

**BEAUFORT–PORT ROYAL
METROPOLITAN PLANNING COMMISSION**

AMENDED AGENDA

1911 Boundary Street, Beaufort, SC 29902
Phone: 843-525-7011 ~ Fax: 843-986-5606

Monday, August 18, 2014 5:30 P.M.

City Hall Council Chambers, 1911 Boundary Street, Beaufort, SC

STATEMENT OF MEDIA NOTIFICATION: "In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place and agenda of this meeting."

The commission may alter the order of items on the agenda to address those of most interest to the public in attendance first. Also, in an effort to ensure that all interested persons are given the opportunity to speak on every case, a two (2) minute time limit on public comment will be in effect. Individuals wishing to speak during the hearing will be asked to sign up in advance, and will be recognized by the Chairman during the public comment section of the hearing.

I. Call to Order:

II. Pledge of Allegiance:

III. Review Commission Meeting Minutes:

A. Minutes of the July 21, Meeting.

IV. Review of Projects for the Town of Port Royal:

A. No projects.

V. Review of Projects for the City of Beaufort:

A. City of Beaufort – UDO Amendment. Revisions to Section 6.8 addressing building and development standards in the Boundary Street Redevelopment District Ordinance. Applicant: City of Beaufort

B. City of Beaufort – UDO Amendment. Revisions to Section 5.4.G. "Setback and Other Yard Requirements for Accessory Structures" addressing setbacks for side-loaded garages. Applicant: City of Beaufort

C. City of Beaufort – Update on Council Actions.

VI. Review of Projects for the County of Beaufort:

A. No projects.

VII. Adjournment

Note: If you have special needs due to a physical challenge, please call Julie Bachety at (843) 525-7011 for additional information.

A meeting of the Beaufort-Port Royal Metropolitan Planning Commission was held on **July 21, 2014 at 5:30 p.m.** in council chambers of the Beaufort Municipal Complex, 1911 Boundary Street. In attendance were Chairman Joe DeVito and Commissioners James Crower, Alice Howard, Jennifer Bihl, Robert Semmler and Bill Harris, City Planner Libby Anderson, and Town Planner Linda Bridges.

In accordance with the South Carolina Code of Laws, 1976, Section 30-4-80(d) as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.

CALL TO ORDER

Chairman DeVito called the meeting to order at 5:30 p.m. and led the Pledge of Allegiance.

MINUTES

Commissioner Crower made a motion, second by Commissioner Bihl, to approve the minutes of June 16, 2014. Commissioner Howard said that she had said yaupon holly, not Japanese holly (which the recorder had Googled in her confusion). **The motion to approve the minutes as amended passed unanimously.**

REVIEW OF PROJECTS FOR THE TOWN OF PORT ROYAL

Town of Port Royal – Text Amendments

Ms. Bridges said they are seeking to amend the Port Royal Code with regard to:

- Bracket lengths allowed for projecting signs – Ms. Bridges said that the current code allows an extension of 8.5', which is a little too long, so they are proposing to pull it back to 6'.
- Permit requirements for construction signs and political signs – These are temporary signs with permits required. They are proposing to move them out of permit-required to "no permit required." It's inefficient to make a contractor pull a permit for construction signs. The political candidates ask people if they can put a sign in their yards, and if they get permission, they do it, and if they don't, they don't. They won't need a permit to put these kinds of signs on property if this amendment is made. Everything else is the same.
- A scrivener's error in Article 9, Section 9.1.40 A, correcting the code from the Town of Beaufort to the Town of Port Royal – Ms. Bridges said the error is that it says "Town of Beaufort," and they want it to say "Town of Port Royal."
- The exemptions from Subdivision Review, to add new items in order to comply with the requirements of the Beaufort County Register of Deeds Office – They want to add three things to exemptions: property trades between immediately adjacent landlords not resulting in the creation of new parcels of record; division of land for sale or transfer to an immediately adjacent landowner and not resulting in the creation of new parcels; and the recording of a plat or property for purposes other than the sale or transfer of title including: the creation or termination of leases, easements, or liens; the creation or

termination of mortgages on existing parcels of record, approved subdivisions, or commercial projects; lot line corrections on existing recorded properties; the creation, termination, or amendment of private covenants or restrictions on land.

The list of exemptions in the code is now current, Ms. Bridges said. They migrated from the subdivision ordinance. Those exemptions were adopted when the Register of Deeds office accepted documents with property descriptions only. No plat or survey was required then, but now it is required to be recorded in most cases. Staff reviews these, and they are exempt from a full-blown subdivision review. They want to expand the list of exemptions, so they can properly correct the right part of the code. They have been working on it, and this is a good opportunity to give themselves “an exhaustive list of the kinds of things we’re actually doing.” Beaufort County has this list in their current document/ordinances. It is the same thing that the Town of Port Royal needs.

Commissioner Crower asked what they are exempt from in this last one; Ms. Bridges said from subdivision procedures. There are subdivision requirements of the development code, and they are “more adept at reviewing and granting a subdivision something of magnitude”: creating new roads, etc. There are numerous examples of plats that have to be recorded routinely at the Register of Deeds that don’t rise to that magnitude. Commissioner Crower said it’s not the recording with the county that they are exempt from. The Register of Deeds won’t sign off on something that hasn’t yet been approved by the jurisdiction, Ms. Bridges said. These exemptions are only minor.

Commissioner Semmler asked about some text in the sign brackets section that said that it would be 2’ wider; Ms. Bridges said he was confusing the brackets and the signs themselves. Commissioner Semmler said that they could change the language, and Ms. Bridges said it’s a maximum he’s talking about, so it should be “may be,” and Commissioner Semmler said it’s currently a “will be.” Ms. Bridges said she would change it to a maximum. **Commissioner Semmler made a motion, second by Commissioner Crower, to recommend approval of the changes. The motion passed unanimously.**

REVIEW OF PROJECTS FOR THE CITY OF BEAUFORT

City of Beaufort – UDO Amendment

Revisions to Landscaping and Tree Conservation Ordinance

Applicant: City of Beaufort

Ms. Anderson said the first item to revisit is an amendment that was discussed at last month’s meeting. PTAC and staff, working together, have prepared the draft ordinance. She explained the reasons that they have made the changes: to protect the city’s tree canopy and to provide funds for tree planting. She said that Ms. Hill, city staff for PTAC, is a certified arborist and a landscape architect.

The first change proposed was to change the definition of grand trees to be more specific because “not all trees are created equal.” Ms. Anderson reviewed what a Grand Tree is determined to be: over-story trees with a DBH of 24” or greater. The PTAC recommended revising the definition, she said. For example, they think that some trees, like Live Oaks, are more important than others, so in the revision, a Live Oak can be a Grand Tree at 12” or greater.

Ms. Anderson said that the Metropolitan Planning Commission (MPC) had asked for the definition to include the scientific as well as the common name. There was a question about hollies, and Ms. Hill had answered it in a memo as well as a question about pecan trees being Grand Trees.

The next change is mitigation for removal of Grand Trees. Currently, it’s optional, and it’s only on-site, Ms. Anderson said. With the ordinance revision, a developer could mitigate on-site, or they could pay a Reforestation Fee. Any revenue would be devoted to tree planting and urban forestry activities, particularly street trees; those funds would go into a restricted fund, not the General Fund.

The MPC had asked why they would require replanting of the same species, Ms. Hill said, and why they would allow retention of existing trees to mitigate the removal of Grand Trees. Also, the commissioners wondered how the reforestation fee is calculated and why PTAC would require the mitigation of undesirable trees.

Ms. Hill said in the ordinance now, the administrator can make some decisions, she said. Ms. Hill would answer the questions:

1. The goal is preservation of tree diversity. For example, 85% of the urban forest is Laurel Oak. If it’s a 24” Laurel Oak being taken out, it could be mitigated with another Grand Tree species. Ms. Hill said this ordinance revision is based in part on Beaufort County’s ordinance, which has been in place for a while, “but theirs is out of date, and PTAC wants to make it stronger.”
2. How the fee was determined: Ms. Hill said that PTAC debated this for the better part of a year. Beaufort is a Tree City USA. The committee came up with \$70 per caliper inch, because 2 years ago, you could buy a tree for \$75 x 2 for mark-up for material and labor. Availability greatly dropped during the recession when growers stopped growing. Now the demand is up again, and the price has been driven up. The wholesale cost for a 2.5” caliper tree is more like \$150 more now, so PTAC calculated \$120 per caliper inch.

Commissioner Howard asked how this would be handled if something else happened in the economy. Ms. Anderson said the previous version had the fee in the ordinance and now they

are referencing that the price would be established by the city's fee schedule, so they can change it when they need to, and it will adjust with the economy and not have to come to Metropolitan Planning Commission every time, just to council, which would have to pass a resolution. They need a set fee in the ordinance, Ms. Anderson said, "So it wouldn't adjust daily."

3. Ms. Hill said in regard to the smaller caliper trees on a site, like a 12" Live Oak, trees produce carbs, and when their roots are disturbed, it's hard for them to continue to produce carbs, but the smaller they are, the easier it is for them to do it. They want to preserve the canopy for a variety of reasons, she said. Ms. Anderson said it can be easier for a developer to come in and clear-cut, so they are trying to encourage developers to save as many trees as possible, so keeping small ones is good as well as large ones.
4. Ms. Anderson said no mitigation is currently required, and it's only allowing up to a 1/3 of the caliper inch, so with this revision, they are asking for inch for inch. Not all mitigation trees may fit on a site, so then the developer would have to pay. Ms. Hill offered an example to Commissioner Crower's scenario of little trees being left and not the big trees: they could "create islands of 8"+ trees, such as 5 8" caliper Live Oaks, and if they stay on the site, that will mitigate a 40" caliper Live Oak *if there's nothing that can be done to save it.*

Commissioner Semmler told a story about a site he knew of where the developer wanted to cut down trees to put in a dumpster. Ms. Anderson said no mitigation is currently required, but now it will be. They can mitigate by saving other trees on the site, "and if you can't plant back, you pay a fee." Commissioner Semmler said he doesn't like it, and he wants to save the 200-year-old Live Oak. Ms. Hill said the new Publix had removed a large Live Oak, "and there was nothing that could be done with that tree." Publix made changes to save *other* trees. They "would love to save every big Grand Tree," Ms. Anderson said, but they can't always, so if there's a 200-year-old tree that's in the way of a development, at least this revision will require the developer to plant back, instead of the city telling the developer they can't develop the site. "We are talking about significant trees," Ms. Hill said, "and we're saving existing trees, not just planting back 4-6" caliper trees." Publix is trying to put in bigger trees than they're required to because of the number of trees that had to be taken out.

Commissioner Semmler said he hears what Ms. Hill is saying, and he "get(s) it from a business perspective," but he disagrees with cutting down the old oaks, and he doesn't see anyone protecting them. He thinks, "The old, old trees need to be saved." He thinks there should be an exception for those old trees. Ms. Hill said some cities like Charleston require a developer to go to the Zoning Board of Appeals to get a variance to cut down a really big/old tree. She feels that by doing that, they can meet the test for the hardship and will "sort of automatically get the variance," so they aren't proposing that. They think that they "can do a little better." Chairman

DeVito said they do require design changes. He read from the proposed changes to the ordinance. He said in the past, they would go through this process but couldn't do anything about taking out trees, and if there's no way possible to save a tree, they "will get something back from the developer taking that out ...They can go through strict design process, but if it can't be saved, it goes to a mitigation process." If a developer says, "This 24" Grand Tree can't be saved so we can have parking," then they won't be able to also take out an 8" Grand Tree and they will have to mitigate for the difference, which is better than in the past.

Commissioner Semmler asked about a reference to a fee that might be changed. Ms. Hill said it's for the developer who can't mitigate on-site. Commissioner Semmler said after they plant the new trees, there's a maintenance fee, and if it dies, they have to pay into the fund. Commissioner Semmler said he doesn't like that because the money from cutting down trees could go to something other than planting new trees. Ms. Anderson said that PTAC was clear about where the money should go, and she assumes that council will direct finance to make sure the designation is clear. Chairman DeVito said that they could add that into their recommendation motion. Ms. Hill said that the planting, then the care and maintenance of existing trees are PTAC's top 2 priorities.

Ms. Hill described the composition of the professionals on PTAC. Commissioner Semmler said they do good work. Commissioner Bihl said that they are changing the standard of what a Grand Tree is, and she asked if that would be more cumbersome for staff to review. Ms. Hill described the steps in the process, and said that almost immediately they find out the size and species of the trees; they provide it to the planners, and the planners can go to the plan and start to mark it up to determine what needs to be done. There's no real protection now.

5. Ms. Anderson said staff requires a report from a certified arborist, which is really important in the case where trees are to be retained, because certain things need to be done to make sure that it is retained, especially when it's near the limits of construction. There's currently nothing in the ordinance about a certified arborist so this gives developers a heads-up that this certified arborist report will be required to evaluate trees' health and implementation of mitigation measures to ensure the trees' survival.
6. In regard to mitigation planting, Ms. Anderson said, they would like to give the administrator the authority to require mitigation on properties where a developer or property owner wants to remove a Grand Tree. She indicated the new language: if an existing Grand Tree is in good health and is approved for removal, the city will request mitigation, and sometimes a tree approved for removal could be the last tree on a site. Commissioner Howard asked, if that happens, but the insurer feels it's a threat to the house, how does that work? Chairman DeVito said he had the same question. Ms. Anderson said tree species *and* locations are important, so they would work with the new owner on that. Chairman DeVito said the letters come from the insurer and the

owner has 30 days. Ms. Anderson said they aren't talking about inch-for-inch in this case. Ms. Hill said in the real world, in a residential lot, they owner puts in a tree removal permit request and she goes out there. It's very rare for people to put in for the removal for a healthy tree. But if it's the last tree on the lot and healthy, the city will say they understand the hardship, Ms. Hill said, but tell the owners, "You need to plant another tree to mitigate it." Essentially, because the city has no way to enforce this now, people can clear-cut their private property. Commissioner Howard asked what if this tree is a water oak. Ms. Hill said if it's the last tree on the lot, she suggests yes, but if it's not the last tree, and it's a reasonable request, they could take it down.

7. Ms. Anderson said the question had been raised about what would happen if a tree that was to be saved then died. Currently, new development has to place a maintenance bond for a year to require the replanting of any landscape that dies in that year. After a year, Ms. Hill ensures that the trees are healthy, Ms. Anderson said, and if they're not, they are required to replant. She said PTAC wants to clarify this section: They upped the maintenance guarantee from 1 year to 2 years, which gives them a better chance to know if a tree is going to die. The bond is returned when the trees are determined to be in good health, and for those that aren't, mitigation is required, as it is for Grand Trees. It clarifies that your landscape includes the Grand Trees to be saved, and those will be looked at after that 2-year period, and if they are declining, mitigation will be required for the declining trees. Commissioner Howard asked why a type of tree wasn't included, and Ms. Hill said they could add it.

Chairman DeVito said if they recommend these changes, it needs to include a fee that would be charged. Then the city will have PTAC and the Planning Commission *both* saying that the fees should go to a certain fund.

Commissioner Howard made a motion to recommend that the Planning Commission approve these changes and also that fees be in a separate account to be used for city tree preservation. Commissioner Semmler seconded. Ms. Bihl asked about the two changes that Ms. Anderson had said she would make – whether they needed to be part of the motion. Ms. Anderson said that they would add the long-leaf pine as a Grand Tree, and they need to clarify the section about requiring mitigation when it's the last tree on the lot because its intended to mean in the case of a healthy tree. **Commissioner Howard made a motion to amend the motion to include these two items. Commissioner Semmler seconded. The motion to amend passed unanimously. The amended motion passed unanimously.** Chairman DeVito asked Ms. Hill "to make sure that the PTACers know that this was very well done."

City of Beaufort – UDO Amendment

Drive-thru facilities in the Boundary Street Redevelopment District

Applicant: City of Beaufort

Ms. Anderson said staff is proposing two changes to the Boundary Street Development ordinance as it pertains to drive-thrus. The first change is to permit menu boards. If a drive-thru window is allowed, it follows that they will want an order board. Two new restaurants have come on to Boundary Street, and they had to request a variance for a menu board; those were McDonald's and Starbucks. If they allow the drive-thru, staff feels they should permit the menu board as well without going making the applicant jump "through another hoop," Ms. Anderson said. Staff supports this. The conditions would be a maximum of 24' by 8'. It will be screened from the street; they are allowing a pre-order board if the applicant desires it. It will be half the size of the order board. The Zoning Board of Appeals (ZBOA) had recommended the pre-order board in the Starbucks application to make the drive-thru go faster.

The other change is in regard to the stacking lane, Ms. Anderson said. Staff proposes to up it from 3 cars to 5, which is what was done for Starbucks. Commissioner Howard said the Chik-Fil-A stacking line is up to 10. She asked how they could control that with new drive-thrus. Commissioner Bihl asked where they are counting car stacking from. Ms. Anderson said Starbucks had shown a model. There will be "unimpeded flow," and the cars are only there to go through the drive-thru; otherwise they will be blocking parking. Chairman DeVito said the stacking is from the menu board back. Commissioner Bihl said it depends on the ordinance.

Ms. Anderson shared the current ordinance wording. The stacking lane can't go around the front of the building. Chairman DeVito said the ordinance could just say that the stacking lane "can't go around the building." Whether they call it a stacking lane or not, customers will build the lane up "when they want to be in the lane." Commissioner Bihl said instead of a number of vehicles, "it could be a traffic issue." Commissioner Howard said she remembers when Dunkin Donuts first opened and how crowded it was. Commissioner Bihl said, "It will normalize eventually." Chairman DeVito said he remembers the Burger King on Ribaut Road, and they "missed the menu board." They worked on the drive-thru but not the sign board and the stacking lane. "You see the sign board, and they couldn't be forced to bring it around," he said.

Commissioner Semmler said none of these menu boards are at the rear of the properties. Chik-fil-A's window is on the side. Chairman DeVito said the menu board is on the rear. Commissioner Semmler said, "It's not happening per the ordinance." Ms. Anderson said Chik-fil-A wasn't developed under this ordinance. Ms. Anderson said they could say in the ordinance that all the stacking lanes could have to be in the back. Commissioner Semmler said he thinks it's good on the side. Commissioner Semmler said maybe they could decide where to put it. Chairman DeVito said, "as long as it's not on the front." Ms. Anderson said the drive-thru lane is not going to be allowed to come around the front of the building. Ms. Anderson said there's a

build-to line on Boundary Street. A restaurant under the Boundary Street Plan will look like Outback. If it's on the side, there won't be an exit, she added.

Ms. Anderson said they tried to keep the number low. If they can get 4 instead of 3, that might work. Chairman DeVito said that they "need to let the designers work the site." He thinks they should remove the maximum and say the drive-thru needs to be in the rear. He thinks that they should work on the menu board and the pick-up window and let the designers design the site.

Chairman DeVito said that they could delete the 5-car stacking limit. Ms. Anderson said she doesn't see how they can be on the side. Ms. Anderson said that Starbucks would be in front of Burlap, next to the Quality Inn. Commissioner Semmler said there's a difference between a Starbucks vs. the way it's been done by other fast food places where it's on the side. It's a coffee shop, and they need traffic to flow, to go fast. Caffino had both its drive-thrus on the side. Commissioner Bihl asked if the commission could ask for a variance if they want to. Ms. Anderson said yes, and that's how other businesses have gotten what they needed to do.

Chairman DeVito said that they want to remove the last paragraph. **Commissioner Howard made a motion to recommend the amendment with changes for the menu board section and to delete any reference to a stacking limit. Commissioner Bihl seconded the motion. The motion passed unanimously.**

City of Beaufort – UDO Amendment

Gas station sign regulations

Applicant: City of Beaufort

Ms. Anderson said for freestanding signs, the sizes are different, depending on where you are located in the city, and she described various areas and what their requirements are. The smallest signs are on Boundary Street near Bricks. The width of the lot currently determines the size of the sign. The size limits seem restrictive for gas stations. They want to display the price on a freestanding sign, Ms. Anderson said. Some stations are changing types of gas, and you would have to change the sign to do that. They recommend that additional signs be allowed where they are restricted currently to a 5-10' sign. The new language says that – only in Lady's Island Village Center and in the Boundary Street District – if you are restricted to 10' or less for a sign, the city will allow an additional 10 square foot of signage for a reader board and/or to post gas prices. You could get up to a 20 square foot sign for a gas station. There has been a new gas station on Ribaut Road that went into an existing site, and **Lauren Kelly**, the urban designer, came up with the dimensions using that location as a case study, Ms. Anderson said. **Commissioner Howard made a motion to recommend the change to this ordinance for the signs as proposed. Chairman DeVito seconded the motion. The motion passed unanimously.**

CITY OF BEAUFORT – UPDATE ON COUNCIL ACTIONS

Ms. Anderson said at council:

- Several changes were made to accommodate the special assessment for rehabilitating properties.
- The rezoning of the second block of Carteret Street will have second reading at the following night's council meeting.

There being no further business to come before the commission, Chairman DeVito made a motion to adjourn. The motion passed unanimously, and the meeting was adjourned at 6:57 p.m.

