

See back of application
for fees

CITY OF BEAUFORT HISTORIC DISTRICT REVIEW BOARD PROJECT APPLICATION (Revised - 07/15/2011)

Application #: _____ Date Received: _____ Zoning District: _____

Property Address: 1304 Washington St.

Applicant: Paradise Point Construction Phone: 843-522-1055

Applicant's Address: 83 Inglewood Cr., Saint Helena Island, SC 29920

Beaufort County 1997 Historic Sites Survey listing: _____

Property Owner: Paradise Point Construction Phone: 843-522-1055

Owner's Address: 83 Inglewood Cr., Saint Helena Island, SC 29920

Architect: Moser Design Group Phone: 843-379-5630

Architect's Address: 17 Market #2 Beaufort, SC 29906

REQUEST FOR: Conceptual Review Final Approval Preliminary Review Change After Certification

NATURE OF WORK: (Check All That Apply)

- | | |
|---|---|
| <input type="checkbox"/> Color changes | <input checked="" type="checkbox"/> Alterations, Additions |
| <input type="checkbox"/> Signage, Awnings | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Legal Plat | <input type="checkbox"/> Minor/Major Demolition or Relocation |
| <input type="checkbox"/> Other: _____ | |

DRAWINGS/MATERIALS ACCOMPANYING APPLICATION: (Refer to Appropriate Checklists for Requirements)

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> Photographs | <input type="checkbox"/> Floor/Roof Plans | <input type="checkbox"/> Color Sample | <input type="checkbox"/> Elevation Drawings |
| <input type="checkbox"/> Site Plan/Plat | <input type="checkbox"/> Detail Drawing | <input type="checkbox"/> Material Sample | <input type="checkbox"/> Model |

EXPLANATION AND DESCRIPTION OF WORK:

PPC proposes new construction single family home with future garage plan entering from alleyway

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

An Application is incomplete until all required information is submitted. Incomplete applications will not be placed on a Board agenda. Applications are reviewed based upon the Beaufort Preservation Manual and Supplement, or the Northwest Quadrant Design Principles (refer to www.cityofbeaufort.org) which the applicants are strongly encouraged to purchase. Office copies are available for reference. In order that meetings not be excessively long, the Board maintains a strict policy that no more than ten applications are reviewed in any one meeting. If you are under a tight time frame, please be sure to submit your application early. Submittal Requirements: 8 hardcopies of all documents + a digital copy of all the documents must be filed by 12:00 noon on the deadline date. If the applicant or a representative is not present at the meeting the application will not be reviewed.

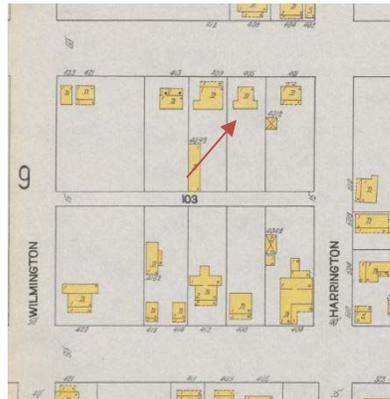
OWNER'S SIGNATURE: _____ DATE: 10/20/16

APPLICANT'S SIGNATURE: _____ DATE: 10/20/16

CITY OF BEAUFORT
Historic District Review Board
Full Board
Staff Report
Meeting of October 26, 2016

Case Number: HR16-39
Property Address: 1304 Washington Street (PIN R120 004 000 0352 0000)
Applicant: Paradise Point Construction
Type of Request: New Residential Construction
Zoning: GR – General Residential - NWQ

Historical: This parcel on New Street is located in The Point Neighborhood. It is currently vacant. Historically, it housed a small dwelling unit in the late early 1900s. A different one-story structure is indicated on the 1958 Sanborn Map.



1912 Sanborn Map



1958 Sanborn Map

Request: The applicant wishes to construct a new 1 ½ story single family residence and a detached garage/carport.

Size: The total footprint is 1,450 SF for the house – 1,054 heated and 438 porch. The upstairs is 662 SF. There is an additional 286 SF for the garage and 194 SF for the carport (attached to the garage) in a separate structure.

The main structure is approximately 22' from grade to average median roof height. The finished first floor is elevated 38" above grade.

The garage/carport structure is approximately 16' from grade to average median roof height.

Zoning: GR – General Residential - NWQ

- Setbacks: there are no setback issues with this project

- *Front: prevailing*; shown at 20 to building form with an 8' porch encroachment.
- *Side: 6'*; shown at 6' or greater on either side
- *Rear: 15'*; shown over 40'
- *Side & Rear for Accessory Buildings (Historic District): 5'*; garage shown at 15' from side and rear
- *Maximum Height: 35'*; shown at 22' from grade to average median roof height (24' from base flood elevation)
- *Impervious Surface Coverage, Max: 55%*; shown at approx. 41%

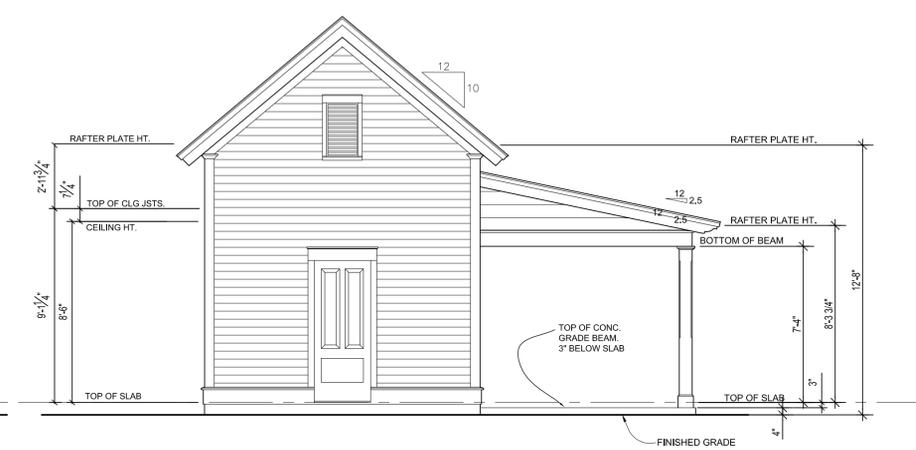
Synopsis of Applicable Guidelines:

- The Northwest Quadrant Design Principles discuss appropriate new construction and details.
 - With regards to Accessory Structures, the Principles state: It is preferred that the character of the accessory building be very modest and reflect the building form of the primary structure.
- The Preservation Manual Supplement, p. 13-15 discusses new construction. The following items to be considered: Scale, Elevation of First Floor, Floor-to-floor heights, Bays, windows and doors, Absolute size, Massing, Orientation, Proportions (Volumes and Openings), Materials, Forms and Siting.

Staff Questions, Comments & Suggestions:

- **Scale:** The mass and scale of building is appropriate for this neighborhood and meets the intent of the Preservation Manual Supplement.
- **Proportions & Details:** The building proportions and details are appropriate for this neighborhood.
- **Materials:**
 - We'll need a detailed color list and window/door specifications.
 - Simulated Divided Lite or True Divided Lite windows are required.
 - The garage door should be either wood or composite, but not aluminum.

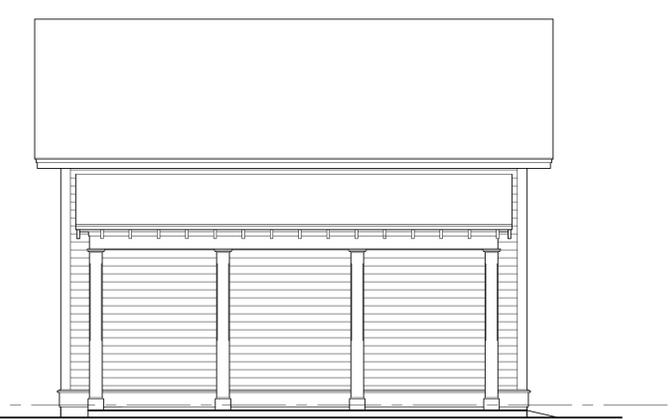
Staff Recommendation: Staff recommends final approval to this request, with the remaining colors and materials to be submitted for approval during the building permit application process.



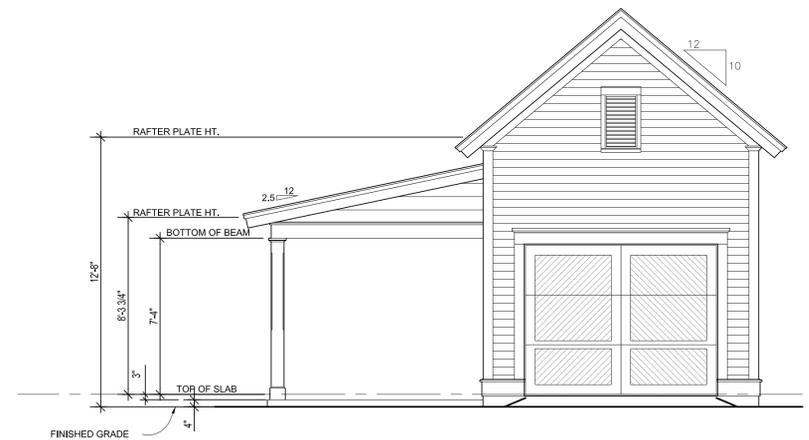
REAR ELEVATION (Northeast)
SCALE: 1/4"=1'-0"



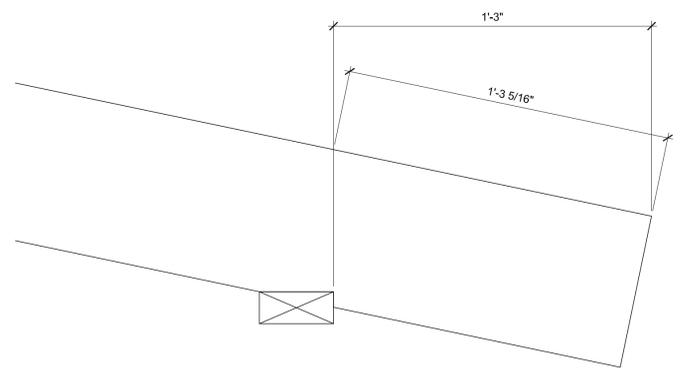
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



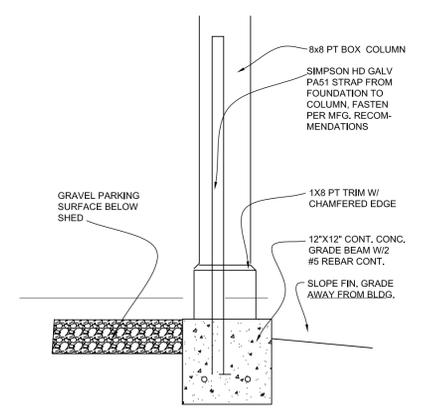
LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



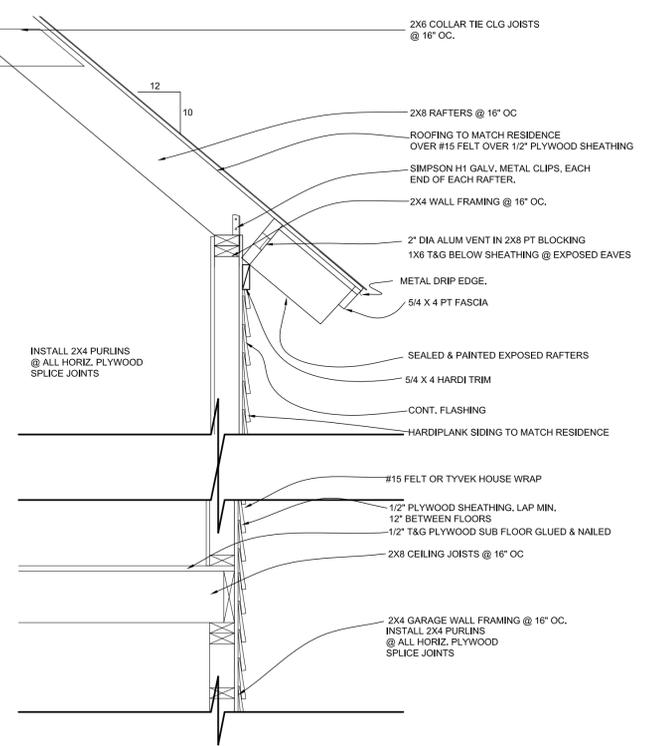
ENTRY ELEVATION
SCALE: 1/4"=1'-0"



