

**1103 BATTERY CREEK ROAD  
VARIANCE APPLICATION**

Lonnie E. Elliott  
1103 Battery Creek Road  
Beaufort, SC 29902-6308  
843.522.8848

City of Beaufort Zoning Board of Appeals  
1911 Boundary Street  
Beaufort, South Carolina 29902

Greetings:

I am requesting a variance so I can build a 360 square foot shed in my back yard. My goal is to have one of the prettiest yards in all of Mossy Oaks. In order to make that a reality I need a shed to store my lawn mowers, trimmers, wheel barrow, power tools, hand tools, and various other implements and tools. My wife also needs an area for potting flowers and other plants to beautify our yard.

I have given a great deal of thought to this over time and have explored my options. I do not want to buy a pre-built shed and have it hauled in because it will not be large enough to suit my needs. The shed, or pieces of it, could wind up in my neighbors' yards should we get a storm of any significant size and quite frankly, I find many of them to be eyesores or unsightly at the very least.

I do not have the time to stick build a shed at this point and hiring someone else to build what I need would be cost prohibitive.

The best option is to pour a good slab and construct a quality steel building that matches the color of my home. The shed will not be easily seen from the street, will not be as tall as my home, will blend in with its surroundings, and actually be a nice looking building. The building will withstand a wind load in excess of 140 miles per hour and will retain its pleasant appearance for many years to come.

The reason I am asking for a variance is my shed exceeds the 320 foot size limit by 40 square feet. These sheds come in standard widths of 12, 18, and 24 feet and a standard length of 20 feet. Although a 12 foot wide shed would meet the code requirements for size it would not meet my needs because I would not be able to install a decent sized door in a shed that narrow and storing/retrieving tools or materials would be more difficult because they would be much more likely to be behind other tools, etc. than if they were in a wider building.

I have discussed this with my neighbors and they approve of my plans to build a shed as well as with my choice of materials.

I ask that you grant this variance of 40 square feet so I can apply for my building permit and build my shed.

Sincerely,



Lonnie E. Elliott

AP# 11851  
\$ PAID  
7/20/15

City of Beaufort Zoning Board of Appeals  
1911 Boundary Street  
Beaufort, South Carolina 29902  
Phone (843) 525-7011 / Fax (843) 986-5606  
E-Mail: [jbachety@cityofbeaufort.org](mailto:jbachety@cityofbeaufort.org)  
\*Revised September 12, 2014

Aug. 24th

Application Fees	
<input checked="" type="checkbox"/>	Residential \$200
<input type="checkbox"/>	Commercial \$300
<input type="checkbox"/>	Special Meetings \$500

### VARIANCE APPLICATION

OFFICE USE ONLY: Date Filed: 7-20-15 Application #: 21018 Zoning District: R-2

### Instructions

Entries must be printed or typewritten. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not the owner, the owner(s) must sign the Designation of Agent (below).

### Submittal Requirements

1. A legal survey of the property. 2. An accurate, legible site plan showing the north arrow, dimensions, and locations of all existing and proposed structures and any improvements relevant to the appeal such as trees, fences, power lines. Six copies of all plans are required. 3. Photograph(s) of the site. For variances, include photos showing relationship to adjoining properties.

APPLICANT(S): LONNIE E ELLIOTT  
 Address: 1103 BATTERY CREEK RD, BFT, 29902  
 Telephone: 843-263-8290 [day] 843-982-6378 [fax]  
 E-mail: LELLIOTT\_2@EMBAR@MAIL.COM

OWNER(S) if other than Applicant(s): \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_ [day] \_\_\_\_\_ [fax]

PROPERTY STREET ADDRESS: 1103 BATTERY CREEK RD

Tax Map No.: 6  
 Parcel No.: 102

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  
 \_\_\_ Yes \_\_\_ No

DESIGNATION OF AGENT [complete only if owner is not applicant]:  
 I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.  
 Date: \_\_\_\_\_ Owner's Signature: \_\_\_\_\_

I (We) certify that the information in this application is correct.

Date: 7/20/2015 Applicant's Signature: [Signature]

City of Beaufort Zoning Board of Appeals  
1911 Boundary Street  
Beaufort, South Carolina 29902  
Phone: (843) 525-7011, Fax: (843) 986-5606  
E-Mail: [ibachety@cityofbeaufort.org](mailto:ibachety@cityofbeaufort.org)  
\*Revised September 12, 2014

VARIANCE APPLICATION

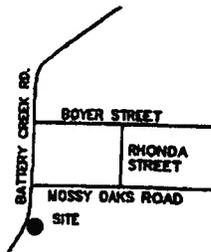
Applicant hereby appeals to the Zoning Board of Appeals for a variance from the strict application to the property described on Page 1 of the following provisions in Section 3.15 of the Unified Development Ordinance (UDO):

so that a building permit may be issued to allow use of the property in a manner shown on the attached plot plan, described as follows: (e.g., build a garage) build a shed  
in my backyard

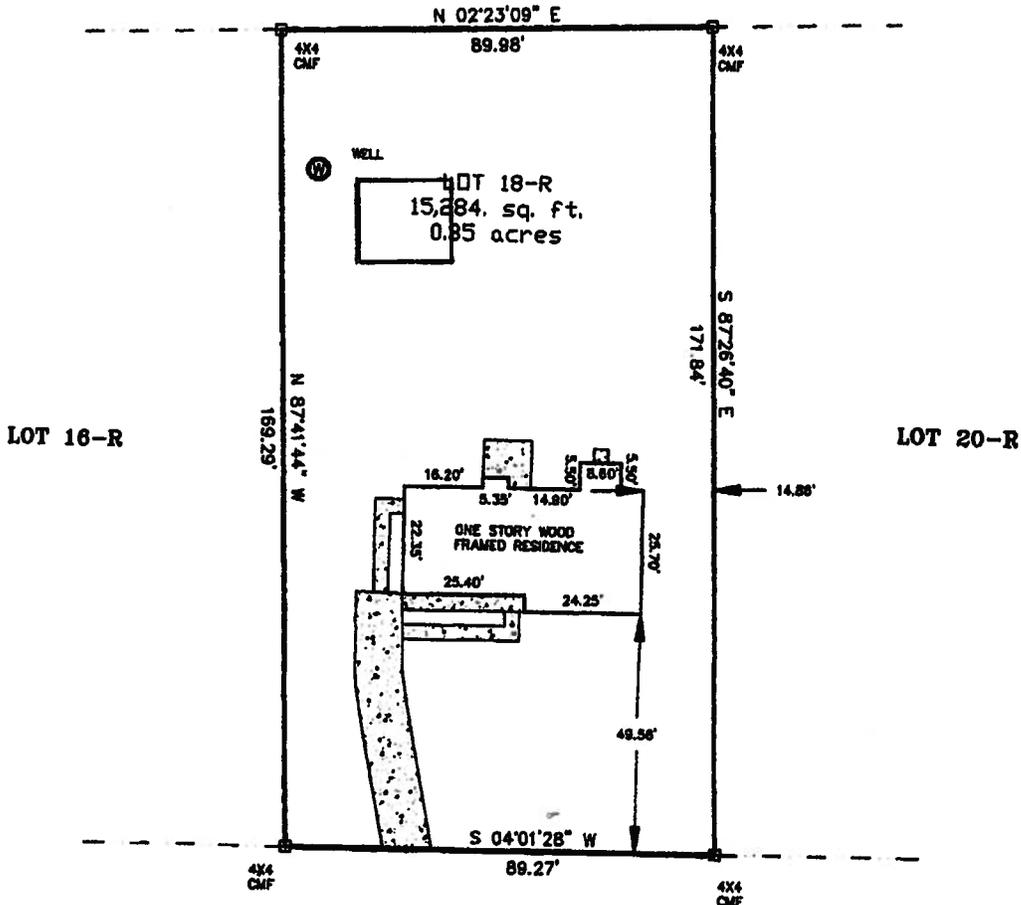
for which a permit has been denied by a building official on the grounds that the proposal would be in violation of the cited section(s) of the UDO:

1. The application of the UDO will result in unnecessary hardship, and the standards for a variance set by State law and the UDO are met by the following facts:
  - a. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: There is no storage on the property and very little inside the home to include closets + tiny attic crawl space.
  - b. These conditions do not generally apply to other property in the vicinity as shown by: The adjoining properties have large sheds or enclosed garages for storage.
  - c. The conditions are not the result of the applicant's own actions as follows: Subsequent to receiving a warning from the City homeowner had had to rent off-site storage space.
  - d. Granting of the variance would not substantially conflict with the Comprehensive Plan and the purposes of the UDO in that: The requested variance is only 40 sq. ft. (12.5%) larger than provided in UDO.
  - e. Because of these conditions, the application of the UDO to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: time effort and added expense of having to use public storage units due to not having on-site storage.
  - f. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: Adjacent property has 360 sq. ft. shed plus attached greenhouse. Property to rear has large shed in disrepair. My shed will approximate the color of my house + will blend in with the surroundings.

GASQUE & ASSOCIATES INC.  
 LAND SURVEYORS & PLANNERS  
 701 BLADEN STREET, SUITE 207, BEAUFORT, S.C.  
 P.O. BOX 1363, BEAUFORT, S.C.  
 PHONE (803) 522-1788



VICINITY MAP NOT TO SCALE



BATTERY CREEK ROAD 60' R/W

ASBUILT SURVEY PREPARED FOR

**LONNIE E. ELLIOTT**

BEING LOT 18-R, MOSSY OAKS FARM SUBDIVISION AS SHOWN ON A PLAT BY ARTHUR O. CHRISTENSEN DATED FEBRUARY 10, 1953 AND RECORDED IN PLAT BOOK 22, PAGE 45. BEAUFORT COUNTY R.M.C. OFFICE.

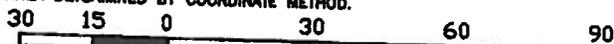
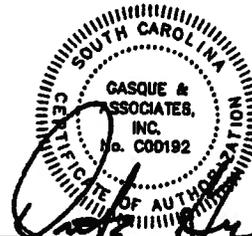
BEAUFORT TAX MAP 120-006-0102

LOCATED IN THE CITY OF BEAUFORT, BEAUFORT COUNTY, S.C.

THIS PROPERTY LIES IN FLOOD ZONE A-B, BASE ELEV. 13.00 AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 450028 008 D. DATED 08/29/86

THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY SHOWN HEREON COMPLIES WITH THE BEAUFORT COUNTY DEVELOPMENT STANDARDS ORDINANCE

I, DAVID E. GASQUE, HEREBY CERTIFY TO LONNIE E. ELLIOTT THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL. AREA DETERMINED BY COORDINATE METHOD.



SCALE 1" = 30' SCALE IN FEET DATE 09/27/96

DAVID E. GASQUE, R.L.S. 908 8486  
 S.C. REGISTRATION NUMBER 10506 FB / 175 DOC/PL



FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

OMB 3087-0077
Expires June 1982

ELEVATION CERTIFICATE

This form is to be used for: 1) New/Emergency Program construction in Special Flood Hazard Areas; 2) Pre-FIRM construction after September 30, 1982; 3) Post-FIRM construction; and, 4) Other buildings rated as Post-FIRM rules.

BUILDING OWNER'S NAME ADDRESS

PROPERTY LOCATION (Lot and Block numbers and address if available)

LOT 18R, MOSSY OAKS FARM SUBDIVISION, BEAUFORT COUNTY, SC

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. code, Section 1001.

SECTION I ELIGIBILITY CERTIFICATION (Completed by Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor)

Table with columns: COMMUNITY NO., PANEL NO., SUFFIX, DATE OF FIRM, FIRM ZONE, DATE OF CONSTR., BASE FLOOD ELEV. (in AO Zone, use depth), BUILDING IS. Values: 450026, 0005, D, 9/29/86, A8, , 13.00.

YES NO If it is intended that the building described above will be constructed in compliance with the community's flood plain ordinance. The certifier may rely on community records. The lowest floor (including basement) will be at an elevation of \_\_\_ ft. NGVD. Failure to construct the building at this elevation may place the building in violation of the community's flood plain management ordinance.

YES NO The building described above has been constructed in compliance with the community's flood plain management ordinance based on elevation data and visual inspection or other reasonable means. If NO is checked, attach copy of variance issued by the community.

YES NO The mobile home located at the address described above has been tied down (anchored) in compliance with the community's flood plain management ordinance, or in compliance with the NFIP Specifications.

Table with columns: MOBILE HOME MAKE, MODEL, YR. OF MANUFACTURE, SERIAL NO., DIMENSIONS X

(Community Permit Official or Registered Professional Engineer, Architect, or Surveyor)

NAME ADDRESS

TITLE CITY STATE ZIP

SIGNATURE DATE PHONE

SECTION II ELEVATION CERTIFICATION (Certified by a Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor.)

FIRM ZONE A1-A30: I certify that the building at the property location described above has the lowest floor (including basement) at an elevation of 20.10 feet, NGVD (mean sea level) and the average grade at the building site is at an elevation of 18.6 feet, NGVD.

FIRM ZONES V, V1-V30: I certify that the building at the property location described above has the bottom of the lowest floor beam at an elevation of \_\_\_ feet, NGVD (mean sea level), and the average grade at the building site is at an elevation of \_\_\_ feet, NGVD.

FIRM ZONES A, A99, AH and EMERGENCY PROGRAM: I certify that the building at the property location described above has the lowest floor elevation of \_\_\_ feet, NGVD. The elevation of the highest adjacent grade next to the building is \_\_\_ feet, NGVD.

FIRM ZONE AO: I certify that the building at the property location described above has the lowest floor elevation of \_\_\_ feet, NGVD. The elevation of the highest adjacent grade next to the building is \_\_\_ feet, NGVD.