City of Beaufort Department of Planning and Development Services

MEMORANDUM

TO: Beaufort--Port Royal Metropolitan Planning Commission

FROM: Lauren Kelly, Project Development Planner

DATE: August 12, 2014

SUBJECT: Boundary Street Redevelopment District Ordinance Revisions

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City Council requested that Planning Staff review the Boundary Street Redevelopment District Ordinance and recommend changes to provide more flexibility and clarity within the code language and requirements. Staff is recommending revisions to accomplish these goals. In addition, staff has proposed a number of changes designed to facilitate and stimulate investment by reducing building costs while maintaining the goal and design intent of the ordinance. The Boundary Street Project is getting ready to begin construction within the next six months, so this is a good time to address any areas that could be improved to spur investment in this corridor. The building code and street sections are designed to work together, and now Phase I of the Boundary Street section is coming to fruition. The desire of the city is to see the private investment keep pace with the publicly-funded infrastructure and these code adjustments can help accomplish that.

Section 6.8 of the UDO (attached), addresses building and development standards in the Boundary Street Redevelopment District. Staff is proposing a number of changes to this ordinance. Half of those are simple text clarifications. Eleven minor changes are proposed. About the same number of major changes are recommended and address four main issues:

- **Appeal Process** – Staff is proposing to change the appeal body from the Planning Commission to the Design Review Board (DRB). The purpose of the DRB is to review plans for new construction, and so seems the appropriate board to consider appeals regarding design issues.
- **SC DOT Ownership** of the majority of the roads – Staff is proposing changes that give staff more flexibility to adjust the build-to lines and build-to zones to accommodate building frontages that are not currently permitted in the SC DOT right-of-way. These include colonnades, arcades and balconies.
- **Two-Story Building Heights** – Staff is proposing two alternate means of fulfilling the two-story building height requirement that applies to the majority of the district. These additional choices are:

- Designing the building to meet a Minimum Overall Height of 24' and ensuring that the building is properly designed and engineered to accommodate a 2nd story in the future; and
- Incorporating a Mezzanine along the primary frontage.
- **Glazing Requirements** – Staff is proposing to clarify glazing requirements for general residential and commercial buildings, as well as storefront buildings. This includes a better definition of what a “Storefront” building is, when the storefront design standards are applied, and what the glazing requirements are for commercial buildings that do not elect to have a storefront frontage.

In the attached ordinance revisions, ~~strikeout text~~ indicates wording to be deleted, and **highlighted text** indicates wording to be added. The amendments are also annotated to denote which type of modification is being proposed: **CLARIFICATION** – minor text change/addition; **CHANGE** – minor change; or **CHANGE** – major change.

Please contact me with any questions.

Thank you.

attachments

6.8 Boundary Street Redevelopment District

A. Purpose

The City of Beaufort seeks to create a Boundary Street Redevelopment District based upon traditional standards for city building. In September 2005 the City created a Master Plan for the Boundary Street Redevelopment District through a design charrette process involving the community and a team of design professionals. These regulations are form-based and reflect the existing character of Beaufort and the surrounding region. The code enables a mixed-use physical environment to further enhance the economic and cultural success of Boundary Street and contiguous areas.

Traditional urban design conventions have been applied to create a palette of street types that form the framework for the Boundary Street Redevelopment District by setting design parameters for how buildings and other elements relate to those streets. These design conventions are derived from the existing conditions in the City and from a number of sources in planning literature as listed in the Appendix. The above texts will be available at the Department of Planning and Development Services for applicants to review. Applications for development in the Boundary Street Redevelopment District do not have to comply with the design specifics of the recommended texts; the texts are for reference and guidance only and are not to be foreseen as regulatory. Where approvals, interpretations, and judgments are subject to reasonable application by City officials, these officials should use the following texts for guidance as to best practices.

B. Application of Standards

In the case of conflict between the standards set forth in the Boundary Street Redevelopment District and any other local land development regulation, these standards shall apply. For existing City approved Planned Unit Developments (PUD) in the district, the PUD shall apply for a period of up to twenty five years from the date of adoption of the Boundary Street Redevelopment District. Once twenty five years passes, said PUDs are no longer applicable and must then fall under the regulations of the Boundary Street Redevelopment District. To the extent that Section 6.8 is silent where other land development regulations govern, they shall apply. Building construction shall conform to the applicable City and State of South Carolina building codes and regulations.

How To Use This Code:

- 1.) Refer to the **Regulating Plan**, to identify your street type.
- 2.) **Section G** will provide provisions governing building placement and character requirements based on **Street Type**.
- 3.) Verify your proposed use in the **Permitted Use Table**.
- 4.) Examine the **General Provisions** which apply throughout the district.
- 5.) Finally, refer to the **Building Elements and Architectural Standards** for specific building regulations.

C. Administration

Interpretation of the standards in this code shall be the responsibility of the City Architect. The role of the City Architect has been established to administer an architectural review procedure for the development of properties within the Boundary Street Redevelopment District. It is the responsibility of the City Architect to review building plans for compliance with the Boundary Street Redevelopment District Code and to provide design guidance when necessary. The City Architect shall be responsible for interpreting the Boundary Street Redevelopment District Code regarding architectural and streetscape standards.

The *Illustrative Master Plan* in Section 6.8.F shall serve as guidance to the City Architect with respect to the City's intent for land development in the Boundary Street Redevelopment District. The images contained in Section 6.8 are meant to demonstrate the character intended for the Redevelopment District, but are for illustrative purposes only. The accompanying text and numbers are rules that govern permitted development.

The code should be used in the following method:

- a) Refer to the **Regulating Plan** to determine street type
- b) Consult **Section G** for standards based on **Street Type**
- c) Verify your use in the Permitted Use Table
- d) Review the **General Provisions**
- e) Obtain specific building regulations in the **Building Elements** and **Architectural Standards** section

Application Review and Approval Procedures

1. Application materials set forth in Section 3.1 of the Beaufort Unified Development Ordinance for any development proposal in the Boundary Street Redevelopment shall be submitted to the City Architect, designated by the City of Beaufort, for review.

Filing Procedure:

2. A site plan shall be submitted by the applicant for review and approval by the City Architect. Specifically, such plan shall include the following elements, where applicable:

Site Plan

The site plan (drawn to scale by a registered civil engineer, registered landscape architect, or registered architect) shall include the following elements: the exact dimensions of the parcel of land under consideration, a schematic representation of types and locations of land uses, **design and dimensions of all site and streetscape elements**, the density and intensity of the proposed uses, proposed open spaces or parks, any area-wide drainage systems, overall circulation arrangements and all major roadways, floodplain information, and any other information required by the City Architect.

Building Design:

For all buildings or structures proposed on a site, architectural drawings are required. The architectural drawings (drawn to scale by a registered architect or building designer) shall be dimensioned and include the following elements: floor plans, elevations, sections, details including but not limited to window, door, eave, fascia, columns, and frontage elements as applicable, materials and colors. The location of mechanical equipment should be indicated, along with site triangles to the equipment from all frontage streets (if they are located on the roof).

Written Report

A written report shall be submitted by the applicant for review and approval by the City Architect. Such report shall explain in general the type, nature, intent, and characteristics of the proposed project, and shall specifically include, where applicable:

- a. A general description of the proposal;
- b. A detailed legal description of the location of the site;
- c. A proposed development program, including number of residential units and proposed densities, minimum lot sizes (if any), square feet of other nonresidential uses and generalized intensities;
- d. General plan for the provision of utilities, including water, sewer, and drainage facilities;
- e. Tables showing the total number of acres in the proposed development and the percentage designated for each proposed type of land use, including public facilities;
- f. Tables showing the trees proposed to be retained and removed.
- g. A statement of how the proposed development is consistent with the Boundary Street Master Plan and City Comprehensive Plan;
- h. Exceptions or variations from the requirements of the Boundary Street Redevelopment District if any are being requested; and
- i. Other relevant information as may be requested by the City Architect.

Approval Procedure:

3. Upon concluding that the application materials are complete and in compliance with the Boundary Street Redevelopment District Regulations, the City Architect shall issue an Approval Letter to the applicant. ~~complete a Boundary Street Redevelopment District Application Materials Review/Zoning Regulation Compliance Checklist, in such form as the City requires, and complete the Certification at the end of said form.~~

4. If the Applicant's application is in accordance with the Boundary Street Redevelopment District, the City Architect has the authority to approve the project.

5. If the project is not approved and if the Applicant disagrees with the determination of the City Architect, the Applicant may bring an appeal to the **Design Review Board** ~~Planning Commission~~ within 30 days of the decision.

Special Exception Process:

For Special Exceptions, applicants shall follow the process outlined in Section 3.16.

D. Definitions

Appurtenances. Architectural features not used for human occupancy, consisting of awnings, marquees, balconies, turrets, cupolas, colonnades, arcades, spires, belfries, dormers, and chimneys.

Arcade. A building frontage that contains a row of arches supported by classical columns or piers which is covered.

Arch, Segmental: A segmental arch is an arch in which the curve is a less than semicircular segment of a circle.

Arch Semi-Circular: A Semi-Circular Arch is the most common type of arch where the center of the arch is in the middle of the diameter.

Balcony. An open habitable portion of an upper floor extending beyond a building's exterior wall that is not supported from below by vertical columns or piers but is instead supported by either a cantilever or brackets.

Baluster. A short vertical member used to support a railing or coping.

Balustrade. A railing together with its supporting balusters or posts, often used at the front of a parapet.

Boundary Street Master Plan. The Boundary Street Master Plan was created during a community design charrette which took place September 23rd – 29th, 2005 and involved input from major stakeholders, consultants, City Staff and the general public. The plan synthesizes community ideas and depicts the idealized build-out for the Boundary Street Redevelopment District. The Boundary Street Master Plan identifies key opportunity parcels for potential development, redevelopment, parking locations, and preservation.

Build-to Line. A line parallel to the property line, along which the front wall of a building shall be built.

Build-to Zone. A build-to zone is a range of allowable distances from a street right-of-way that the building shall be built to in order to create a moderately uniform line of buildings along the street.

Building frontage. The vertical side of a building which faces the primary space or street and is built to the build-to line or build-to zone.

Building Height. A limit to the vertical extent of a building measured in stories from the mean elevation of the finished grade or sidewalk at frontage line, whichever is higher, to the eave of the roof, or cornice for a building with a parapet. The maximum number of stories is inclusive of habitable roofs and exclusive of true basements.

City Architect. The City architect is an locally based Urban Designer, familiar with traditional planning and design principles and with the Boundary Street Master Plan, who will work with prospective developers, builders, and tenants to show how the Boundary Street Redevelopment District can satisfy their site needs in a cost efficient manner. The City architect will work under the direction of the City Planning Department and will assist developers, tenants, citizens, and the City, in achieving the goals of this Code.

Civic Building. Structure used primarily for general public purposes. Uses may include: municipal administration and infrastructure, education, cultural performances, gatherings and displays administered by non-profit cultural, educational, governmental, community service and religious organizations.

Colonnade. A building frontage that contains a lightweight, roofed structure, extending over the a public or private sidewalk and open to the street except for supporting columns or piers.

Cornice. A projecting horizontal decorative molding along the top of a wall or building.

Cupola. A domelike structure surmounting a roof or dome, often used as a lookout or to admit light and air.

Curb Radius. The curved edge of street paving at an intersection, measured at the inside travel edge of the travel lane.

Dwelling, live/work. A mixed-use unit with a substantial commercial component on the ground floor that may accommodate employees and walk-in trade. The upper floors are dedicated for living quarters.

Expression Line. A horizontal line, the full length of a façade, expressed by a material change or by a continuous projection, such as a molding or cornice, not less than two (2) inches or greater than one (1) foot deep. Expression lines delineate the transition between the floor levels.

Finger-jointed wood windows: Finger-jointed wood windows involve a technique used to join two pieces of wood at right angles to each other. It is much like a dovetail joint except that the pins are square and not angled and usually equally spaced. The joint relies on glue for holding together as it does not have the mechanical strength of a dovetail.

Frontage Line. The property line or lines of a lot which coincide with a right-of-way or other public open space.

Garden Wall. A freestanding wall along the property line dividing private areas from streets, alleys, and or adjacent lots. Garden walls sometime occur within private yards.

Liner Building. A fully functional building built in front of a parking garage, cinema, supermarket etc., to conceal large expanses of blank wall area and to face the street space with a façade that has doors and windows opening onto the sidewalk.

Lot Coverage. The footprint of all structures on a particular lot. Porches, patios, terraces, stairways, walkways, driveways, parking lots and drive aisles do not count as lot coverage.

Marquee: A fixed hood or canopy supported solely by the building to which it is attached extending over part of the public right-of-way.

Mezzanine. A useable primary interior floor space, located above a main level and along a frontage street, not to exceed 1/3 the floor area of the main level.

Mullions. Strips of wood or metal that separate and hold in place the panes of a window.

Parapet. A low guarding wall at the edge of a roof, terrace, or balcony.

Paseo. A pedestrian alley connecting one right-of-way or paseo to another. Paseos shall be designed for pedestrian comfort, either shaded by trees or by the buildings that line the space.

Plaza. An unroofed public open space with a majority of paved surface. Plazas are fronted with buildings.

Principal Façade. (For purposes of placing buildings along build-to lines or build-to zones) The front plane of a building not including stoops, porches, or other attached architectural features.

Regulating Plan. The Regulating Plan denotes the specific location of street type standards for the Boundary Street Redevelopment District. (See Section G)

Shared Parking. A system of parking, typically applied to buildings of differing uses that each have peak parking demands at different times within a 24 hour period, thereby allowing some parking spaces to be shared.

Square. An open space surrounded by streets or other vehicular passages.

Stoop. A building frontage that contains a small platform and /or entrance stairway at a house door, commonly covered by a secondary roof or awning.

Storefront. ~~The portion of a building at the first story of a retail frontage that is made available for retail use.~~ A building frontage where the building facade is aligned close to the Frontage Line, with the building entrance at Sidewalk grade. This frontage is conventionally used for Retail use. It has a substantial glazing on the Sidewalk level and may be used in conjunction with Awnings, Colonnades & Arcades.

Story. A floor level within a building.

Structured Parking. Layers of parking stacked vertically.

Turret. A small tower or tower- shaped projection on a building. A mechanical room, HVAC system, or mechanical elements are not considered a turret.

Veranda: A porch or balcony, usually covered by a roof and often partly enclosed, extending along the outside of a building.

B. Permitted Uses

All uses shall be allowed in the Boundary Street Redevelopment District, except as outlined below.

1. Uses Permitted by Special Exception

The following uses are permitted by Special Exception as described in Section 3.16:

- Any use except for banks, that includes a drive-thru
- Fuel Sales
- Institutional Uses
- Passenger Terminals

2. Prohibited Uses

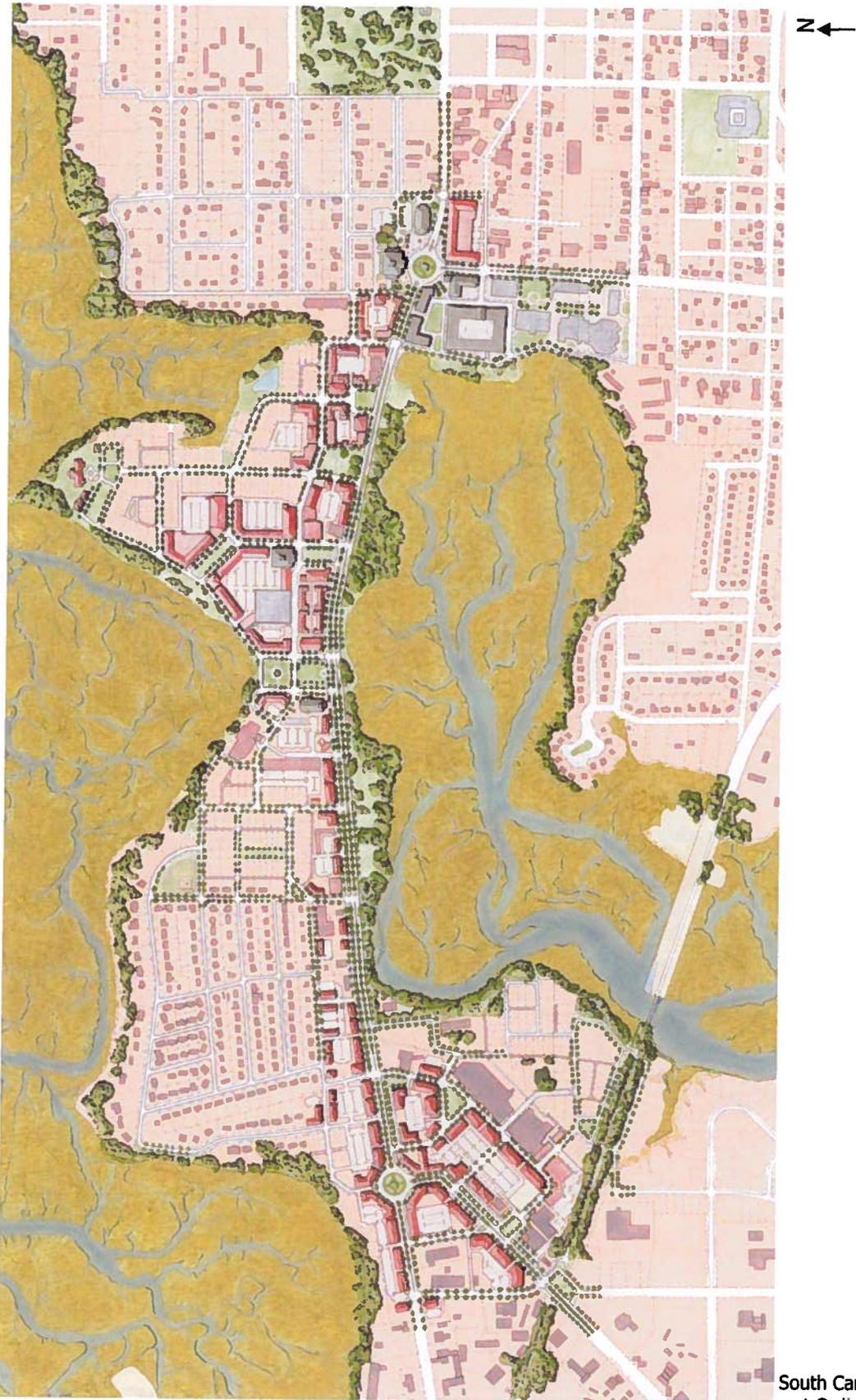
The following uses are prohibited:

- Agriculture
- Aviation Services
- Car Wash, unless located entirely within a building
- Major Utility (ex., sewage treatment plant)
- Manufacturing and Production
- Outdoor Commercial Recreation Facilities
- Outdoor storage of materials and equipment (except during construction)
- Passenger Terminals (ex., airport; does not include bus terminals for mass transit)
- Self-storage on the street level
- Recreational Vehicle Park
- Restaurant, drive-in
- Signs prohibited in Section 7.2.C
- Sexually-Oriented Businesses
- Telecommunication Towers
- Truck Terminal
- Vehicle Sales and Service, Other, including boats, unless conducted entirely within a building
- Vehicle Service Limited, unless conducted entirely within a building
- Vehicle Service and Repair, unless conducted entirely within a building
- Warehousing
- Waste-Related Service

C. Master Plan

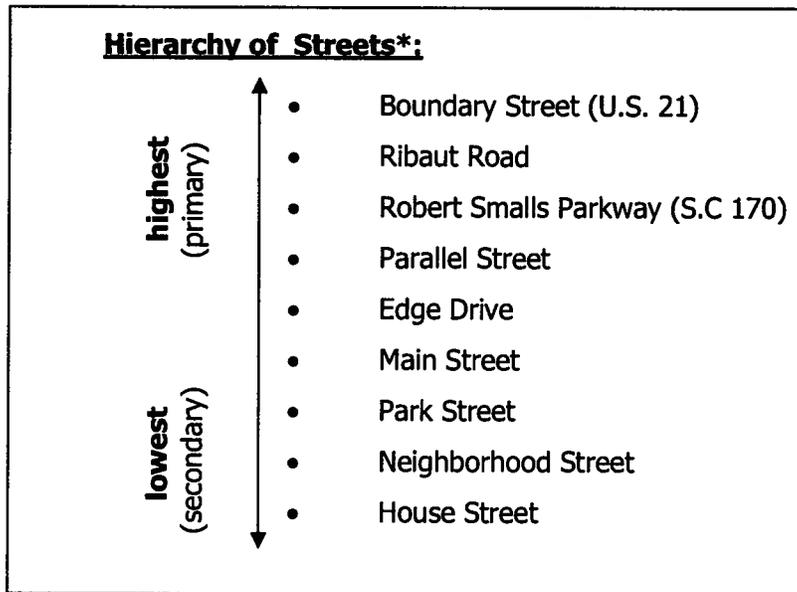
The Boundary Street Master Plan was created during a community design charrette which took place September 23rd – 29th, 2005 and involved input from major stakeholders, consultants, City Staff and the general public. The plan synthesizes community ideas and depicts the idealized build-out for the Boundary Street Redevelopment District. The Boundary Street Master Plan identifies key opportunity parcels for potential development, redevelopment, parking locations, and preservation. A large version of the Boundary Street Master Plan is available at the Department of Planning and Development Services.