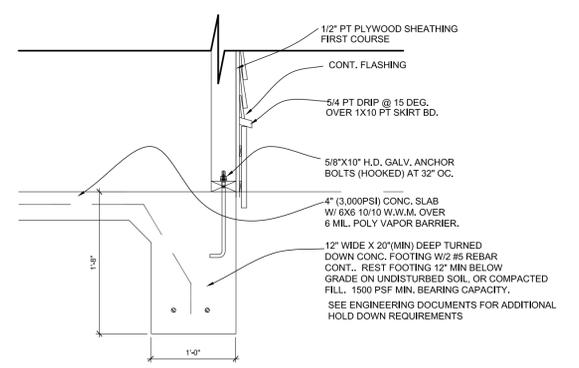
2.5/12 RAFTER TAIL
SCALE: 3"=1'-0"



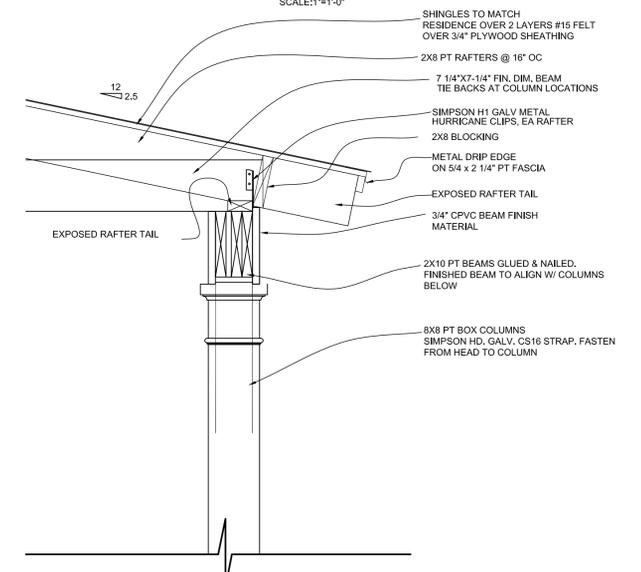
CARPORT FOUNDATION DETAIL
SCALE: 1"=1'-0"



SHED ROOF DETAIL
SCALE: 1"=1'-0"



WALL DETAIL
SCALE: 1"=1'-0"



SHED ROOF DETAIL
SCALE: 1"=1'-0"

CONSTRUCTION NOTE:
Refer to Engineer's documents for new foundation and framing design along with details and notes for materials and methods of construction. Where discrepancies occur between the original construction documents and the Engineer's documents, the Engineer's documents shall govern.

DATE:	TNH-O-27-B
	APRIL 01, 2004
PROJECT:	TNH-O-27-B OUTBUILDING: TRADITIONAL NEIGHBORHOOD COLLECTION
	RESIDENTIAL DESIGNERS 17 MARKET, #2 * BEAUFORT * SOUTH CAROLINA * 29906 INFO@MOSERDESIGNGROUP.COM PHONE (843) 379-5630 FAX (843) 379-5631
SHEET:	3
	3
REVISIONS:	MAY 14, 2010 CARPORT RAFTER TAILS
DESIGNER:	MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS
DATE:	APRIL 01, 2004

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TERMS OF PURCHASE AND USE:

- Moser Design Group, Inc., assumes no liability for any home or any portion thereof which may be constructed from these plans. It is the responsibility of the purchaser of these plans to read and comply with the following prior to the start of actual construction.
- These Plans are the property of Moser Design Group, Inc. These Plans are protected by Federal Copyright Laws. Any use of the information contained herein beyond the one-time use authorized by a plan purchase, or any duplication, publication, sale or distribution of any part of these plans without the prior written consent of Moser Design Group, Inc. represents a violation of Federal Laws subject to the prescribed penalties.
- A purchase of blue-line prints grants the as "Licensee" the right to use such documents to construct a single home. Purchaser acknowledges that all rights of ownership, title, and interest in the copyrights, plans and derivatives remain with Moser Design Group, Inc. Modified plans are considered derivatives of the original. Derivatives receive the same copyright protection even if completely redrawn and like the Plans, may not be sold, copied, or used to construct any other residence.
- Any use of these plans, or modifications thereto, by the purchaser, his or her builder or others is performed at their own risk.
- Plans should be reviewed by a local professional architect or engineer prior to the start of construction. The information contained within these construction documents is issued to show design intent and basic framing details. It is the builder's responsibility to provide standard construction detailing and practices which will provide a structurally sound and weatherproof finished product. The builder shall resolve any discrepancies or problems perceived prior to starting construction of such items.
- Building codes vary because of the great differences in geography and climate throughout the United States and Canada. Each state, county and municipality has its own building codes, zone requirements, ordinances and building regulations. Plans may need to be modified to comply with local requirements regarding snow loads, energy codes, soil and seismic conditions and a wide range of other matters. It is the Purchaser's responsibility to consult with the proper construction professionals to ascertain if the plans comply with the codes governing the Licensee's building site and, if necessary, make any changes or verifications required.
- The plans do not include any plumbing, heating or air conditioning plans due to the wide variety of codes and climatic conditions. A local electrical engineer, mechanical engineer and/or builder should provide such plans as may be required for permits and construction. The foundation plan and associated details are provided as a basic guide for a typical spread footing or typical concrete piers and conventional wood framed system. It is the purchaser's responsibility to have a local architect or licensed engineer review the plans and, if deemed necessary, provide a site-specific foundation design.
- These plans provide ideas and concepts and are not intended to be complete in all respects and details. Use of a potential variety of window or door brands and types, and use of different materials and thicknesses may change details. Additionally, varying codes and regulations, foundation requirements and the omission of electrical and mechanical plans may also change details.
- It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable national, state, and local Building Codes. It is the builder's responsibility to assure that all work is in strict accordance with the latest edition of all applicable Construction Standards.
- It is the builder's responsibility to assure that all manufactured articles, material, and equipment are applied, installed, connected, erected, used, cleaned, adjusted, operated and conditioned as directed by the manufacturers, unless specified herein to the contrary.
- It is the builder's responsibility to assure that all materials, equipment and components are new and of good quality.
- It is the builder's responsibility to check all plan dimension and details for overall accuracy appropriate to the site and final selection of masonry, floor joists, lumber, structural members, veneer, roofing, etc., all of which may create revised dimensions and details.
- Names of materials and manufacturers shown on these plans do not represent any endorsement or recommendation by Moser Design Group, Inc. The final selection of the materials to be used is the responsibility of the home owner and/or builder, as is the proper installation of materials, nailing, gluing, caulking, insulation, flashing, roofing, weatherproofing and many other small items and details not necessarily indicated on the Plans. Moser Design Group, Inc. has no control over or responsibility for the selection, installation, or use of such items or details and shall not be liable for any errors, omissions, or deficiencies in any form pertaining thereto.
- Moser Design Group, Inc. reserves the right to make changes to its models from time to time. therefore, does not warrant that the Plans will match any marketing images, web site or catalog that the purchaser may have reviewed and/or consulted in ordering plans.
- DISCLAIMER OF WARRANTIES.** To the maximum extent permitted by law, Moser Design Group, Inc. disclaims all warranties, express or implied, including the implied Warranty of Merchantability and implied Warranty of Fitness for a Particular Purpose.
- LIMITATION OF LIABILITY.** Moser Design Group, Inc. shall not be liable for any special, consequential, incidental, or indirect damages arising from use of the Plans, including but not limited to damages for loss of anticipated profits or loss of business opportunity. To the extent permitted by law, any liability of the Licensor shall be limited to the retail price of the Plans.
- This agreement shall be construed in accordance with South Carolina law.
- Any legal action concerning or arising out of this agreement shall be brought only in a South Carolina State, or Federal Court located in Beaufort or Charleston Counties in South Carolina, and the Licensor and Licensee consent to the exclusive jurisdiction of said Courts with respect to any such action.

- GENERAL NOTES:**
- Do not scale drawings. Use only dimensions shown on drawings. If dimensions are in question, the builder shall obtain clarification from Moser Design Group, Inc. before continuing with construction. The builder shall verify all dimensions and conditions at jobsite.
 - Larger scale drawings supersede smaller scale drawings.
 - Coordinate location of utility meters on the site plan to keep them from public view and to minimize visual impact from any area of the site. Hold meters as low as possible to allow more effective screening.
 - Use materials appropriate to the application for maximum life and optimum appearance.



SC-32-D-1

TRADITIONAL NEIGHBORHOOD HOME SERIES

DRAWING INDEX

- A-1 COVER SHEET / GENERAL INFORMATION
- A-2 SITE PLAN – NOT INCLUDED
- A-3 FOUNDATION PLAN
- A-4 FLOOR FRAMING PLANS
- A-5 FLOOR PLANS
- A-6 ROOF PLAN
- A-7 ELEVATIONS
- A-8 SECTIONS & WALL DETAILS
- A-9 PORCH & WALL DETAILS
- A-10 ELECTRICAL PLANS

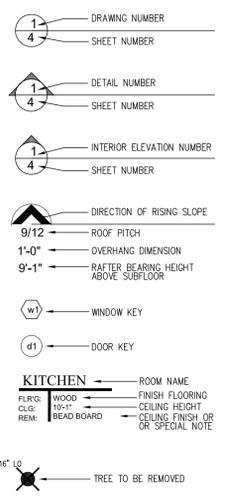
NOTE:

CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS, STRUCTURAL AND ENGINEERING DETAILS

CONTRACTOR TO VERIFY VENTILATION AND WATER-PROOFING DETAILS

CONTRACTOR TO VERIFY CONNECTIONS BETWEEN HOUSE AND FOUNDATION, VERIFY CONNECTIONS MEET ALL APPLICABLE CODES, AND LOADS IMPOSED.

SYMBOLS AND ABBREVIATIONS



ABV	ABOVE	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	IN	INCHES
ASF	ABOVE SUBFLOOR	JST	JOIST
ADJ	ADJ	MIN	MINIMUM
@	AT	MAX	MAXIMUM
BFE	BASE FLOOD ELEVATION	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	OP'N'G	OPENING
CNTR	CENTER	OC	ON CENTER
CONST	CONSTRUCTION	PSI	POUNDS PER SQUARE INCH
CMU	CONCRETE MASONRY UNIT	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PT	PRESSURE TREATED
DIA	DIAMETER	PNT	PAINT
DBL	DOUBLE	R	RISER
DEG	DEGREES	ROW	RIGHT OF WAY
EXT	EXTERIOR	REQ'D	REQUIRED
FFE	FINISHED FLOOR ELEVATION	REM	REMOVE
FIN	FINISH	SOFT	SQUARE FEET
FL	FLOOR	TOB	TOP OF BLOCK
FT	FEET	TOS	TOP OF STUD
FOS	FACE OF STUD	TRD	TREAD
FOB	FACE OF BLOCK	TR'T'D	TREATED
GYP	GYPSUM	VERT	VERTICAL
HB	HOSE BIBB	GALV	GALVANIZED
HVAC	HEATING, VENTILATION & AIR CONDITIONING	SS	STAINLESS STEEL
HT	HEIGHT		
H/C	HANDICAP		
HDR	HEADER		
HORZ	HORIZONTAL		

DATE:	OCT. 27, 2008

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MOSER DESIGN GROUP, INC.

