

AP# 9760
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4/9/14 cc

City of Beaufort Zoning Board of Appeals
1911 Boundary Street
Beaufort, South Carolina 29902
Phone (843) 525-7011 / Fax (843) 986-5606
Revised August 2010

Application Fees	
<input checked="" type="checkbox"/>	Residential \$200
<input type="checkbox"/>	Commercial \$300
<input type="checkbox"/>	Special Meetings \$500

VARIANCE APPLICATION

OFFICE USE ONLY: Date Filed: 4-9-14 Application #: ZB/14-08 Zoning District: R-7

Instructions

Entries must be printed or typewritten. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not the owner, the owner(s) must sign the Designation of Agent (below).

Submittal Requirements

1. A legal survey of the property.
2. An accurate, legible site plan showing the north arrow, dimensions, and locations of all existing and proposed structures and any improvements relevant to the appeal such as trees, fences, power lines. Six copies of all plans are required.
3. Photograph(s) of the site. For variances, include photos showing relationship to adjoining properties.

APPLICANT(S): James and Louise Coleman
 Address: 133 Elliott St Beaufort SC 29902
 Telephone: 476-6527 [day] None [fax]
 E-mail: jacobson1@hargray.com

OWNER(S) if other than Applicant(s): _____
 Address: _____
 Telephone: _____ [day] _____ [fax]

PROPERTY STREET ADDRESS: 133 Elliott Street

Tax Map No.: 5
 Parcel No.: 119 (lots 151 & 152)

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?
 ___ Yes No

DESIGNATION OF AGENT [complete only if owner is not applicant]:
 I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.
 Date: _____ Owner's Signature: _____

I (We) certify that the information in this application is correct.
 Date: 4.16.14 Applicant's Signature: [Signature]

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1911 Boundary Street
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Phone: (843) 525-7011, Fax: (843) 986-5606
E-Mail: planning@cityofbeaufort.org
Revised October 7, 2010