Article 6: District Development Standards
Section 6.8: Boundary Street Redevelopment District



A. Street Types

Development under this code is regulated by street type. The streets are related to each other in a hierarchical manner. When streets intersect, the primary street is determined by its higher order in the hierarchy. The code regulates individual parcels of land based on which type of street they front. The front of a building and its main entrance must face the primary street.



* Alleys are covered under General Design Standards, as they are never fronted by main structures.

The physical location of streets and street types are identified in the Regulating Plan. The Regulating Plan works hand-in-hand with the street type standards for rules regarding the particular details for each of the street types, such as building placement, building volume, uses, and street sections. The Regulating Plan identifies both existing and proposed Boundary Street Redevelopment District streets. Where a street currently does not exist, the developer shall build the street if access is needed to the site for project approval. In less immediate circumstances, property owners will deed to the City the portion of land needed to build a proposed street. In this case, the City, or other public entity, would build the street as time and resources permit. All streets built by either a private developer or the City shall conform to the dimensional requirements set forth in the corresponding street sections and to S.C. Department of Transportation standards for materials and construction methods. In addition the hierarchy of streets will serve to act as an informal phasing plan, wherein primary streets will receive prioritized attention.

Any proposed roadway improvements must maintain the integrity of the Boundary Street Redevelopment District street types and corresponding street sections. In regards to street width, the right-of-way widths and street section specifications found

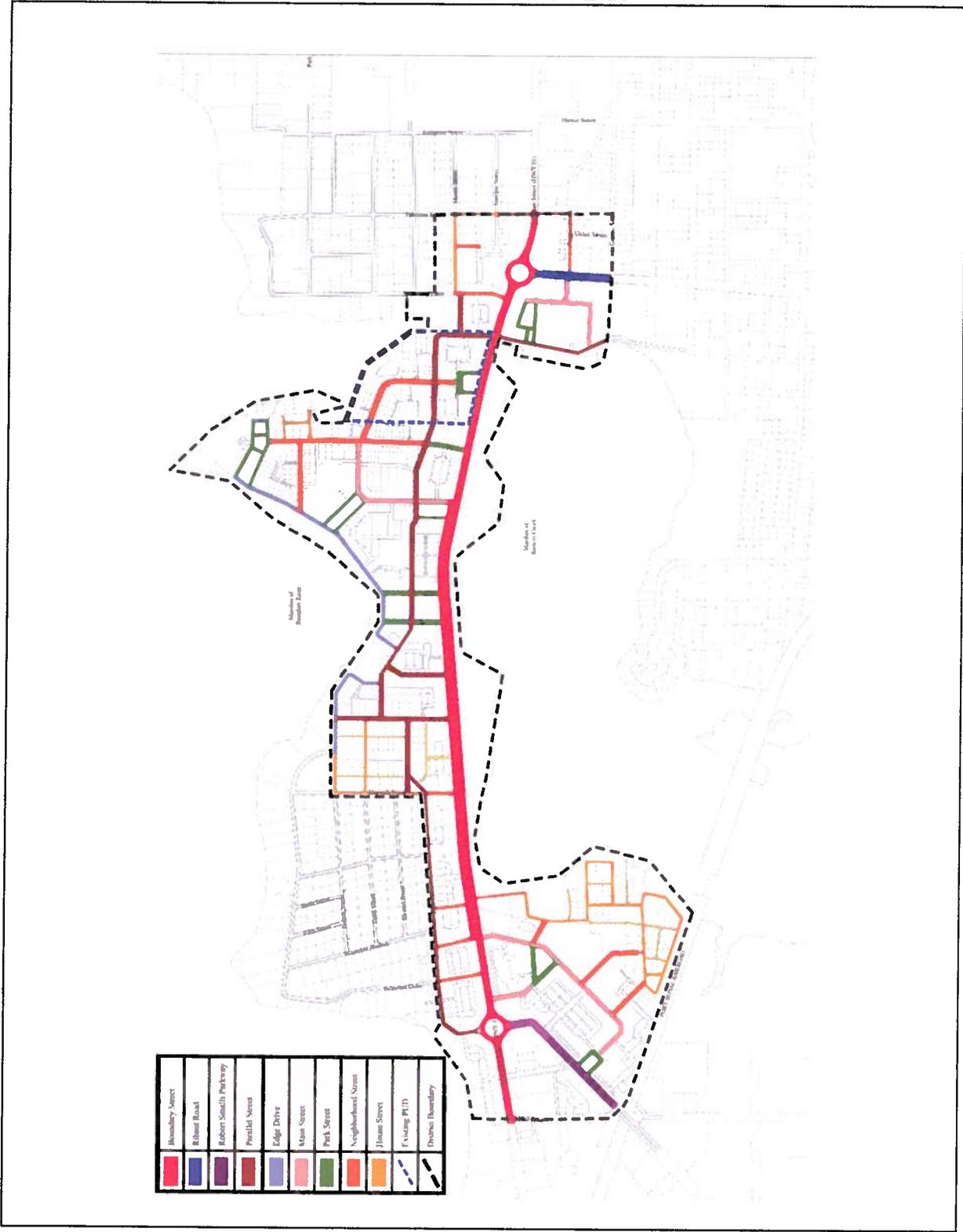
Article 6: District Development Standards
Section 6.8: Boundary Street Redevelopment District

in the following Boundary Street Redevelopment District street type descriptions shall apply.

With respect to existing buildings within the Redevelopment District, their use may be maintained despite changes made to allowable uses. In the event that the building undergoes either structural or cosmetic modifications, if the cost of improvements exceeds 50% of the present building value, it will be subject to the standards set forth by this code. The City Architect will have final jurisdiction over this matter. Signs not conforming to the requirements of this section shall be altered, removed, or otherwise brought into compliance with the requirements of this section at the time that the required building improvements are made.

On the following pages, diagrammatic examples are used to illustrate example building locations, configurations, and dimensions. Particular details of the Boundary Street Master Plan and other sketches, illustrations, drawings and diagrams contained herein are subject to change, at the request of the affected property owner, with approval by the City Architect. The accompanying numbers and text are rules; the graphics are illustrative only.

REGULATING PLAN



Boundary Street

Boundary Street is the most important street in the redevelopment district. The street serves as a central roadway in the regional transportation network, connecting the region with Downtown Beaufort. While serving the important function of moving cars in and out of town, Boundary Street should also be a pedestrian friendly street. Due to physical and natural constraints the character of the corridor varies. Buildings along the corridor shall be mixed-use and have doors and windows facing the street.

B. Building Placement

Build-to-line Location: (typical) Varies depending on cross section (BS1, BS2, BS3, BS4, and BS5) (See section E below)

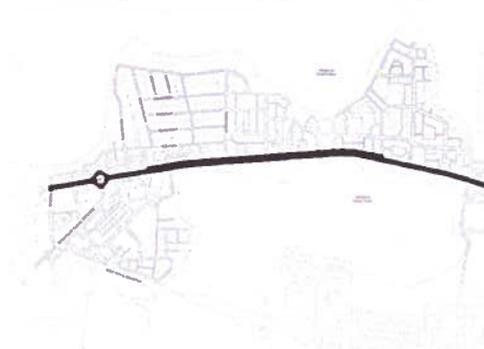
Side Setback: 0 ft.

Rear Setback: 5 ft.

D. Notes

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to provide shelter to the sidewalk or public entry by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.
5. Where roads are owned by the SC DOT, or encumbered by utility easements at the frontage line, buildings may be setback enough to permit frontage elements if desired.

A. Locator Diagram

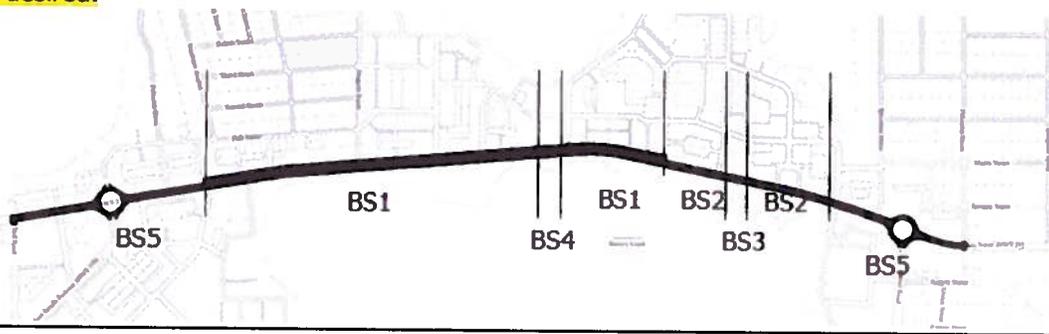
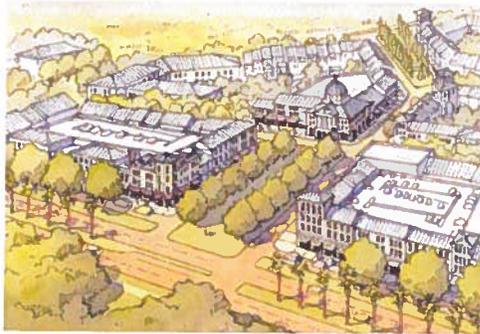


C. Building Volume

Building Width: 16 ft. minimum
160 ft. maximum

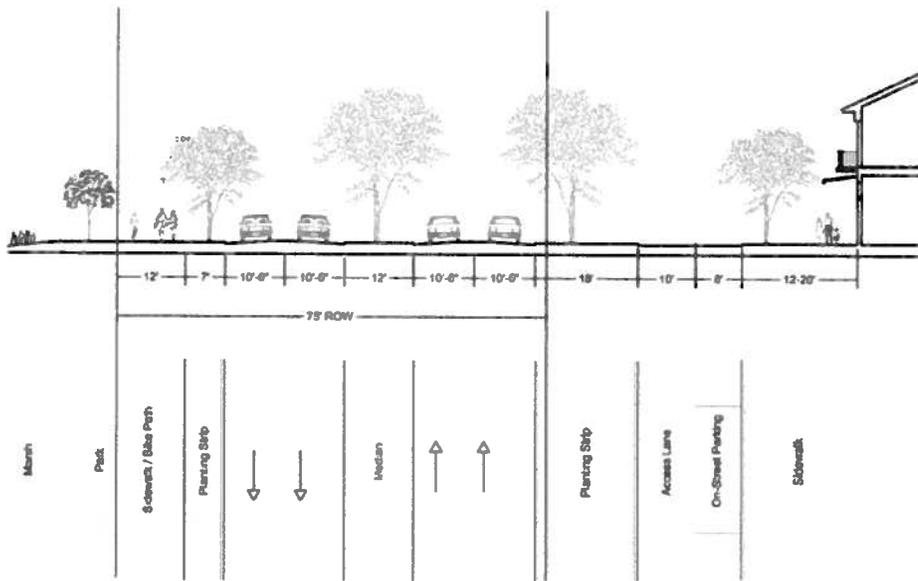
Building Height: 2 story minimum
5 story maximum
60 ft. maximum

Lot Coverage: 80 % maximum

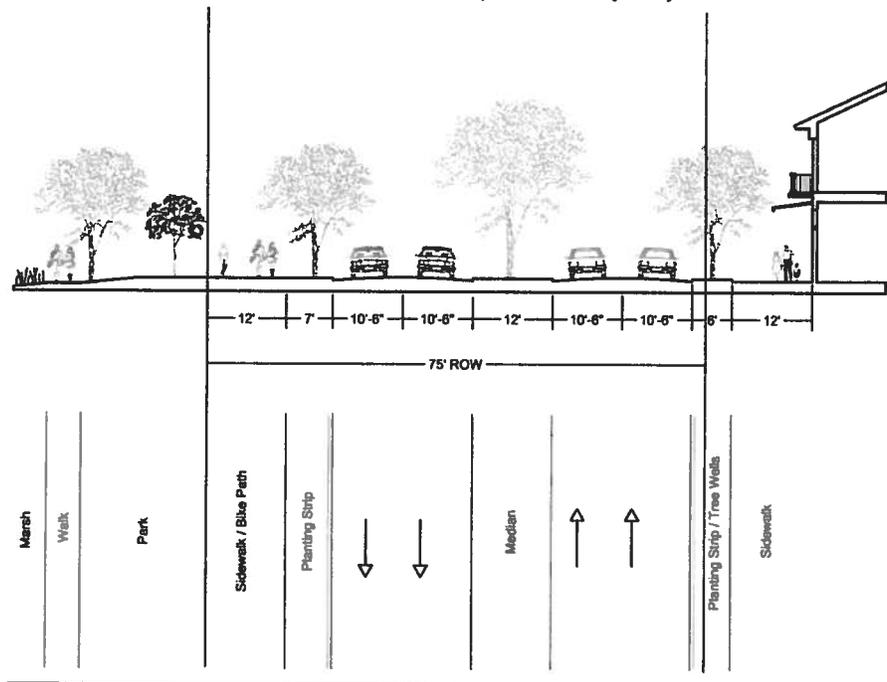


E. Street Section

Article 6: District Development Standards
 Section 6.8: Boundary Street Redevelopment District

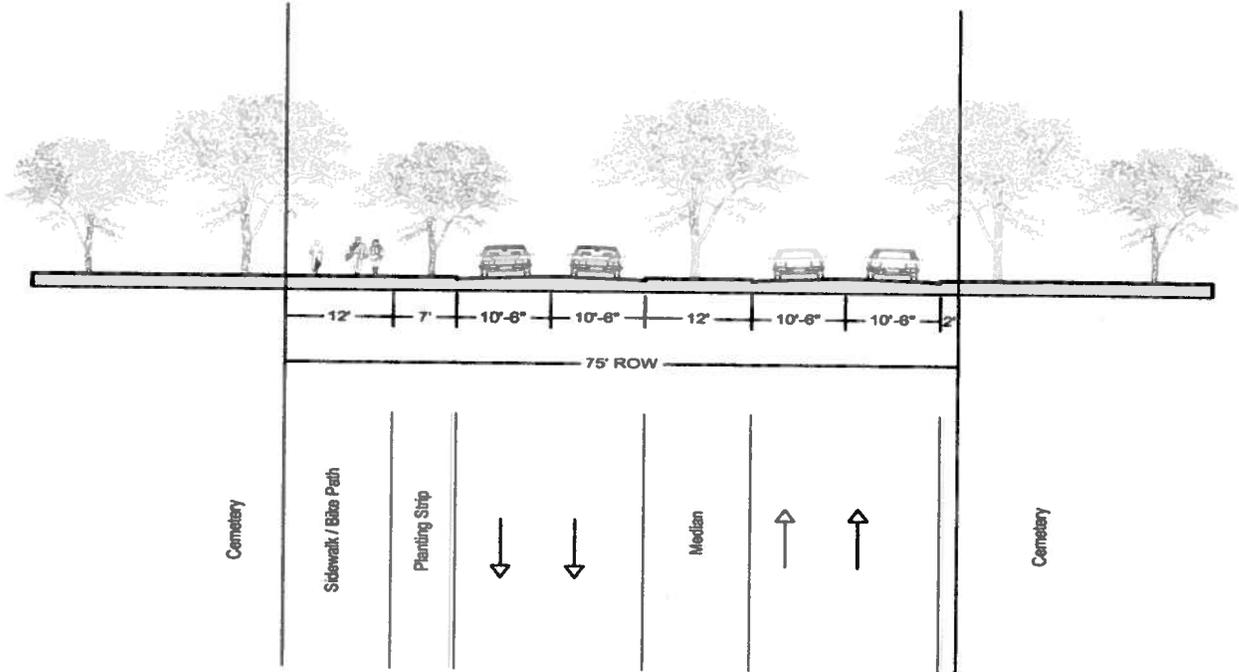


Section for Boundary Street 1 (BS1)

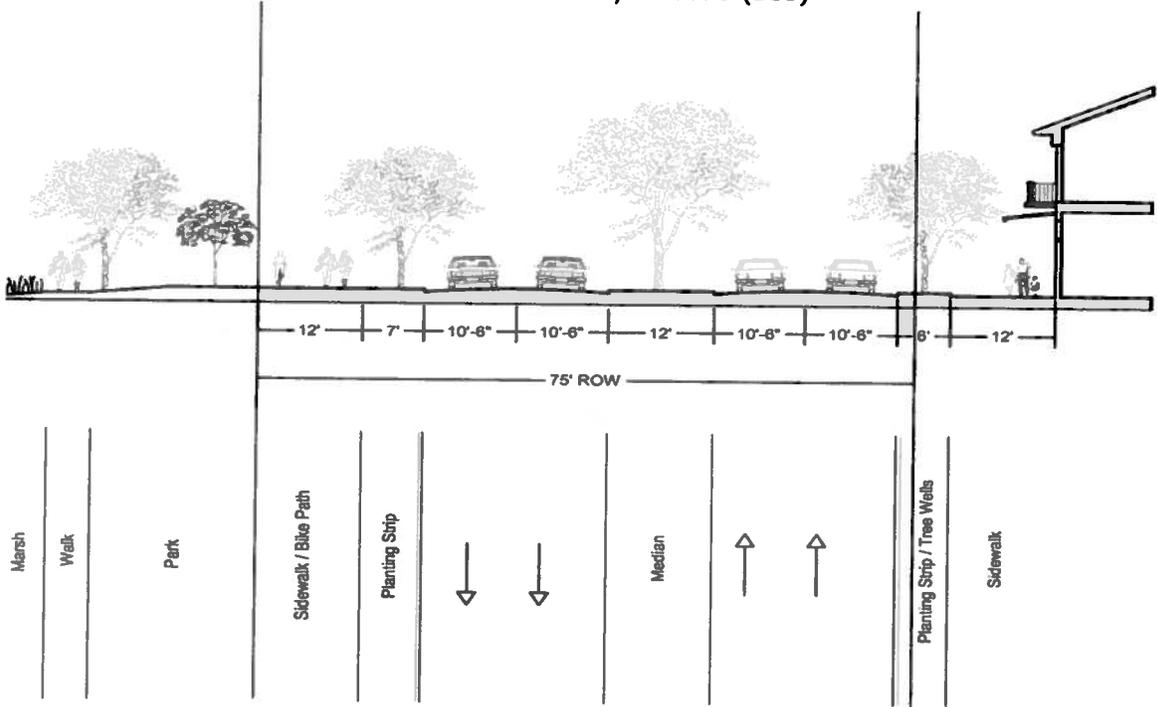


Section for Boundary Street 2 (BS2)

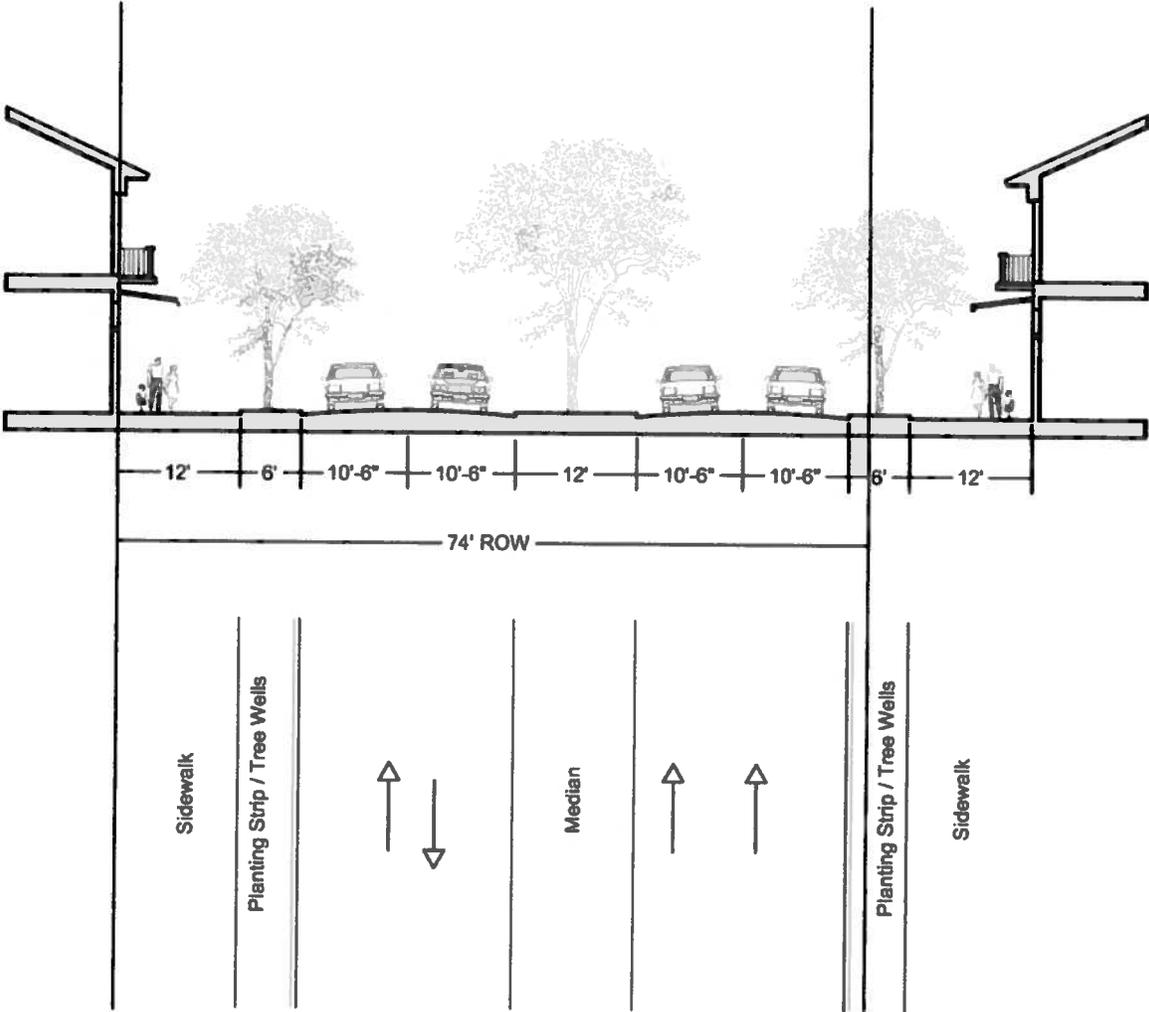
Article 6: District Development Standards
 Section 6.8: Boundary Street Redevelopment District



Section for Boundary Street 3 (BS3)



Section for Boundary Street 4 (BS4)

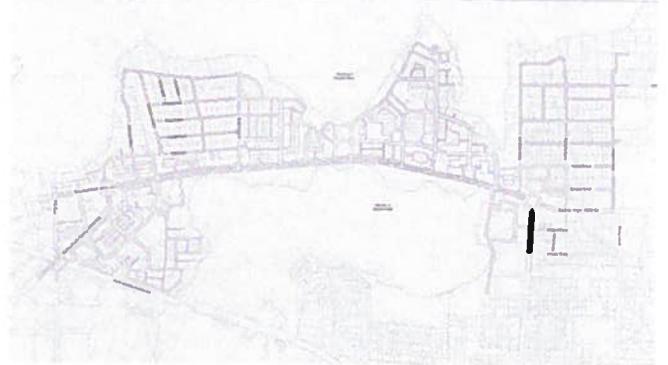


Section for Boundary Street 5 (BS5)

2. Ribaut Road

The intersection of Ribaut Road and Boundary Street marks an important gateway to the historic downtown. Ribaut Road is terminated by the proposed Beaufort City Hall. Ribaut Road is transformed into a mixed-use, walkable street. Multi-story buildings will frame the street. The standards for Ribaut Road apply to the segment from Boundary Street south to Greene Street.