SECTION III FLOODPROOFING CERTIFICATION (Certification by a Registered Professional Engineer or Architect)

I certify to the best of my knowledge, information, and belief, that the building is designed so that the building is watertight, with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy that would be caused by the flood depths, pressures, velocities, impact and uplift forces associated with the base flood.

YES NO In the event of flooding, will this degree of floodproofing be achieved with human intervention? (Human intervention means that water will enter the building when floods up to the base flood level occur unless measures are taken prior to the flood to prevent entry of water (e.g., bolting metal shields over doors and windows).

YES NO Will the building be occupied as a residence?

If the answer to both questions is YES, the floodproofing cannot be credited for rating purposes and the actual lowest floor must be completed and certified instead. Complete both the elevation and floodproofing certificates.

FIRM ZONES A, A1-A30, V1-V30, AO and AH: Certified Floodproofed Elevation is \_\_\_ feet, (NGVD)

THIS CERTIFICATION IS FOR SECTION II BOTH SECTIONS II AND III (Check One)

CERTIFIER'S NAME COMPANY NAME LICENSE NO. (or Affix Seal)

R. D. TROGDON, JR. R. D. TROGDON, JR., SURVEYOR, INC. 2712

TITLE ADDRESS ZIP

REGISTERED LAND SURVEYOR P. O. BOX 612 29901

SIGNATURE DATE CITY STATE PHONE

01/14/87 BEAUFORT SC (803) 524-3261

The insurance agent should attach the original copy of the completed form to the flood insurance policy application, the second copy should be supplied to the policyholder and the third copy retained by the agent

INSURANCE AGENTS MAY ORDER THIS FORM

## 5.4 Accessory Uses

### A. Purpose

In addition to the Principal Uses, each of the following uses is considered to be a Customary Accessory Use, and as such, may be situated on the same lot with the Principal Use or uses to which it serves as an accessory. No accessory use or structure, except for docks, shall be constructed or established on any lot prior to the time of construction of the principle structure to which it is accessory.

### B. Uses Customarily Accessory to Residential Dwellings

1. Either a private garage (attached or detached) or workshop subject to the following standards:
  - a. Such structure (including attached garages) shall not be located in front of the front line of the dwelling (i.e. front façade, front building wall) except on lots on the marsh or water or where the garage will be more than 100' from the front property line.
  - b. A garage (attached or detached) shall not exceed 50% of the footprint of the dwelling; however, in no case shall the footprint of the garage exceed 1,200 square feet.
  - c. Detached garages shall not exceed the height of the primary structure except when the garage contains an accessory dwelling unit.
  - d. A garage may be provided with electricity, a sink, and a commode.
  - e. A workshop shall not exceed 320 square feet.
  - f. A workshop may be provided with electricity and a sink, but shall not be used as an accessory dwelling unit.
2. One shed or storage building up to 3% of the size of the lot, not to exceed 320 square feet. Steel cargo storage containers or modified versions thereof are not permitted. Sheds shall not be located in front of the front line of the dwelling. Such shed may be provided with electricity and a sink.
3. One children's playhouse up to 150 square feet in size and play equipment.
4. One private swimming pool, which may have a bath house or cabana up to 200 square feet in size and 15 feet in height. Such pool shall have fencing (barriers) meeting the requirements of Section AG105 of the International Residential Code as amended.
5. One private dock which may have a boat house under 15 feet in height.
6. Noncommercial flower, ornamental shrub or vegetable garden.
7. Gazebos, trellises, picnic tables, and furniture designed specifically for outdoor use.
8. One accessory dwelling unit subject to the standards set out in Section 5.3.B.1.

### C. Uses Customarily Accessory to Retail Business, Office Uses and Commercial Recreational Facilities

1. Off-street parking or storage area for customers, clients or employee-owned vehicles.

lot area

$$15,284 \times 3\% = 458.5$$

# Low Rib Panel Color Chart

**CENTRAL GUARD™**

Powered by Valspar's WeatherX™ technology

All colors meet ENERGY STAR® requirements for steep slope roofs.  
Available in 26 and 29 gauge



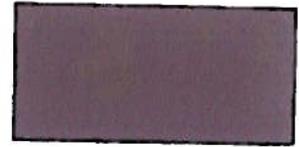
Rustic



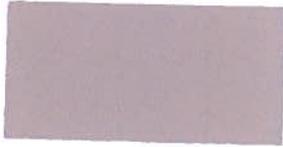
Tan



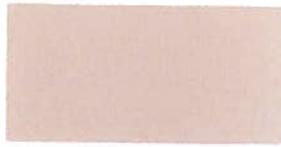
Hunter



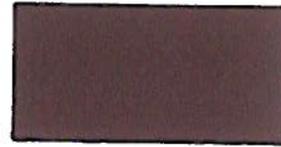
Charcoal



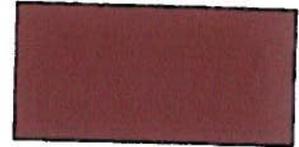
Gray



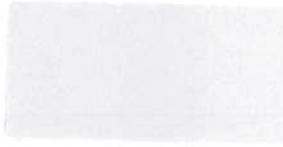
Lt. Stone



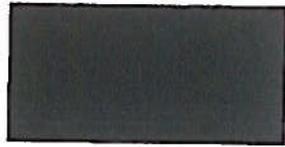
Burnished Slate



Brown



Alamo  
(Trim in 29 ga. only)



Forest



Ocean  
(Trim in 29 ga. only)



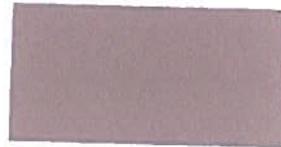
Burgundy



Crimson



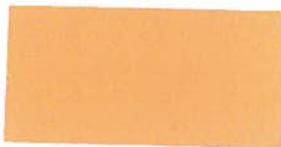
Gallery



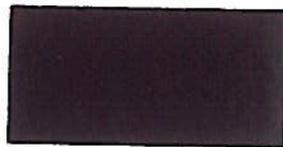
Taupe



Ivory (29 ga. only)



Gold (29 ga. only)



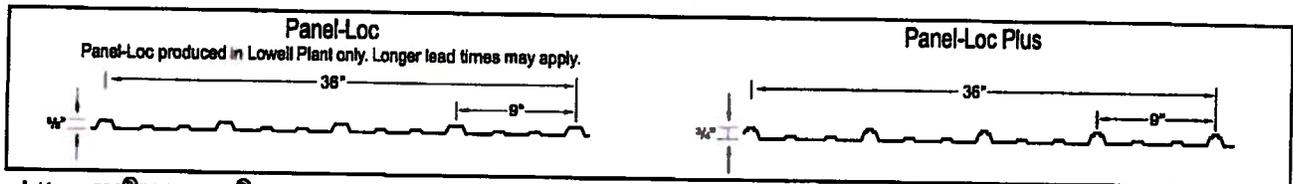
Black (29 ga. only)



29g: Brilliant (G90 galvanized)  
Arctic (Galvalume)  
26g: Brilliant (Galvalume)



Copper Metallic † ◊  
(29 ga. Only)



† Kynar 500®/Hylar 5000® color. Contact salesperson for accurate pricing.

◊ Color variation between orders is normal and not a cause for rejection.  
Panels manufactured in Copper Metallic must be installed in the same direction.

See directional arrows or stickers provided on your panels.

All colors carry a 40 year limited paint warranty.

See warranty sheets for warranty criteria.

Paint for all colors is provided by **valspar**

**CENTRAL GUARD** is a trademark of **CENTRAL STATES MANUFACTURING, INC.**

Bernadine L. Hess  
1101 Battery Creek Road  
Beaufort, SC 29902  
843.525.1431

A number of years ago my husband, Charles W. Hess, and I gave our next door neighbor, Lonnie E. Elliott of 1103 Battery Creek Road, permission to build a carport on our property line. With this document I am confirming that verbal agreement as well as giving Lonnie E. Elliott permission to pour a concrete slab or install paving bricks in that carport.

In addition, I approve of Lonnie E. Elliott's plans to build a storage shed in his back yard which adjoins my property.

Bernadine L. Hess

Bernadine L. Hess

Feb. 27, 2015

Date

Sworn to and subscribed before me  
This 27<sup>th</sup> day of February, 2015

Thema M. Coker

Notary Public of South Carolina  
My commission expires 8-09-2021

MANUFACTURED BY:

# A+ CARPORTS

P. O. Box 37  
Booneville, NC 27011  
(336) 367-7700

ENGINEERED BY:



**A+ ENGINEERING**  
CIVIL - STRUCTURAL

5811 Rosemount Place, Suite B • Tallahassee, FL 32308  
Tel: 415-579-1180 • Fax: 415-579-0835  
www.a-plus-engineering.com

### DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS

LOCATION: STATE OF SOUTH CAROLINA

PROJECT NO.: 114-15-0660

SHEET TITLE:

COVER SHEET

SHEET NO.: 1 / 11

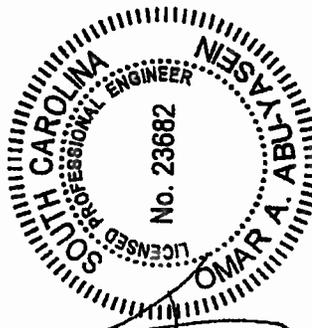
DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OAA DATE: 6/25/15

### LEGAL INFORMATION

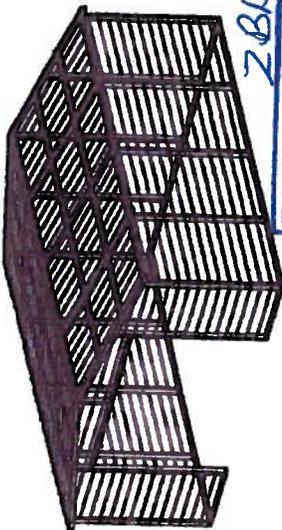
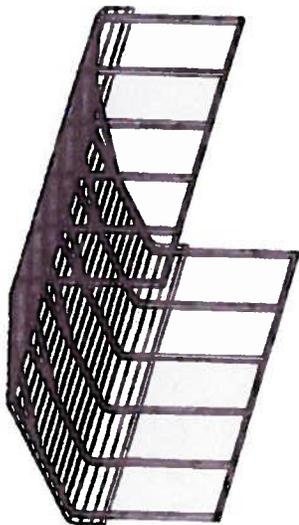
- ANY REPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY PROHIBITED. THE FULL CREDIT OF THE ENGINEER SHALL BE MAINTAINED. THESE DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



DATE ISSUES: 06/30/2016

DATE SIGNED: JUN 25 2015



2815-18

RECEIVED  
JUL 20 2015  
for 8/24/15

## REGULAR / A-FRAME 18'-0" WIDE CARPORT STYLE BUILDINGS

### DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2012, OSHA, AISC 360, ASCE 7-10, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
- BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
- ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
- ALL FIELD CONNECTIONS SHALL BE TEXS #12 (1/4"x1/2").
- STEEL SHEATHING SHALL BE 28GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=60KSI) OR EQ.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 GALV. STEEL.
- STRUCTURAL TUBE T52 1/2"x2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"x2 1/4" - 12GA AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.

### DESIGN CRITERIA

PREVAILING CODE: IBC 2012 w/ SC amendments  
USE GROUP: U (CARPORTS, BARN)

- DEAD LOAD (D)  $D = 4$  PSF
  - ROOF LIVE/SNOW LOAD (Lr)  
 $Lr = 20 - 70$  PSF  
(AS PER SNOW LOAD)
  - SNOW LOAD (S)  
GROUND SNOW LOAD  $P_g = 20 - 90$  PSF  
IMPORTANCE FACTOR  $I_s = 0.8$
  - WIND LOAD (W)  
BASIC WIND SPEED  $V_{100} = 105 - 180$  MPH  
EXPOSURE C
  - SEISMIC LOAD (E)  
DESIGN CATEGORY D  
IMPORTANCE FACTOR  $I_e = 1.00$
- LOAD COMBINATIONS:
- $D + (Lr \text{ OR } S)$
  - $D + (0.6W \text{ OR } \pm 0.7E)$
  - $D + 0.75 (0.6W \text{ OR } \pm 0.7E) + 0.75 (Lr \text{ OR } S)$
  - $0.6D + (0.6W \text{ OR } \pm 0.7E)$

### DRAWING INDEX

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### CUSTOMER INFORMATION

OWNER:  
ADDRESS:

### DESIGN LOADS

GROUND SNOW:  
ROOF LIVE LOAD:  
BASIC WIND SPEED:

### BUILDING INFORMATION

WIDTH:  
LENGTH:  
HEIGHT:

FRAME TYPE:  
ENCLOSURE TYPE:

### CERTIFICATION VALIDITY NOTICE

DATE OF ISSUE: 06/30/2015  
CERTIFICATION ON THESE DRAWINGS IS VALID FOR ONE YEAR FROM DATE OF ISSUE

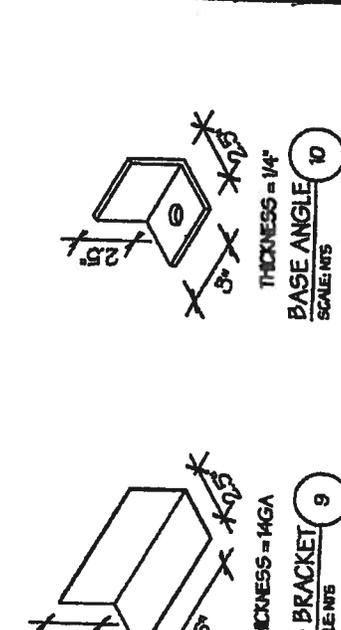
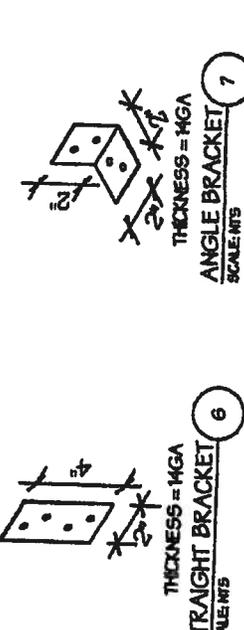
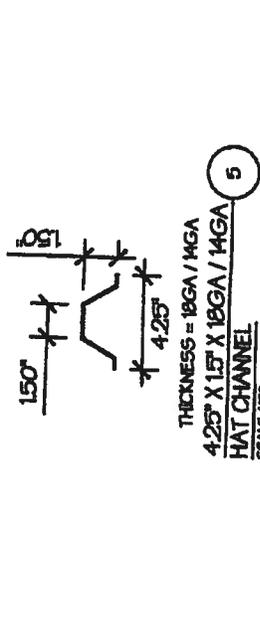
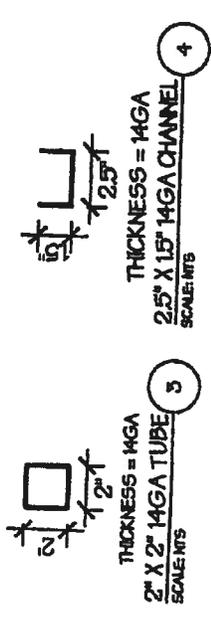
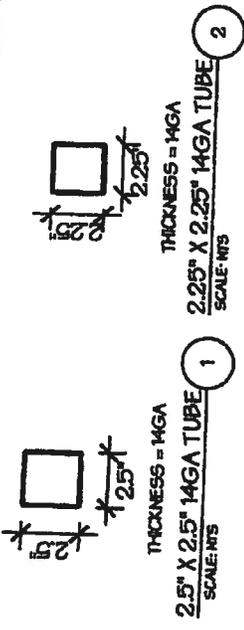
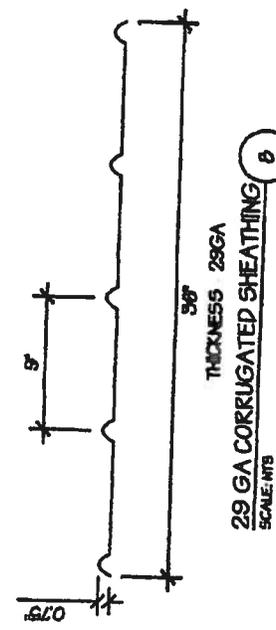
TABLE 2.1: MEMBER PROPERTIES

NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" X 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" X 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 14GA TUBE	2
7	BASE ANGLE	2.5" X 2.5" X 3" LG. 1/4" ANGLE	10
8	FURLIN	4.25" X 1.5" X 18GA / 14GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 18GA / 14GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" X 14GA CHANNEL	5
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 1/4 GA TUBE	3
20	GABLE BRACE	2" X 2" X 1/4 GA TUBE	3
21	DB BRACKET	2.5" X 2.5" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	TEKS #12 X 3/4" SELF-DRILL SCREWS W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	EDGE LAPS	ELSEWHERE
SPACING	6" C/C	MIN. 1	4" C/C

FASTENER TYPE: TEKS #12AT SELF DRILL SCREWS W/ NEOPRENE/STEEL WASHER



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DRAWING INFORMATION  
PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 14-15-0660  
SHEET TITLE: COVER SHEET  
SHEET NO.: 2 / 11  
DRAWN BY: IZM DATE: 6/25/15  
CHECKED BY: OAM DATE: 6/25/15

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## DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO: 114-15-0860  
SHEET TITLE:

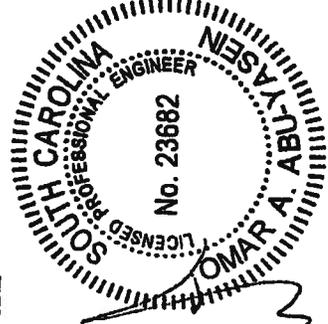
## FRAME SECTIONS & DETAILS

SHEET NO: 5 / 11  
DRAWN BY: IZM DATE: 6/25/15  
CHECKED BY: OAA DATE: 6/25/15

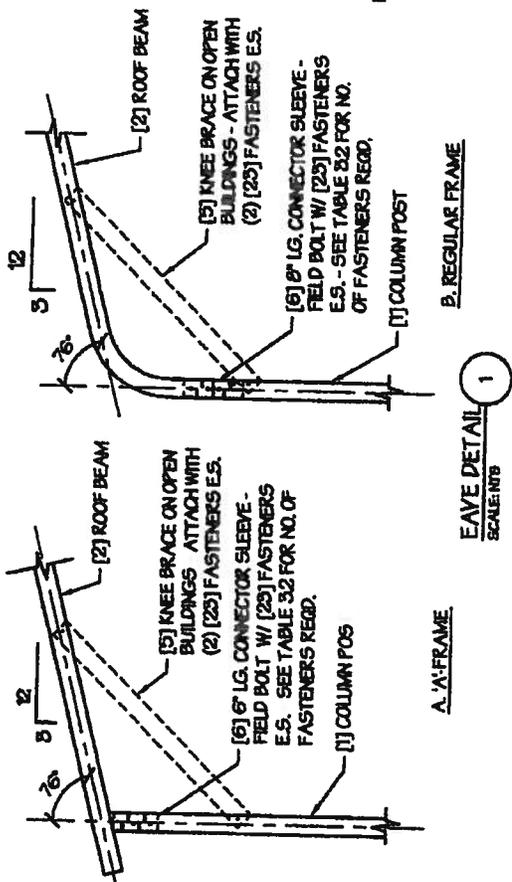
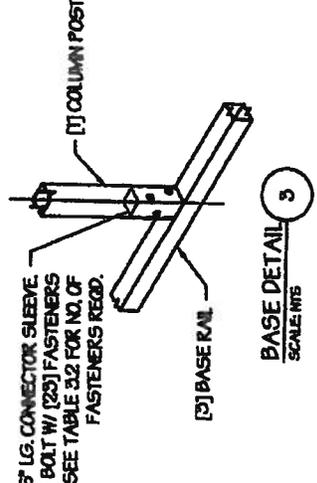
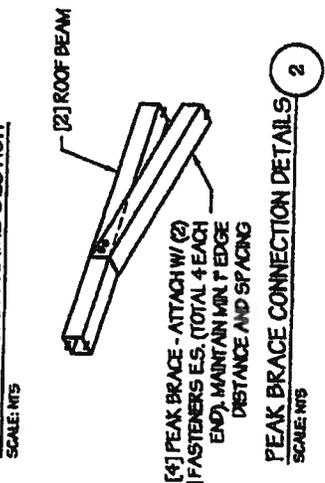
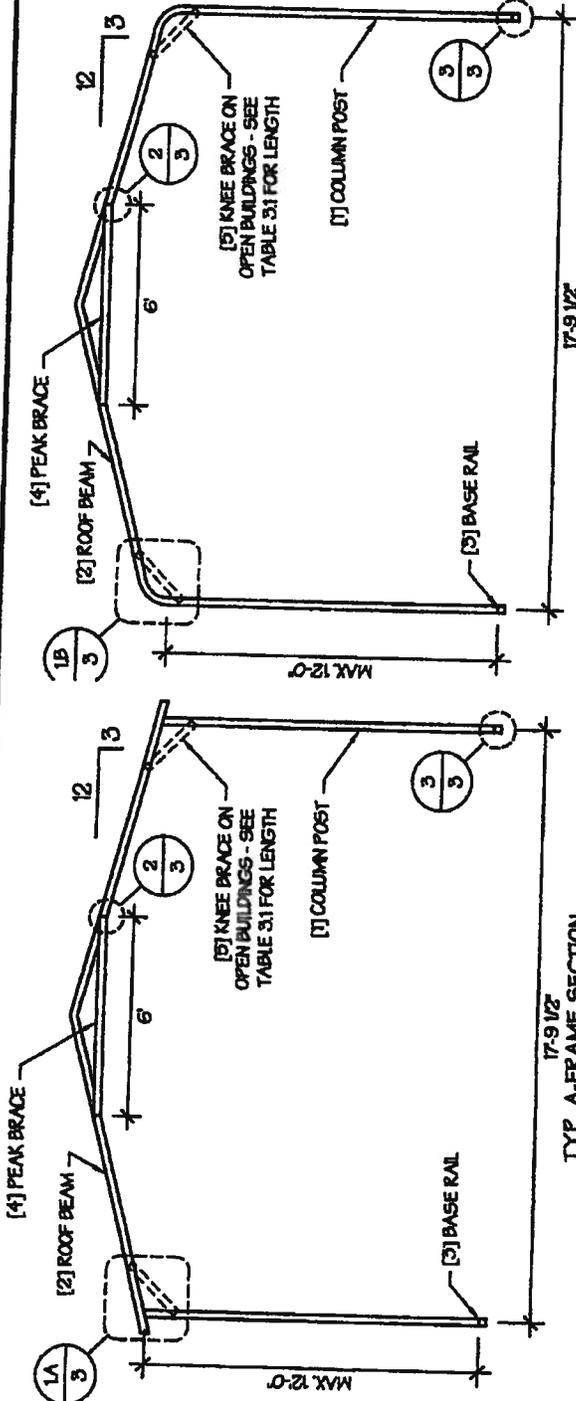
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**TABLE 3.1: KNEE BRACE SCHEDULE\***

EAVE HEIGHT	KNEE BRACE LENGTH
UP TO 8'	24"
9' TO 12'	36"

\* REQUIRED ON OPEN BUILDINGS

**TABLE 3.2 FASTENER SCHEDULE**

WIND SPEED (MPH)	NO. OF FASTENERS
105 TO 125	4
130 TO 150	6
160 TO 180	8

NOTE: COLUMN POST MAY BE ADJUSTED 3/4" FOR LEVELING. MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.



TABLE 5: PURLIN SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	16GA FLAT CHANNEL PURLIN					19GA HAT CHANNEL PURLIN								
	105	115	130	140	155	165	190	105	115	130	140	155	165	190
30/20	54	48	42	36	30	24	24	36	30	24	19	15	12	12
40/25	48	42	36	30	24	24	24	30	24	19	15	12	12	12
50/35	48	42	36	30	24	24	24	24	24	19	15	12	12	12
60/40	36	36	36	36	30	24	24	19	15	15	15	12	12	12
70/50	36	36	36	36	30	24	24	19	15	15	15	12	12	12
80/60	30	30	30	30	30	24	24	19	15	15	15	12	12	12
90/70	24	24	24	24	24	24	24	19	15	15	15	12	12	12
30/20	54	48	42	36	30	30	30	48	36	30	24	19	15	12
40/25	48	42	36	30	30	30	30	42	36	30	24	19	15	12
50/35	48	42	36	30	30	30	30	42	36	30	24	19	15	12
60/40	36	36	36	36	30	30	30	30	30	24	19	15	12	12
70/50	36	36	36	36	30	30	30	30	30	24	19	15	12	12
80/60	36	36	36	36	30	30	30	30	30	24	19	15	12	12
90/70	36	36	36	36	30	30	30	30	30	24	19	15	12	12
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60/40	36	36	36	36	30	30	30	36	36	30	24	19	15	12
70/50	36	36	36	36	30	30	30	36	36	30	24	19	15	12
80/60	36	36	36	36	30	30	30	36	36	30	24	19	15	12
90/70	36	36	36	36	30	30	30	36	36	30	24	19	15	12

NOTES:  
 1. PURLIN SPACING UNITS ARE IN INCHES.  
 2. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

TABLE 52: GIRT SPACING SCHEDULE

FRAME SPACING	WIND SPEED (MPH)													
	105	115	130	140	155	165	190	105	115	130	140	155	165	190
5'-0"	60	48	36	30	24	24	24	60	48	36	30	24	24	24
4'-6"	60	60	48	42	36	30	24	60	60	48	42	36	30	24
4'-0"	60	60	60	54	54	42	36	60	60	60	54	42	36	30
3'-6"	60	60	60	60	54	54	42	60	60	60	60	54	42	36
2'-0" TO 3'-0"	60	60	60	60	54	54	42	60	60	60	60	54	42	36

NOTES:  
 1. GIRT SPACING UNITS ARE IN INCHES.  
 2. THIS SCHEDULE IS TO BE USED FOR BOTH 14GA AND 18 GA PURLINS.  
 3. FRAME SPACING NEEDS TO BE DETERMINED FROM TABLE 4.