RESIDENTIAL DESIGNERS

17 MARKET NO. 2, BEAUFORT, SOUTH CAROLINA 29906
 INFO@MOSERDESIGNGROUP.COM
 PHONE (843) 379-5630 FAX (843) 379-5631

REVISIONS:	NOV. 20, 2008

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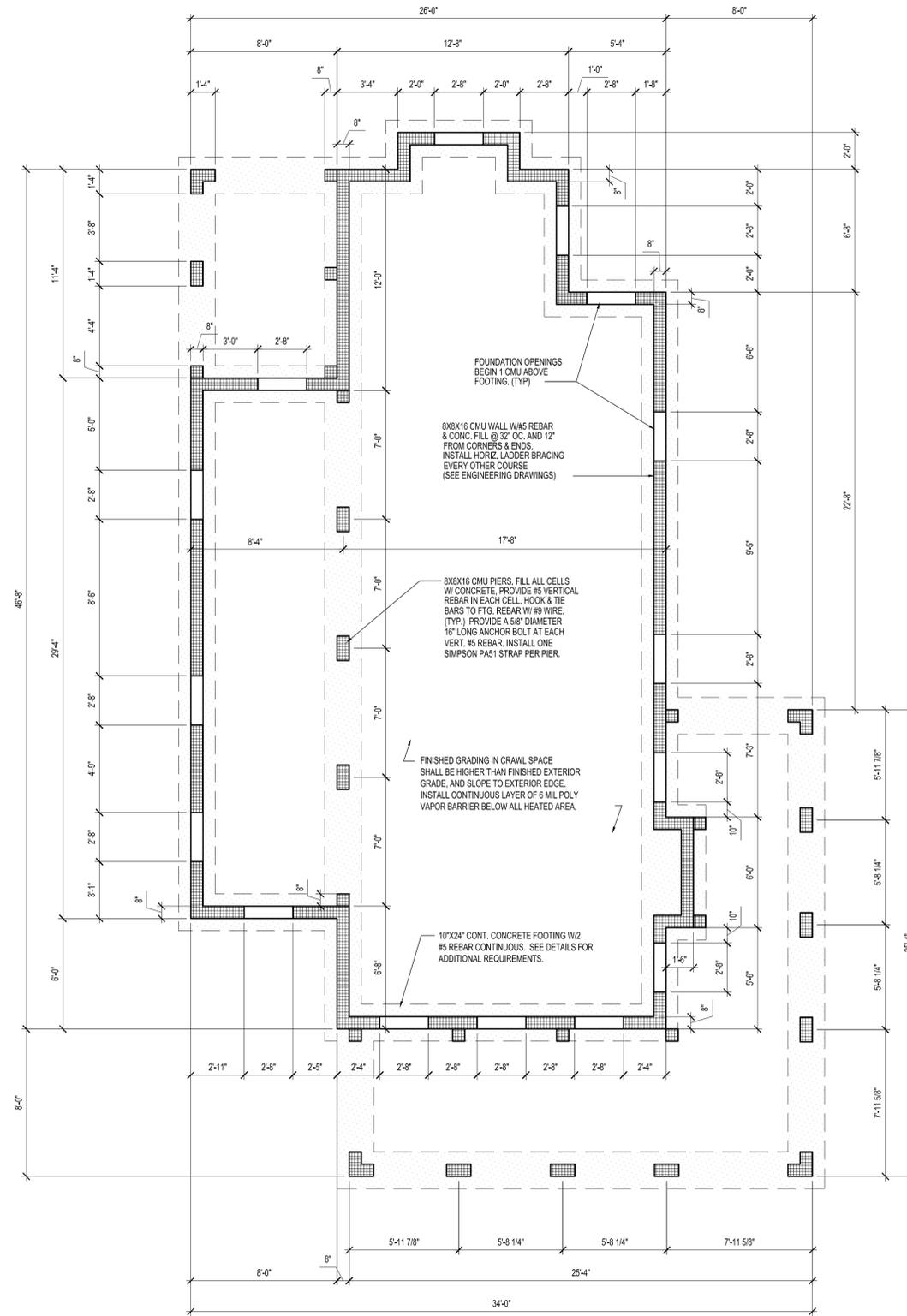
PROJECT:

TNH-SC-32D-1
 SMALL COTTAGE:
 TRADITIONAL NEIGHBORHOOD
 HOMES COLLECTION

Building codes can vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site. Therefore, it is the purchaser's responsibility to verify the applicability of these plans for that site and, if necessary, make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction advisors.

SHEET:	A-1 OF 10

DO NOT CONSTRUCT FOUNDATION AS SHOWN.
Soil conditions and Flood Elevations vary significantly and foundation work must be suitable to the site specific requirements. The actual foundation requirements should be designed by others, and, if required by the Building Official, a scientific soil investigation may be required in order to determine the most suitable foundation system.



1 FOUNDATION PLAN
A3 1/4" = 1'-0"
0 1 2 4 8

LEGEND
 INDICATES CMU PIER OR FOUNDATION WALL. SIZE AS NOTED ON PLAN ABOVE.
 INDICATES REINFORCED CONC. FOOTING

GENERAL NOTES
 1. All installations shall comply with local building codes if more stringent than the following provisions. All structural information shown is for reference purposes only. Builder or local licensed structural engineer shall review actual site conditions & verify and/or specify all structural elements.
 2. Builder or local licensed structural engineer to verify and/or specify all strapping connections meet or exceed all applicable building codes.

CONCRETE
 1. All concrete work shall be in accordance with A.C.I. 301, unless otherwise noted.
 2. All poured in place concrete shall be rated 3000 psi at 28 days, maximum size of aggregate shall be 3/4" with a permissible slump of 4" + 1".
 3. Admixtures shall not be permitted without written approval of the Engineer.
 4. Formwork shall be clean and free of defects.
 5. Minimum concrete cover shall be as follows: Paired on ground = 3". Formed in contact with ground = 2"

MASONRY WALLS
 1. Concrete masonry units for load bearing walls shall conform to ASTM C-90. All other masonry units shall conform to ASTM C-129.
 2. Mortar shall conform to ASTM C-270, type "M" (2500 psi).

REINFORCING STEEL
 1. Reinforcing steel shall conform to the ASTM A-615, Grade 60, fabricated in accordance with the C.R.S.I. Manual and placed in accordance with the A.C.I. Manual.
 2. Welded wire fabric shall conform to ASTM A-185.

FOUNDATION NOTES
 1. All structural information shown is for reference purposes only. Builder or local licensed structural engineer shall review actual site conditions as well as verify and/or specify all structural elements to be in compliance with local building codes.
 2. Builder shall inspect site & excavated conditions prior to beginning foundation construction. Builder shall notify owner and/or local licensed structural engineer of any non-typical conditions concerning soils, ground water or any other issue, which may require additional or special engineering design.

STRUCTURAL WOOD
 1. Wood exposed to the weather or in contact with concrete or masonry shall be pressure treated. Use stainless steel or manufacturer approved anchors and fasteners for corrosion resistance. No galvanized fasteners are to be used in contact with pressure-treated members.
 2. Roof framing to be engineered roof trusses, all connections, sizes and spacing to be detailed by manufacturer. Connection of the truss to building is the responsibility of builder/owner and shall be designed by others.
 3. Bridging is to be provided as required by code, but not less than center bridging for spans over 10 ft and 8 ft o.c. for spans over 16 ft.
 4. Metal connectors shall conform to the latest requirement of the applicable codes. Provide and install hurricane clips throughout as per code requirements.
 5. Metal exposed to the weather, including nails, flashing and drip edges, shall be galvanized, unless otherwise noted.

FRAMING NOTES
 1. Wood framing & blocking shall be s.y. pine, spruce, or fir, stud grade or better for 2x4's, #2 SPF or better for all other sizes. All framing & blocking lumber shall be kiln-dried to a moisture content of 19% or better. Wood blocking shall be solid & shall match the depth of the primary framing members.
 2. All joists installed crown up unless noted otherwise.
 3. Provide solid blocking between joists at mid-span for joists exceeding 8'-0" between supports.
 4. Provide solid blocking between joists above frame walls and beams.
 5. Flush framed joists shall be secured to beams/girders with properly sized metal joist hangers.
 6. Where frame walls are parallel to and rest on joists - provide 2 additional joists beneath wall.
 7. Where frame walls are perpendicular to or at an angle to and rest on joists, provide solid blocking between joists at 24" oc.
 8. In frame walls - provide solid blocking for all plywood sheathing edges which run perpendicular to wall studs.

FRAMING NOTES (cont'd)
 9. Bird-mouth rafters to fit beams and walls as indicated on the details, tie each rafter to frame wall or beam with specified "Simpson" hurricane anchor
 10. Wall Types
 a. Typical interior partition walls shall be 2x4 studs (3 1/2" thick) @ 16" o.c. unless noted
 b. Typical exterior walls shall be 2x6 studs (5 1/2" thick) @ 16" o.c.
 c. Plumbing wall to be 2x6 studs (5 1/2" thick) @ 16" o.c.
 d. Notch maximum 25% of Stud depth
 e. Bored hole maximum 40% Stud depth
 11. All exterior stud walls to have 5/8" APA Exterior ply sheathing.
 12. Typical header to be (3) 2x8's over doors & windows
 13. Dimensions shown are to the face of stud on interior walls or face of stud on exterior walls unless noted otherwise.
 14. Coordinate truss design with rough frame opening for pull down attic stair.

NOTE:
 CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS, STRUCTURAL AND ENGINEERING DETAILS
 CONTRACTOR TO VERIFY VENTILATION & WATER PROOFING DETAILS
 CONTRACTOR TO VERIFY AND/OR SPECIFY CONNECTIONS BETWEEN HOUSE AND FOUNDATION MEET ALL APPLICABLE BUILDING CODES

DATE:	OCT. 27, 2008
PROJECT:	TNH-SC-32D-1 SMALL COTTAGE: TRADITIONAL NEIGHBORHOOD HOMES COLLECTION
	Building codes can vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site. The purchaser, prior to construction, shall consult with the applicable state or local building officials to determine if these plans meet the applicable codes and, if necessary, make any changes or modifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction advisor.
SHEET:	A-3 OF 10
REVISIONS:	NOV. 20, 2008
DESIGNER:	MOSER DESIGN GROUP, INC. RESIDENTIAL DESIGNERS 17 MARKET NO. 2, BEAUFORT, SOUTH CAROLINA 29906 INFO@MOSERDESIGNGROUP.COM PHONE (843) 379-5630 FAX (843) 379-5631

DATE:

MOSER DESIGN GROUP, INC.
 RESIDENTIAL DESIGNERS
 17 MARKET NO. 2, BEAUFORT, SOUTH CAROLINA 29906
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REVISIONS:

NOV. 20, 2008

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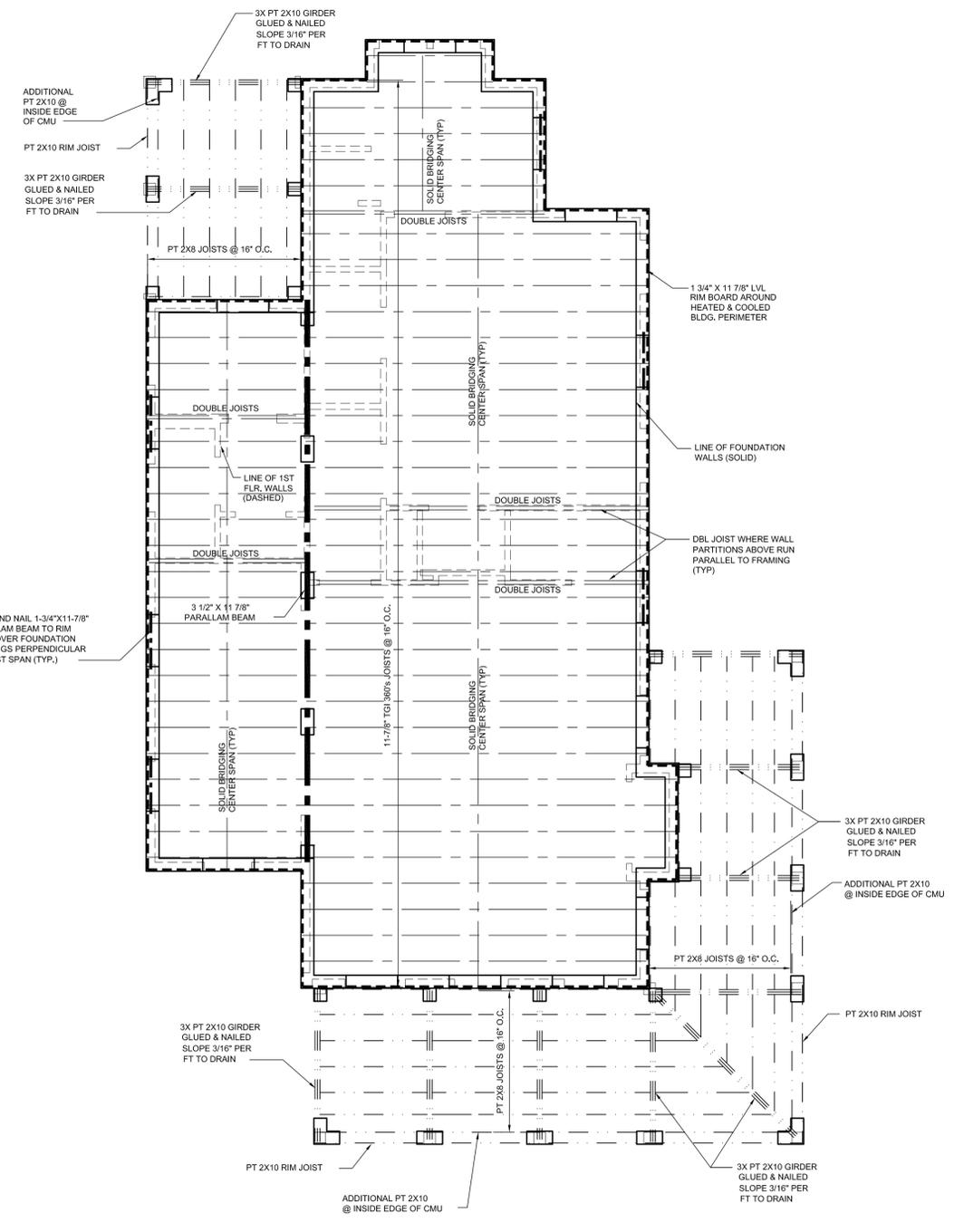
PROJECT:

TNH-SC-32D-1
 SMALL COTTAGE
 TRADITIONAL NEIGHBORHOOD
 HOMES COLLECTION

Building codes can vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site. Therefore, it is the purchaser's responsibility to consult with the local building officials and, if necessary, make any changes or verifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction contractor.