A. Locator Diagram



B. Building Placement

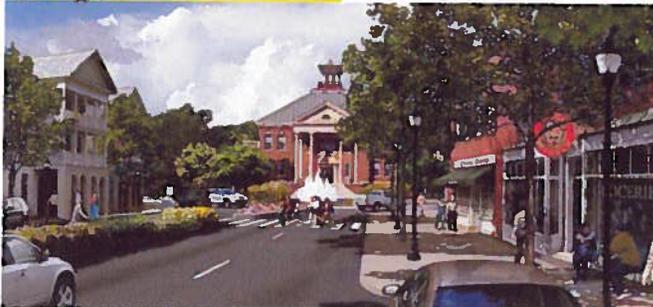
Build-to-line Location: (typical)	0 ft. from ROW
Side Setback:	0 ft.
Rear Setback:	5 ft.

C. Building Volume

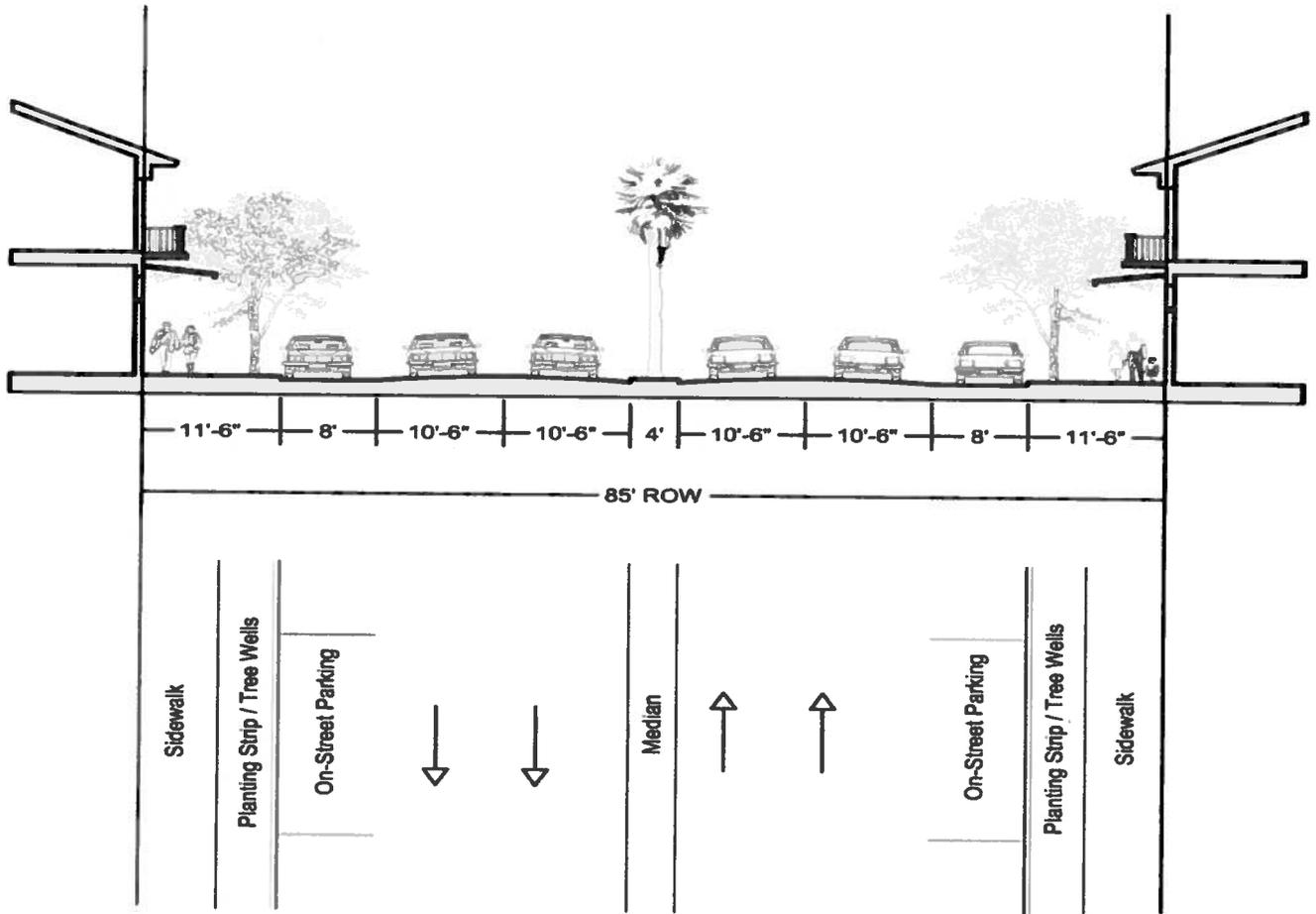
Building Width:	16 ft. minimum 160 ft. maximum
Building Height:	2 story minimum 5 story maximum 60 ft. maximum
Lot Coverage:	80 % maximum

D. Notes

1. Appurtenances may extend beyond height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.
5. Where roads are owned by the SC DOT, or encumbered by utility easements at the frontage line, buildings may be setback enough to permit frontage elements if desired.



E. Street Section



Section for Ribaut Road

3. Robert Smalls Parkway

The intersection of Robert Smalls Parkway and Boundary Street moves cars along these busy corridors, but also serves as the western gateway to town. In order to enhance the intersection, while continuing to improve the traffic flow, a roundabout may be placed at the realigned intersection. The properties along Robert Smalls Parkway should be redeveloped to form a town center. The area would contain a mix of uses and building types, all with doors and windows facing the street.

B. Building Placement

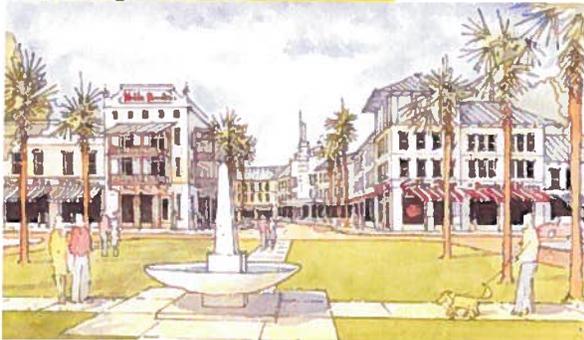
Build-to-line Location: 0 feet from ROW if not providing front access lane, or 40 feet from ROW if providing front access lane. (See section E below)

Side Setback: 0 ft.

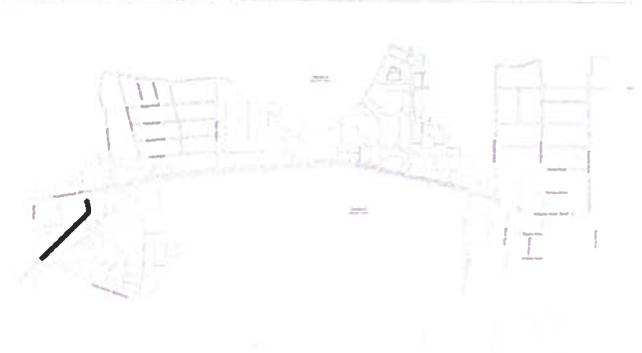
Rear Setback: 5 ft.

D. Notes

1. Appurtenances may extend beyond height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.
5. Where roads are owned by the SC DOT, or encumbered by utility easements at the frontage line, buildings may be setback enough to permit frontage elements if desired.



A. Locator Diagram



C. Building Volume

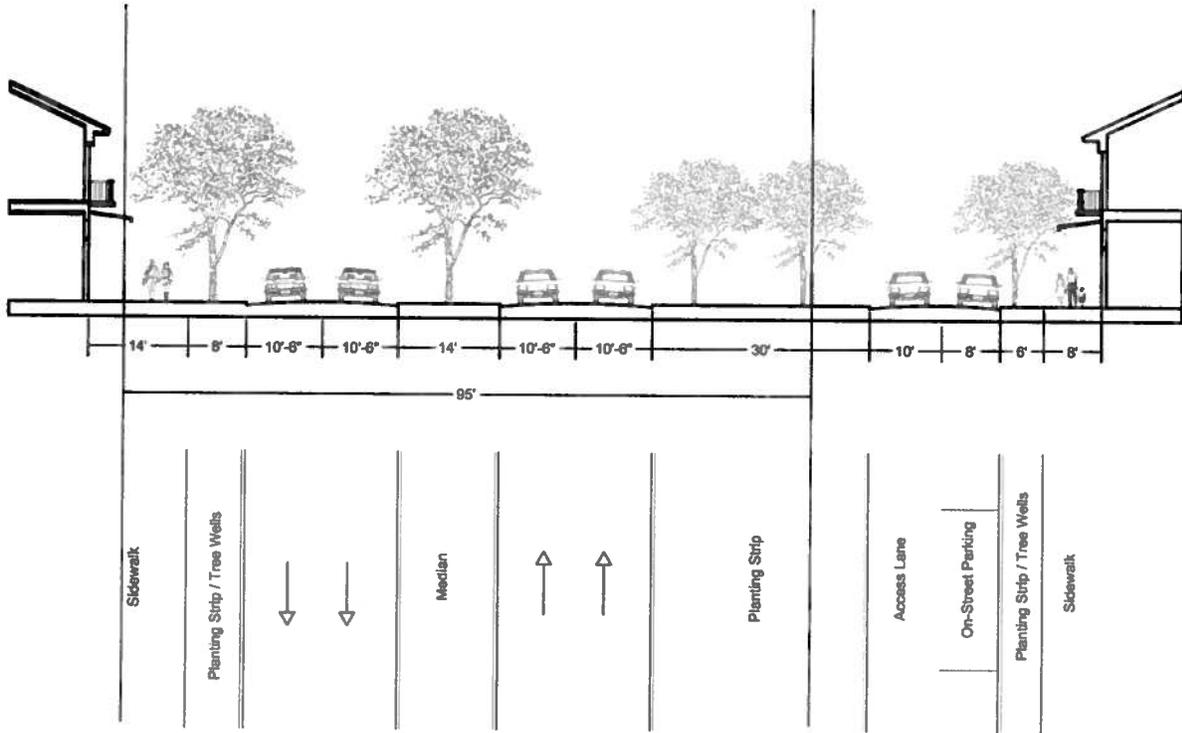
Building Width: 16 ft. minimum
160 ft. maximum

Building Height: 2 story minimum
5 story maximum
60 ft. maximum

Lot Coverage: 80 % maximum



E. Street Section

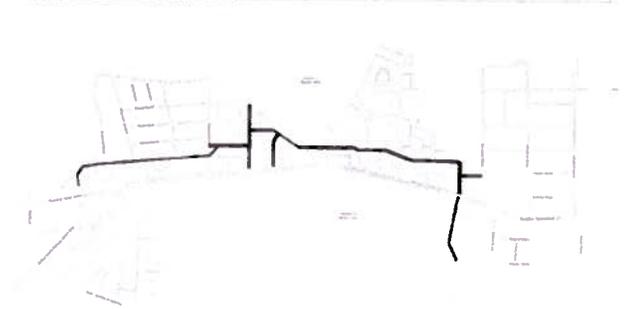


Section for Robert Smalls Parkway

4. Parallel Street

A parallel street is essential in creating an interconnected network of blocks and streets adjacent to Boundary Street. The addition of an east – west parallel street should be created so that all daily trips, especially local ones, do not have to use Boundary Street. The character of the built environment along the parallel street varies from less intense residential development to more intense mixed-use development. All buildings along the parallel street should be street oriented with doors and windows facing the street.

A. Locator Diagram



B. Building Placement

Build-to-zone Location: 0 ft. – 15 ft. from ROW (typical)

Side Setback: 5 ft.

Rear Setback: 5 ft.

C. Building Volume

Building Width: 16 ft. minimum
160 ft. maximum

Building Height: 2 story minimum
4 story maximum
60 ft. maximum

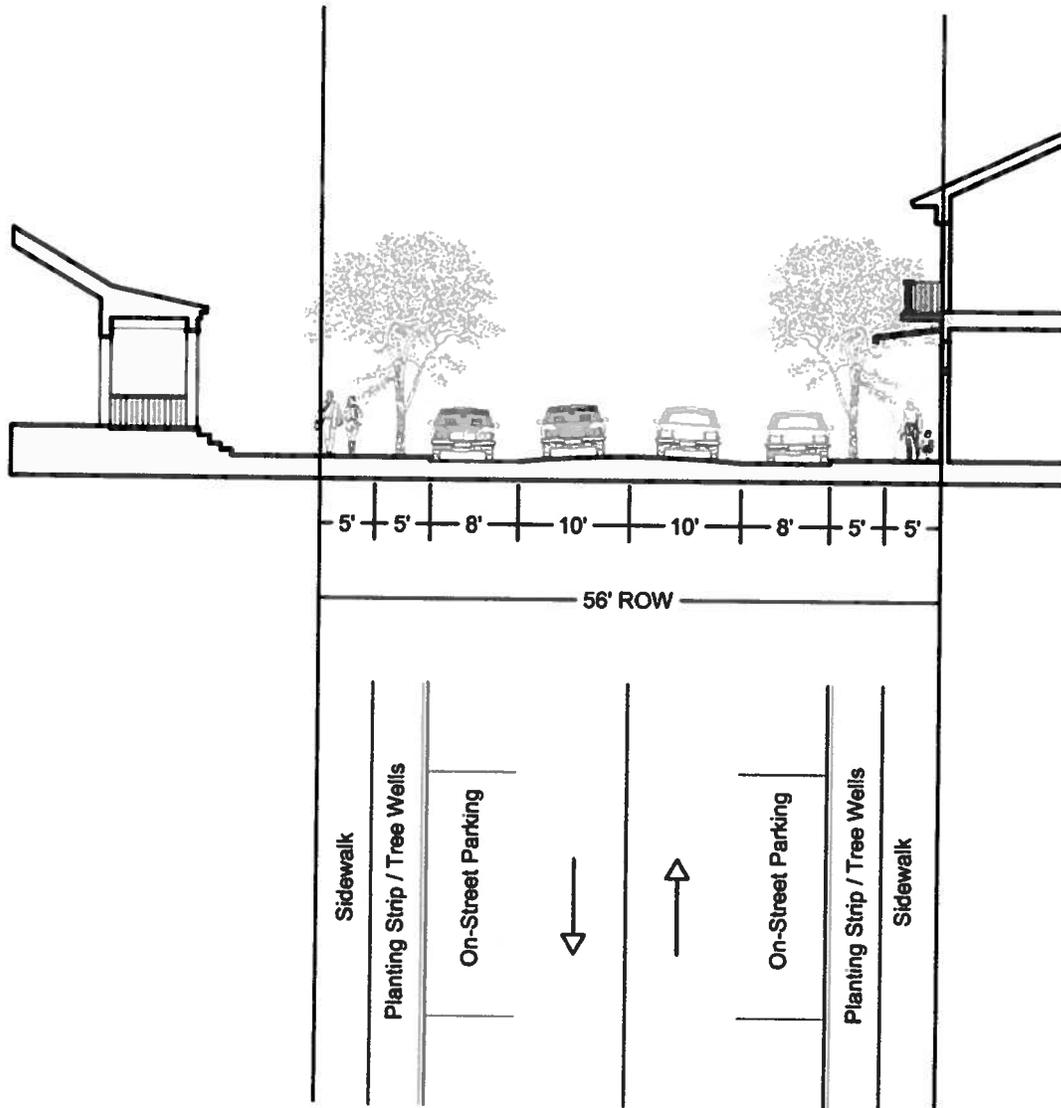
Lot Coverage: 75 % maximum

D. Notes

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.



E. Street Section



Section for Parallel Street

4. Edge Drive

The edge drive runs along the marshfront, offering scenic views of Albergotti Creek. Residential or mixed-use buildings line one side of the edge drive while the marshfront remains unobstructed from view and available to the public to experience. The edge drive also serves as an alternative to east – west travel along Boundary Street and serves as an important element in an interconnected street network.

B. Building Placement

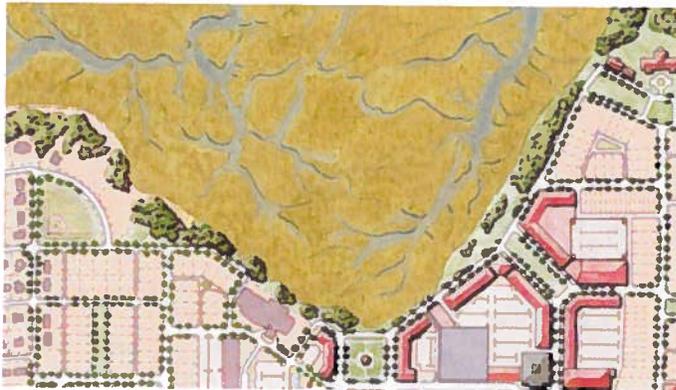
Build-to-zone Location: 5 ft - 15 ft. from ROW
(typical)

Side Setback: 0 ft.

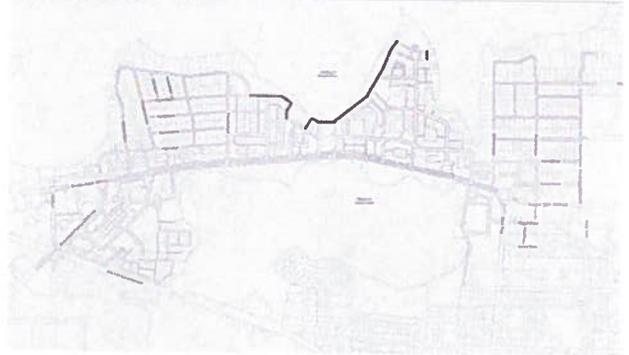
Rear Setback: 5 ft.

D. Notes

1. Appurtenances may extend beyond the height limit.
2. For permitted uses, see Section 6.8.E.
3. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.