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**DRAWING INFORMATION**

PROJECT: 18'-0" WIDE BUILDINGS  
 LOCATION: STATE OF SOUTH CAROLINA  
 PROJECT NO.: 114-15-0660  
 SHEET TITLE:

**PURLIN & GIRT SPACING SCHEDULES**

SHEET NO.: 5 / 11

DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OAA DATE: 6/25/15

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## DRAWING INFORMATION

PROJECT: 12'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 14-15-0660  
TITLE: SHEATHING OPTIONS & DETAILS

BY: G. 6/11

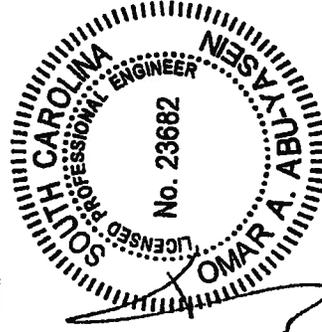
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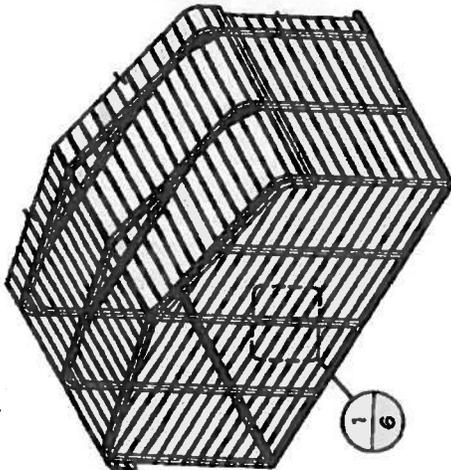


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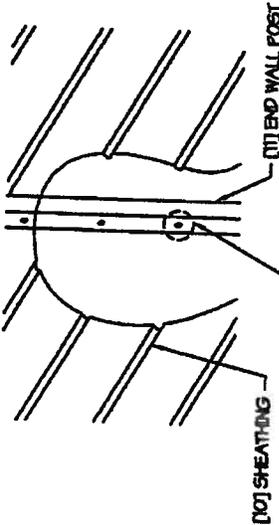
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### GENERAL SHEATHING NOTES:

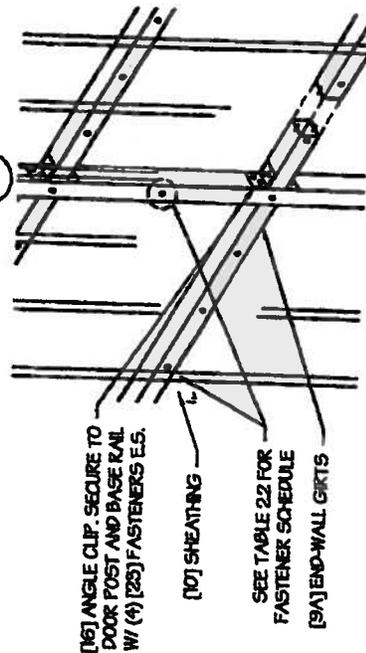
1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICAL ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.



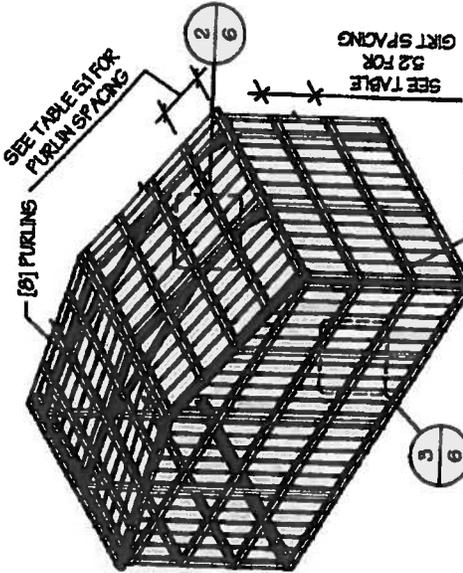
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SCALE: NTS



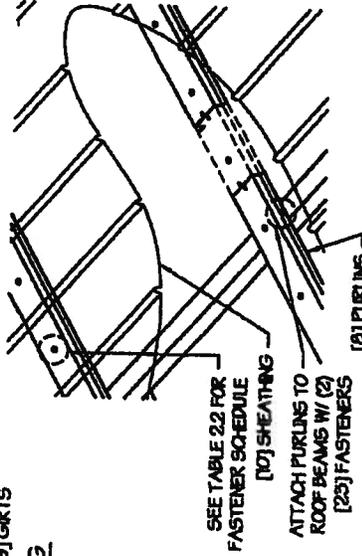
TYP. HORIZONTAL SHEATHING DETAIL 1  
SCALE: NTS



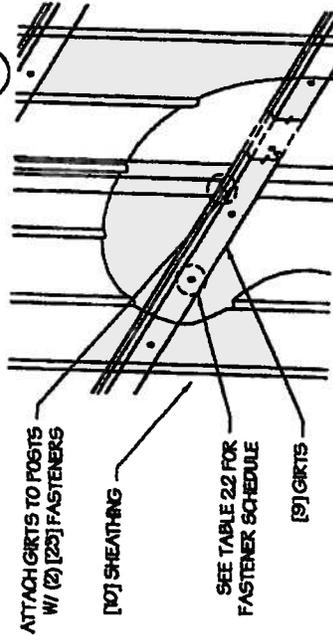
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SCALE: NTS



TYP. VERTICAL SHEATHING  
SCALE: NTS



ROOF VERTICAL SHEATHING DETAIL 2  
SCALE: NTS



WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL 5  
SCALE: NTS

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### DRAWING INFORMATION

PROJECT: 12'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA

PROJECT NO.: 114-15-0660  
SHEET TITLE:

## SIDE WALL FRAMING & OPENINGS

SHEET NO.: 7 / 11

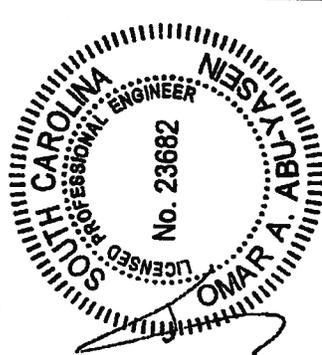
DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OAA DATE: 6/25/15

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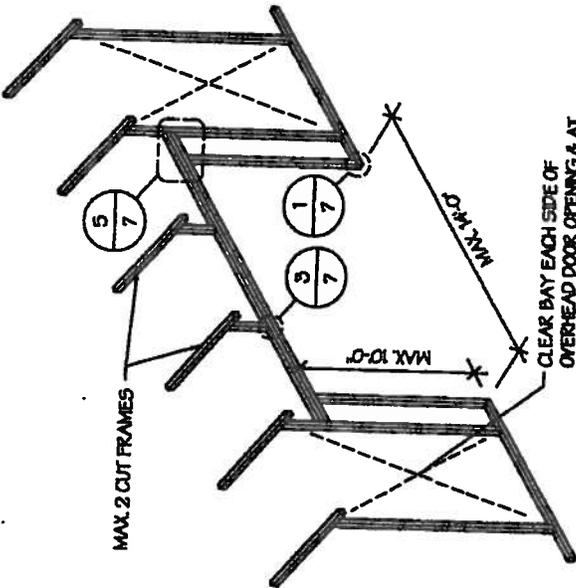
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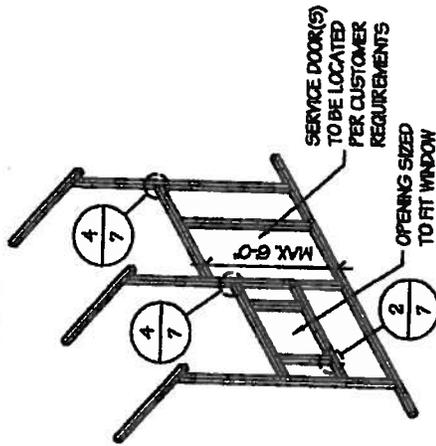


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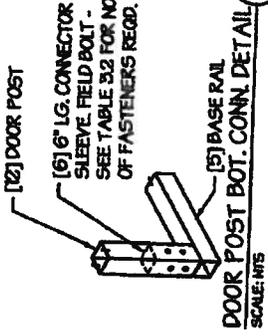
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SCALE: NTS



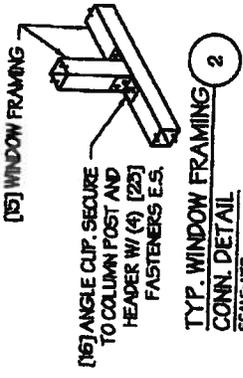
SIDE WALL SERVICE DOOR / WINDOW OPENINGS  
SCALE: NTS

### SIDE WALL FRAMING NOTES:

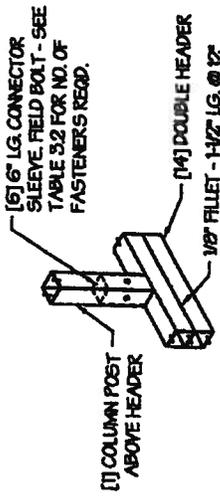
- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
- MAX. HEIGHT OF SIDE WALL DOOR OPENINGS DEPENDS ON POST LENGTH NEEDED TO ACCOMMODATE KNEE BRACES.
- OVERHEAD DOOR OPENINGS CANNOT CUT THROUGH MORE THAN 2 FULL FRAMES.
- MIN. 1 CLEAR BAY MUST BE MAINTAINED BETWEEN ANY 2 OVERHEAD DOOR OPENINGS. A CLEAR BAY IS A SPACE BETWEEN TWO FRAMES THAT HAS NO OVERHEAD DOOR OPENINGS.
- MIN. 1 CLEAR BAY MUST ALSO BE MAINTAINED FROM THE BUILDING CORNERS.
- SERVICE DOORS AND WINDOWS CAN BE PLACED IN CLEAR BAYS OR ANY WHERE ELSE AS NEEDED.



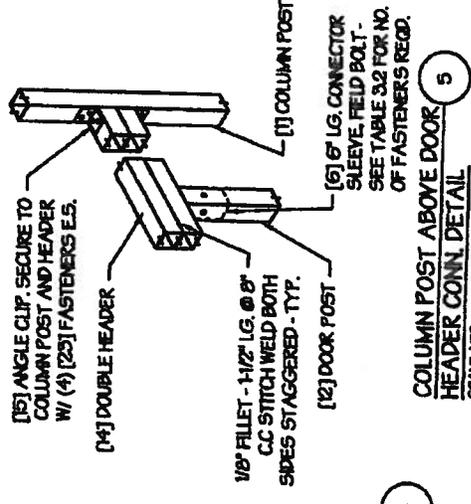
DOOR POST BOT. CONN. DETAIL  
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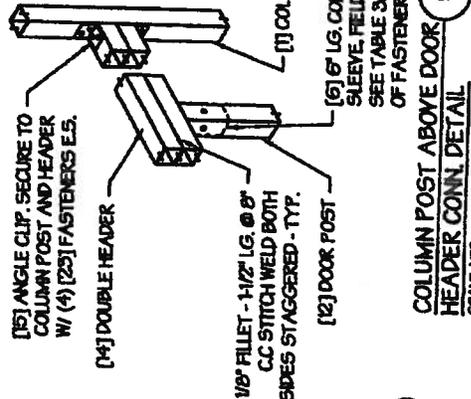
TYP. WINDOW FRAMING CONN. DETAIL  
SCALE: NTS



COLUMN POST ABOVE DOOR HEADER CONN. DETAIL  
SCALE: NTS



TYP. SERVICE DOOR / WINDOW FRAMING CONN. DETAIL  
SCALE: NTS



COLUMN POST ABOVE DOOR HEADER CONN. DETAIL  
SCALE: NTS

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## DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 14-15-0660  
SHEET TITLE:

## END WALL FRAMING

SHEET NO.: 8-A / 11

DRAWN BY: IZM DATE: 6/25/15

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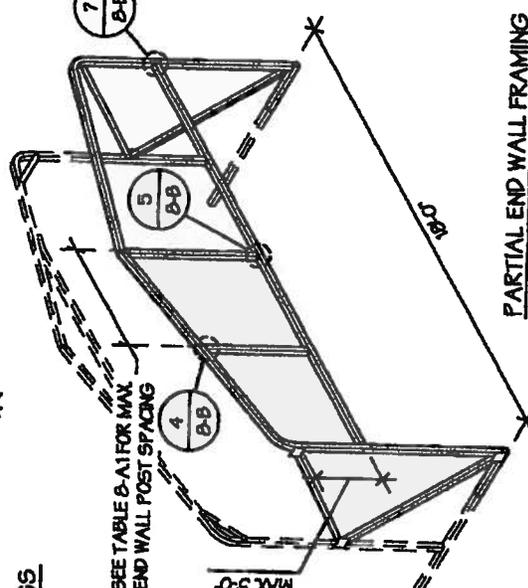
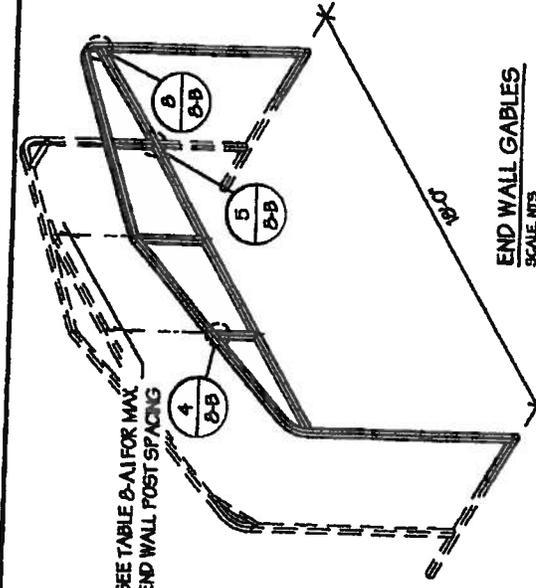
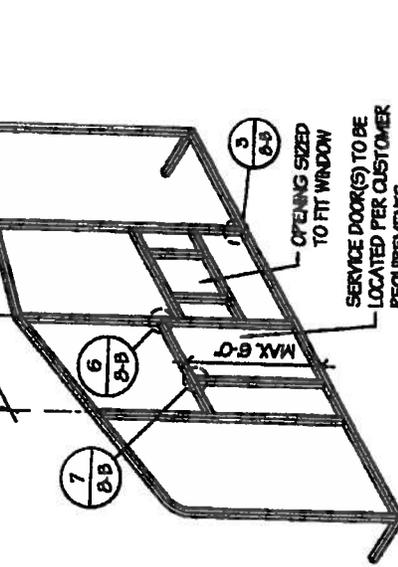
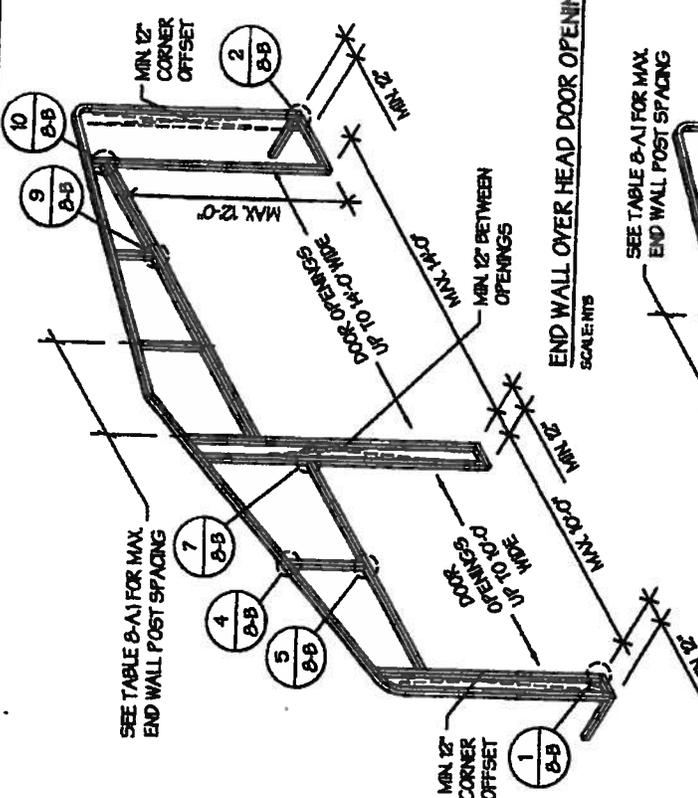