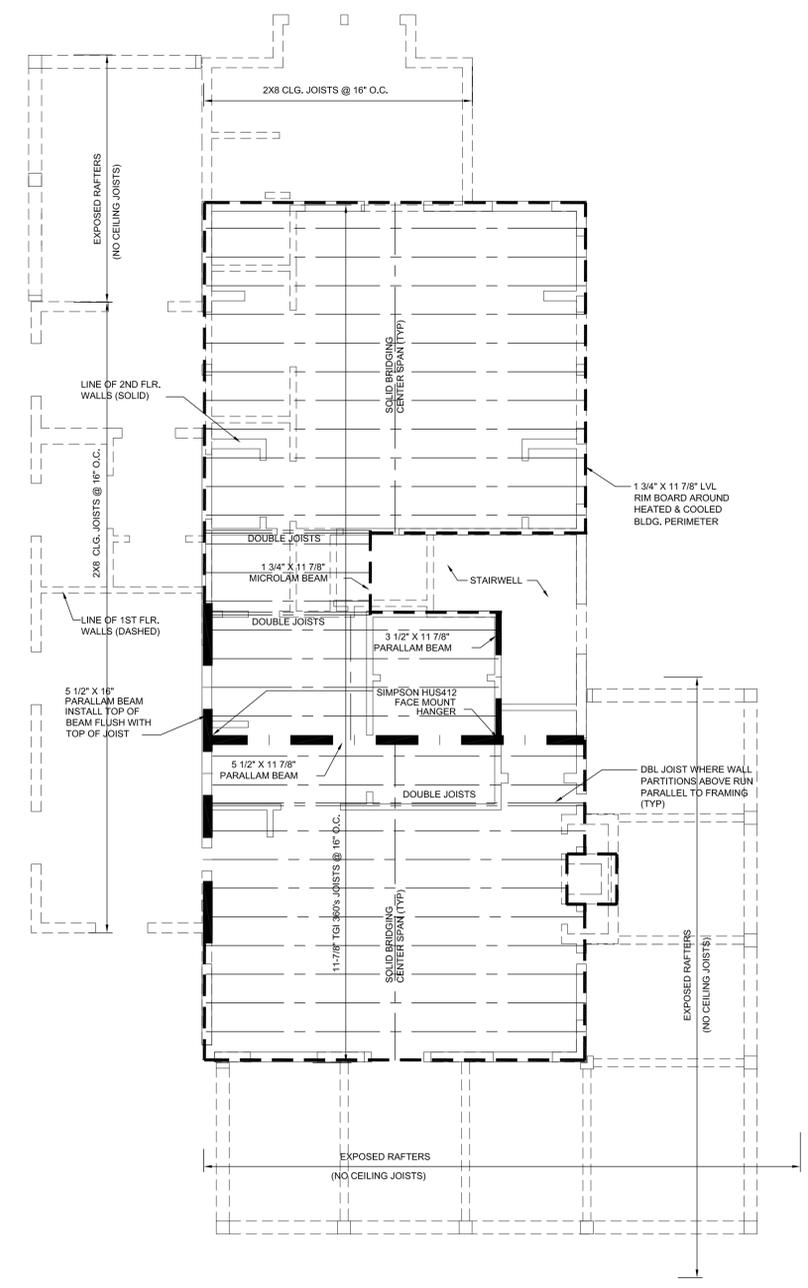
SHEET:

A-4 OF 10

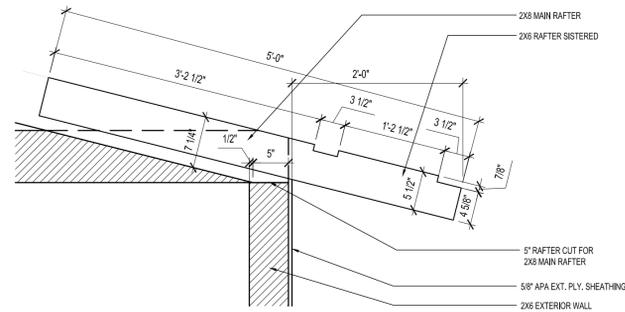


1
A4
FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"
 0 1 2 4 8

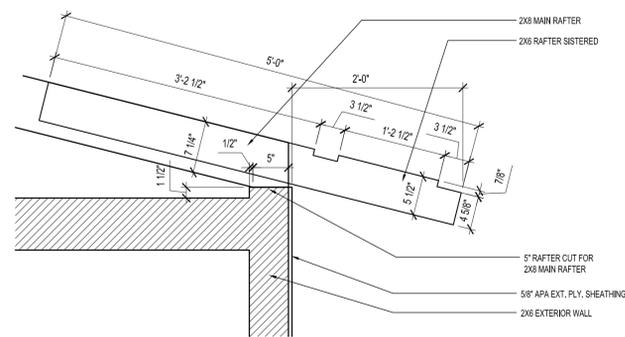
TGI flooring system to be engineered by others, and install according to Manufacturers specifications.
 Contractor shall provide framing sub with a copy of the truss manufacturer's latest printed handling & installation instructions and these instructions shall be maintained at the building site. The Contractor shall require that all such handling & installation instructions are properly implemented.



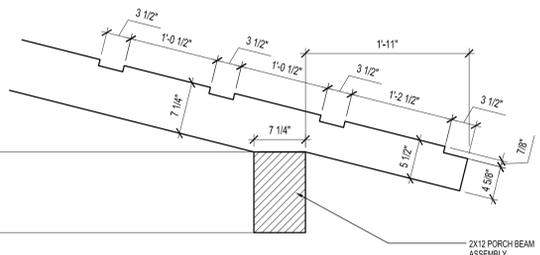
2
A4
SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"
 0 1 2 4 8



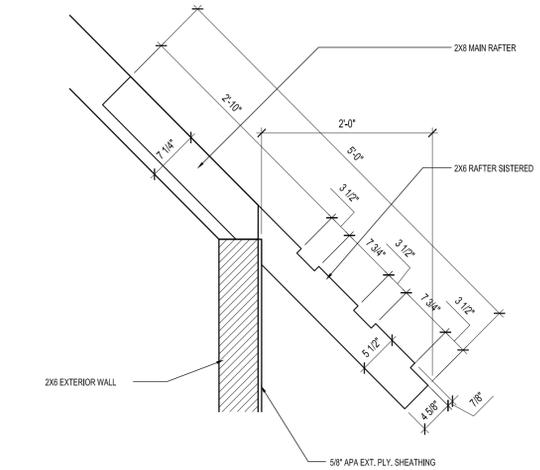
A RAFTER CUT DETAIL @ SHED DORMER
1" = 1'-0"



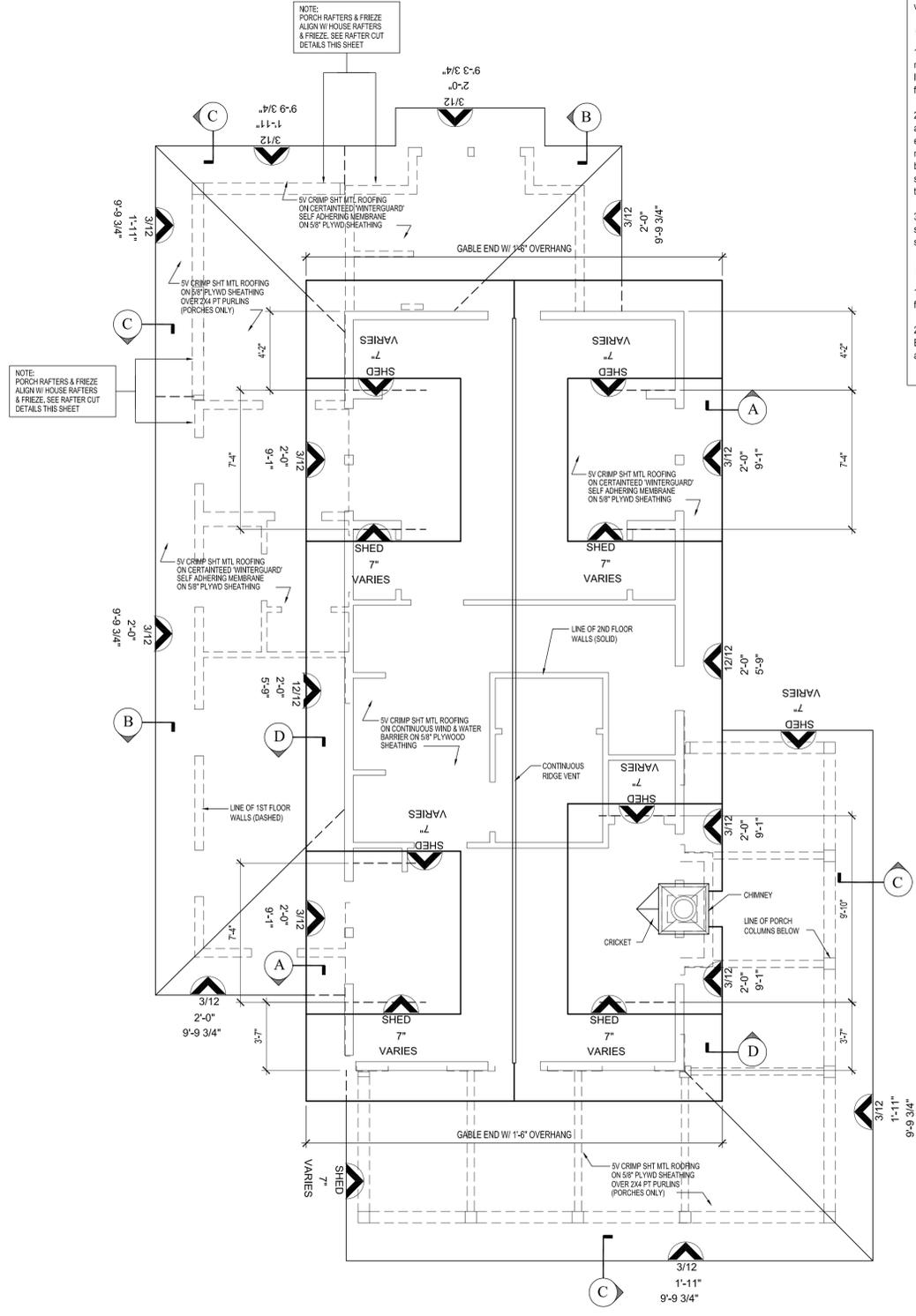
B RAFTER CUT DETAIL @ HIP ROOF
1" = 1'-0"



C RAFTER CUT DETAIL @ PORCHES
1 1/2" = 1'-0"



D RAFTER CUT DETAIL @ MAIN GABLE ROOF
1 1/2" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"
0 1 2 4 8

ROOF NOTES

Metal roof to be installed as per manufacturer's specifications. Installation subcontractor shall be responsible for all roofing work.

Paint all roof mounted accessories to match roof color selected by owner or builder.

Roof vent terminals shall be 12' away from and 2' above any air intake, door or window, 18' away from any vertical wall extending above roof vent, and not below any roof eave, or as required by local codes.

GUTTERS AND DOWNSPOUTS

1. Gutters and downspouts are not shown for clarity. Owner or builder may elect to use rain diverters over doors and walkways in lieu of gutters. If gutters and downspouts are used, locate to allow drainage to flow away from house, adjacent structures and property line.

2. Gutters and downspouts, if used, shall be factory pre-primed .032 aluminum ready for finish painting. The back leg of all gutters shall extend 1" minimum above front rim. Gutters shall be hung with matching metal strips, which are attached under metal roofing. Penetrations of back of gutter or of eave flashing shall not be permitted. Downspouts shall be attached to wall with matching metal strips, which are attached to wall behind downspouts. Hold downspouts tight against walls.

3. Do not locate downspouts on front face of house. The designer suggests the use of traditional half round gutters and round downspouts should the owner or builder elect to install gutters and downspouts.