A. Locator Diagram



C. Building Volume

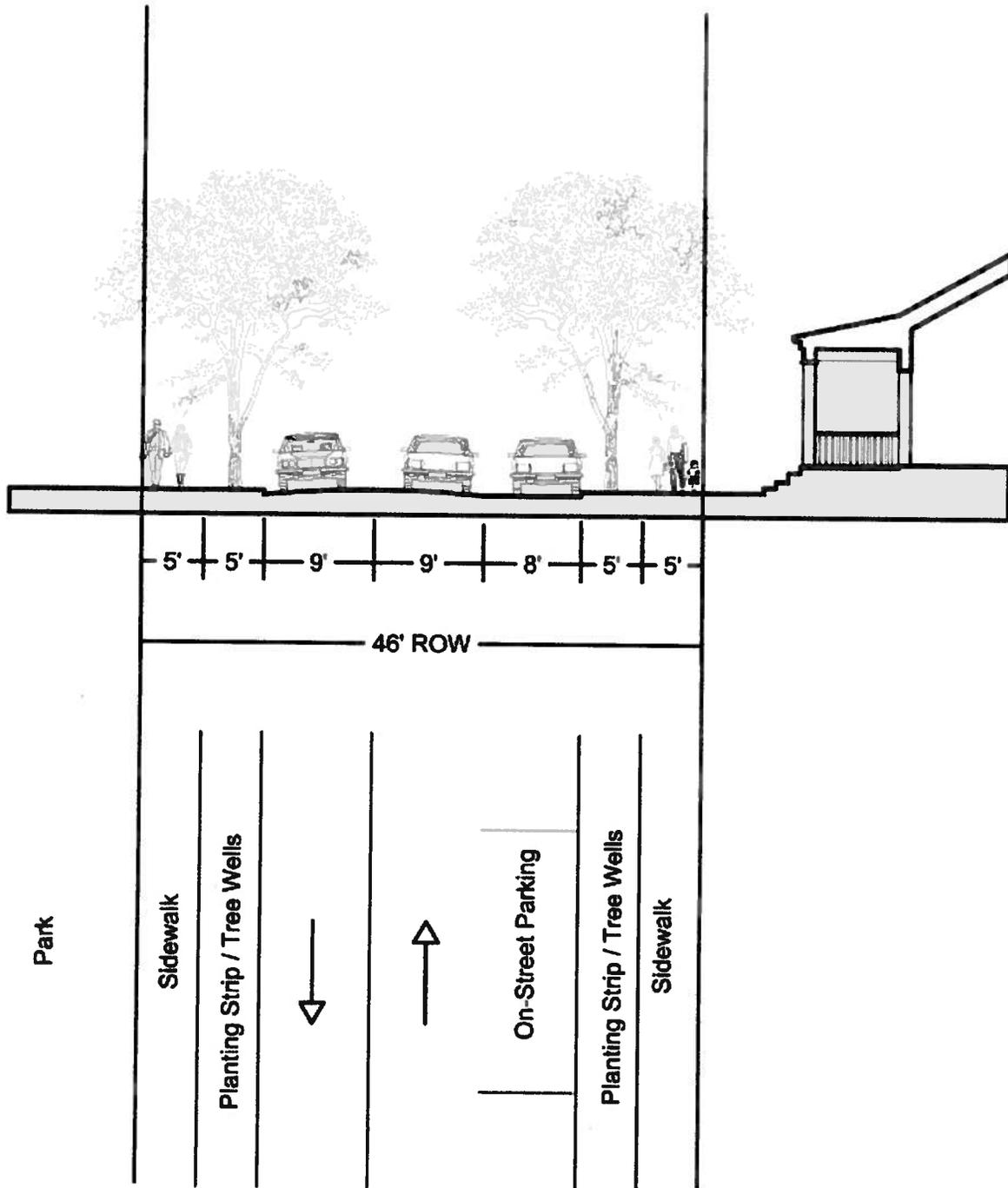
Building Width: 16 ft. minimum
160 ft. maximum

Building Height: 1.5 2 story minimum
4 story maximum
60 ft. maximum

Lot Coverage: 75 % maximum



E. Street Section



Section for Edge Drive

5. Main Street

The Main Streets run perpendicular to Boundary Street and are lined with mixed-use shopfront buildings that are positioned at the front of each lot. Parallel parking on both sides of the street combined with wide sidewalks creates a safe and inviting place for both pedestrians and motorists.

B. Building Placement

Build-to-line Location: 0 ft. from ROW
(typical)

Side Setback: 0 ft.

Rear Setback: 5 ft.

D. Notes

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.
5. Where roads are owned by the SC DOT, or encumbered by utility easements at the frontage line, buildings may be setback enough to permit frontage elements if desired.



A. Locator Diagram



C. Building Volume

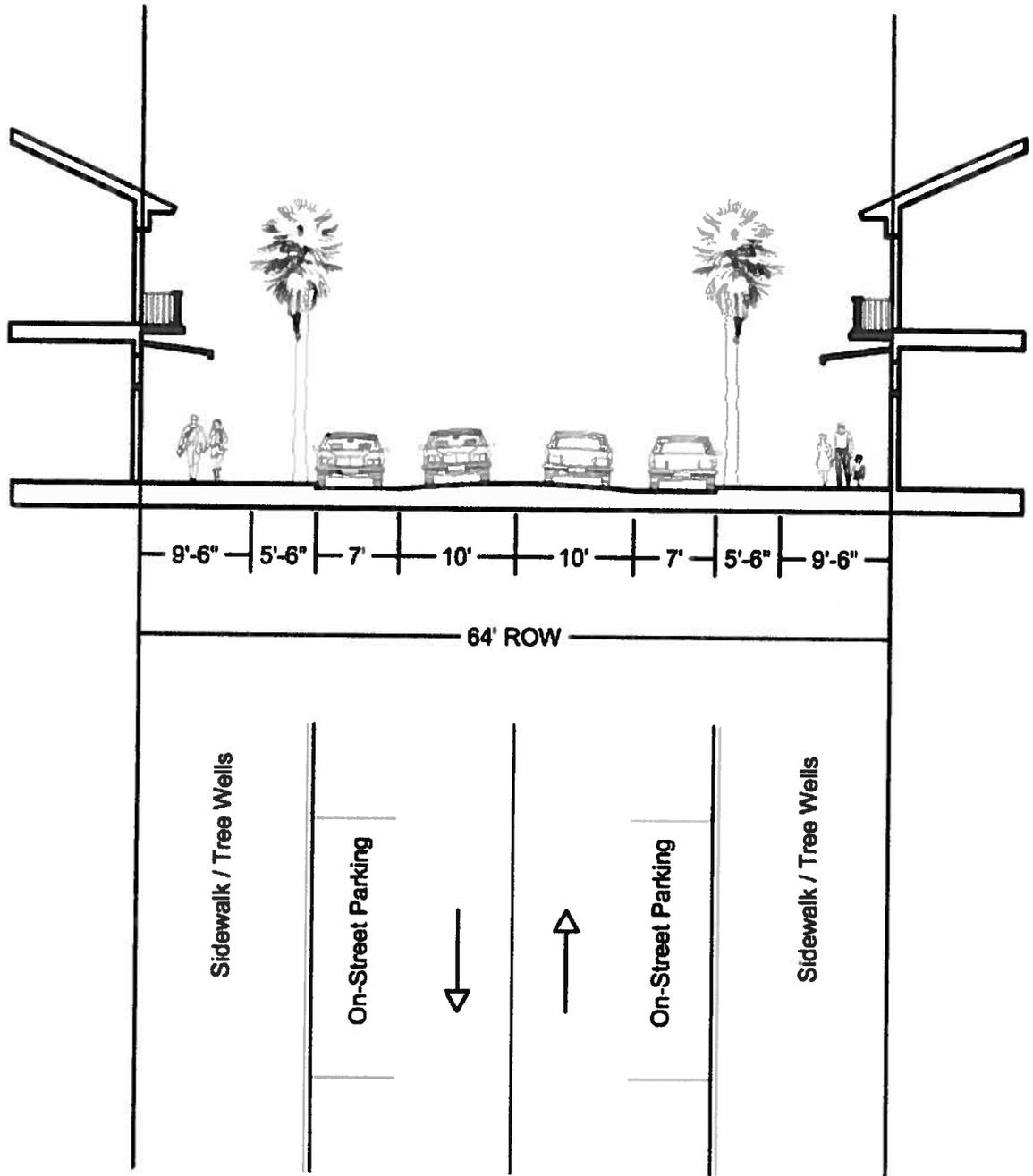
Building Width: 16 ft. minimum
160 ft. maximum

Building Height: 2 story minimum
5 story maximum
60 ft. maximum

Lot Coverage: 80 % maximum



E. Street Section



Section for Main Street

6. Park Street

Park Streets are intended to be either fronted by buildings on one side or have no buildings on either side. In many cases a Civic Building is centered on a park. Parks are important to the character of the Boundary Street Redevelopment District and a series of proposed neighborhood parks are included in the master plan. Parks create value and buildings located adjacent to parks should be of the highest quality. Park Streets serve as drives along parks and open spaces.

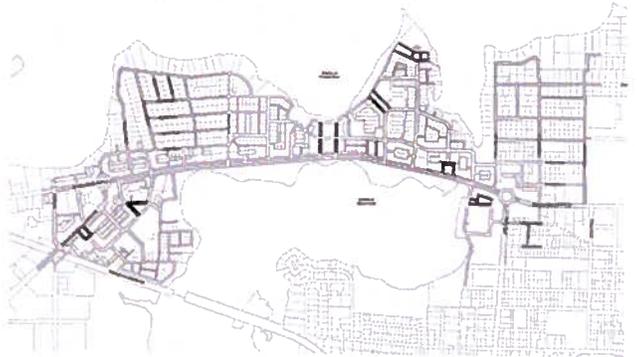
B. Building Placement

Build-to-line Location: 0 ft. from ROW
(typical)

Side Setback: 0 ft.

Rear Setback: 5 ft.

A. Locator Diagram



C. Building Volume

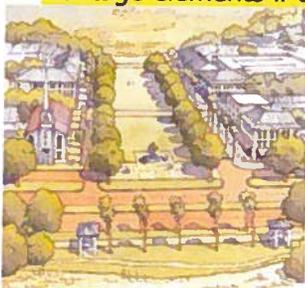
Building Width: 16 ft. minimum
160 ft. maximum

Building Height: 2 story minimum
5 story maximum
60 ft. maximum

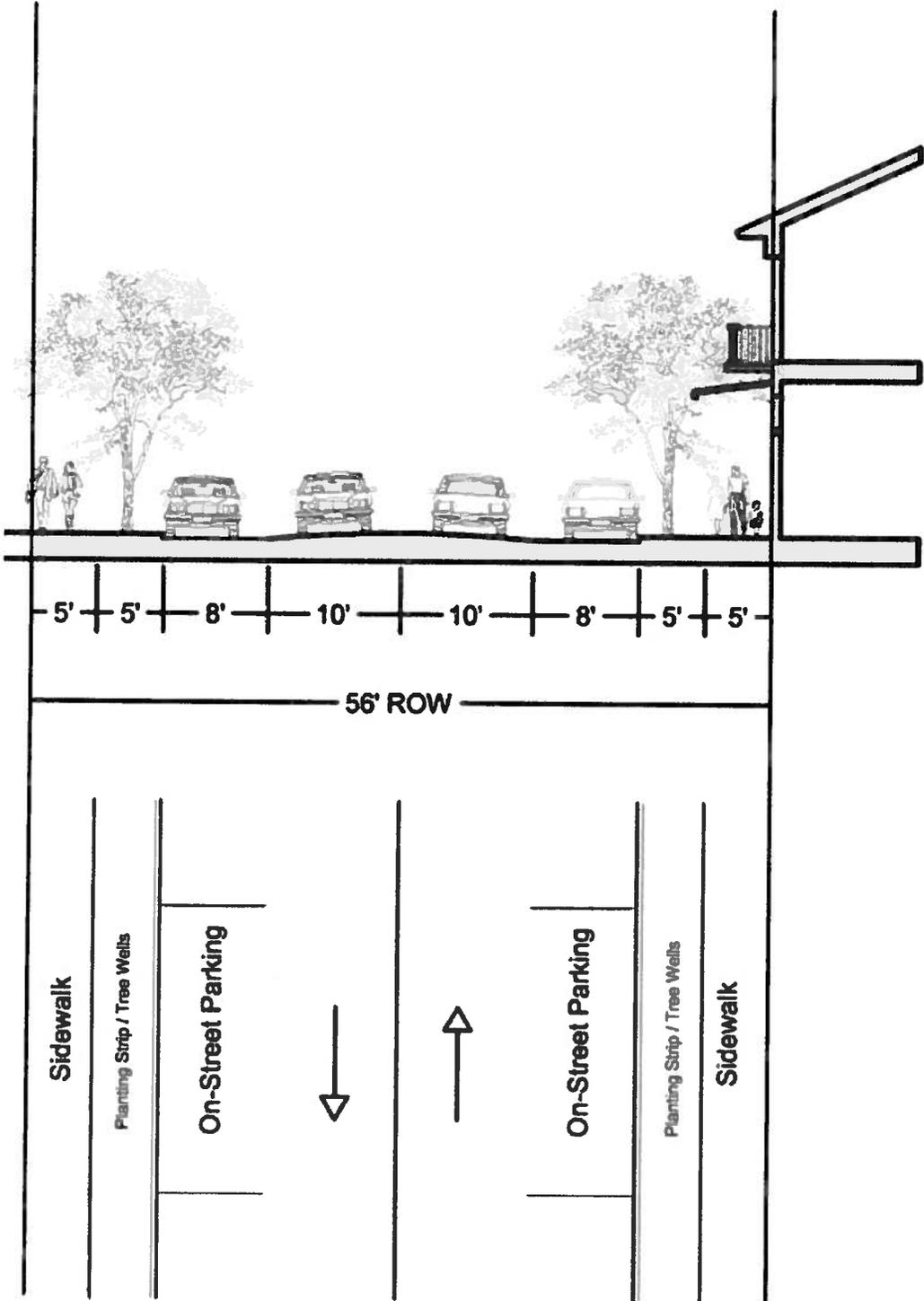
Lot Coverage: 80 % maximum

D. Notes

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.
5. Where roads are owned by the SC DOT, or encumbered by utility easements at the frontage line, buildings may be setback enough to permit frontage elements if desired.



E. Street Section



Section for Park Street

7. Neighborhood Street

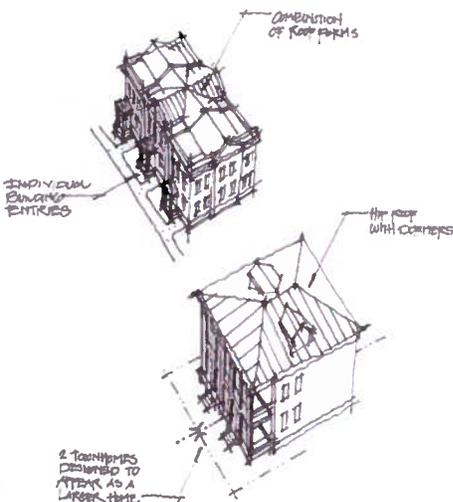
The Neighborhood Street presents an interesting mix of urban living and traditional building types. Such building types include apartments, condominiums, live-work units, townhouses, and smaller detached houses. Build-to lines are varied. The Neighborhood Street allows for narrow travel lanes and parking on both sides of the street. A green strip is included as well as a wide sidewalk for pedestrians.

B. Building Placement

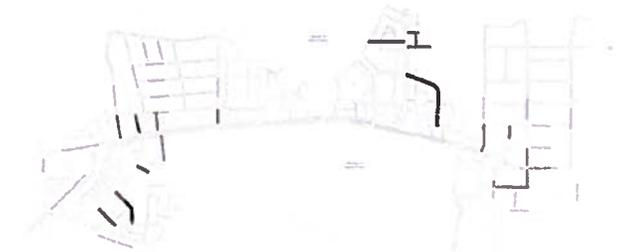
Build-to-zone Location: (typical)	0 ft. – 15 ft. from ROW
Side Setback:	0 ft.
Rear Setback:	5 ft.

D. Notes

1. Appurtenances may extend beyond the height limit.
2. Building fronts are required to have at least one of the following: porch or stoop.
3. For permitted uses, see Section 6.8.E.
4. The alignment of floor-to-floor heights of abutting buildings is encouraged to allow for shared use of elevators.



A. Locator Diagram

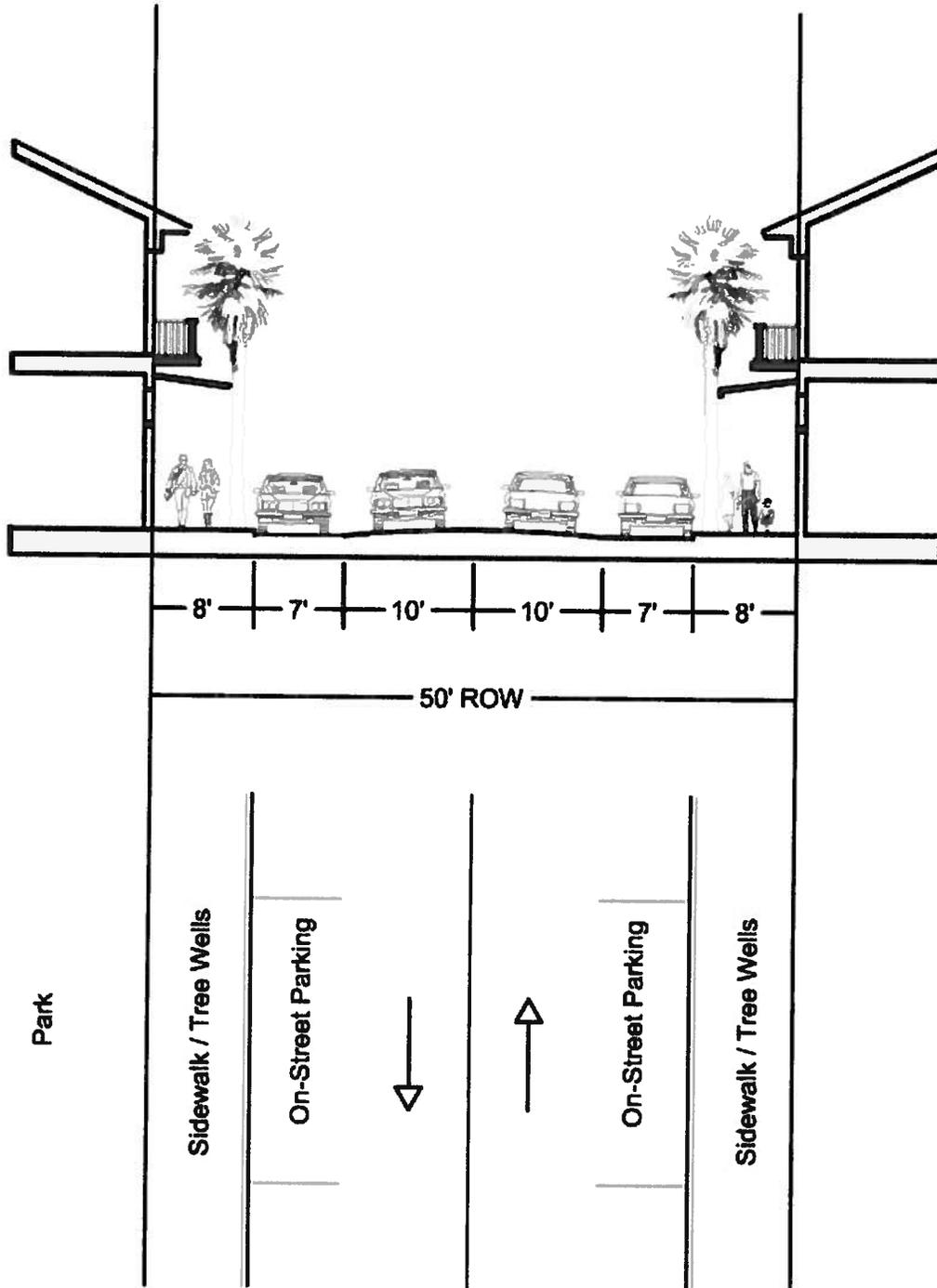


C. Building Volume

Building Width:	16 ft. minimum 160 ft. maximum
Building Height:	1.5 2 story minimum 4 story maximum 60 ft. maximum
Lot Coverage:	75 % maximum



E. Street Section

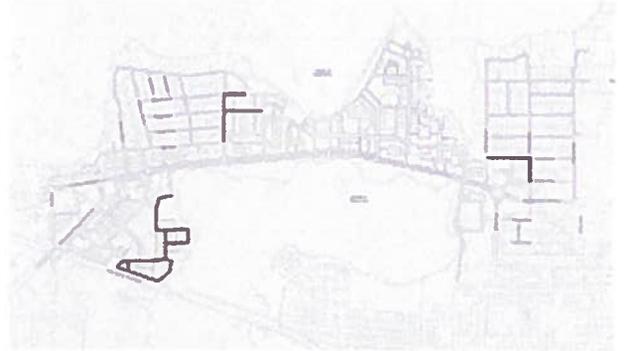


Section for Neighborhood Street

8. House Street

The House Street is a quieter, more intimate street. The street type evokes the character of historic Beaufort residential streets. Buildings are set further back and buildings reflect the existing character of prominent Beaufort streets such as Craven Street east of Carteret Street.

A. Locator Diagram



B. Building Placement

Build-to-zone Location: 10 ft. - 25 ft. from ROW (typical)

Side Setback: 5 ft.

Rear Setback: 5 ft.