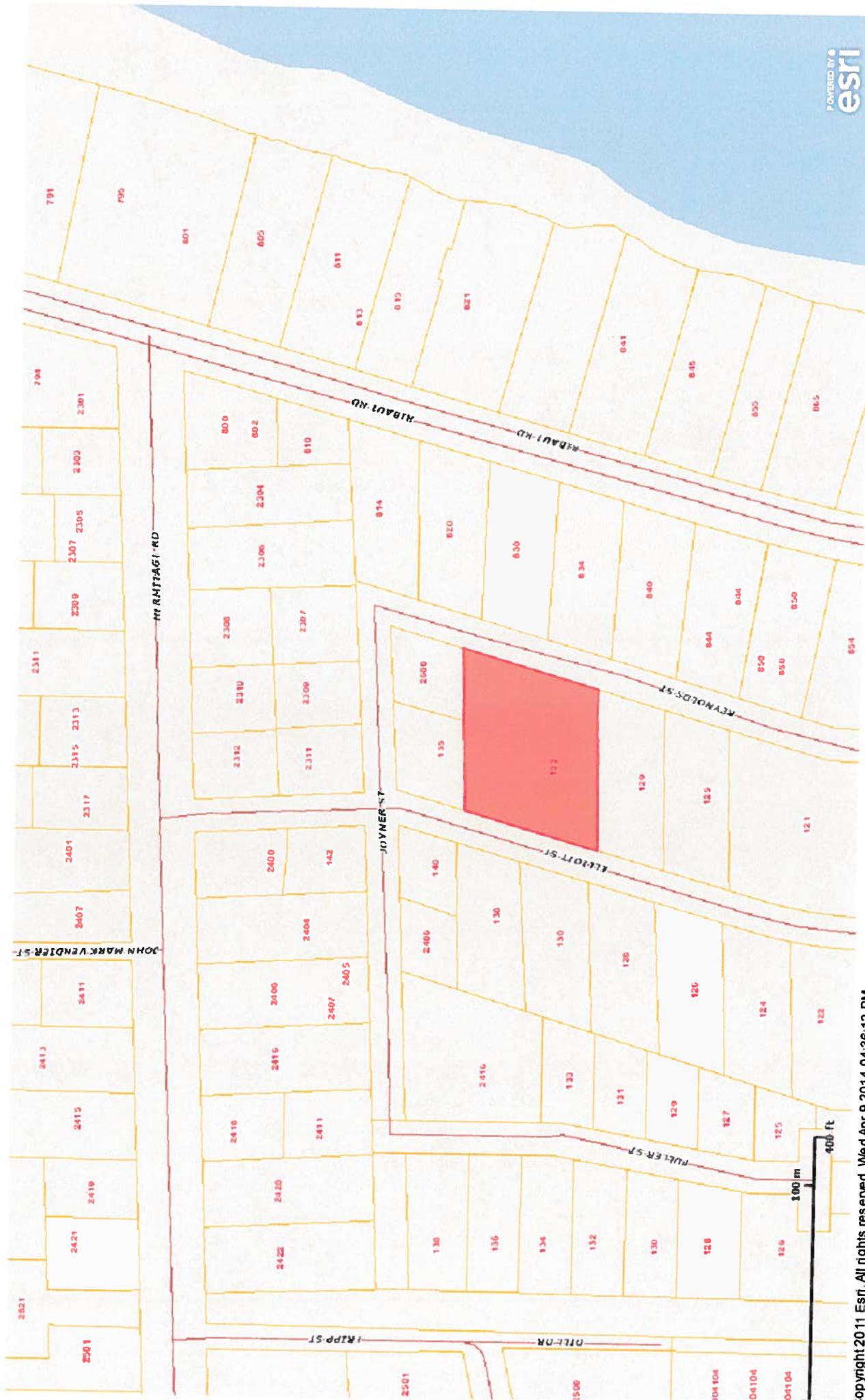
VARIANCE APPLICATION

Applicant hereby appeals to the Zoning Board of Appeals for a variance from the strict application to the property described on Page 1 of the following provisions in Section 3.15 of the Unified Development Ordinance (UDO): _____

so that a building permit may be issued to allow use of the property in a manner shown on the attached plot plan, described as follows: (e.g., build a garage) lot line variance
set back variance
for which a permit has been denied by a building official on the grounds that the proposal would be in violation of the cited section(s) of the UDO:

1. The application of the UDO will result in unnecessary hardship, and the standards for a variance set by State law and the UDO are met by the following facts:
 - a. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: see attached
 - b. These conditions do not generally apply to other property in the vicinity as shown by: see attached
 - c. The conditions are not the result of the applicant's own actions as follows: see attached
 - d. Granting of the variance would not substantially conflict with the Comprehensive Plan and the purposes of the UDO in that: see attached
 - e. Because of these conditions, the application of the UDO to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: see attached
 - f. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: see attached

133 Elliot Street



Lot Line Variance

D. 1.a.

The extraordinary conditions that would apply to these two lots are as follows: The dwelling was built on top existing lot line which runs right down the middle of the large lot as shown in the attached aerial view of the neighborhood. All but one of the other lots on Elliott St. are already half the size of the combined lots of 151 and 152 Hundred Pines. Given the fact that the dwelling was built in the middle of the two lots we have been restricted from using them as two separate lots as others have done on Elliott.

1.b.

I know one of the criteria is that the lot have 100' for a drive. There are several instances of drives in 100 Pines, many on Elliott, Joyner and Fuller, that do not. The proposed lot would have over 100' on Reynolds however, and there are about four homes that not only have drives on Reynolds, but they receive city mail, recycle and trash pick up as well.

Also, other lots on Elliott were either already divided to be .5 acre or less, or were originally drawn that way. There are only two lots in our vicinity (one being 151 & 152 combined) that are over an acre. Others are .5 or less. Look to Fuller for examples of lots that are not much greater than .25.

1.c.

The dwelling was built in the middle of the two lots by the original owner in 1949. Not much we could do about that!

1.d.

Because there are dwellings and out buildings along many of the homes on Elliott that back up to Reynolds, I believe that a dwelling being built towards the back of the lot would not conflict with other dwellings in the area. Especially since there are two homes on Joyner that sit adjacent to 151, one sits level with the existing dwelling on 133 Elliott, and the other would sit level with a new Dwelling on this proposed lot. (see attached pages)

Further, there are several lots on Elliott and Ribaut that back up to Reynolds. Several have drives on Reynolds which have city trash, recycle pick up, and mail delivery. Several of these lots have dwellings on Reynolds as well. Given this precedence, it seems that a new dwelling on the proposed lot should be able to have a drive on Reynolds and still face Elliott, keeping in line with the other homes on Elliott. Or, a drive to Reynolds and a nice path to Elliott for city trash etc.