FLASHING AND DAMPROOFING NOTES

1. Install all exposed flashing with concealed cleats. Do not use surface fasteners of any type.

2. Base flashing shall be 2 ounce copper-fabric flashing equal to AFCO. Base flashing shall run up 6" minimum behind sheathing when installed at wood floor system.

3. Window and door head flashing shall be 2 ounce copper-fabric flashing, equal to AFCO either 16 ounce copper or .019 factory pre-primed aluminum break metal, or rubberized roll flashing at owner or builder's option.

4. Eave and rake flashing shall either be 16 ounce copper or .019 factory pre-primed aluminum break metal at owner or builder's option. All roof edge flashing shall extend 6" minimum behind roofing felt or other roofing material. Verify that flashing runs not only under roofing material, but also under sub-roofing material such as roofing felt. Eave flashing at gutters shall extend to cover back leg of gutter, but shall terminate above rim of gutter.

5. Valley flashing shall be either 16 ounce copper or .019 factory pre-primed aluminum break metal at owner or builder's option 12" wide minimum centered in valleys. Lap joints 12" minimum.

6. Crawspace vapor barrier shall be 6 mil polyethylene. Overlap joints a minimum of 6" and tape with duct tape. Tape vapor barrier to all foundation walls and piers.

7. Provide flashing as per details or as per SMACNA where roof pitch changes or where roofing intersects with vertical surfaces.

VENTILATION NOTES

1. All attics, crawlspaces and other concealed areas shall be ventilated as per local building codes.

2. Soffit vent shall be equal to one 2" diameter aluminum soffit vent per rafter void.

3. Crawspace ventilation shall be as indicated in the Wall Sections with insect screen installed on the inside.

4. Provide insulation baffles at ventilated eaves as required to assure minimum 1" clear air space at bottom of roof deck.

ADDITIONAL ROOF NOTES	
1) TYPICAL ROOF PITCH: 3/12 & 12/12	9) BELOW IS THE DESCRIPTION OF THE ROOF INDICATORS ON EACH PLANE OF THE ROOF PLAN.
2) TYPICAL OVERHANG: VARIES	10) INSTALL "KICK OUT" FLASHING AT THE LOWER TERMINATION OF ALL ROOF / WALL INTERSECTIONS
3) PLATE HEIGHTS INDICATED ARE MEASURED FROM NEAREST FINISHED FLOOR.	
4) ORIENT ALL MECHANICAL ROOF PENETRATIONS AWAY FROM STREET SIDE OF HOUSE WHERE PRACTICAL.	
5) INSTALL FLASHING AND CRICKETS AT ALL ROOF PENETRATIONS AND ELEMENT PROJECTIONS.	
6) ALONG 2" DIA. ALUM. SOFFIT VENTING INSTALL EITHER THERMOSTATICALLY CONTROLLED ATTIC VENTS OR CONT. RIDGE VENTS. VENTING IS NOT REQUIRED ATTIC IS SEALED AND INSULATED	
7) INSTALL CERTAINTED "WINTERGUARD" OR EQUAL UNDERLAYMENT BELOW ROOFING ON ALL ROOFS W/ SLOPES BETWEEN 2/12 AND 4/12	
8) INSTALL METAL OR ALUM. DRIP EDGES ON ALL TYPICAL EAVES.	

INDICATES ROOF PITCH

INDICATES HORIZ. OVERHANG DIST. FROM PLYWOOD SHEATHING. SEE DETAIL @ WALL SECTIONS

INDICATES DIRECTION OF ROOF SLOPE

INDICATES RAFTER PLATE HEIGHT ABOVE NEAREST HEATED FINISHED FLOOR

SYMBOL INDICATES THERMOSTATICALLY CONTROLLED ATTIC VENT

DATE:
OCT. 27, 2008

PROJECT:
TNH-SC-32D-1
SMALL COTTAGE:
TRADITIONAL NEIGHBORHOOD
HOMES COLLECTION

RESIDENTIAL DESIGNERS:
MOSER DESIGN GROUP, INC.
17 MARKET NO. 2, BEAUFORT, SOUTH CAROLINA 29906
INFO@MOSERDESIGNGROUP.COM
PHONE (843) 379-5680 FAX (843) 379-5631

REVISIONS:
NOV. 20, 2008

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SHEET:
A-6 OF 10

DATE:

MOSER DESIGN GROUP, INC.
RESIDENTIAL DESIGNERS
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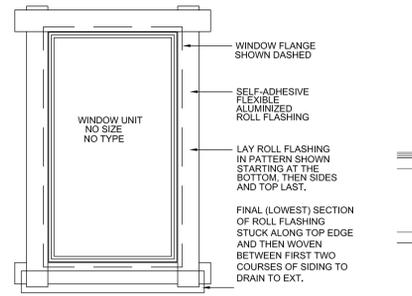
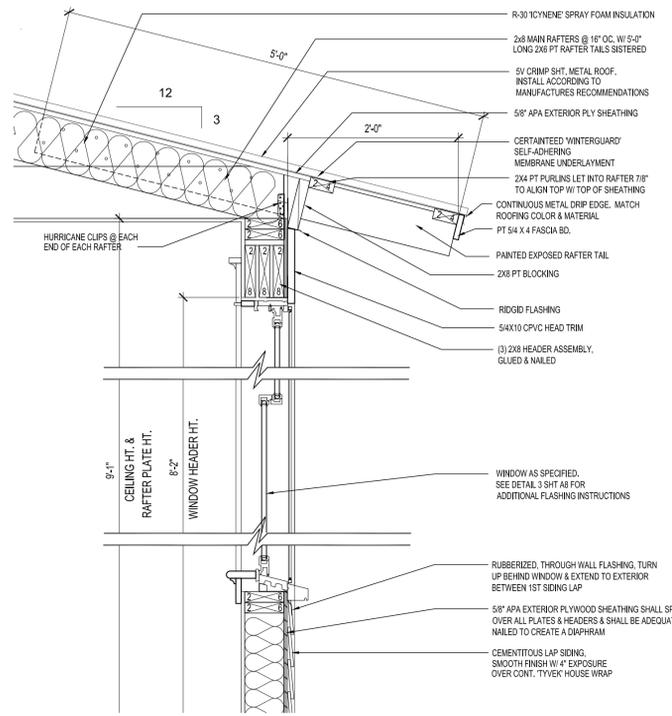
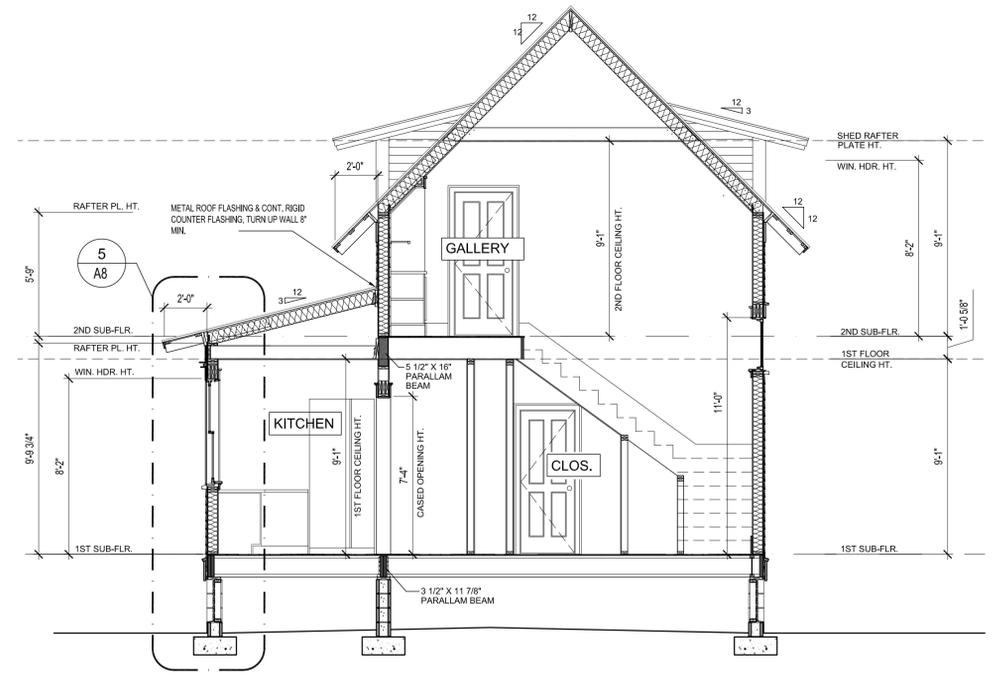
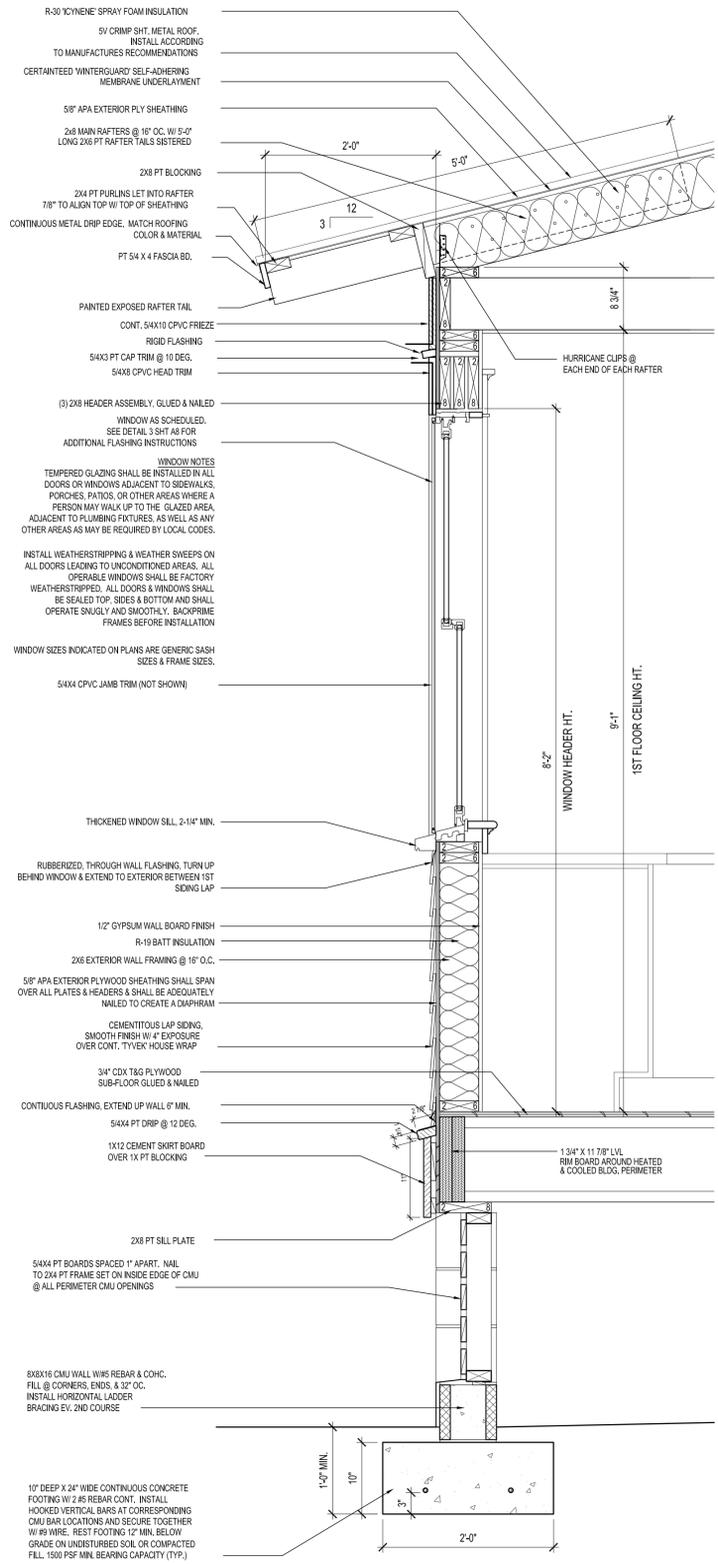
REVISIONS:
NOV. 20, 2008