TABLE 8-A1: END WALL POST SPACING SCHEDULE

WIND SPEED (MPH)	EAVE HEIGHT			
	UP TO 7'	8' TO 9'	10' TO 11'	12' TO 12'
100	9'	9'	9'	9'
115	8'	8'	8'	4.5'
130	4.5'	4.5'	4.5'	4'
140	4.5'	4.5'	4.5'	3'
155	4'	4'	4'	2.5'
165 - 180	3.5'	3'	3'	2'



- END WALL FRAMING NOTES:**
- DESIGNS AND DETAILS SHOWN HERE ARE APPLICABLE TO BOTH REGULAR AND A-FRAME STYLE BUILDINGS.
  - MIN 12" CLEARANCE MUST BE MAINTAINED BETWEEN ANY TWO OPENINGS (OVERHEAD DOOR OR SERVICE DOOR) AND FROM CORNERS.
  - SERVICE DOORS AND WINDOWS CAN BE PLACED AS NEEDED.
  - DIAGONAL BRACES NEED TO BE ADDED FOR PARTIAL END WALL ENCLOSURES. SEE SHEET 9 FOR DIAGONAL BRACE CONNECTION DETAILS.

## END WALL SERVICE DOOR AND WINDOW OPENINGS

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### DRAWING INFORMATION

PROJECT: 12'-0" WIDE BUILDINGS

LOCATION: STATE OF SOUTH CAROLINA

PROJECT NO.: 114-15-0660

SHEET TITLE:

## END WALL FRAMING DETAILS

DRAWING NO.: 8-B / 11

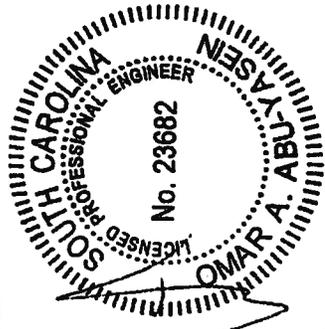
DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OAA DATE: 6/25/15

### LEGAL INFORMATION

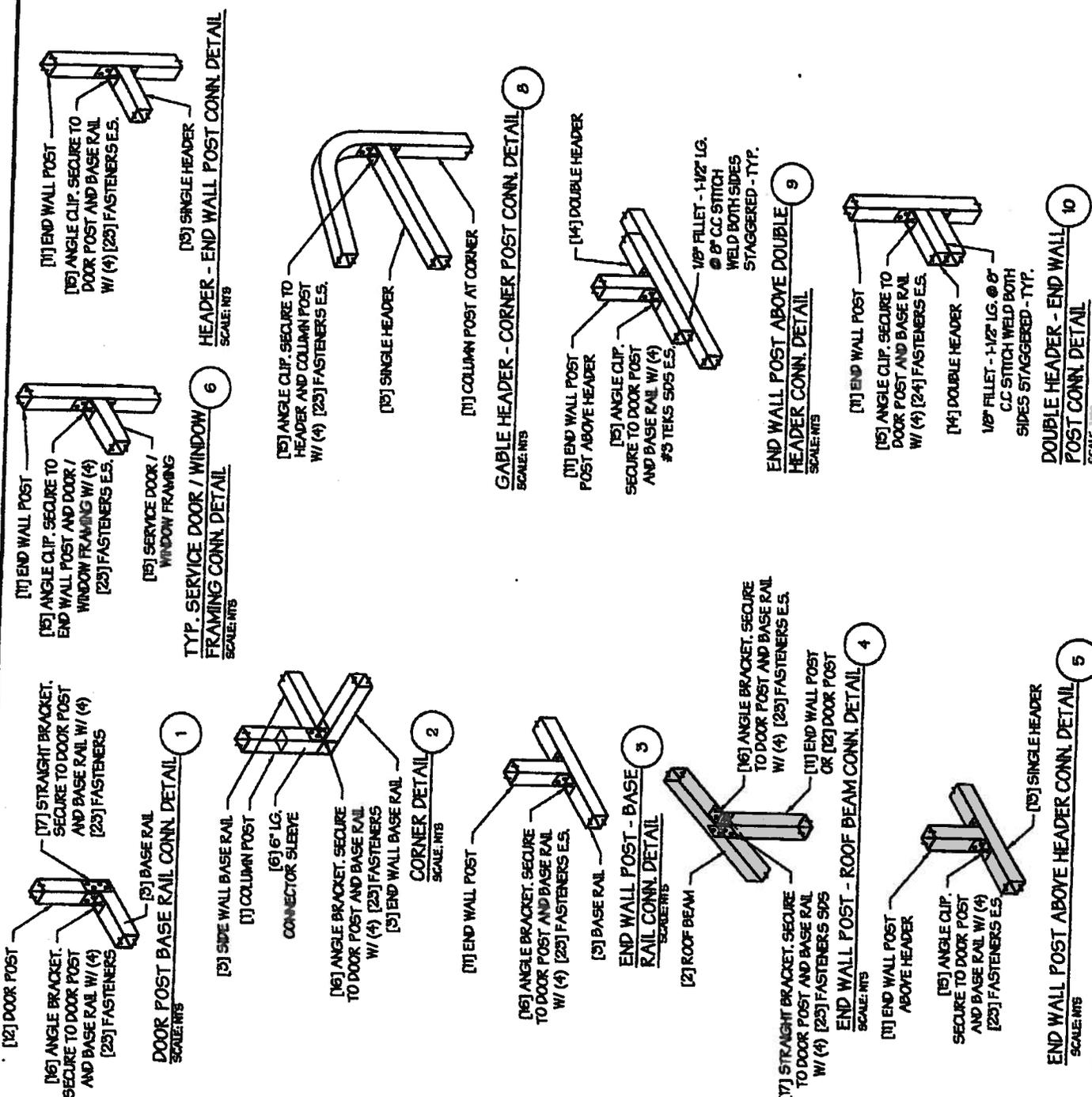
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## DRAWING INFORMATION

PROJECT: 12'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 114-15-0660

## CORNER BRACING DETAILS

SHEET NO.: 9 / 11

DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OMA DATE: 6/25/15

## LEGAL INFORMATION

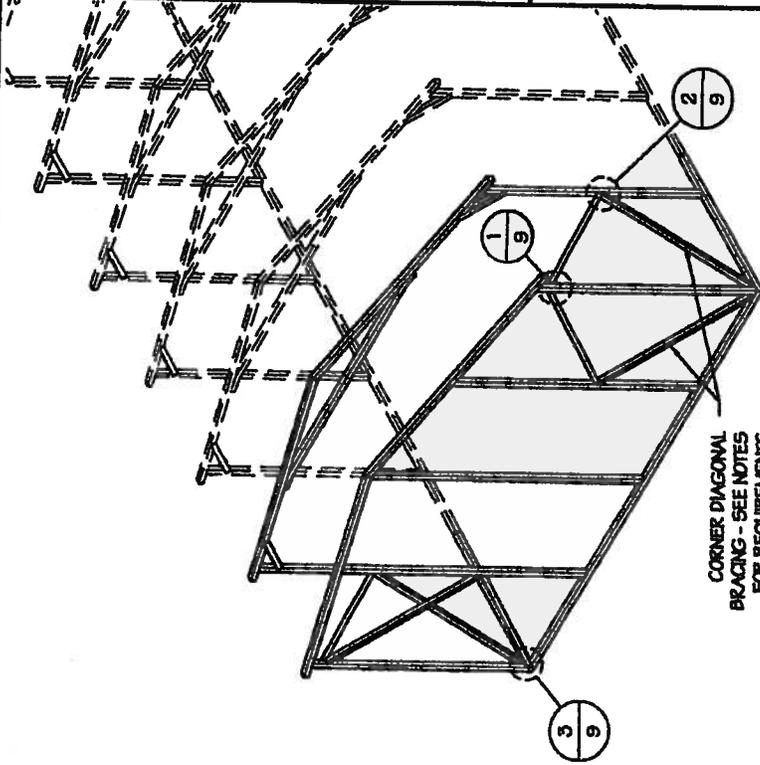
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SEAL:



DATE EXPIRES: 06/30/2016

DATE SIGNED: JUN 25 2015

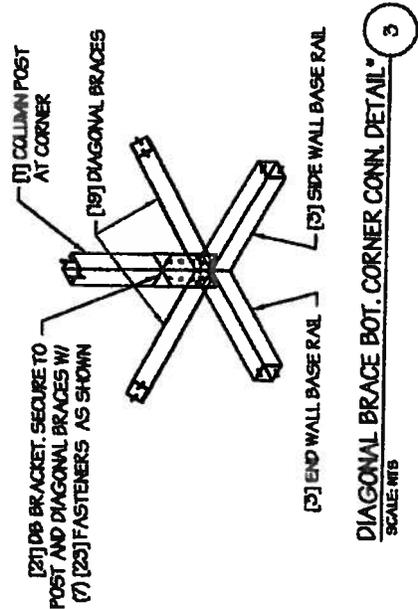
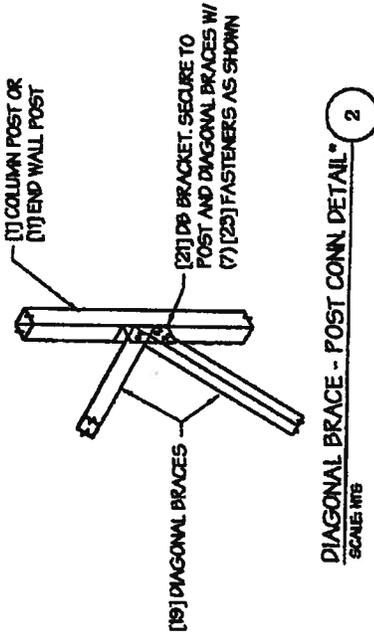
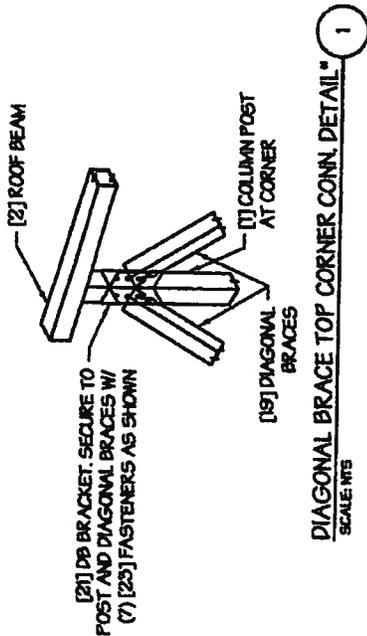


CORNER DIAGONAL BRACING - SEE NOTES FOR REQUIREMENTS

DIAGONAL BRACING AT CORNERS  
SCALE: NTS

### CORNER BRACING NOTES:

1. DIAGONAL BRACING AT BUILDING CORNERS IS REQUIRED FOR FULLY ENCLOSED BUILDINGS IN LOCATIONS WHERE WIND SPEED IS 140 MPH OR GREATER.
2. IF CORNER BRACING IS REQUIRED BUT THE BUILDING IS MISSING AN END WALL, THEN THE BUILDING MUST BE DESIGNED AS AN OPEN BUILDING (USE SPACING FOR OPEN BUILDING IN TABLE 4-1).
3. DIAGONAL BRACING IS ALSO REQUIRED ON THE CORNERS ON THE SIDE WALLS WHEN THE ADJACENT END WALL IS PARTIALLY ENCLOSED.