C. Building Volume

Building Width: 16 ft. minimum
40 ft. maximum

Building Height: 1½ story minimum
3 story maximum
60 ft. maximum

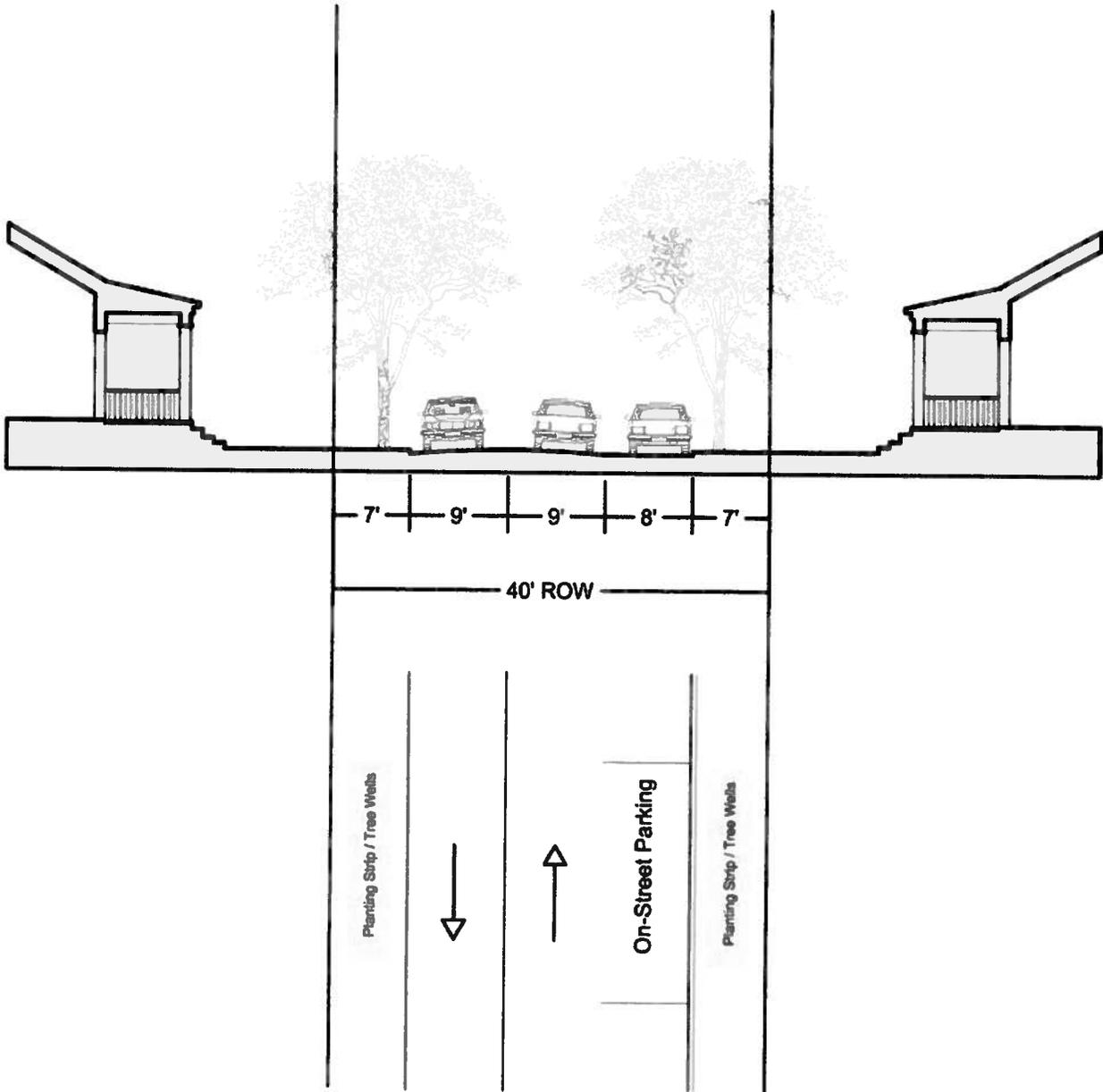
Lot Coverage: 65 % maximum

D. Notes

1. Appurtenances may extend beyond the height limit.
2. For permitted uses, see Section 6.8.E.
3. Building fronts are required to have at least one of the following: porch or stoop.



E. Street Section



B. General Design Standards

1. Building Heights

In the Boundary Street Redevelopment District, overall building heights are regulated by the number of stories, based on the designated Street Types. The following requirements pertain to specific heights of design elements, based on building use and location.

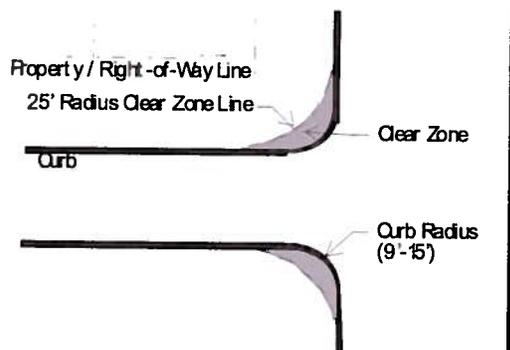
- a. On Boundary Street, Ribaut Road, and Robert Smalls Parkway:
 - i. The ground floor of commercial buildings and mixed-use structures with ground-floor commercial shall be a minimum of 12', and a maximum of 16' high from finished floor to ceiling.
 - ii. The ground floor of all residential structures shall be a minimum of 10', and a maximum 14' high from finished floor to ceiling.
- b. On all other streets:
 - i. The ground floor of commercial buildings and mixed-use structures with ground-floor commercial shall be a minimum of 11' and a maximum of 16' high from finished floor to ceiling.
 - ii. The ground floor of multifamily residential structures shall be a minimum of 10', and a maximum of 14' high from finished floor to ceiling.
 - iii. The ground floor of single-family, townhouse, and two and three-family dwellings shall be a minimum of 9', and a maximum of 14' high from finished floor to ceiling.
- c. Each story above the first story in commercial and residential buildings shall be a minimum of 8' feet and a maximum of 12' high from floor to ceiling. Floors more than 12', as measured from floor to ceiling, will count as additional floors. A half story is a finished living floor which is contained wholly or predominantly within the roof of a structure and is subject to the regulations of the local building code.
- d. Two-story building height requirement: The intent of the requirement for two-story buildings along the majority of the mixed-use corridors is to create appropriately scaled street walls, to promote traditional urban mixed use development, and to ensure upper level activity along street facades contributing to the overall vitality of the area and providing eyes on the street from upper level windows. Where a 2 story minimum building height is required, the following exceptions are permitted:
 - i. Minimum Overall Height: Buildings may be constructed to a minimum height of 24', as defined in Section 6.8.D. The second floor is not required to be constructed, however the building must be sufficiently designed and engineered able to accommodate a full second story in the future.
 - ii. Mezzanines: the intent of mezzanines is to provide upper level activity along street facades. Thus a building with a Mezzanine that

pulls away from the primary facades does not satisfy the intent of this code requirement. Mezzanines must meet following conditions:

- (A). All buildings must include a minimum massing of 2 stories extending fully along all street fronting facades and any side fronting facade or facade visible from a corner. If a building cannot meet this standard through the use of a mezzanine, then the mezzanine will not be permitted to fulfill the 2 story requirement.
- (B). A mezzanine must be designed as useable primary interior floor space, not storage, or other secondary, mechanical or service functions.
- (C). All mezzanine floor space must be located in direct contact with street fronting second floor windows.
- (D). A mezzanine level must meet all ceiling height standards of a second floor.
- (E). Mezzanine levels are required to meet all of the minimum-maximum window transparency requirements of a second floor.

2. Corner Radii and Clear Zones

Corner curb radii shall be between 9 feet and 15 feet. Fairly tight turning radii shorten pedestrian crossings and inhibit reckless drivers from turning corners at high speeds. To allow for emergency vehicles (e.g. fire trucks) to turn corners, a 25 foot radius Clear Zone shall be established free of all vertical obstructions such as telephone poles, sign poles, fire hydrants, electrical boxes, or newspaper boxes, etc. Wheelchair accessible ramps will be provided at intersections within the Clear Zone for disabled access.



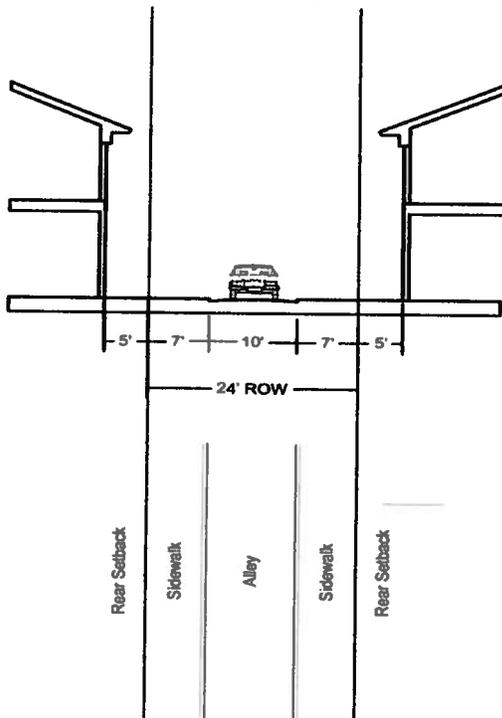
3. Streets

All applications for development in the Boundary Street Redevelopment District must include the design of street elements adjacent to the applicant's property. These designs must be according to the Street Type adjacent to

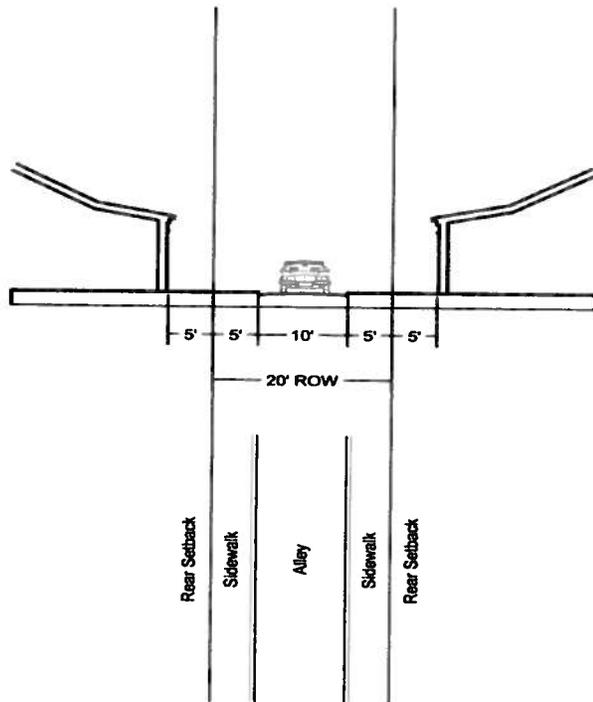
the property, as identified in the Street Types Section (Section F). The Street Type and the appropriate thoroughfare sections inform the applicant regarding how parking, sidewalk, tree plantings and other elements are to be sized and arranged. Contact with City Architect will provide clarification regarding the required design for each street. All streets and alleys shall connect to other streets. Cul-de-sacs and T-turnarounds are not permitted.

4. Alleys

Alleys are required in the Boundary Street Redevelopment District to minimize curb cuts and to provide access to parking and service areas behind buildings. Alley requirements may be waived by the City Architect for access to detached single family residential lots greater than 45 feet in width in situations in which proper streetfront orientation, pedestrian circulation, and parking can still be accomplished. Alley locations and dimensions are not fixed but shall be designed to accommodate the alley's purpose. Alleys may be incorporated into parking lots as drive aisles and fire lanes. Recommended sections for alleys are included below.



Commercial / Mixed-use Alley Section

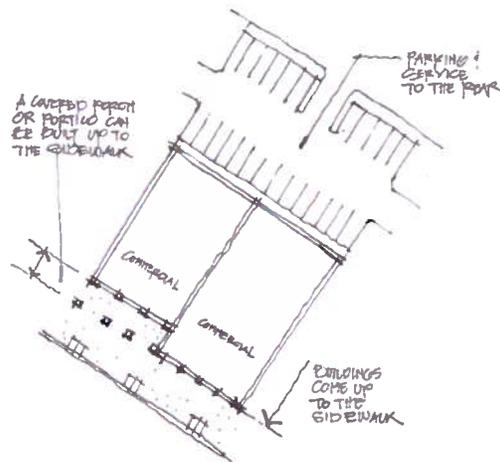


Residential Alley Section

5. Exceptions from Build-to Lines

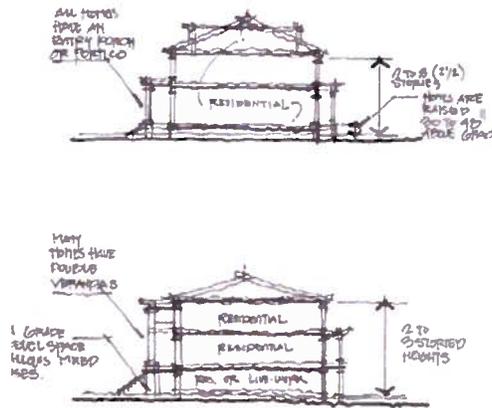
Exceptions from Build-to Lines may be granted by the City Architect for:

- a. avoiding trees with calipers greater than 8 inches.
- b. accommodating frontage elements on streets owned by SCDOT or encumbered by utility easements at the street frontage.



6. Finished Floor Heights/Elevation Above Grade

- a. Commercial structures or mixed-use structures with ground-floor commercial shall have a first finished floor 0-6" above sidewalk grade.
- b. Multifamily structures shall have a first finished floor height raised a minimum of 18" above average adjacent sidewalk grade, except on a House Street where the first finished floor height shall be the same as single-family residential structures (see subsection d below).
- c. Townhouses shall have the first finished floor height raised a minimum of 3' above average sidewalk grade.
- d. Single-family, two-family and three-family dwellings shall have a first finished floor height raised a minimum of 2' above average adjacent sidewalk grade. The first finished floor height can be elevated as much as 5' above average adjacent sidewalk grade without counting the undercroft as a story.



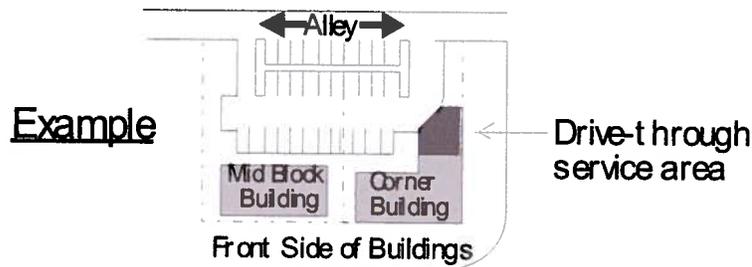
7. Accessory Structures

Accessory Structures for residential uses are permitted and may contain parking, accessory dwelling units, home occupation uses, storage space, and trash receptacles. Accessory structures **should** shall not be greater than 625 square feet in footprint and shall not exceed 2 stories in height.

8. Drive-thrus

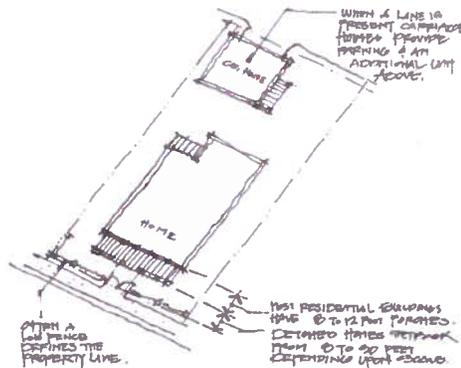
Drive-thrus, drive-thru windows, and drive-ups (collectively called "drive-thrus") are not permitted by-right within the Boundary Street Redevelopment District. Drive-thrus, except those at banks, may only be allowed when granted approval by the Zoning Board of Appeals as a special exception. Banks with drive-thrus may be approved by the City Architect under the conditions outlined below. In order for a drive-thru to be considered for approval by the Zoning Board of Appeals, it must conform to the following conditions:

- Drive-thru service windows must be located in the rear of properties, in mid-block and alley accessed locations;
- There shall be no minimum stacking requirements for vehicles, **however drive-thru must not circulate around, or be visible from, any street frontage.** ~~the maximum stacking allowed for vehicles shall be three vehicle lengths;~~
- There is only one drive-thru window;
- ~~There is no outside menu board or order board;~~
- **Outside menu or order board may be a maximum of 24 SF in size with a maximum height of 8' above grade.**
- The drive-thru window is not located on the façade of the building facing the primary street.



9. Fences

Fences shall be a minimum of 25% opaque. Fences ~~shall~~ **should** be constructed of materials that continue the architecture of the building that it abuts.



10. Civic Sites

Civic buildings contain uses of special public importance. Civic buildings include, but are not limited to, municipal buildings, churches, libraries, schools, recreation facilities owned by public or nonprofit agencies, and places of assembly. Civic buildings do not include retail buildings, residential buildings, or privately owned office buildings. Civic buildings should be monumental and should help to enhance the public realm, rather than take away from it. The buildings should evoke a civic character and be carefully designed to reflect the architectural character of Beaufort. In order to provide greater flexibility to create a special architectural statement, civic buildings are not subject to Building Volume or Building Placement requirements.

The design of civic buildings shall be subject to review and approval by the City Architect.

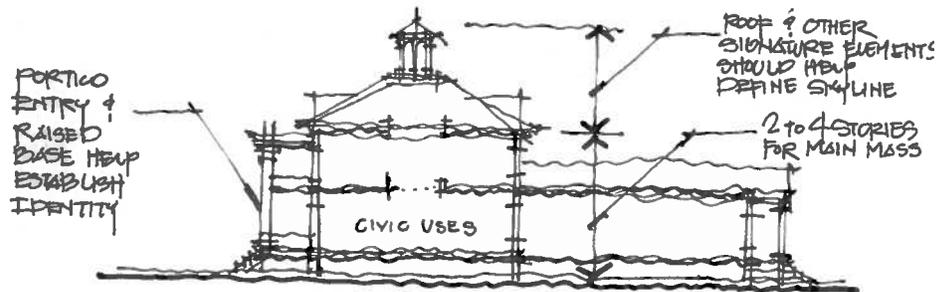
Civic buildings are reviewed on a case-by case basis. Although intended uses will be a significant determinant of form, there are several common design principles inherent to civic buildings. These principles affect their relationship to private buildings and to their setting as a whole.

The following design principles are for review of civic buildings:



Placement

- Civic buildings should be oriented toward the public realm (streets, squares and plazas) in a very deliberate way.
- Placement of buildings and primary architectural elements at the termination of public vistas can provide an appropriate level of visual importance.
- Building entrances should always take access from the most prominent façade(s). Avoid entrances that take access from the rear or are visually concealed.
- Placement of civic buildings, depending upon program and site, can often benefit from being set back from the adjacent build-to lines of private development. This allows the scale of the building to have more visual emphasis and can create a public space in the foreground. The amount of this setback should be carefully determined based on the urban design objectives of the particular site.



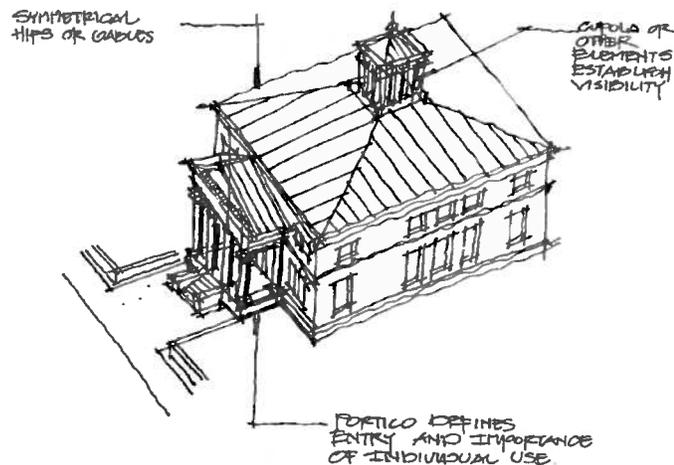
Massing

- The primary massing of civic buildings should be symmetrical in form. The appearance of a balanced design increases the level of formality which is appropriate to the public use.

- Massing of civic buildings, although often larger as a whole, should be divided into visually distinct sections. Massing divisions should provide visual order to the building and create vertical proportions within individual elements.

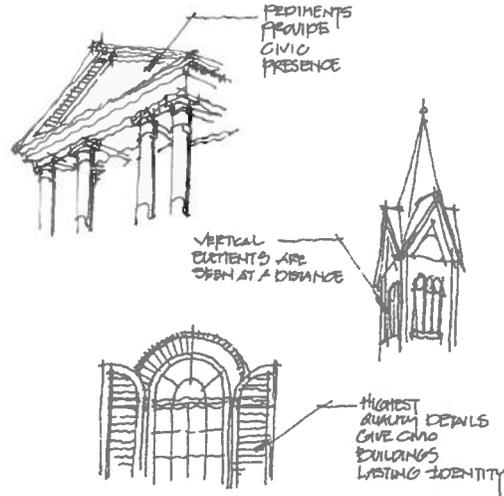
Scale/Height

- The scale of civic buildings should be larger than corresponding buildings in order to be more prominent and visible across greater distances.
- Floor-to-floor heights and architectural details should be proportionately larger than those of private buildings that exist or are anticipated within adjacent blocks.
- Prominent roof forms and additive elements such as cupolas can visually extend the height of the building.



Materials/Details

- It is of great importance that civic buildings be made of durable, high quality materials. The use of long-lasting materials is an expression of confidence in the future of the City.
- Civic buildings should be made of masonry, including brick, stone, and cast concrete. Stucco should be avoided as a material that lacks scale and texture. If used, stucco should be traditional, have integral pigment, and be scored to define human-scaled dimensions on the façade.
- Building details should be designed at two scales. At the larger scale, details should be robust to read from a distance. Closer to the building, the details of the lower levels should have another measure of refinement that can only be seen at the up-close, pedestrian scale.