PROJECT:
TNH-SC-32D-1
SMALL COTTAGE
TRADITIONAL NEIGHBORHOOD
HOMES COLLECTION

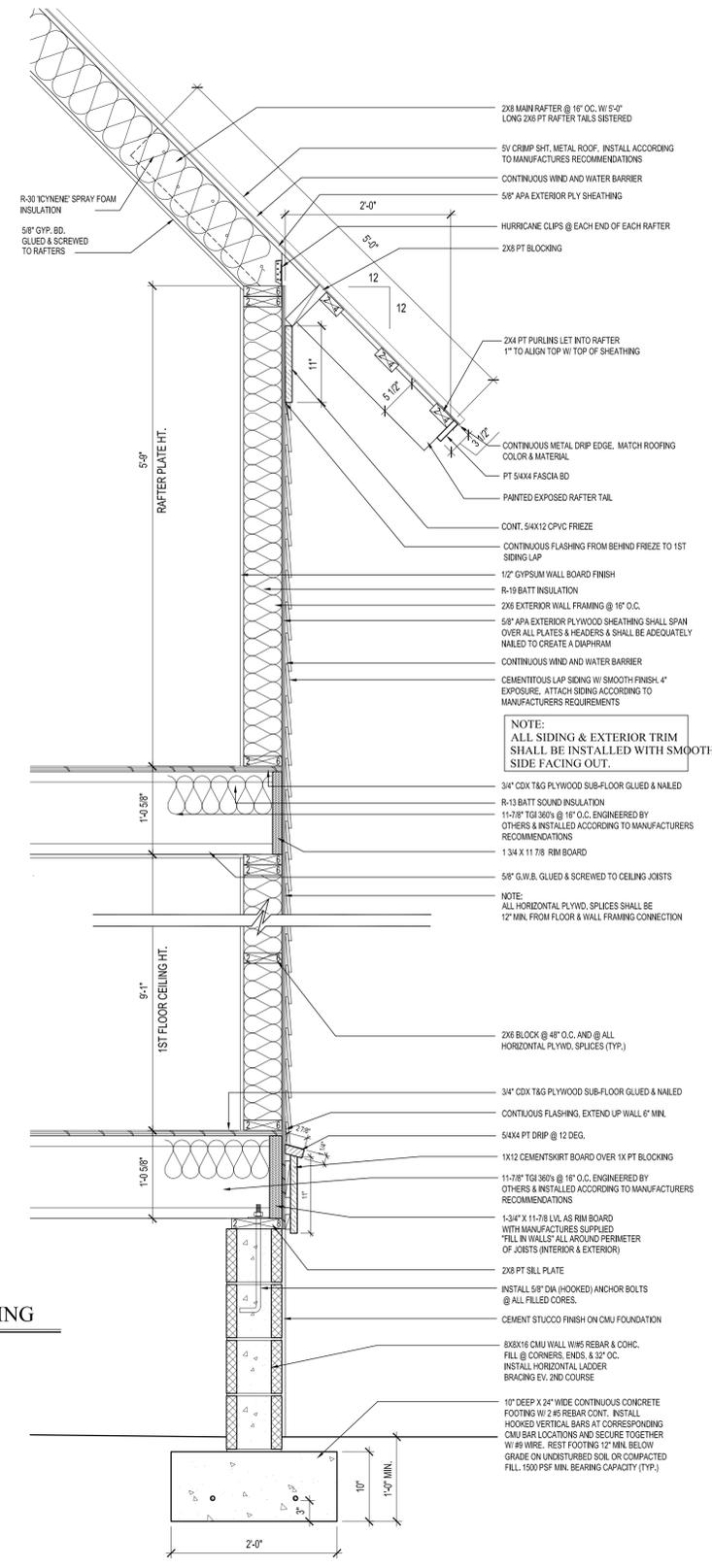
Building codes can vary for different geographical locations and these plans may not comply with the codes governing the purchaser's building site. Therefore, it is the purchaser's responsibility to verify the applicability of these plans for that site and, if necessary, make any changes or modifications required. All changes shall be the responsibility of the purchaser and the purchaser's construction advisers.

SHEET:

A-8 OF 10



NOTE:
CONTRACTOR TO VERIFY ALL CODE REQUIREMENTS, STRUCTURAL AND ENGINEERING DETAILS
CONTRACTOR TO VERIFY VENTILATION & WATER PROOFING DETAILS
CONTRACTOR TO VERIFY AND/OR SPECIFY CONNECTIONS BETWEEN HOUSE AND FOUNDATION MEET ALL APPLICABLE BUILDING CODES
NOTE:
CONNECTION OF RIMBOARD OR OTHER BUILDING COMPONENTS TO BE DETERMINED BY OWNER/CONTRACTOR BASED ON LOCAL BUILDING FOUNDATION REQUIREMENTS



NOTE:
ALL SIDING & EXTERIOR TRIM SHALL BE INSTALLED WITH SMOOTH SIDE FACING OUT.

DATE:

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RESIDENTIAL DESIGNERS

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REVISIONS:

NOV. 20, 2008

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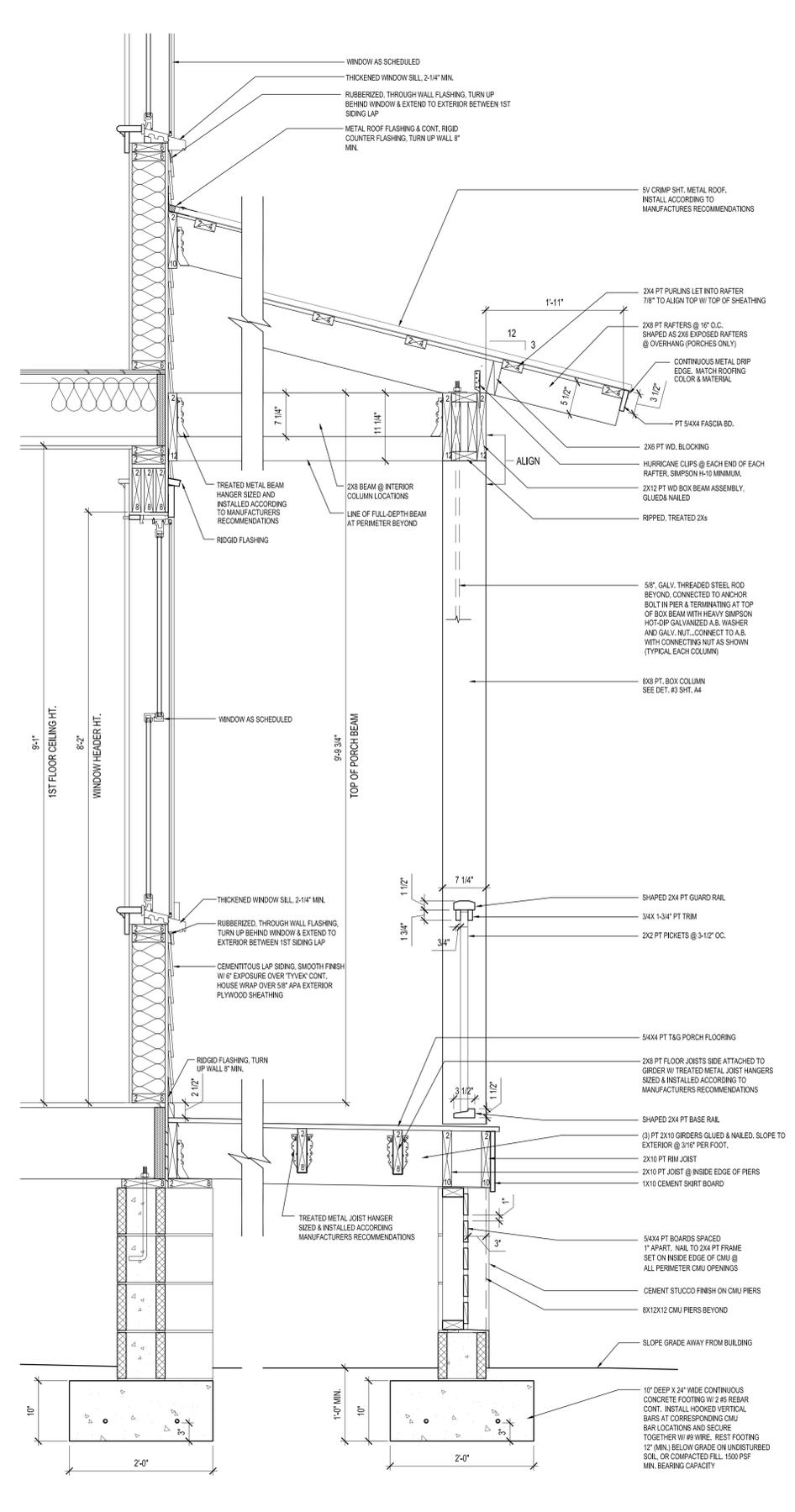
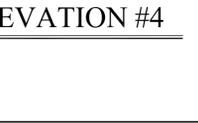
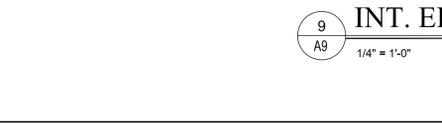
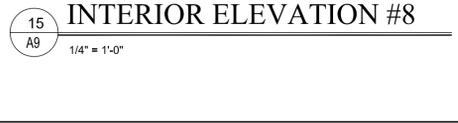
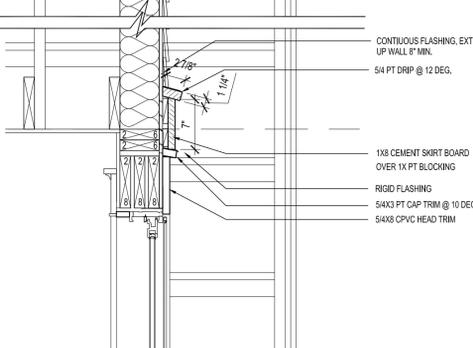
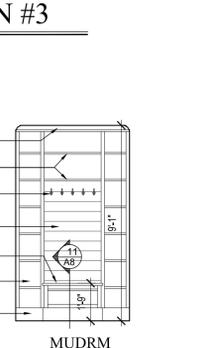
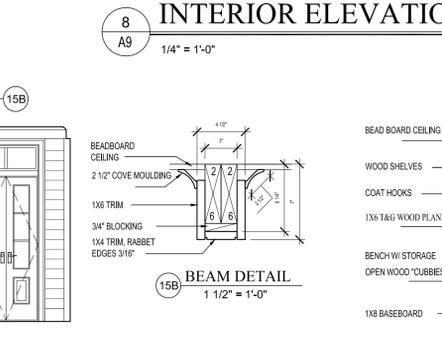
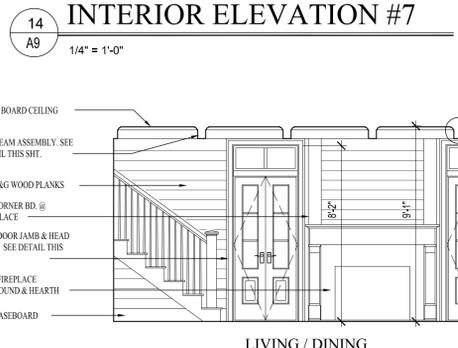
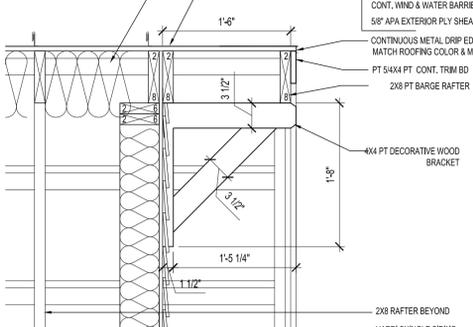
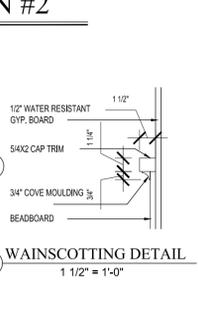
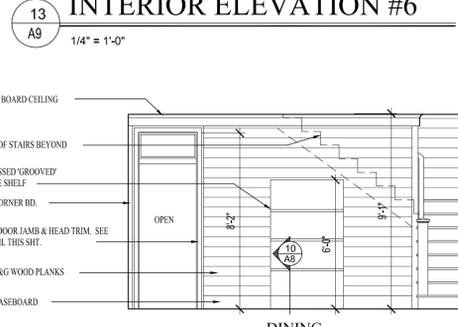
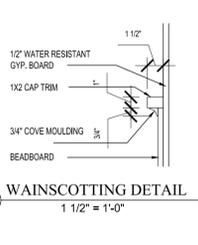
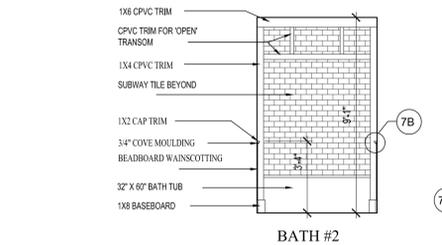
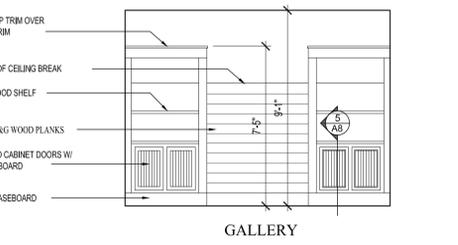
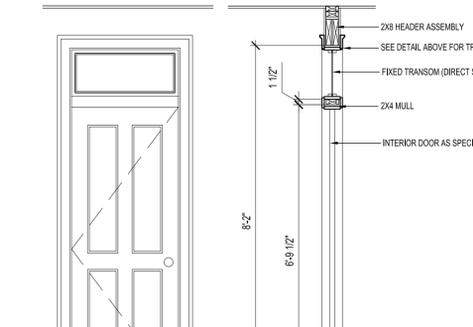
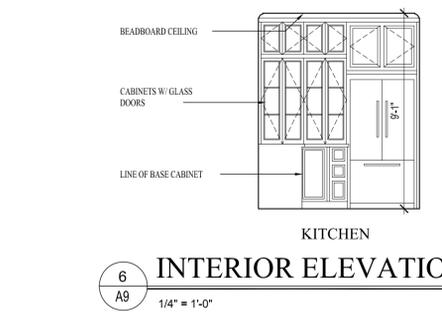
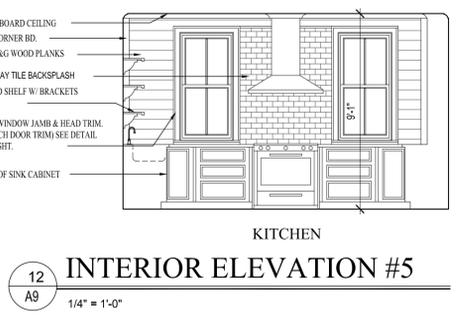
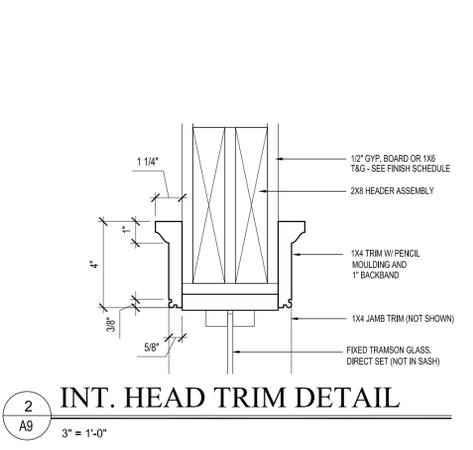
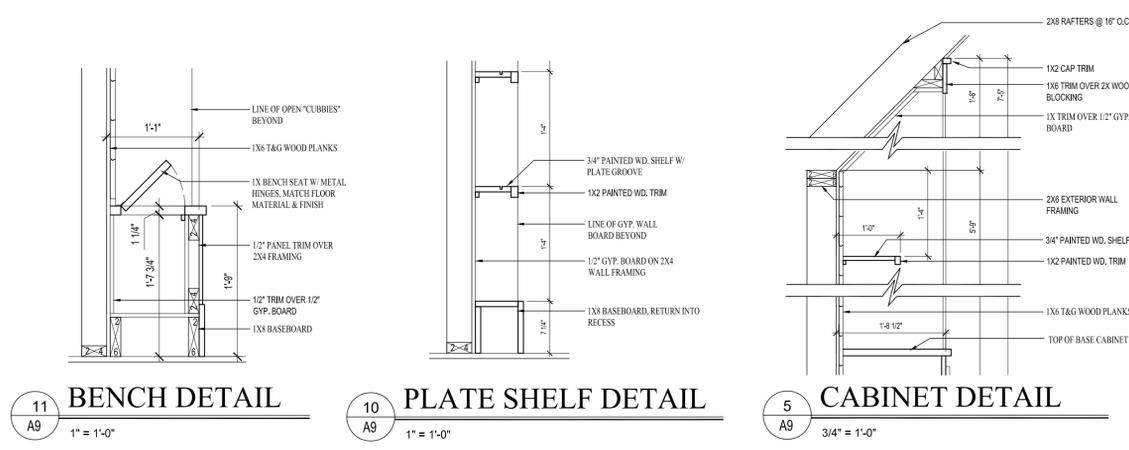
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PROJECT:

TNH-SC-32D-1
SMALL COTTAGE
TRADITIONAL NEIGHBORHOOD
HOMES COLLECTION

SHEET:

A-9 OF 10



PLUMBING NOTES

1. System shall be designed in accordance with all applicable codes, standards and requirements of local utility officials.
2. Insulate all domestic water supply lines in un-insulated spaces with tubular foam insulation. Insulation shall be of self-sealing type or shall be taped closed with foil faced tape.
3. Center all fixtures in space allocated unless noted otherwise. Coordinate placement of all drains with flooring subcontractor.
4. Cleanouts shall extend to surfaces or shall be provided with access doors or similar devices. Cap all pipe to be left open overnight and protect pipe during installation from dirt, gravel, and other debris which might cause blockages or flow restrictions. All valves, cleanouts and control devices shall be accessible for operation and maintenance through access doors or panels manufactured for such purposes.
5. Lead solder is not allowed on this project.
6. Soil and vent stacks shall have cleanouts as required by applicable codes for proper maintenance.
7. Coordinate with an electrician concerning items requiring electrical service such as water coolers, sensor flush valves and water heaters. Coordinate service and ampacity required.
8. Seal to wall, floor or countertop around all fixtures with tub and tile sealant to match color of fixture unless otherwise noted.

MECHANICAL NOTES

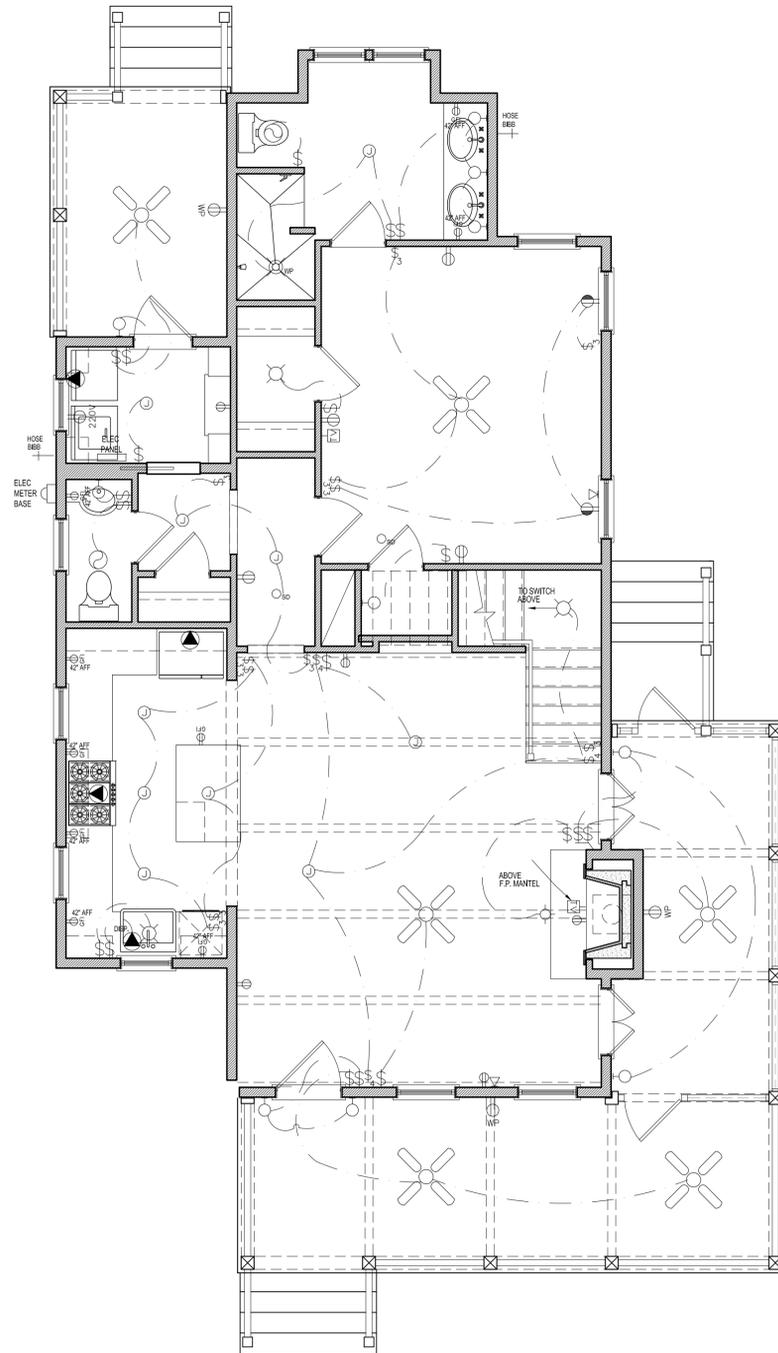
Design and specification of mechanical system to be determined by builder or local engineer. Builder to furnish all ductwork, control wiring, piping, fittings, accessories, etc. for complete installation. Closely coordinate work with all other trades. Maintain ceiling heights and duct spaces provided.

ELECTRICAL NOTES

1. Drawings are diagrammatic only. They do not illustrate conduit, wiring, panels, breakers, disconnects, accessories, etc. It is the builders responsibility to correctly locate and install all items necessary to complete the electrical package, regardless of whether they show on the this drawing. Builder to verify electrical design and installation is in accordance with all applicable codes, standards and requirements.
2. Install outlets to the following specifications, or to meet local building codes. Install GFCI outlets in all wet locations, kitchen and bathroom. In the kitchen, outlets must be every 4' at counter as required by applicable codes. These areas include receptacles in a bathroom, kitchenette, or other area where running water is present or areas exposed to the weather. Use AFCI outlets and switches in the bedroom. Use W/P outlet as exterior.
3. Install hardwired smoke detectors with battery backup. Interconnect detectors so that all will sound should one detector activate. Verify number of smoke detectors required and locations with owner and code requirements. Detectors shall be installed in all sleeping areas and just outside bedrooms as a minimum.
4. Some equipment may require electrical service, such as water heaters, air conditioning units, condensate pumps, etc. Electrical contractor shall include electrical service to all such equipment. Coordinate with other trades concerning items requiring electrical service. Coordinate service and ampacity required. Provide one duplex outlet and one light if unit is in non-Rt area for every condensing unit and every air-handling unit as required by applicable codes. Outlet shall be weatherproof GFCI if unit is exposed to weather.
5. Provide panel boards of proper voltage and ampacity for all electrical circuits.
6. Verify service requirements with local power company including transformer locations and types, disconnects, at exterior of building, voltages, ampacities and other details of electrical construction. Size all feeders according to NEC requirements.
7. Run all cable concealed in walls, ceiling or floors unless noted otherwise.
8. Provide blocking for all fixtures.
9. Insulate and seal solidly behind receptacles in exterior walls.
10. Light fixtures shall be centered in ceiling areas unless noted otherwise. The designer recommends that all light fixtures be surface mounted, not recessed can lights.
11. Locate switches adjacent to but not intersecting door casings or trim. Switches shall typically be mounted 36" AFF to center of switch.
12. Consult owner and add exterior security lighting if required. Verify lighting type and switching.

AUXILIARY SYSTEMS NOTES

1. No alarm systems, telephone outlets or computer outlets are shown. Verify alarm requirements with owner and install as required.



