) discusses altering window openings on houses. It states that “altering openings on the sides of houses in the area may be acceptable, as determined on a case by case basis.”

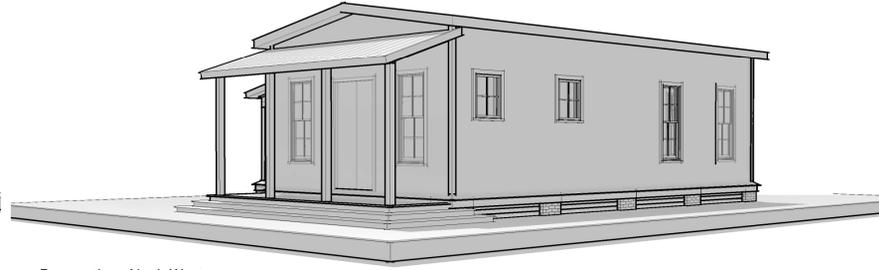
Staff Questions, Comments & Suggestions:

- **General:** Staff is excited that this project will restore this structure and put it back into operation. Ideally, the use could have been maintained, as there are no other recent functioning corner stores. However, it appears that the modifications don't preclude it from ever returning to a commercial use in the future.
- **Proportions & Details:**
 - Staff recommends articulating the porch beam on the proposed enclosed porch on the east side of the structure. In addition, consider using a 4” trim board between the windows, rather than a standard assembly.
 - Please list the proposed materials for this project.
 - More detail on the construction, including window specifications, will be required upon submission for the building permit.

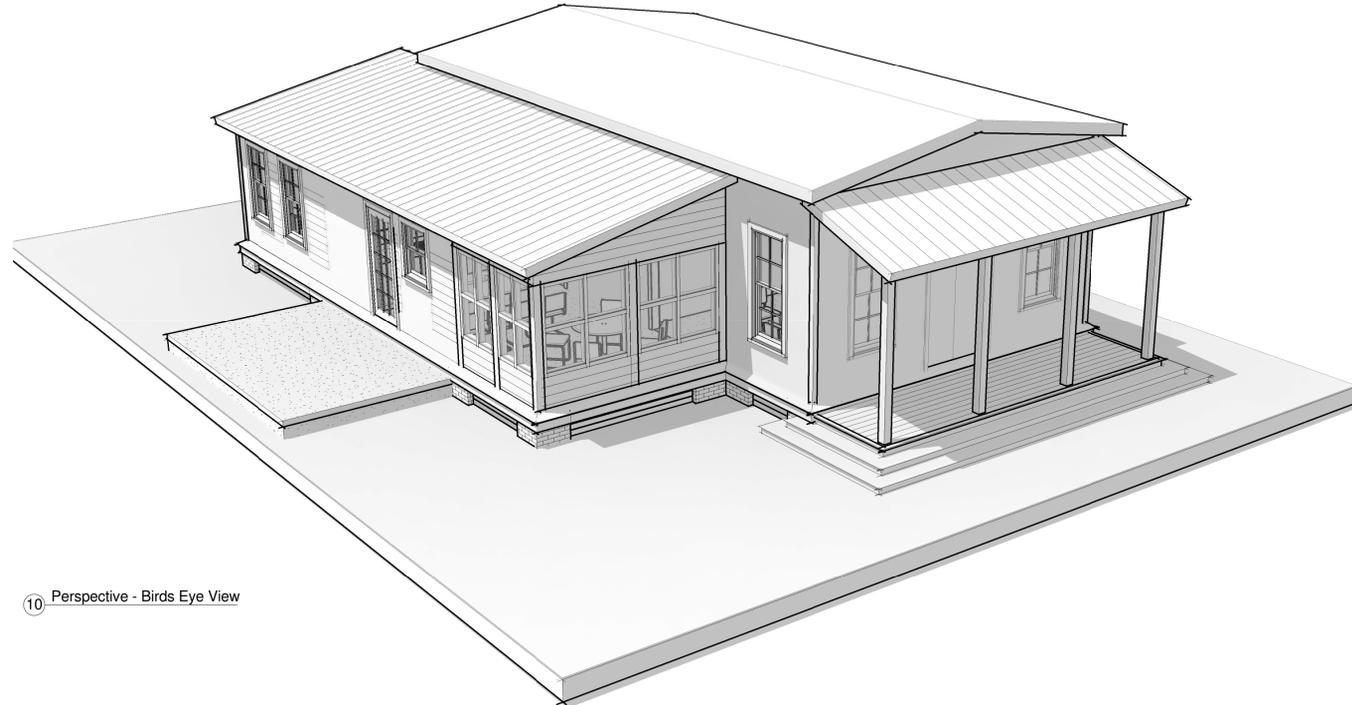
Staff Recommendation: Staff recommends final approval to this request on the condition that the two comments on the enclosed porch are discussed, and that additional construction and material details are provided and approved by staff during the building permit submission.