11. Parking

The intent of these parking regulations is to encourage a balance between compact pedestrian oriented development and necessary car storage. The goal is to construct neither more nor less parking than is needed. The parking requirements and regulations are subject to review and adjustment by the City Architect.

a. Parking Requirements

For properties of one-half acre and less, there are no minimum parking count requirements in the Boundary Street Redevelopment District. For properties over one-half-acre, the minimum parking count requirement shall be 1 parking space for every 1000 square feet of leaseable or saleable building area. These parking spaces may be located either on-site, on-street (directly adjacent to a property), in shared parking scenarios, or in any public parking facility, the closest outside edge of which facility is located no more than 500 feet from the entry to the proposed building. Documentation for any leased or shared spaces must be provided. Credit shall be given for on-street parking spaces located within the public right-of-way that are directly in front of or adjacent to a property.

Minimum parking space dimensions for head-in or diagonal parking shall be 9 feet by 18 feet. Parallel parking spaces shall be 7 feet by 20 feet minimum. Drive aisles in parking lots shall be 22 feet wide for two-way circulation and to provide adequate backup space for 90 degree head-in parking. Diagonal parking and parallel parking spaces can be accessed with one-way 10 foot wide drive aisles.

Parking shall be provided as necessary to meet the requirements of the Americans with Disabilities Act.

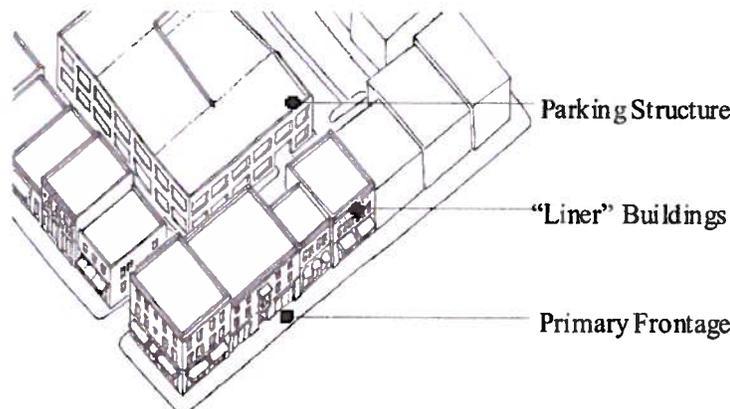
Maximum parking standards should be governed by Section 7.5.A of the UDO.

b. Off-Street Surface Parking Lot Placement

Wherever possible, parking lots shall be located behind buildings, such that buildings separate parking areas from the street. In no case shall parking be located in front of a building. Off-street surface parking lots shall be set back a minimum of 10 feet from property lines along public rights-of-way, excluding alleys. Outbuildings serving as garages facing alleys shall be permitted within this setback. Parking beneath a building is permitted if the parking is screened from the street by the building. Off-street surface parking lots shall be screened from the street, from park space, and from cemeteries, with shrubbery, walls, fences, or some combination. These screening devices shall be a minimum of 3.5' in height and should have a minimum 50% opacity. If shrubs are used for screening, a minimum of 2/3 of the shrubs shall be evergreen. Shrubs shall be projected to reach their required height within 3 years of installation.

c. Structured Parking

Parking structures shall be set back from the property lines of all adjacent streets to reserve room for Liner Buildings between parking structures and the lot frontage. The Liner Building shall be, at a minimum, the same height as the parking structure and no less than 20 feet in depth. Liner Buildings may be detached from or attached to parking structures. Exceptions to these rules may be granted for lots less than 140 feet deep.

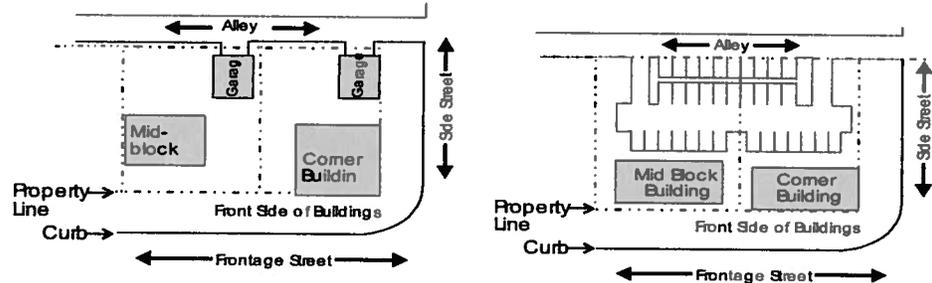


d. Access to Off-Street Parking

Alleys shall be the primary source of access to off-street parking. Parking along alleys may be head-in, diagonal or parallel.

Alleys may be incorporated into parking lots as standard drive aisles. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is also encouraged.

Corner lots that have both rear and side access shall access parking through the rear (see diagrams below).



Garages should always be accessed from the alley and located in the rear of the lot.

If no alley exists, then efforts should be demonstrated attempting to get cross access across neighboring properties for rear parking.

Circular drives for civic buildings or hotels shall be permitted upon review and approval by the City Architect. Circular drives are prohibited for all other building types and uses.

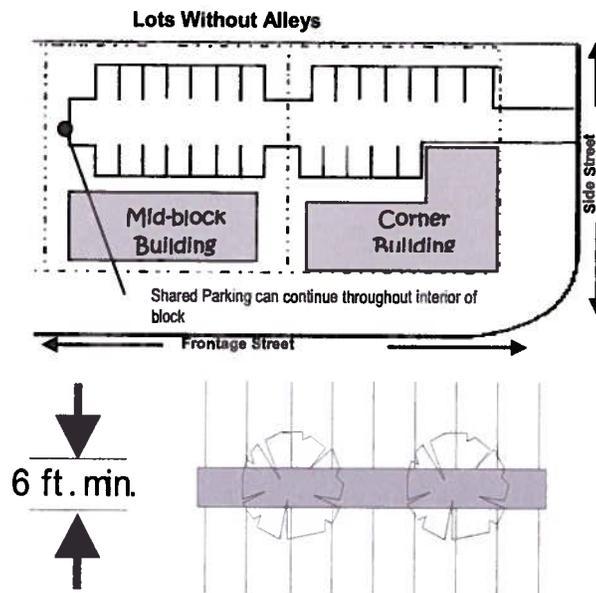
e. Garages where alleys are not present

If no alleys exist, then garage door(s) shall be positioned no closer to streets, squares or parks than 20 feet behind the principal plane of the building frontage. Garages facing streets, squares or parks are limited to one car width; and garage doors shall not exceed 10 feet in width. Where space permits, garage doors shall face the side or the rear, not the front.

Two-car garages are allowed where alleys are not present, so long as the garage is located in the rear of the lot. Garage doors shall not exceed 10 feet, and the driveway shall be a maximum of 10 feet wide in front of the principal plane of the building.

f. Parking Lot Landscaping Requirements

Landscape medians of at least six feet in width shall be provided between parking isles of either head-in or diagonal parking. Each landscape median shall have at least one tree for every 20 linear feet, or portion thereof, and be covered with grass, shrubs, or living ground cover. This spacing may be modified by the City Architect based on the proposed tree species. To minimize water consumption, the use of low-water vegetative ground cover other than turf is encouraged.



In lieu of landscape medians, landscape islands can be provided. No more than 8 consecutive parking stalls are permitted without a landscape island of at least 6 feet in width and extending the entire length of the parking stall. A minimum of one **overstory** tree shall be planted in each landscape island.

Medians and islands shall be protected by curbing, wheel stops, **or other appropriate means as determined by the City Architect.**

12. Large Footprint Buildings

Buildings with a footprint greater than 20,000 square feet may be built within the Boundary Street Redevelopment District by special exception only. Such buildings must abide by all rules in this code with the following special limitations:

- c. Buildings may be one story in height and can only be on streets designated as "Boundary Street", "Robert Smalls Parkway", "Parallel Street" or "Main Street," but shall be at least 24 feet in height. This may be accomplished with Liner Buildings, **mezzanines**, or higher ceiling heights and/ or parapets.
- d. To encourage use by pedestrians and decrease the need for solely auto-oriented patronage, Large-Footprint Buildings must reinforce the urban character of Boundary Street and shall therefore front the buildings to the sidewalks, providing windows and doors at frequent intervals. Operable doorways should occur on an average of every 50 feet for the whole length of the street frontage.
- e. Building footprints shall not be larger than a single block, **with a maximum dimension of 350'x350'**. Floor area of buildings shall not cantilever over public rights-of-way.
- f. Loading docks, service areas and trash disposal facilities shall not face streets, parks, squares, waterways, or significant pedestrian spaces.



Large Footprint Buildings are wrapped in a liner of smaller buildings with doors and windows



Large Footprint Building has blank facades and sits behind a field of parking.

13. **Opacity & Facades**

Opacity requirements shall meet the parameters described in *Architectural Standards*, Section 6.8.C.13-2

14. **Accessibility**

All buildings and streetscapes will be designed in compliance with the Americans with Disabilities Act. Refer to ADA Standards for Accessible Design, issued by the Department of Justice on July 1, 1994.

C. **Building Elements**

General Requirements:

1. **Door & Window Openings**

The primary entrance to all buildings shall be located on the exterior wall facing the frontage street.

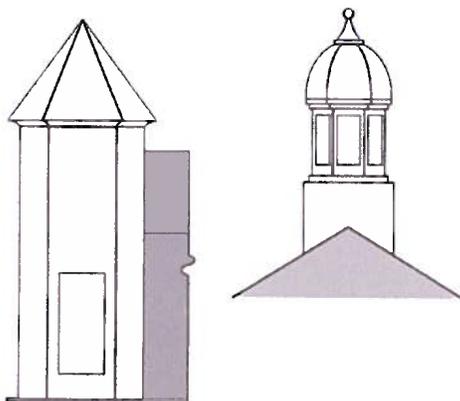
Windows shall be rectangular, square, circular, semi-circular, or octagonal. Rectangular window openings facing streets shall be oriented vertically. ~~Each facade facing streets shall contain 15% to 70% of transparent materials on each story below the roof line.~~

For commercial buildings or floors, each facade facing streets shall contain a minimum of 40% of transparent materials on each story below the roof line.

For residential buildings or floors, each facade facing streets shall contain 15% to 75% of transparent materials on each story below the roof line.

2. Turrets and Cupolas

If a building has a turret or cupola, the following regulations shall apply.

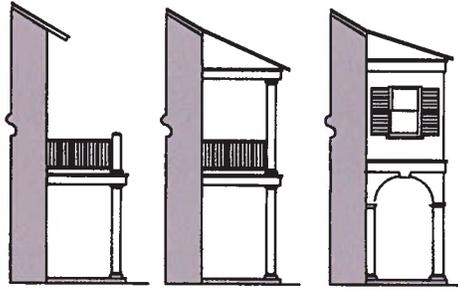


Plan = 20' x 20' Maximum Footprint Area
Height = If footprint is larger than 10' x 10', then the cupola / turret may extend a maximum of 25' above the roofline of the highest story. If footprint is less than 10' x 10', then the turret or cupola may extend to a maximum of 50' above the roofline of the highest story.

Commercial / Mixed-use Buildings:

The following standards shall apply to commercial / mixed-use structures in the District. Each are permitted in the district but are not required; however, for buildings fronting Boundary Street, Ribaut Road, Robert Smalls Parkway, Parallel Street, Main Street, and Park Street building fronts are required to provide shelter to the sidewalk by means of at least one of the following: arcade, colonnade, marquee, awning, or 2nd floor balcony. Alternate means may be deemed appropriate as approved by the City Architect.

3. Colonnades / Arcades



Note: enclosed useable space not permitted in the right-of-way.

Depth = 8 ft minimum from the principal façade to the inside column face.
18" from outside column face to curb.

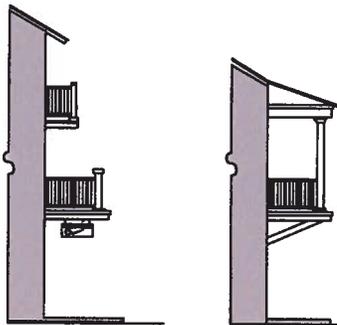
Height = 10 ft minimum clear.

Length = 75% **minimum** ~~100%~~ of Building Front (for Storefronts only).

Open multi-story verandas, awnings, and balconies, and enclosed useable space shall be permitted above the colonnade. Enclosed useable space shall be permitted above the colonnade when not located in the right-of-way.

Colonnades **should** ~~shall~~ only be constructed where the minimum depth can be obtained. Colonnades shall occur forward of the principal façade and may encroach within the right-of-way, but shall not extend past the curb line. Colonnades, if located in the right-of-way, may replace street trees along their length. Colonnades that encroach into the right-of-way may not have enclosed useable space above. On corners, colonnades may wrap around the side of the building facing the side street.

3. Balconies



Depth = **5** 8 ft minimum for 2nd floor balconies.

Height = 10 ft minimum clear.

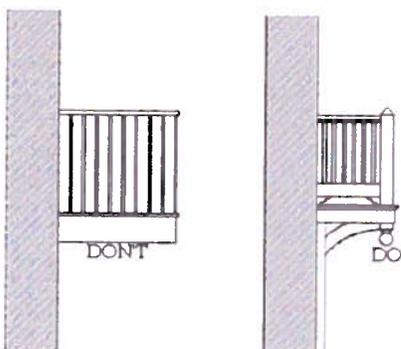
Length = ~~up to 100% of Building Front (for Storefronts only).~~

Balconies may differ in length and depth.

Balconies shall occur forward of the Build-to Line and may encroach over the right-of-way. If ROW is owned by SCDOT, City Architect can adjust the Build-to Line to accommodate a balcony.

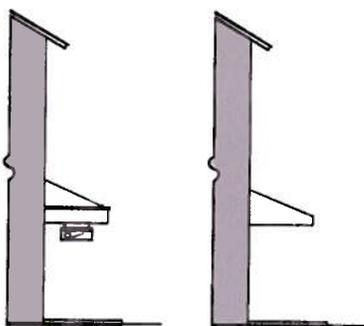
Balconies may have roofs, but are required to be open-air parts of the building; i.e., balconies cannot be screened or glassed in.

On corners, balconies may wrap around the side of the building facing the side street.



Balconies should always be supported in some way and should also appear safe to stand on and under.

4. Marquees & Awnings



Depth = 6 ft minimum.

Height = 8 ft minimum clear.

Length = 50% minimum to 100% of Building Front (for Storefronts only).

~~The above requirements apply to first floor awnings. There are no minimum requirements for awnings above the first floor.~~

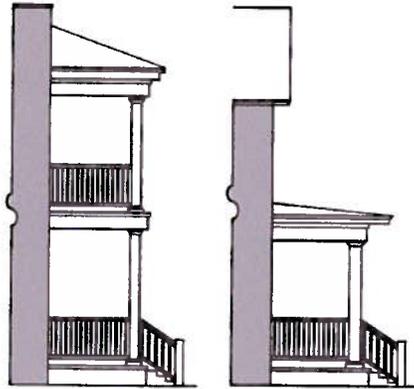
Marquees and Awnings shall occur forward of the Build-to Line and may encroach over the right-of-way.

Awnings shall be made of fabric or metal. High-gloss or plasticized fabrics are prohibited.

Residential Buildings:

The following standards shall apply to residential structures in the District. Each are permitted in the district but are not required; however, for buildings fronting Neighborhood Streets or House Streets, building fronts are required to have at least one of the following: porch or stoop.

5. Porches



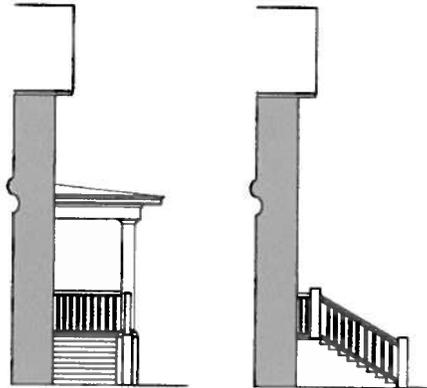
- Depth = 8 ft minimum from building face to inside column face.
- Length = 25% **minimum** ~~to 100%~~ of Building Front.
= 25% **minimum** ~~to 100%~~ of Building Side for wrap-around porches.
- ~~Height = 96" maximum.~~
- Overhang = 2 ft minimum.

Front Porches may be multi-story, with verandas and/or balconies above.

Front Porches may occur forward of the Build-to Line or Zone. Porches shall not extend into the right-of-way.

Front Porches may be screened; however, if screened, all architectural expression (columns, railings, pickets, etc.) must occur on the outside of the screen (facing the street or public space).

6. Stoops



Depth = 4 ft minimum

Length = 10% to 25% of Building Front. (length does not include stairs)

Height = 30" minimum from grade to top of first finished floor.;~~96"~~
~~maximum.~~

Stoops may occur forward of the principal façade, but shall not extend into the right-of-way. Stoop stairs may run to the front or to the side. Stoops may be shared by two adjacent units as long as both units meet the above dimensional requirements.

Sidewalks shall have a minimum 5' clear access for pedestrians. Stoops may be covered or uncovered.

D. Architectural Standards

This section specifies building materials, details and configurations. Building designs which strictly comply with these standards are to be considered approved for matters of aesthetics and shall not require further discretionary review for architectural character or appearance. Building designs which do not comply with these standards may be permitted, but only after review and approval by the City Architect.

The lists of permitted materials and configurations come from study of traditional buildings found in the Lowcountry and have been selected for their appropriateness to the visual environment and climate.

A primary goal of the Architectural Standards is authenticity. The Standards encourage construction which is straightforward and functional, and which draws its ornament and variety from the traditional assembly of genuine materials. The City Architect shall have authority to approve substitute materials for those listed as options under the Architectural Standards. As an additional reference for architectural standards, refer to Traditional Construction Patterns by Stephen Mouzon, McGraw Hill, 2004.

General Requirements:

The following shall be located in rear yards or sideyards not facing side streets:

- Window and Wall Air Conditioners;
- Air Conditioning Compressors;
- Irrigation and pool pumps; and
- Electrical Utility Meters.
- Satellite dish antennas greater than 18" in diameter (satellite dishes must be shielded from view from the street or public space)

The following shall be located in rear yards only:

- Antennas;
- Permanent Barbecues; and
- Refuse enclosures.

The following are prohibited:

- Undersized shutters (the shutter or shutters must be sized so as to equal the width that would be required to cover the window opening.)
- Plastic shutters;
- Clotheslines;
- Clothes Drying Yards;
- Reflective and/or bronze-tint glass;
- Plastic or PVC roof tiles;
- Backlit awnings;
- Glossy-finish awnings; and
- Fences made of chain link, barbed wire, or plain wire mesh.

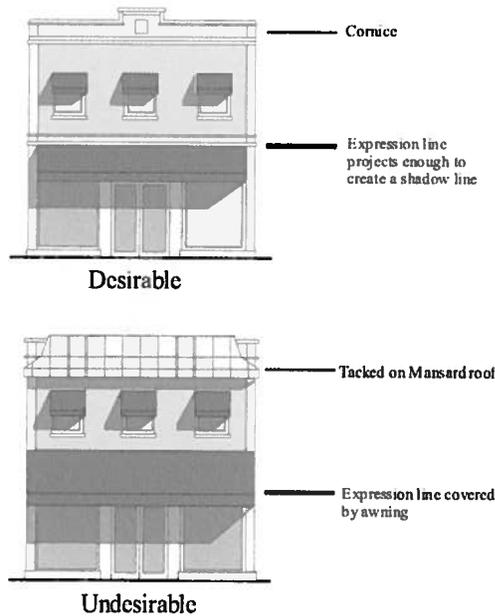
1. Building Walls

a. General Requirements

Required for all buildings except attached and detached single family houses:

An expression line **should** ~~shall~~ delineate the division between the first story and the second story. A cornice shall delineate the tops of the facades. Expression lines and cornices shall either be a molding extending a minimum of 2 inches, or a jog in the surface plane of the building wall greater than 2 inches.

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b. Permitted Finish Materials

- *Concrete masonry units with stucco (C.B.S.)
- *Reinforced concrete with stucco
- *Fiber cement board such as "Hardie-Plank" siding (50-year siding product)
- *Wood (termite resistant, 50-year siding product): painted or natural
- *Brick
- *Tabby
- *Other materials may be approved by the City Architect.
- *Wherever possible, Green building materials are encouraged in the construction of building walls, including recycled-content sheathing, siding composed of reclaimed or recycled material, and salvaged masonry brick or block.

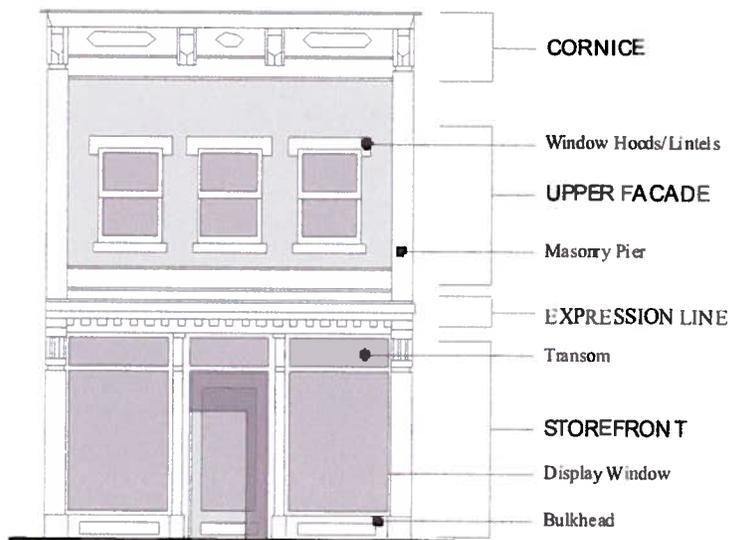
2. Storefronts

a. General Requirements

Storefronts are encouraged as a building frontage type in retail applications.