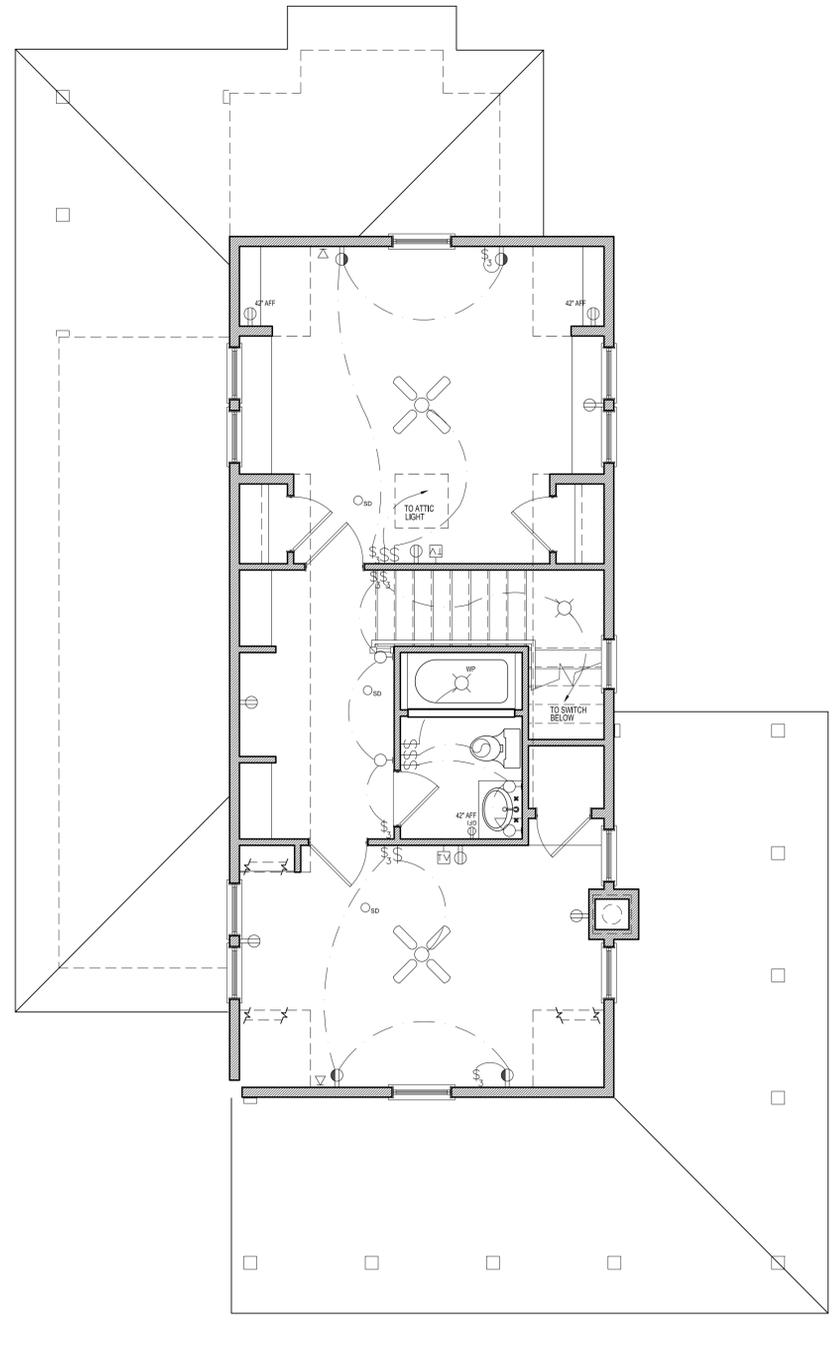
1 FIRST ELECTRICAL PLAN
A10 1/4" = 1'-0"
0 1 2 4 8

ELECTRICAL LEGEND

⊗	SURFACE MOUNT LIGHT FIXTURE
⊕	HALOGEN PIN LIGHT
○	SURFACE MOUNTED LIGHT
⊖	WALL MOUNT LANTERN
□	WALL MOUNT PICTURE LIGHT
⊞	2X4' FLUORESCENT LIGHT UNIT
⊙	JUNCTION BOX FOR HANGING FIXTURE
⊕	VENT/ LIGHT COMBINATION
⊞	SINGLE POLE SWITCH
⊞	3-WAY SWITCH
⊞	4-WAY SWITCH
⊞	GLOW SWITCH
⊞	DOOR BELL
⊞	DOOR BELL CHIMES
⊞	110v DUPLEX RECEPTACLE
⊞	1/2 SWITCHED RECEPTACLE
⊞	FLOOR RECEPTACLE
⊞	GFI DUPLEX RECEPTACLE
⊞	WATER PROOF RECEPTACLE
⊞	220v HOOK-UP
⊞	APPLIANCE HOOK-UP
⊞	CABLE TV HOOK-UP
⊞	TELEPHONE JACK
⊞	THERMOSTAT
⊞	SMOKE DETECTOR
⊞	80 GAL HOT WATER HEATER
⊞	THERMO-CONTROLLED ATTIC VENT FAN
⊞	HVAC AIRHANDLER
⊞	ELECTRICAL MAIN PANEL
⊞	ELECTRIC METER BASE

ADDITIONAL ELECTRICAL HOOK UP:

⊞	▲	WATER HEATER HOOKUP IN ATTIC
⊞	▲	ATTIC VENT FAN HOOKUP IN ATTIC
⊞	▲	AIR HANDLER HOOKUP IN ATTIC
⊞	⊞	JUNCTION BOX ELECTRICIAN TO PROVIDE LIGHT FIXTURE OR CEILING FAN FOR EACH JUNCTION BOX SHOWN ON PLAN PER OWNERS SELECTION.



2 SECOND ELECTRICAL PLAN
A10 1/4" = 1'-0"
0 1 2 4 8

DATE:	OCT. 27, 2008				
PROJECT:	TNH-SC-32D-1 SMALL COITAGE: TRADITIONAL NEIGHBORHOOD HOMES COLLECTION				
SHEET:	A-10 OF 10				
REVISIONS:	NOV. 20, 2008				
RESIDENTIAL DESIGNERS	MOSER DESIGN GROUP, INC. 17 MARKET No. 2, BEAUFORT, SOUTH CAROLINA 29906 INFO@MOSERDESIGNGROUP.COM PHONE (843) 379-5630 FAX (843) 379-5631				
PLUMBING NOTES	1. System shall be designed in accordance with all applicable codes, standards and requirements of local utility officials. 2. Insulate all domestic water supply lines in un-insulated spaces with tubular foam insulation. Insulation shall be of self-sealing type or shall be taped closed with foil faced tape. 3. Center all fixtures in space allocated unless noted otherwise. Coordinate placement of all drains with flooring subcontractor. 4. Cleanouts shall extend to surfaces or shall be provided with access doors or similar devices. Cap all pipe to be left open overnight and protect pipe during installation from dirt, gravel, and other debris which might cause blockages or flow restrictions. All valves, cleanouts and control devices shall be accessible for operation and maintenance through access doors or panels manufactured for such purposes. 5. Lead solder is not allowed on this project. 6. Soil and vent stacks shall have cleanouts as required by applicable codes for proper maintenance. 7. Coordinate with an electrician concerning items requiring electrical service such as water coolers, sensor flush valves and water heaters. Coordinate service and ampacity required. 8. Seal to wall, floor or countertop around all fixtures with tub and tile sealant to match color of fixture unless otherwise noted.				
MECHANICAL NOTES	Design and specification of mechanical system to be determined by builder or local engineer. Builder to furnish all ductwork, control wiring, piping, fittings, accessories, etc. for complete installation. Closely coordinate work with all other trades. Maintain ceiling heights and duct spaces provided.				
ELECTRICAL NOTES	1. Drawings are diagrammatic only. They do not illustrate conduit, wiring, panels, breakers, disconnects, accessories, etc. It is the builders responsibility to correctly locate and install all items necessary to complete the electrical package, regardless of whether they show on the this drawing. Builder to verify electrical design and installation is in accordance with all applicable codes, standards and requirements. 2. Install outlets to the following specifications, or to meet local building codes. Install GFCI outlets in all wet locations, kitchen and bathroom. In the kitchen, outlets must be every 4' at counter as required by applicable codes. These areas include receptacles in a bathroom, kitchenette, or other area where running water is present or areas exposed to the weather. Use AFCI outlets and switches in the bedroom. Use W/P outlet as exterior. 3. Install hardwired smoke detectors with battery backup. Interconnect detectors so that all will sound should one detector activate. Verify number of smoke detectors required and locations with owner and code requirements. Detectors shall be installed in all sleeping areas and just outside bedrooms as a minimum. 4. Some equipment may require electrical service, such as water heaters, air conditioning units, condensate pumps, etc. Electrical contractor shall include electrical service to all such equipment. Coordinate with other trades concerning items requiring electrical service. Coordinate service and ampacity required. Provide one duplex outlet and one light if unit is in non-Rt area for every condensing unit and every air-handling unit as required by applicable codes. Outlet shall be weatherproof GFCI if unit is exposed to weather. 5. Provide panel boards of proper voltage and ampacity for all electrical circuits. 6. Verify service requirements with local power company including transformer locations and types, disconnects, at exterior of building, voltages, ampacities and other details of electrical construction. Size all feeders according to NEC requirements. 7. Run all cable concealed in walls, ceiling or floors unless noted otherwise. 8. Provide blocking for all fixtures. 9. Insulate and seal solidly behind receptacles in exterior walls. 10. Light fixtures shall be centered in ceiling areas unless noted otherwise. The designer recommends that all light fixtures be surface mounted, not recessed can lights. 11. Locate switches adjacent to but not intersecting door casings or trim. Switches shall typically be mounted 36" AFF to center of switch. 12. Consult owner and add exterior security lighting if required. Verify lighting type and switching.				
AUXILIARY SYSTEMS NOTES	1. No alarm systems, telephone outlets or computer outlets are shown. Verify alarm requirements with owner and install as required.				
ADDITIONAL ELECTRICAL HOOK UP:	⊞ ▲ WATER HEATER HOOKUP IN ATTIC ⊞ ▲ ATTIC VENT FAN HOOKUP IN ATTIC ⊞ ▲ AIR HANDLER HOOKUP IN ATTIC ⊞ ⊞ JUNCTION BOX ELECTRICIAN TO PROVIDE LIGHT FIXTURE OR CEILING FAN FOR EACH JUNCTION BOX SHOWN ON PLAN PER OWNERS SELECTION.				
ELECTRICAL LEGEND	⊗ SURFACE MOUNT LIGHT FIXTURE ⊕ HALOGEN PIN LIGHT ○ SURFACE MOUNTED LIGHT ⊖ WALL MOUNT LANTERN □ WALL MOUNT PICTURE LIGHT ⊞ 2X4' FLUORESCENT LIGHT UNIT ⊙ JUNCTION BOX FOR HANGING FIXTURE ⊕ VENT/ LIGHT COMBINATION ⊞ SINGLE POLE SWITCH ⊞ 3-WAY SWITCH ⊞ 4-WAY SWITCH ⊞ GLOW SWITCH ⊞ DOOR BELL ⊞ DOOR BELL CHIMES ⊞ 110v DUPLEX RECEPTACLE ⊞ 1/2 SWITCHED RECEPTACLE ⊞ FLOOR RECEPTACLE ⊞ GFI DUPLEX RECEPTACLE ⊞ WATER PROOF RECEPTACLE ⊞ 220v HOOK-UP ⊞ APPLIANCE HOOK-UP ⊞ CABLE TV HOOK-UP ⊞ TELEPHONE JACK ⊞ THERMOSTAT ⊞ SMOKE DETECTOR ⊞ 80 GAL HOT WATER HEATER ⊞ THERMO-CONTROLLED ATTIC VENT FAN ⊞ HVAC AIRHANDLER ⊞ ELECTRICAL MAIN PANEL ⊞ ELECTRIC METER BASE				





POSTED
BY RESERVATION



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NO TRESPASSING





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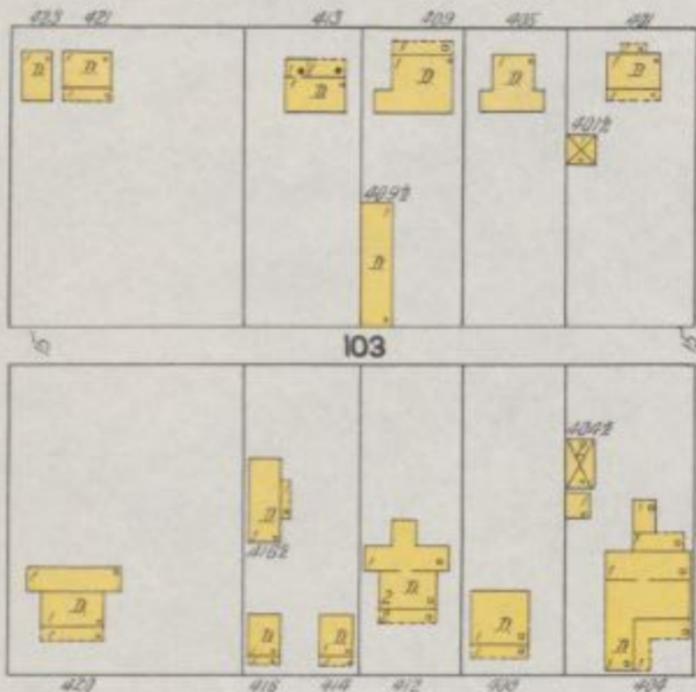
ADT





9

WILMINGTON



HARRINGTON