\* INSIDE VIEW SHOWN FOR CLARITY

MANUFACTURED BY:

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### DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 114-15-0660  
SHEET TITLE:

### OPTIONAL LEAN-TO ADDITION

SHEET NO.: 10 / 11

DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OAA DATE: 6/25/15

### LEGAL INFORMATION

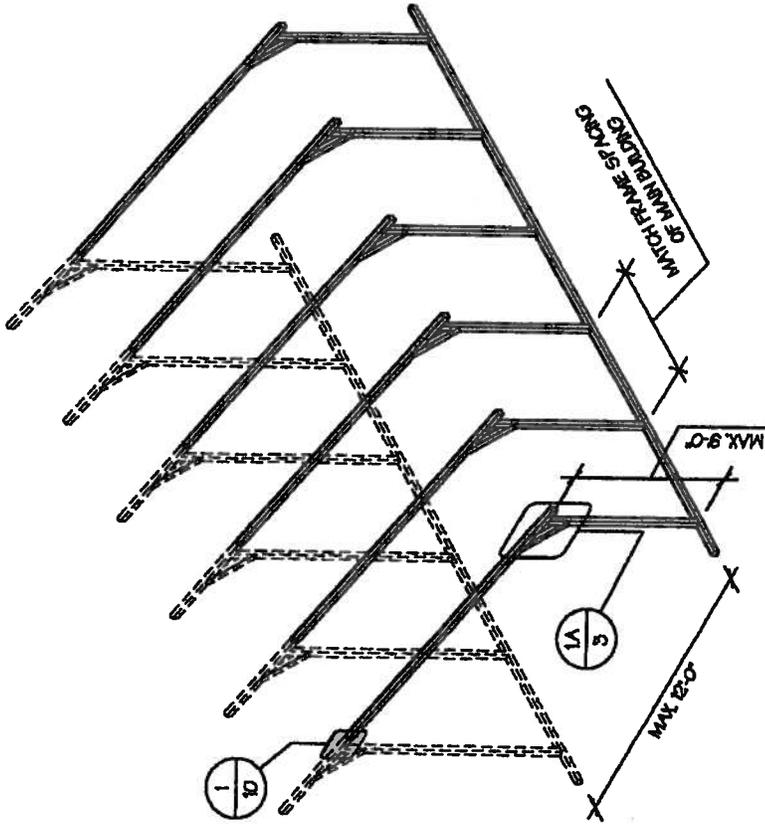
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DATE EXPIRES: 06/30/2016

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OPTIONAL LEAN-TO ADDITION  
SCALE: NTS

### LEAN-TO ADDITION NOTES:

1. LEAN-TO ADDITIONS CAN BE ADDED ON EITHER OR BOTH SIDES OF THE BUILDING.
2. ROOF SLOPE AND PURLIN, GIRT AND FRAME SPACINGS OF THE ADDITION HAVE TO MATCH THAT OF THE MAIN STRUCTURE.
3. IF THE LEAN-TO ADDITION IS OPEN TOOTH END WALLS OR SIDE WALL IS NOT ENCLOSED, THE DESIGN OF THE MAIN BUILDING HAS TO USE THE FRAME SPACING OF AN OPEN BUILDING FROM TABLE 4.

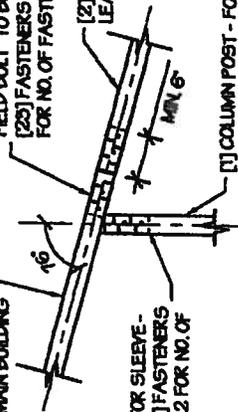
[6] 12' LG. CONNECTOR SLEEVE - FIELD BOLT TO BOTH TUBES W/ [25] FASTENERS - SEE TABLE S2 FOR NO. OF FASTENERS RECD.

[2] ROOF BEAM - LEAN-TO ADDITION

[1] COLUMN POST - FOR EAVE HEIGHTS GREATER THAN 8'-0" INSERT TS 2.25 X 2.25 X 14GA TUBE INTO COLUMN POST

[2] ROOF BEAM - MAIN BUILDING

[6] 6' LG. CONNECTOR SLEEVE - FIELD BOLT W/ [25] FASTENERS E.S. - SEE TABLE S2 FOR NO. OF FASTENERS RECD.



LEAN-TO ATTACHMENT DETAIL  
SCALE: NTS

1

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## DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO: 14-15-0660

## FOUNDATION OPTION 1: CONCRETE SLAB

SHEET NO: 11-A / 11

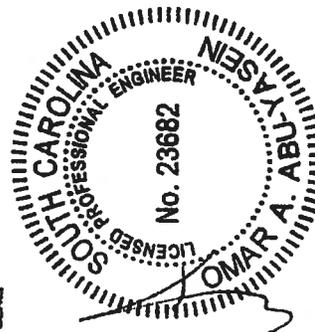
DRA BY: IZM DATE: 6/25/15

CHECKED BY: OAA DATE: 6/25/15

## LEGAL INFORMATION

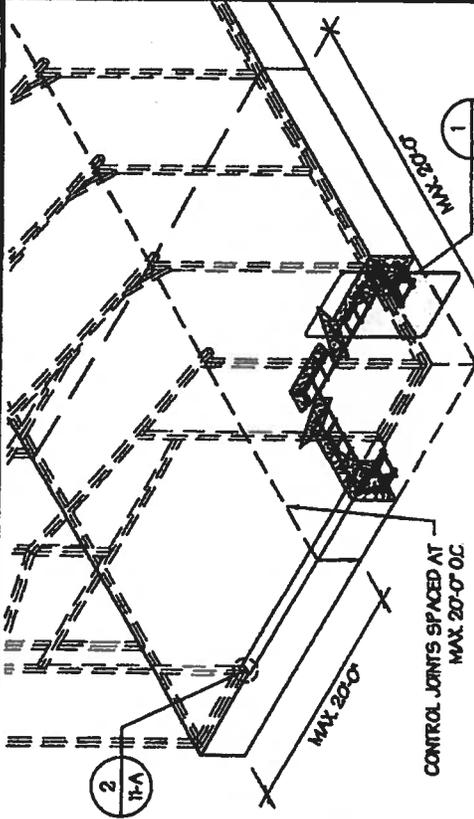
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SEAL:



DATE EXPIRES: 06/30/2016

DATE ISSUED: JUN 25 2015



CONTROL JOINTS SPACED AT  
MAX 20'-0" OC

## CONCRETE SLAB FOUNDATION

SCALE: NTS

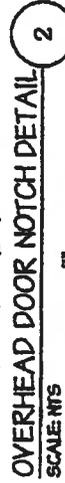
- ### CONCRETE SLAB FOUNDATION NOTES:
- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE SLAB FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
  - EITHER OPTION 1 EDGE OFFSET OR OPTION 2 NOTCHED EDGE DETAIL CAN BE USED.
  - FOR OPTION 1 THE MIN. SLAB SIZE SHALL BE EQUAL TO THE OUTSIDE DIMENSIONS OF THE BUILDING PLUS 5" EACH DIRECTION.
  - FOR OPTION 2 THE MIN. SLAB SIZE SHALL BE EQUAL TO THE SIDE DIMENSIONS OF THE BUILDING DIMENSIONS.
  - CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNER OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL.
  - CONCRETE ANCHORS CAN BE ANY ONE OF THE OPTIONS MENTIONED IN TABLE 11-A1.
  - DEPTH OF SLAB TURN DOWN FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
  - CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
  - ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
  - CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI @ 28 DAYS.

### TABLE 11-A1: CONCRETE SLAB ANCHOR SCHEDULE

WIND SPEED (MPH)	ANCHOR SIZE
105 TO 140	1/2" Ø X 7'
155 TO 180	5/8" Ø X 7'

### NOTES:

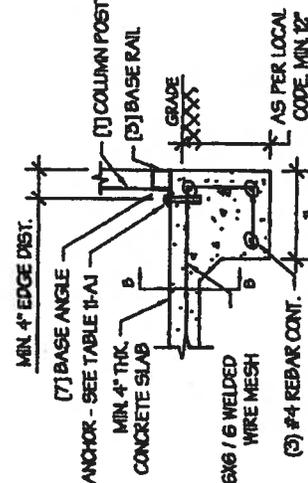
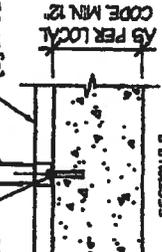
- EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
- MIN. EMBEDMENT DEPTH TO BE 4".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
- ALL ANCHORS TO BE AS07 EQUIVALENT OR BETTER.



## OVERHEAD DOOR NOTCH DETAIL

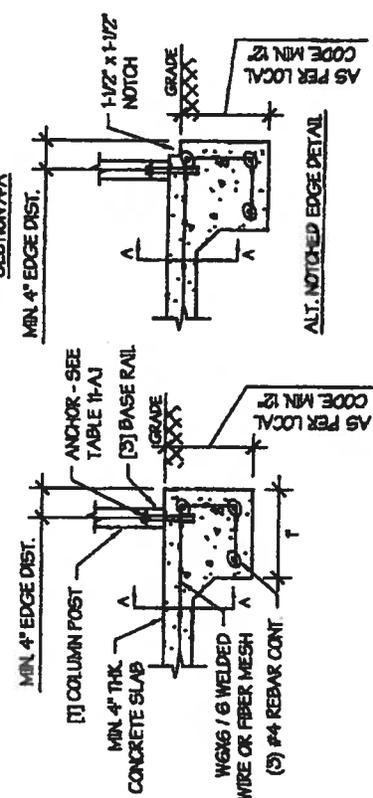
SCALE: NTS

ANCHOR - SEE TABLE 11-A1  
[1] COLUMN POST  
[2] BASE RAIL



## OPTION 2: EDGE FLUSH DETAIL

SCALE: NTS



## OPTION 1: EDGE OFFSET DETAIL

SCALE: NTS

TABLE 11-B.1: ANCHOR SCHEDULE

WIND SPEED (MPH)	ANCHOR SIZE
105 TO 140	1/2"Ø X 7"
145 TO 190	5/8"Ø X 7"

NOTES:

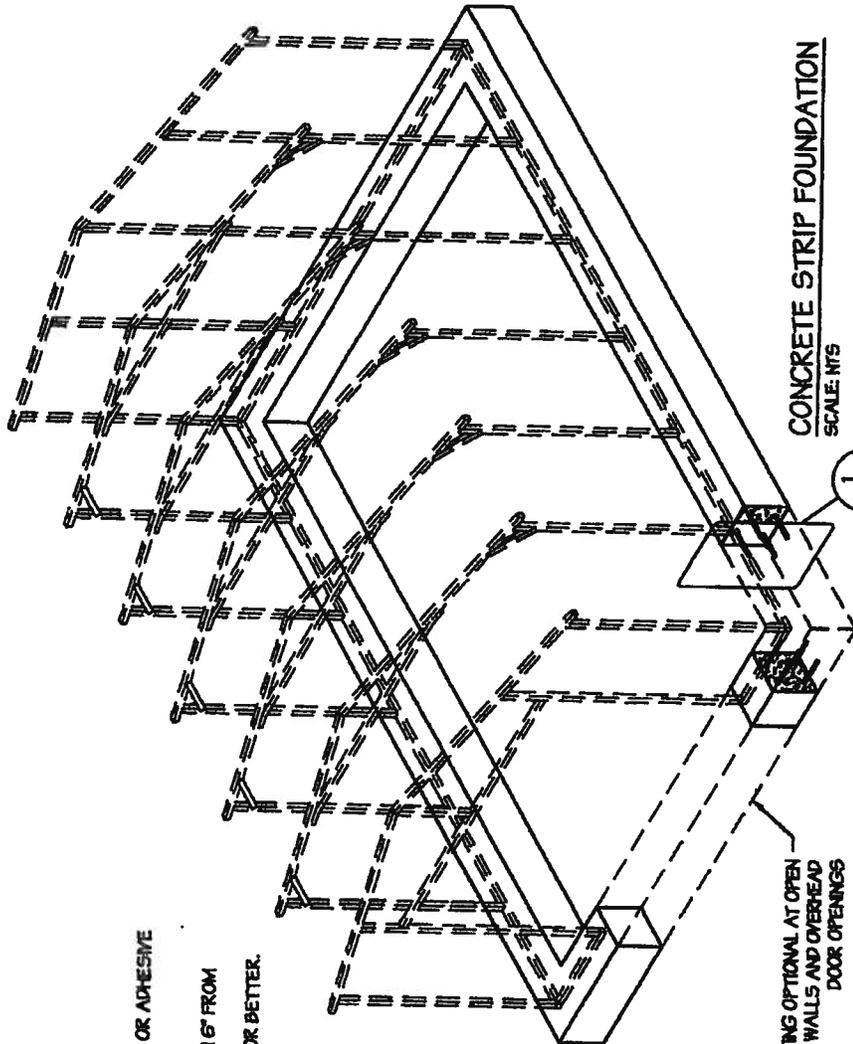
1. EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
2. MIN EMBEDMENT DEPTH TO BE 4".
3. ANCHORS TO BE SPACED NO MORE THAN 6' FROM POSTS.
4. ALL ANCHORS TO BE ASOT EQUIVALENT OR BETTER.

TABLE 11-B.2: CONC. STRIP SCHEDULE

WIND SPEED (MPH)	MIN. SIZE RECD.
105 TO 150	12" X 12"
140 TO 165	15" X 12"
155 TO 190	26" X 12" 21" X 15" 15" X 15"

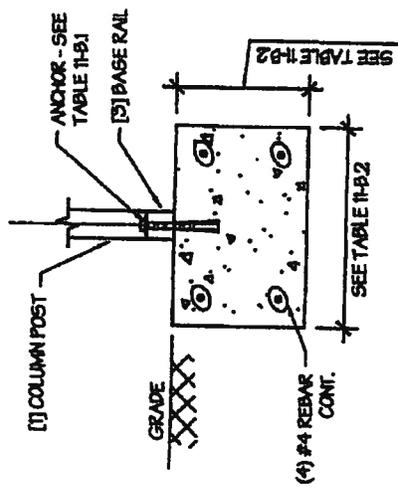
NOTES:

1. WIDTH AND DEPTH DIMENSIONS CAN BE INTERCHANGED.



CONCRETE STRIP FOUNDATION  
SCALE: NTS

FOOTING OPTIONAL AT OPEN  
END WALLS AND OVERHEAD  
DOOR OPENINGS



CONCRETE STRIP FOUNDATION DETAIL  
SCALE: NTS

CONCRETE STRIP FOUNDATION NOTES:

1. DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE STRIP FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
2. CONCRETE ANCHORS SHALL BE LOCATED NEXT TO EVERY POST AND ON EITHER SIDE OF OPENINGS. TWO ANCHORS SHALL BE INSTALLED AT CORNER OF ENCLOSED BUILDINGS WITH END WALLS - ONE ON EACH BASE RAIL.
3. DEPTH OF CONCRETE STRIP FOOTING SHALL BE GREATER THAN FROST DEPTH SPECIFIED PER LOCAL CODE.
4. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN OF 1500 PSF.
5. CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.