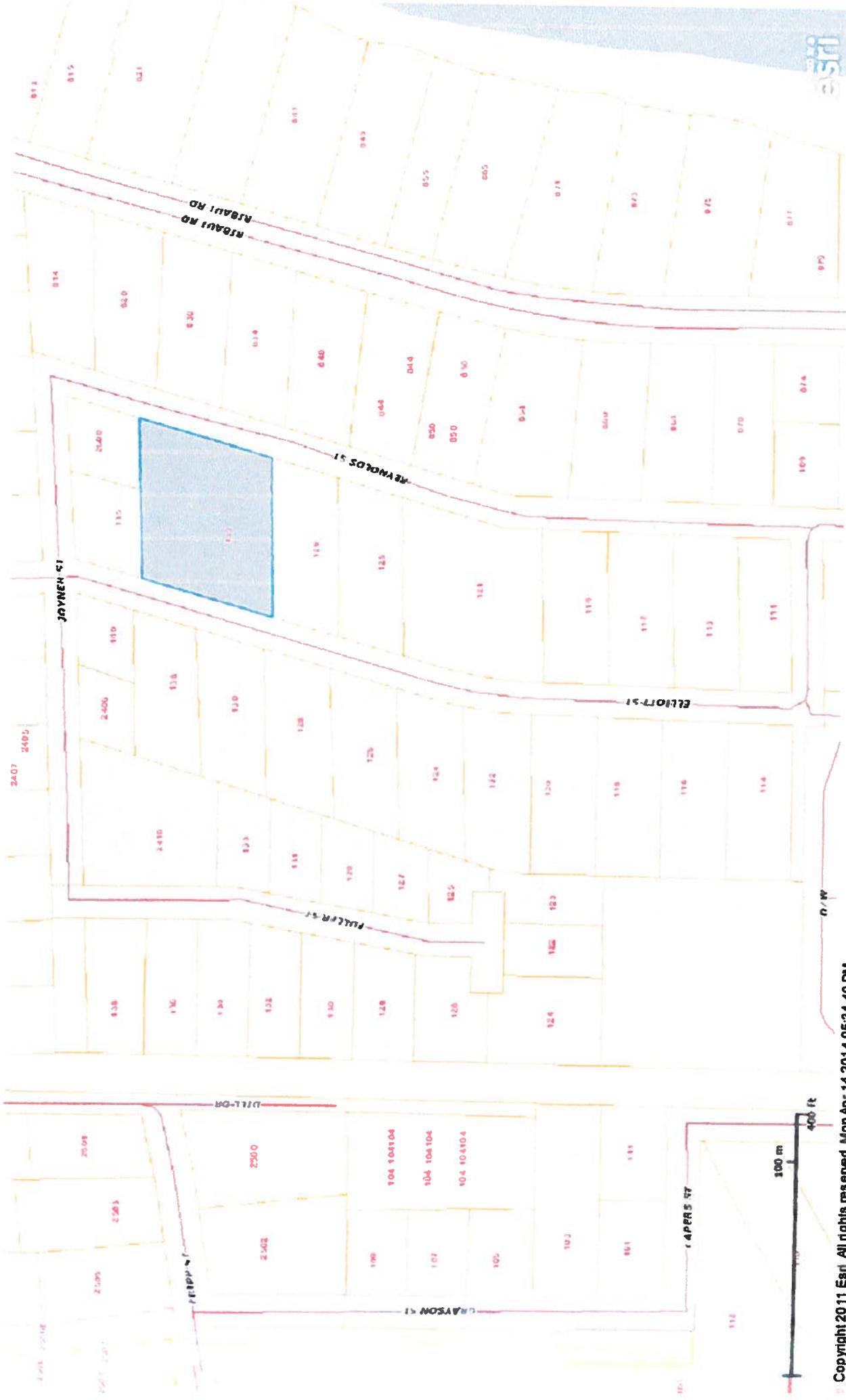
1.e. The size of this lot alone should be a sufficient reason for division. We will still be left with two nice sized lots.