Required for all buildings that have storefronts:

(1) Building Components



(2) Opacity

In order to provide clear views of merchandise in stores and to provide natural surveillance of exterior street spaces, the ground-floor along the building frontage shall have untinted transparent storefront windows and / or doors covering no less than 75% of the storefront wall area. Low emissivity glass with high visual light transmittance is permitted. Bottoms of the storefront windows shall be between 1 and 3 feet above sidewalk grade. Storefronts shall remain unshuttered at night and shall provide clear views of interior spaces lit from within.

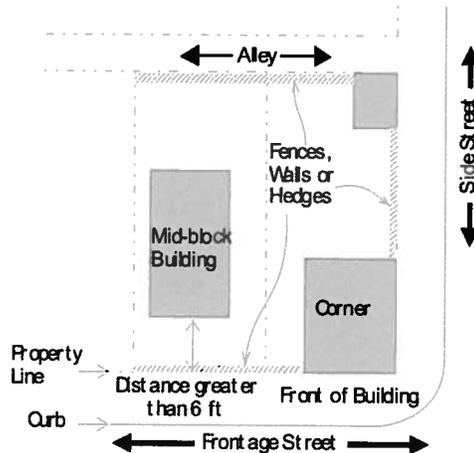
(3) Doors or Entrances

Doors or entrances with public access shall be provided at intervals no greater than 50 feet, unless otherwise approved by the City Architect.

3. Garden Walls & Fences

a. General Requirements

Fences, garden walls, or hedges are strongly encouraged and, if built, should be constructed along all un-built rights-of-way which abut streets and alleys as shown in the diagram below. Fences, garden walls, or hedges are encouraged along side yards and rear yards. Fences, garden walls and hedges shall be minimum 25% opaque.



Height of garden walls:

Front Yard: (in front of the primary structure) maximum height of 48 inches. Pillars and posts may extend up to 6 inches more, to a height of 54 inches.

Side and Rear Yards: (behind the principal façade of the primary structure) maximum height of 72 inches. Pillars and posts may extend up to 6 inches more, to a height of 78 inches.

b. Permitted Finish Materials

- *Wood (termite resistant), painted or stained; unpainted wood must be sealed
- *Concrete Masonry Units with Stucco (C.B.S.)
- *Reinforced Concrete with Stucco
- *Wrought Iron
- *Brick
- *Aluminum

c. Permitted Configurations

*Wood:

Picket Fences: minimum 25% opacity, w/ corner posts

Other: to match building walls

*Wrought Iron: Vertical, 5/8" minimum dimension, 4" to 6" spacing

*Brick

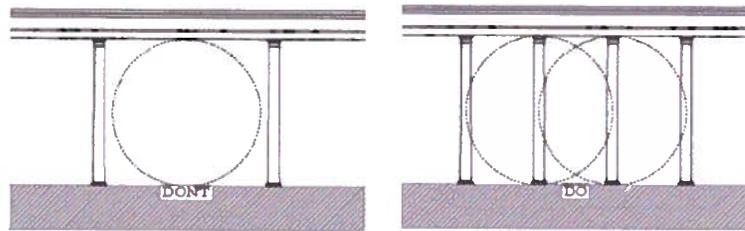
*Stucco: with texture and color to match building walls

4. Columns, Arches, Piers, Railings & Balustrades

a. General Requirements

(1) Column and Pier spacing:

Columns and Piers shall be spaced no farther apart than they are tall.



Generally column bays should be equal and of precise proportions.

b. Permitted Finish Materials

(1) Columns:

Wood structure with finished wood or Hardie-plank cladding

Cast Iron

Concrete with smooth finish

Brick

(2) Arches:

Wood structure with finished wood or Hardie-plank cladding

Concrete Masonry Units with Stucco (C.B.S.)

Reinforced Concrete with Stucco

Brick

(3) Piers:

Wood structure with finished wood
or Hardie-plank cladding

Concrete Masonry Units with Stucco
(C.B.S.)

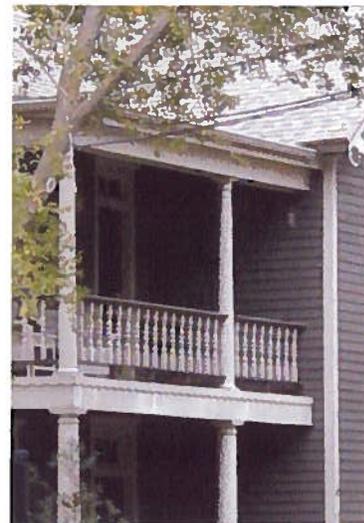
Reinforced Concrete with Stucco

Concrete with smooth finish

Cast iron

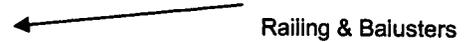
Brick

Tabby



- (4) Railings & Balustrades:
 - Wood (termite resistant), painted or natural
 - Wrought Iron

c. Permitted Configurations



- (1) Columns:
 - Square, 6" minimum, with or without capitals and bases
 - Round, 6" minimum outer diameter, with or without capitals and bases
 - Classical Orders (For classical column proportions refer to *American Vignola: A Guide to the Making of Classical Architecture by William R. Ware, W.W. Norton & Company, New York, 1977.*)

- (2) Arches:
 - Semi-circular & Segmental

- (3) Piers:
 - 8" minimum dimension

- (4) Porches:
 - Railings 2-3/4" minimum diameter
 - Balustrades 4" minimum spacing, 6" maximum spacing.
 - (All dimensions shall also conform to local building codes.)

5. Roofs & Gutters

a. General Requirements

- (1) Permitted Roof Types:
 - Gabled, hipped, shed, barrel vaulted, flat, mono-pitch, mansard and domed. Shed, flat, and mono-pitch roofs shall be concealed with parapets along the street frontage. Applied mansard roofs are not permitted.
- (2) Exposed rafter ends (or tabs) at overhangs are strongly recommended.
- (3) Downspouts are to match gutters in material and finish.

b. Permitted Finish Materials

- (1) Metal:
 - Galvanized
 - Copper
 - Aluminum
 - Zinc-Alum

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- (2) Shingles:
 - Fiberglass or Metal, "dimensional" type
 - Slate
 - Composite slate
 - Cedar shake
 - Asphalt

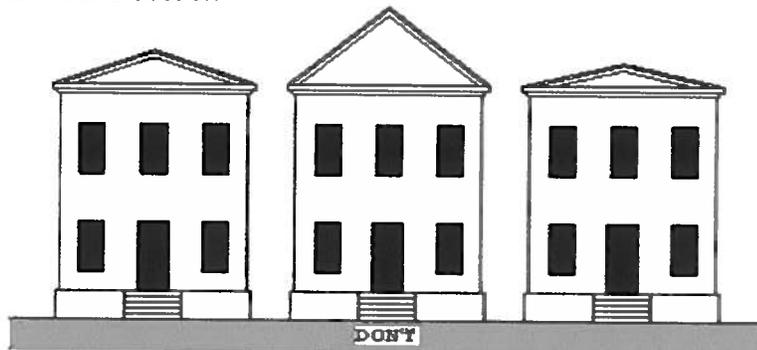
- (3) Tile:
 - Other options preferred; permitted only if approved by the City Architect.

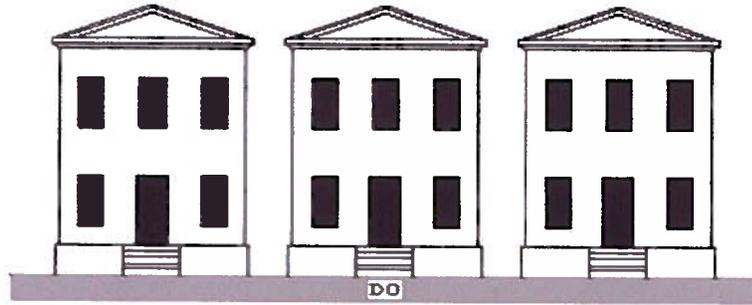
- (4) Membrane or built-up:
 - For flat and mono-pitched roofs only

- (5) Gutters:
 - Copper
 - Aluminum
 - Galvanized Steel

c. Permitted Configurations

- (1) Metal:
 - Standing Seam or "Five-vee," 24" maximum spacing, panel ends exposed at overhang
- (2) Shingles:
 - Square
 - Rectangular
 - Fishscale
 - Diamond
 - Shield
- (3) Gutters:
 - Rectangular section
 - Square section
 - Half-round section





In regards to roof slope, do not vary the slopes drastically within the same style. Instead base slopes on local syntax. As a generalization 12:12 is appropriate for primary roofs, while ancillary roof slopes may be 4:12. For larger buildings that have monopitch or shed roofs, as a generalization 4:12 is appropriate.

6. Windows, Skylights, & Doors*

a. General Requirements

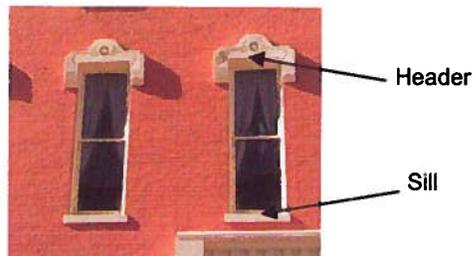
- (1) Window and door openings shall be taller than they are wide.
- (2) Window openings may be grouped horizontally.
- (3) Masonry Construction: A header and sill are required for all windows.
- (4) Wood Construction: Windows are required to have trim on all four sides.
- (5) The following accessories are permitted: Shutters, Window Boxes, Mullions, Fabric or Metal Awnings (no backlighting; no glossy-finish fabrics)

* The requirements for doors apply to the primary entrance to all buildings which shall be located on the exterior wall facing the frontage street. The requirements do not apply to parking garage doors or loading dock doors because they are required to be located in the rear of the buildings and are to be accessed by alleys.

b. Finish Materials

(1) Windows and Skylights:

- Wood
- Aluminum
- Copper
- Steel
- Clad Wood

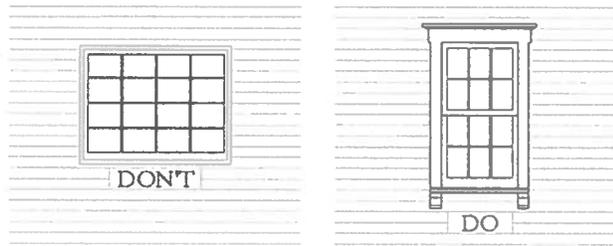


- (2) Doors:
 - Wood or Metal*
 - *In storefront locations, glass doors are allowed.

(3) Whenever possible, Green building materials shall be used for windows & doors, including wood/composite windows, finger-jointed wood windows, and reconstituted or recycled-content doors.

c. Permitted Configurations

- (1) Windows:
 - Rectangular
 - Square
 - Round (18" maximum outer diameter)



Horizontal windows do not reflect human proportions. Use vertical windows that respond to the human body. Use vertical or square window panes and restrict them to a few related proportions, such as 1:1.6 or 1:2.

- (2) Window Operations:
 - Casement
 - Single and Double-Hung
 - Industrial
 - Fixed Frame (36 square feet maximum)
- (3) Skylights:
 - Flat to the pitch of the roof
- (4) Door Operations:
 - Casement
 - French
 - Sliding (upper floors and rear only)

7. Opacity & Facades

~~See Section 6.8.I.1 Each floor of any building facade facing a park, square, or street shall contain transparent windows covering from 15% to 70% of the wall area. Tinted glass and reflective glass may be permitted with the approval of the City Architect.~~

8. Signs

a. General Requirements

- (1) All signs shall be subject to review by the City Architect in order that signs are consistent and in harmony with the Boundary Street Master Plan. The City Architect shall use graphics in this section as non-binding guidelines, but shall make a determination of appropriateness on a case by case basis.
- (2) Signs shall be flat against the facade, mounted projecting from the facade, or mounted above the top of the facade.
- (3) Signs can be hung underneath an arcade, perpendicular to the front wall, but only for the purpose of being seen within the arcade.
- (4) Signs shall be externally lit. Individual letters and symbols may be internally lit or back-lit.

b. Finish Materials

- *Wood: painted or natural
- *Metal: copper, brass, galvanized steel
- *Painted Canvas
- *Paint/engraved directly on facade surface
- *Plastic (channel letters only)

c. Configurations

- (1) Maximum gross area of signs on a given facade shall not exceed 10% of the applicant's facade area.
- (2) Maximum area of any single sign mounted perpendicular to a given facade shall not exceed 10 square feet.
- (3) Signs shall maintain a minimum clear height above sidewalks of 8 feet.

d. Nonconforming Signs

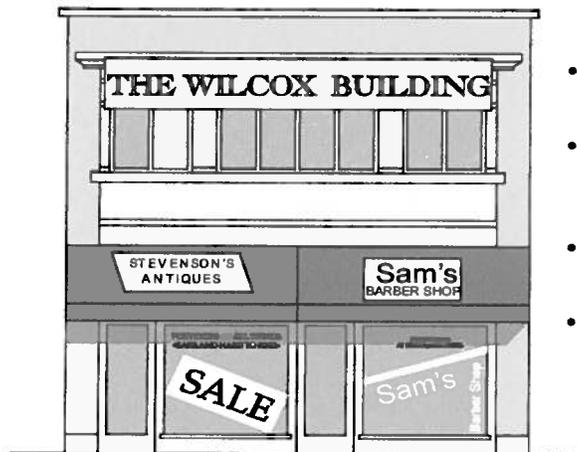
- (1) Signs not conforming to the requirements of this section shall be altered, removed, or otherwise brought into compliance with the

requirements of this section when improvements to existing buildings exceed 50% of the present building value.



Desirable

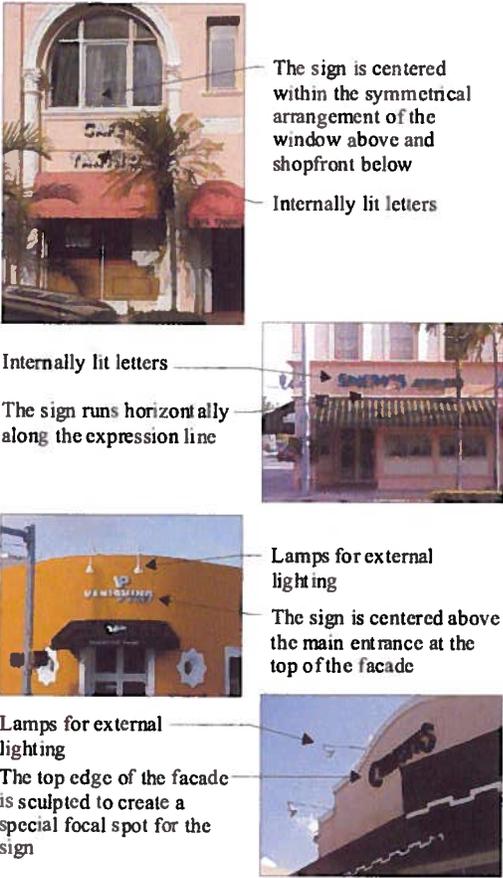
- Signs are coordinated in size and placement with the building and storefront



Undesirable

- Building sign conceals the cornice
- Over-varied sign shapes create visual confusion
- Awning sign covers the masonry piers
- Sale sign too large for storefront and poorly placed in display window

Example of Signs Flat Against a Façade:



The sign is centered within the symmetrical arrangement of the window above and shopfront below

Internally lit letters

Internally lit letters

The sign runs horizontally along the expression line

Lamps for external lighting

The sign is centered above the main entrance at the top of the facade

Lamps for external lighting

The top edge of the facade is sculpted to create a special focal spot for the sign

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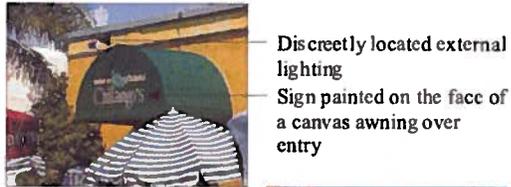
Elegant and reserved cast bronze address plate located at pedestrian eye level

Sign painted directly on the facade above the main entrance

External lighting discreetly located above the awning

Internally lit plastic signs are designed for the "strip", not a pedestrian oriented town center

Example of Signs Mounted Projecting from the Façade:



Discreetly located external lighting
 Sign painted on the face of a canvas awning over entry

Neon signs can provide a warm glow, enhancing night time pedestrian activity



Signs on the sides of awnings are directly in the line of sight of pedestrian customers

Vertical projecting signs are highly visible far down the street

A lower marquee sign caters to people on foot and in cars passing directly in front of the venue



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A sign extending from the corner of a building is highly visible along two streets

A second lower sign catches the eye of pedestrians passing in front of the entrance

Signs hanging from the ceilings of arcades command the attention of pedestrian shoppers



Monument signs fit within the deep setbacks of suburban strip development to direct motorists to stores set too far back

Examples of Signs Mounted Above the Top of the Façade:

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Signs projecting from the tops of buildings are highly visible from a great distance

This distinctive sign, made of individual letters projecting from the front of the facade and extending above the cornice line, is memorable to shoppers and is highly visible from many directions



A second lower sign marks the entrance to the store



Projecting signs which break the skyline are visible from a variety of distances and serve as beacons to customers when lit at night

Signs projecting above the roof stand out against the sky, adding an architectural flair to a shop's identity



Pole mounted signs are designed to fit in deep suburban setbacks and are not appropriate for pedestrian-oriented environments

Billboards cater entirely to motorists traveling at high speeds



APPENDIX

Civic Art, by Hegemann and Peets;

Great Streets, by Allan B. Jacobs;

The Charter of the New Urbanism, by Congress for the New Urbanism;

AIA Graphic Standards, 9th Edition;

Traditional Construction Patterns, by Stephen A. Mouzon;

The Lexicon of the New Urbanism, by Duany et al, Congress for the New Urbanism;

Shared Parking, by Barton-Aschman Associates, The Urban Land Institute;

The American Vignola: A Guide to the Making of Classical Architecture, by William R. Ware.

City of Beaufort Department of Planning and Development Services

M E M O R A N D U M

TO: Beaufort--Port Royal Metropolitan Planning Commission

FROM: Libby Anderson, Planning Director

DATE: August 12, 2014

SUBJECT: Setback for Side-Loaded Garages

We have recently received a number of new house plans with side-loaded attached garages. To ensure there is adequate turning radius for vehicles to access the garage, a side yard setback greater than those required in our residential zoning districts is necessary. Staff is proposing to revise Section 5.4.G, "Setback and Other Yard Requirements for Accessory Structures," (attached) by adding a new paragraph 5 to read as follows:

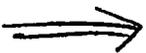
5. Garages, where garage doors face a side property line, shall be set back a minimum of 22' from the side property line.

- b. Is visible from the street;
- c. Generates traffic, parking, sewerage, or water use in excess of what is normal in the residential neighborhood;
- d. Creates a hazard to persons or property;
- e. Results in electrical interference;
- f. Is a nuisance; or
- g. Results in the outside storage or display of anything.

4. Prohibited Home Occupations

The following are prohibited as Home Occupations:

- a. Automobile and/or body and fender repairing;
- b. Food handling, processing or packing, other than catering services that utilize standard home kitchen equipment;
- c. Repair, manufacturing and processing uses; however, this shall not exclude the home occupation of a seamstress where goods are not manufactured for stock, sale or distribution;
- d. Restaurants;
- e. Uses which entail the harboring, training, raising or treatment of dogs, cats, birds or other animals on-site;
- f. Body piercing facilities; and
- g. Tattoo facilities.

 **G. Setback and Other Yard Requirements for Accessory Uses**

All accessory uses operated in structures above ground level, including in-ground or above-ground pools, shall observe all setbacks, yard and other requirements set forth for the district within which they are located, with the following exceptions:

- 1. Water-oriented facilities such as docks, marinas, boat houses, etc., which shall be allowed to infringe into required setback areas along shorelines and into rivers, lakes, streams and other waterways.
- 2. On single-family and two-family residential lots, the side and rear yard setbacks for nonhabitable accessory structures less than 500 square feet in size and 15' in height may be reduced to 5'.
- 3. On single-family lots the Historic District, the side and rear yard setbacks for accessory structures may be reduced to 5'.
- 4. Garages, where garage doors face the street, shall be set back from any street property line a minimum of 20'.

City of Beaufort Department of Planning and Development Services

M E M O R A N D U M

TO: Beaufort–Port Royal Metropolitan Planning Commission
FROM: Libby Anderson, City of Beaufort Planning Director 525-7012
DATE: August 12, 2014
SUBJECT: Status Report on City Council Actions

UDO Amendment Revising Landscaping and Tree Conservation Ordinance. A public hearing is scheduled for the August 26 City Council meeting.

UDO Amendment Regarding Drive-Thru Facilities in the Boundary Street Redevelopment District. A public hearing is scheduled for the August 26 City Council meeting.

UDO Amendment Pertaining to Gas Station Signage. A public hearing is scheduled for the August 26 City Council meeting.

Please contact me with any questions on this information.

Thank you.