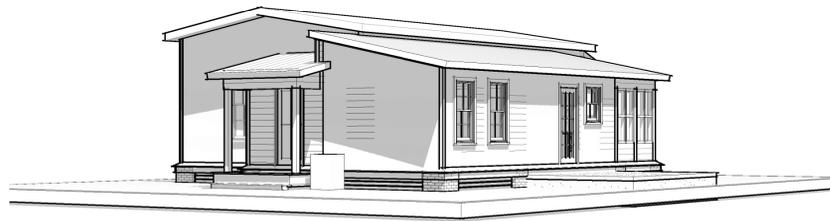
9 Perspective - North East



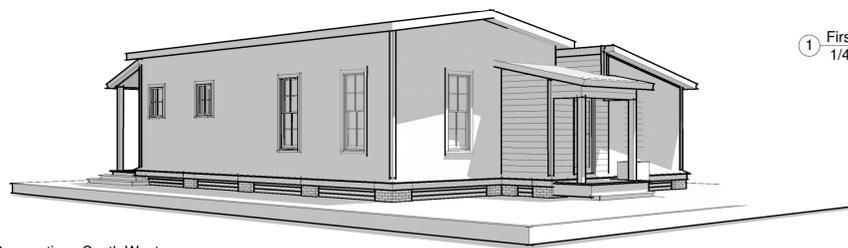
8 Perspective - North West



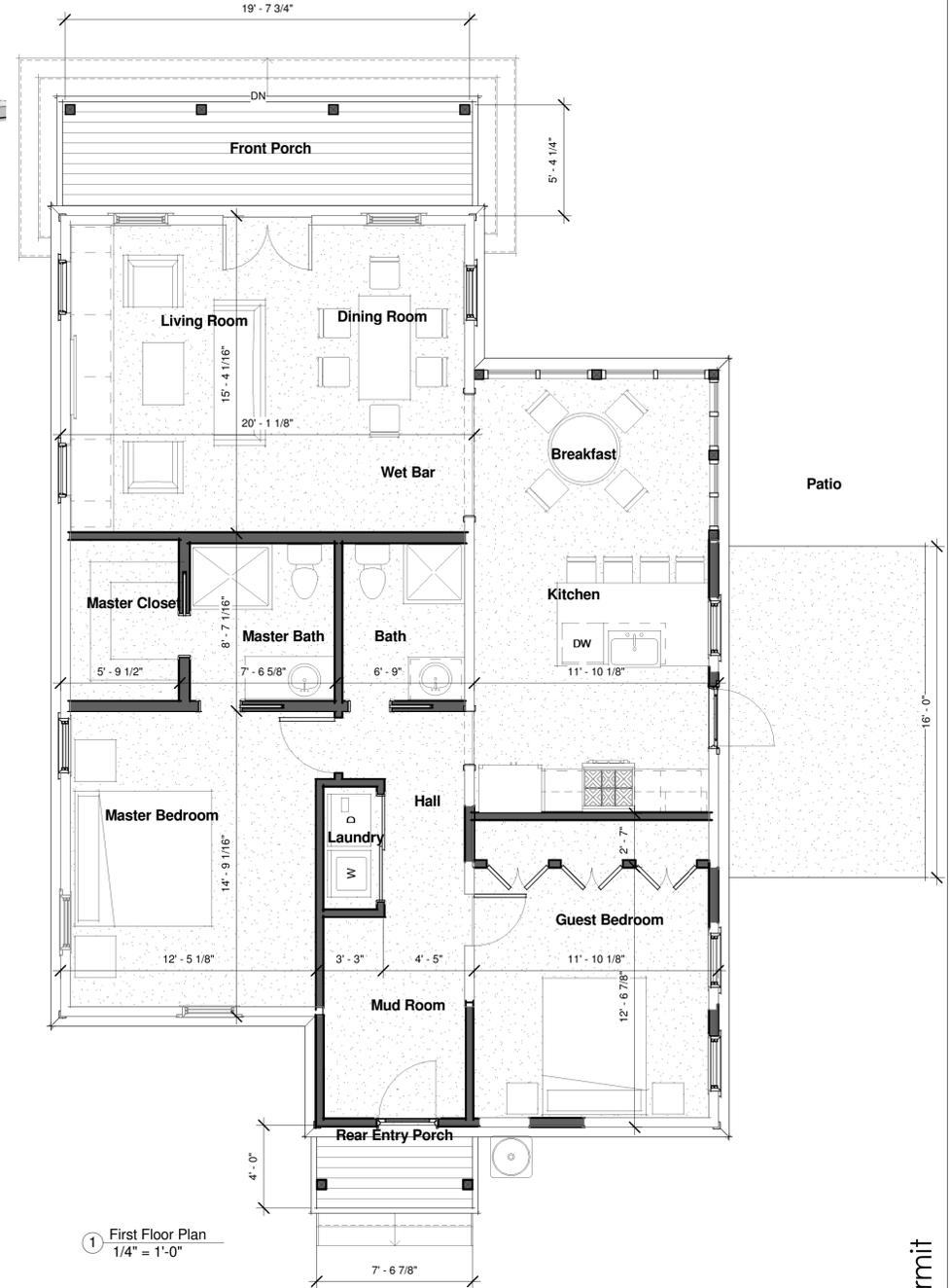
10 Perspective - Birds Eye View



11 Perspective - South East



7 Perspective - South West



1 First Floor Plan
1/4" = 1'-0"

Area Schedule	
Name	Area
Heated Area	1243 SF
Unheated Area- Front Porch	110 SF
Unheated Area- Rear Entry Porch	31 SF
Unheated Area - Patio	160 SF
	301 SF

Preliminary not for Permit



JHN-Residential Building Design

Tel: 843.405.6168
info@jhn-residential.com

JHN-Residential LLC
jhn-residential.com

73 Sams Point Road,
Beaufort, SC 29907



Revision

RE-DESIGN OF
"PRUITT'S STORE"
FOR JOHN TRASK III
1114 GREENE STREET, BEAUFORT, SC 29902

Scale 1/4" = 1'-0" Date SEPTEMBER 23, 2016

Sketch Design

SD-101

9/27/2016 2:44:20 PM

Disclaimer: All drawings were prepared and provided with express understanding that structural integrity would be checked by third party, either lumber supplier or structural A/E plan & elevation dimensions to be site verified before construction commences.

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View From West



View from North



View From North East



View From East



View From South



**JHN-Residential
Building Design**

JHN-Residential LLC
73 Sams Point Road,
Beaufort, SC 29907
Tel: 843.605.6168
info@jhn-residential.com

**RE-DESIGN OF
"PRUITT'S STORE"
FOR JOHN TRASK III**

1114 GREENE STREET, BEAUFORT, SC 29902

Scale

Date SEPTEMBER 23, 2016

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Project
Photos'

SD-103

Preliminary not for Permit

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