1.f. I do not believe this proposed lot would be a detriment to adjacent properties or the area because the lot would still be larger than or equal size to the majority of the other lots in the area, especially those adjacent to the proposed lot. Also, as you know, Elliott St., not to mention all of Hundred Pines, doesn't have one particular dwelling style. There are large homes, one-story, two-story, ranchers, box-shaped homes, some lots with only garage apartments, even some with campers and RVs.

Set Back Variance

I would add to the above in this regard that the set back that is required is due to the HVAC on the side of the dwelling on 151. I don't believe that a new dwelling on 152 would be near that area. Only a drive or possibly a walkway to Elliott. Given that, I don't think that a variance would negatively effect a dwelling on either lot or adversely impact the surrounding neighborhood.

Elliot Street Area



Examples of the existence of drives, dwellings and city services on Reynolds Street.

There are a total of 12 existing drives on Reynolds including 4 with **trash pick up, recycling, and mail delivery**. There are a total of at least three dwellings on Reynolds.



Example of drive including mail delivery and trash pick up



Examples mail delivery, recycling, and trash pick up





Example of drive and dwelling



Example of drive and out building



Example of drive



Example of drive including mail delivery and trash pick up



Example of drive



Example of drive



Example of drive



Example of drive



Example of dwelling and drive



Example of drive

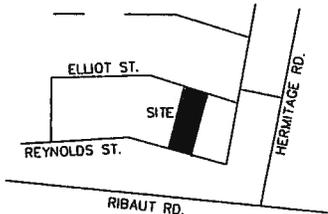


Example of drive

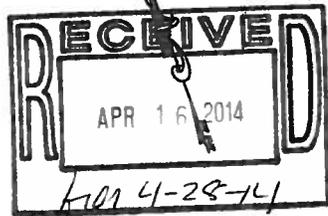
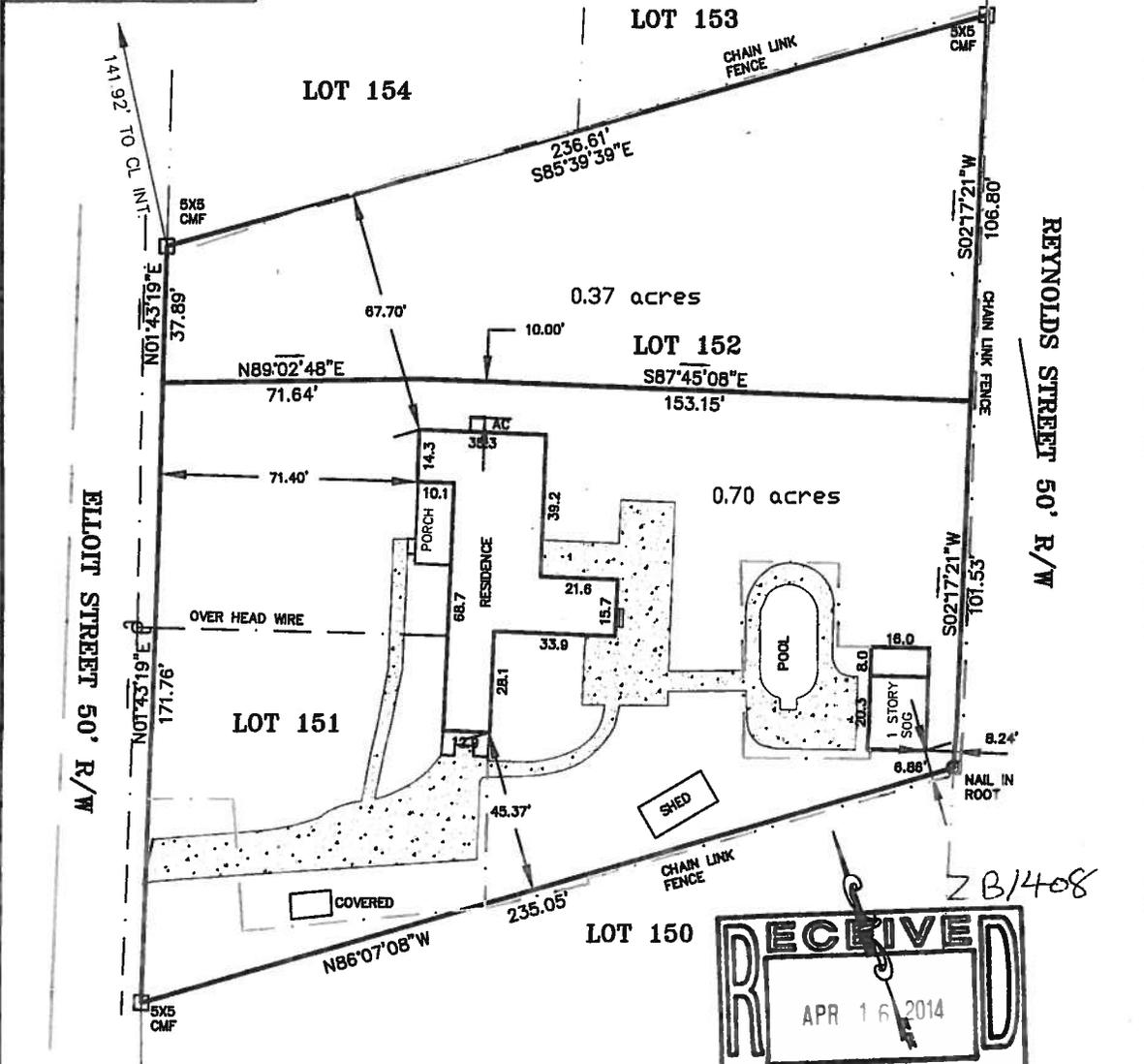