MANUFACTURED BY:

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ENGINEERED BY:



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DRAWING INFORMATION

PROJECT: 15'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 114-15-0660  
SHEET TITLE:  
FOUNDATION OPTION 2:  
CONCRETE STRIP

SHEET NO.: 11-B / 11

DRAWN BY: DATE: 6/25/15

CHECKED BY: DATE: 6/25/15

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SEAL:



DATE EXPIRES: 06/30/2016  
DATE SIGNED: JUN 25 2015

MANUFACTURED BY:

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## AFA ENGINEERING

CIVIL - STRUCTURAL

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### DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 11A-16-0660  
SHEET TITLE: FOUNDATION OPTION 3:  
CONCRETE PIERS

SHEET NO.: 11-C / 11

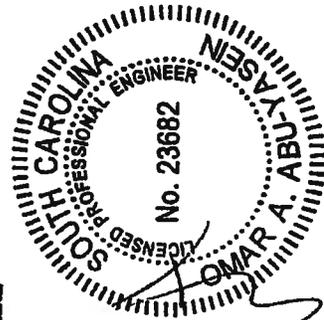
DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OMA DATE: 6/25/15

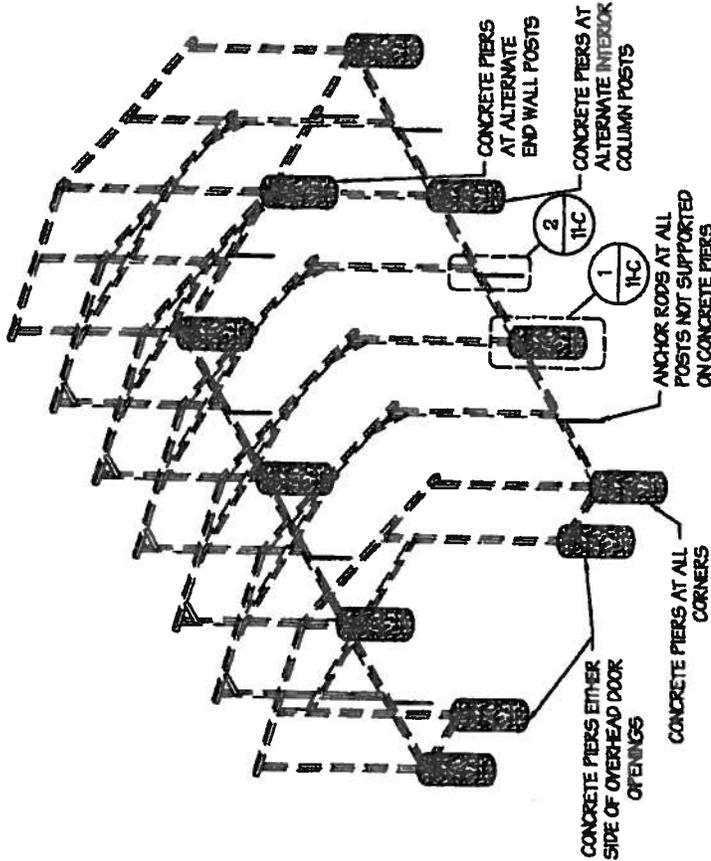
### LEGAL INFORMATION

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DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



DATE EXPIRES: 06/30/2016  
DATE SIGNED: JUN 25 2015



CONCRETE PIER FOUNDATION  
SCALE: NTS

### CONCRETE PIER FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR CONCRETE PIER FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
- CONCRETE PIERS SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- PIERS SHALL BE FORMED BY DIGGING A HOLE OF THE SAME SIZE AS THE PIER ON LEVEL GRADE AND FILLING WITH CONCRETE. THIRD ROD ANCHORS SHOULD BE DROPPED INTO THE PIERS PRIOR TO POURING THE CONCRETE.
- ALL POSTS NOT SUPPORTED ON CONCRETE PIERS SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. THREADED ROD. RODS WILL HAVE A WELDED NUT AT THE TOP AND ONE COAT OF RUST PROOF PRIMER.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.

TABLE 11-C.1: CONC. PIER SCHEDULE

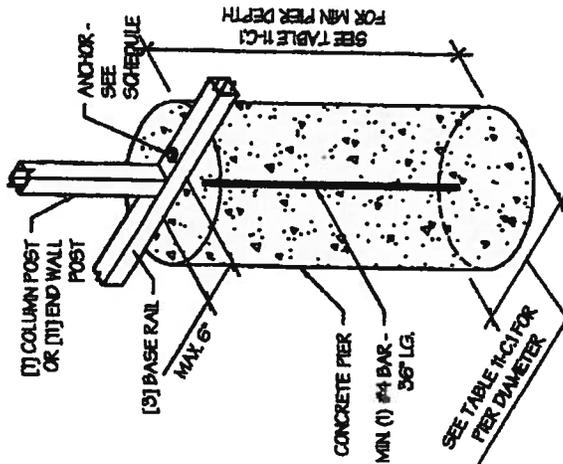
WIND SPEED (MPH)	MIN. SIZE (INCH)
105 TO 130	12"Ø X 36"
140 TO 155	12"Ø X 42"
165 TO 190	12"Ø X 48"

TABLE 11-C.2: CONCRETE PIER ANCHOR SCHEDULE

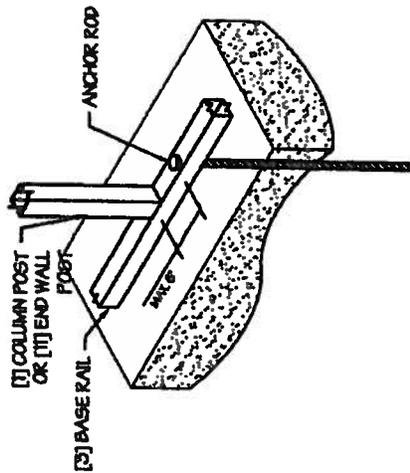
WIND SPEED (MPH)	ANCHOR SIZE
105 TO 140	1/2"Ø X 7"
155 TO 190	5/8"Ø X 7"

NOTES:

- EXPANSION ANCHORS, WEDGE ANCHORS OR ADHESIVE ANCHORS MAY BE USED.
- MIN. EMBEDMENT DEPTH TO BE 4".
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS.
- ALL ANCHORS TO BE AS07 EQUIVALENT OR BETTER.



CONCRETE PIER DETAIL  
SCALE: NTS



ANCHOR ROD INTO SOIL DETAIL  
SCALE: NTS

MANUFACTURED BY:

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## DRAWING INFORMATION

PROJECT: 18'-0" WIDE BUILDINGS  
LOCATION: STATE OF SOUTH CAROLINA  
PROJECT NO.: 114-15-0660  
SHEET TITLE:

## FOUNDATION OPTION 4: SOIL ANCHORS

SHEET NO.: 11-D / 11

DRAWN BY: IZM DATE: 6/25/15

CHECKED BY: OAM DATE: 6/25/15

## LEGAL INFORMATION

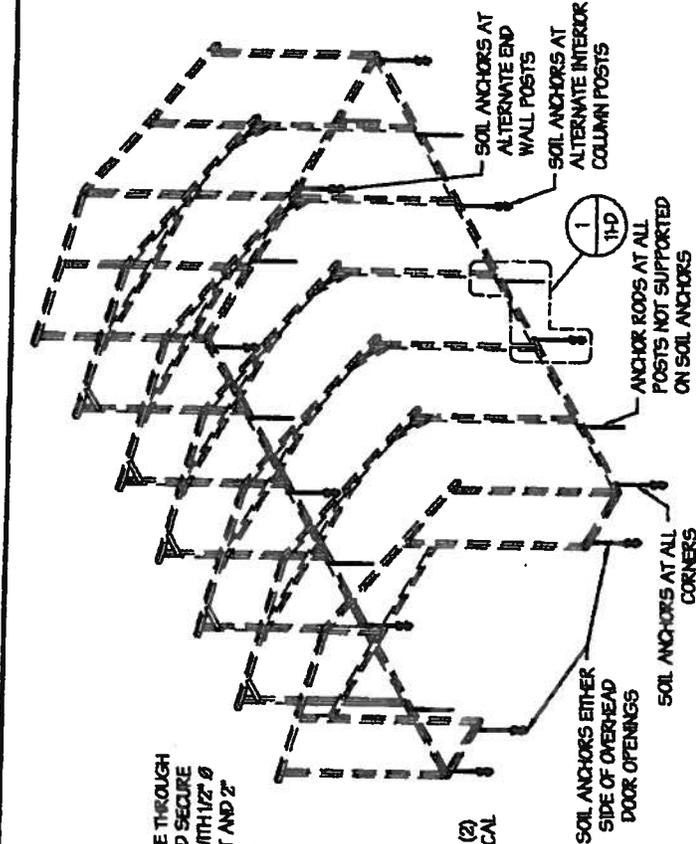
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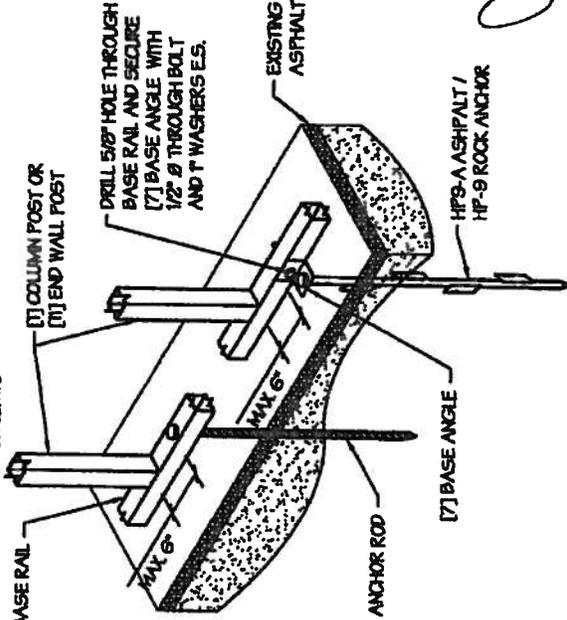


DATE EXPIRES: 06/30/2016

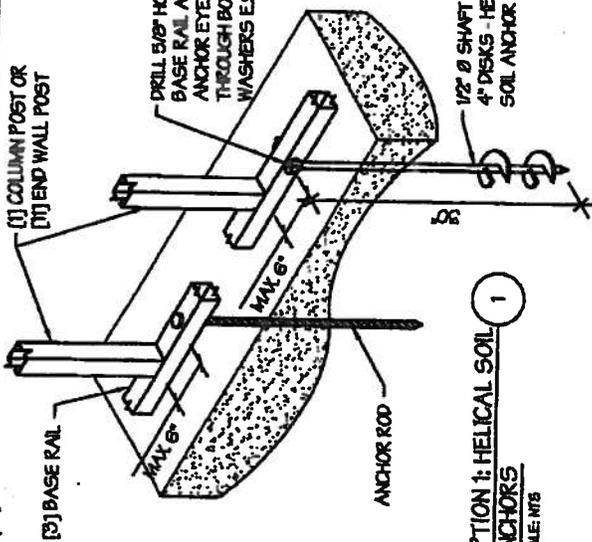
DATE BORN: JUN 25 2015



SOIL FOUNDATION  
SCALE: NTS



OPTION 2: ROCK / ASPHALT ANCHORS  
SCALE: NTS



OPTION 1: HELICAL SOIL ANCHORS  
SCALE: NTS

## SOIL FOUNDATION NOTES:

- DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION. ANY OF THE FOUNDATIONS SHOWN ON SHEETS 11-A THRU D CAN BE USED.
- SOIL ANCHORS (HELICAL OR ROCK/ASPHALT) SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVER-HEAD DOOR OPENINGS AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
- HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
- HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATIONS THIS PAGE).
- ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. ROD. RODS WILL HAVE A WELDED NUT AT THE TOP AND ONE COAT OF RUST PROOF PRIMER.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN OF 1500 PSF.

## SOIL CLASSIFICATIONS:

SOIL CLASS	DESCRIPTION
2	SANDY GRAVEL AND GRAVEL, VERY THIN DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/CORBLES, PRELOADED SILTS, CLAYS AND CORAL SAND.
3	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.

\*FROM HUD MODEL MANUFACTURED HOME INSTALLATION STANDARDS\*

**1103 BATTERY CREEK ROAD  
STAFF REPORT**

**CITY OF BEAUFORT  
ZONING BOARD OF APPEALS  
Staff Report and Recommendations  
Meeting of 24 August 2015**

---

**Case Number:** ZB15-18  
**Property Address:** 1103 Battery Creek Road  
**Applicant:** Lonnie Elliot  
**Type of Request:** Variance from Limit on Size of Shed  
**Zoning:** R-2

---

**Background:** The property is located at 1103 Battery Creek Road in the Mossy Oaks neighborhood (see Site Location Map attached). The property is identified as District 120, Tax Map 6, Parcel 102. A single-family dwelling is located on the property (see attached photos). The property is zoned "R-2 Medium Density Single-Family District" (R-2).

The applicant desires to locate a shed on his property. The shed, which comes in specific sizes, is proposed to be 18' x 20', or 360 square feet. Section 5.4.B.2 of the Unified Development Ordinance (UDO) (attached) stipulates a shed shall not exceed 320 square feet. The shed is 40 square feet larger (12.5%) than permitted by Section 5.4.B. 2. The applicant has submitted plans for the shed. It will be fully enclosed. The sheds come in pre-designed sizes, 12' x 20' (240 square feet), 18' x 20' (360 square feet), etc. The applicants are requesting a variance of Section 5.4.B.2 to allow the 18' x 20' shed to be located on the property.

**Staff comments:** If the applicant did not already have a carport, and the shed had garage doors, the shed could be considered a "garage" and could be larger than 320 square feet.

What type of doors will the shed have?

Where will the shed be located on the lot?

A site visit showed a boat parked in front of the dwelling. Boats cannot be parked between the building and the street as per Section 7.6.H of the Unified Development Ordinance (attached).

Staff also noted a satellite dish in front of the dwelling. Satellite dishes are not permitted in the front yard of a residential dwelling unless it is documented there is no other location on the property where the dish will be operational (see Section 5.4.E.2 attached).

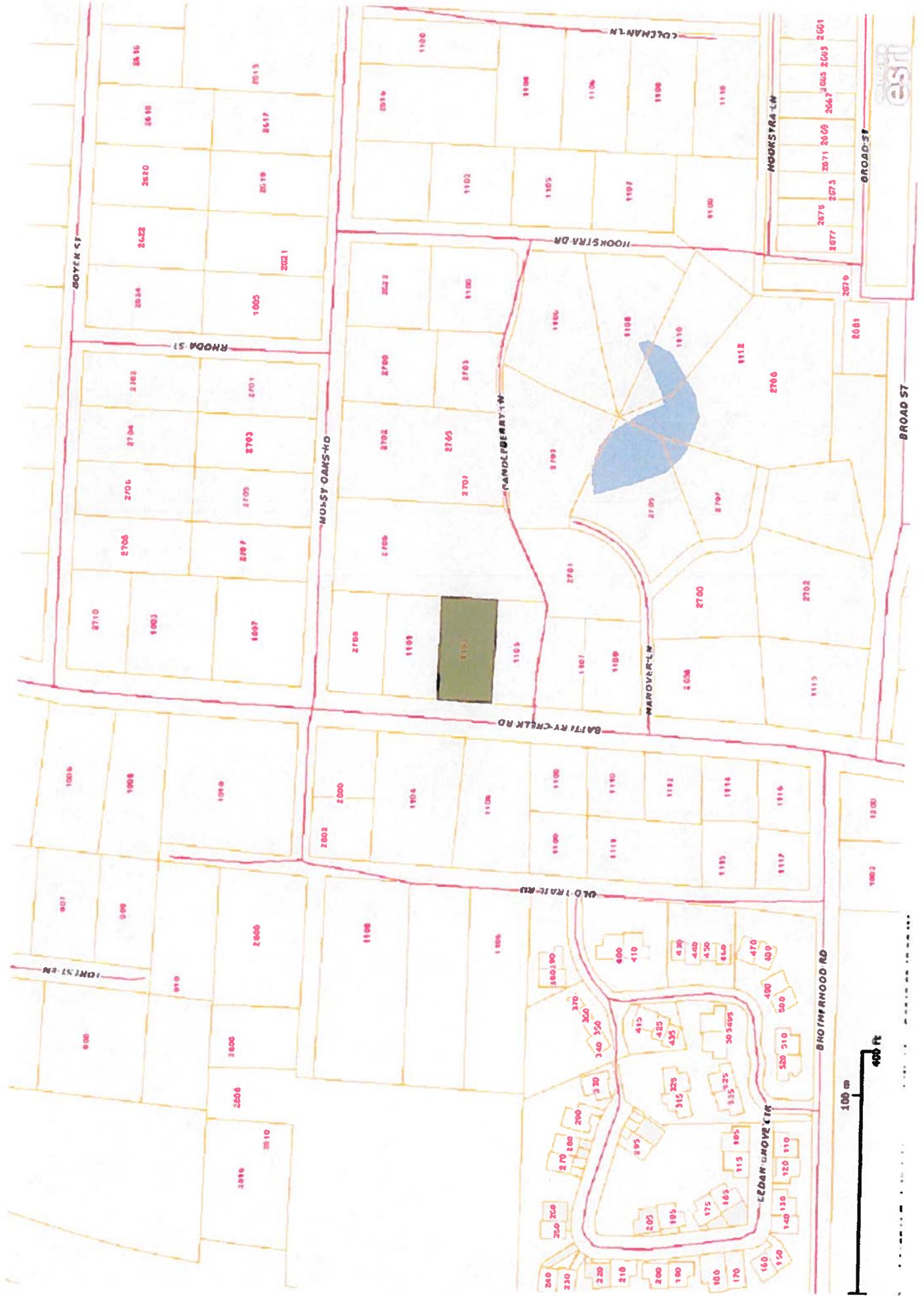
**Public comment:** The public hearing notice referencing this application appeared in the August 9 edition of *The Beaufort Gazette*. The property was posted on August 10. Letters were sent to adjoining property owners on August 12. Staff has received no public comments on this application as of the date of this writing.

**Staff findings:** Based on the information submitted with the application, staff has concluded the following:

- (1) *Extraordinary and exceptional conditions.* The Board must determine there are extraordinary and exceptional conditions attached to this property.
- (2) *Conditions as applied to other property in the vicinity.* The Board must determine that these conditions do not generally apply to other property in the vicinity.
- (3) *Conditions not a result of the applicant's own actions.* The Board must determine that these conditions are not the result of the applicant's own actions.
- (4) *Not in conflict with Comprehensive Plan.* In staff's opinion, granting of the variance would not conflict with the Comprehensive Plan or the purposes of the UDO.
- (5) *Unreasonable restriction on utilization of the property.* Staff believes it may be an unreasonable restriction on use of the property to prevent an attractive, well-built shed from being located on the property, when the shed is only 12.5% over the maximum size permitted, and where, in other circumstances, the shed could be considered a garage/carport, and would be permitted at the proposed size.
- (6) *Detriment to adjacent property and the public good.* Staff believes that granting of the variance will not be a detriment to adjacent property or the public good, if the shed is of an attractive design and is located in the back yard of the dwelling.

**Staff recommendation:** The Board must make all six findings in order to approve the variance.

# 1103 Battery Creek Road



## 5.4 Accessory Uses

### A. Purpose

In addition to the Principal Uses, each of the following uses is considered to be a Customary Accessory Use, and as such, may be situated on the same lot with the Principal Use or uses to which it serves as an accessory. No accessory use or structure, except for docks, shall be constructed or established on any lot prior to the time of construction of the principle structure to which it is accessory.

### B. Uses Customarily Accessory to Residential Dwellings

1. Either a private garage (attached or detached) or workshop subject to the following standards:
  - a. Such structure (including attached garages) shall not be located in front of the front line of the dwelling (i.e. front façade, front building wall) except on lots on the marsh or water or where the garage will be more than 100' from the front property line.
  - b. A garage (attached or detached) shall not exceed 50% of the footprint of the dwelling; however, in no case shall the footprint of the garage exceed 1,200 square feet.
  - c. Detached garages shall not exceed the height of the primary structure except when the garage contains an accessory dwelling unit.
  - d. A garage may be provided with electricity, a sink, and a commode.
  - e. A workshop shall not exceed 320 square feet.
  - f. A workshop may be provided with electricity and a sink, but shall not be used as an accessory dwelling unit.
2. One shed or storage building up to 3% of the size of the lot, not to exceed 320 square feet. Steel cargo storage containers or modified versions thereof are not permitted. Sheds shall not be located in front of the front line of the dwelling. Such shed may be provided with electricity and a sink.
3. One children's playhouse up to 150 square feet in size and play equipment.
4. One private swimming pool, which may have a bath house or cabana up to 200 square feet in size and 15 feet in height. Such pool shall have fencing (barriers) meeting the requirements of Section AG105 of the International Residential Code as amended.
5. One private dock which may have a boat house under 15 feet in height.
6. Noncommercial flower, ornamental shrub or vegetable garden.
7. Gazebos, trellises, picnic tables, and furniture designed specifically for outdoor use.
8. One accessory dwelling unit subject to the standards set out in Section 5.3.B.1.

### C. Uses Customarily Accessory to Retail Business, Office Uses and Commercial Recreational Facilities

1. Off-street parking or storage area for customers, clients or employee-owned vehicles.





3. Required off-street loading and unloading areas shall in all cases be located on the same lot or parcel of land as the structure they are intended to serve. In no case shall the required off-street loading space be considered as part of the area provided to satisfy off-street parking requirements as listed herein.
4. The provisions of this Section can be waived by the Administrator for lots proposed for office or commercial uses (except grocery or beverage stores), where the size of each existing or proposed building on the lot is less than 25,000 square feet. The Administrator shall consider the following when evaluating a waiver of the off-street loading requirement: the total square footage of all existing and proposed uses on the lot; the type of uses existing and proposed on the lot; and the proposed method of deliveries for existing and proposed uses on the lot.

#### **H. Parking, Storage or Use of Campers or Other Major Recreation Equipment**

No major recreational equipment shall be parked or stored in any residential zoning district in a manner which poses a nuisance or constitutes a hazard, provided however that such equipment may be parked anywhere on residential premises for a period not to exceed 12 hours during loading or unloading. Such equipment shall observe all setbacks, yard, and other requirements set forth within the residential districts in which they are located. Parking or storage of recreational equipment shall not be permitted in any residential district between the street and the building face. No such equipment shall be used for living, sleeping, or housekeeping purposes when parked or stored on a residential lot, or in any location not approved for such uses.

#### **I. Parking and Storage of Certain Vehicles**

1. Automotive vehicles, trailers, or vehicles of any kind or type, requiring licenses, but without current plates, shall not be parked other than in completely enclosed buildings.
2. In residential districts, unlicensed vehicle restoration is permitted, provided the vehicles undergoing restoration or used for parts shall either be covered by a commercially manufactured opaque automobile cover in serviceable condition or stored in an enclosed building. Not more than one vehicle per premises for either renovation or parts may be screened by use of a cover. The other vehicle must be in an enclosed building. The cover shall be securely fastened to the vehicle. The vehicle screened by use of a cover must be registered with and a permit obtained for a three-year period from the Codes Enforcement Office. There shall be no limit on renewal of the permit. Commercial repairs and/or restoration of vehicles shall only be conducted in the appropriate zoning districts.
3. Trucks, tractors or tractor-trailers having a capacity of more than a one-and-one-half-ton load, front- and rear-end loaders, or any kind of commercial, industrial, agricultural and transportation vehicles/equipment used primarily for business purposes, shall not be parked or stored on or about any residential district within the City for purposes other than unloading, loading or delivery services. Automobiles, small trucks, vans, vehicle trailers permitted in conjunction with an approved home occupation (one per home

2. Completely enclosed building for the storage of supplies, stock or merchandise. Steel cargo storage containers or modified versions thereof are not permitted.
3. Light manufacturing and/or repair facility incidental to the principal use provided that dust, odor, smoke, noise, vibration, heat or glare produced as a result of such manufacturing or repair operation is not perceptible from any boundary line of the lot on which said principal and accessory uses are located and provided such operation is not otherwise specifically prohibited in the district in which the principal use is located.
4. Sheds or tool rooms for the storage of equipment used in operations or maintenance. Steel cargo storage containers or modified versions thereof are not permitted.
5. Open yard use for the storage of materials or equipment, excluding junk or other salvage is only permitted in the Highway Commercial District and the Limited Industrial District and shall be separated from adjoining properties by an opaque screen, fence or wall at least seven feet in height above finished grade.
6. Marinas may include the following accessory uses: mooring field, boat tours, boat fueling and pump-out facilities, restrooms, and marina office/store.

**D. Uses Customarily Accessory to Public Uses, Buildings or Activities**

There shall be no limitations regarding accessory uses to any use, building or activity operated within the public domain except that such uses, buildings, or activities must be directly related and subordinate to the principal Public Use.

**E. Satellite Dishes**

The guidelines for the siting of satellite dishes are as follows:

**1. General Requirements**

No form of advertising shall be allowed on the dish or framework other than the manufacturer's small identification plate.

**2. Residential Zones**

Satellite dishes should be placed in the side or rear yard or on the roof. Dishes shall not be allowed in any front yard unless a company licensed to install satellite dishes in the City certifies that the front yard is the only place where the dish will be operational. Satellite dishes should be screened from the street and to the degree feasible, from adjoining properties. Such screening can be accomplished through fencing, landscaping, or placement of the dish between/behind architectural features of the building.

**3. Commercial Zones**

The preferred location for all dishes is in the rear yard or on the roof. Dishes are encouraged to be screened from the street and to the degree feasible, from adjoining properties. Screening can be accomplished through fencing, landscaping, or placement of the dish between/behind architectural features of the building. Dishes greater than two meters in diameter must be located in the side or rear yard or on the roof and must be screened from the street and to the degree feasible, from adjoining properties.

**PUBLIC COMMENTS RECEIVED BY THE  
PLANNING DEPARTMENT**

**PUBLIC COMMENTS  
ZONING BOARD OF APPEALS APPLICATION  
1103 Battery Creek Road**

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**Date of Comment:** August 19, 2015

**Name of Person Commenting:** Bernadine Hess

**Address:** lives in the neighborhood

**Summary:** Ms. Hess left a message. She said she received the letter and that she is "all right" with the request.

**Staff Taking Comments:** Libby Anderson