GASQUE ASSOCIATES INC.
LAND SURVEYORS & PLANNERS

28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
 P.O. BOX 1363, BEAUFORT, S.C.
 PHONE (843) 522-1798



VICINITY MAP NOT TO SCALE



ASBUILT SURVEY PREPARED FOR
JAMES COLEMAN and LOUISE COLEMAN
 BEING LOT 151 & 152, HUNDRED PINES SUBDIVISION, AS SHOWN ON A PLAT BY B.P. FRAZIER, III. DATED MARCH, 1948, REVISED JUNE 22, 1949 AND RECORDED IN PLAT BOOK 8, PAGE 8. BEAUFORT COUNTY R.M.C. TAX MAP R120 005 000 0119 0000
 LOCATED IN THE CITY OF BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA.

THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF ANY OVERLAY DISTRICTS, SUCH AS; AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
 CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 THIS PLAT IS COPYRIGHTED AND IS INTENDED ONLY FOR THE ENTITY OR PERSON(S) SHOWN HERE ON.
 THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
 BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED FLOOD ZONE INFORMATION MUST BE VERIFIED BY BEAUFORT COUNTY BUILDING CODES PHONE NUMBER (843)-470-2684.
 THIS PROPERTY LIES IN FLOOD ZONE C, AS DETERMINED BY FEMA, FIRM COMM.-PANEL NUMBER 460026-0005 D. DATED: 09/29/88.
 THE UNDERSIGNED DOES NOT CERTIFY THAT THE PROPERTY SHOWN HEREON COMPLIES WITH ANY RESTRICTIVE CONVEYANCES OR ANY CITY AND/OR COUNTY ORDINANCES.

I, DAVID E. GASQUE, HEREBY CERTIFY TO JAMES and LOUISE COLEMAN THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THERE IN. ALSO THERE ARE NO ENCROACHMENTS OR PROJECTIONS OTHER THEN SHOWN. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE ORIGINAL SIGNATURE AND HAS AN EMBOSSED SEAL. AREA DETERMINED BY COORDINATE METHOD.



SCALE: 1"=40' SCALE IN FEET DATE: 4/3/14

DAVID E. GASQUE, R.L.S. JOB # 41552
 S.C. REGISTRATION NUMBER 10506 FB#884/58 DSGN# 7
 THIS PLAT IS NOT BINDING UNLESS ACCOMPANIED BY AN ORIGINAL SIGNATURE AND AN EMBOSSED SEAL.