

## BOUNDARY STREET REDEVELOPMENT DISTRICT

### Design Review

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Date: **October 6, 2015**

Project: **Springhill Suites – New Construction**

Tax Map/Parcel No.: R122 001 000 001A 0000

Date of Submittal: 09.29.2015

Stage of Review: **Conceptual Review**

Reviewed under the City of Beaufort, South Carolina, Unified Development Ordinance

Article 6, Section 6.8, Boundary Street Redevelopment District, **as adopted: 02.06.07**

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**Boundary Street Master Plan**

(Highlighting proposed project location)

## Overview

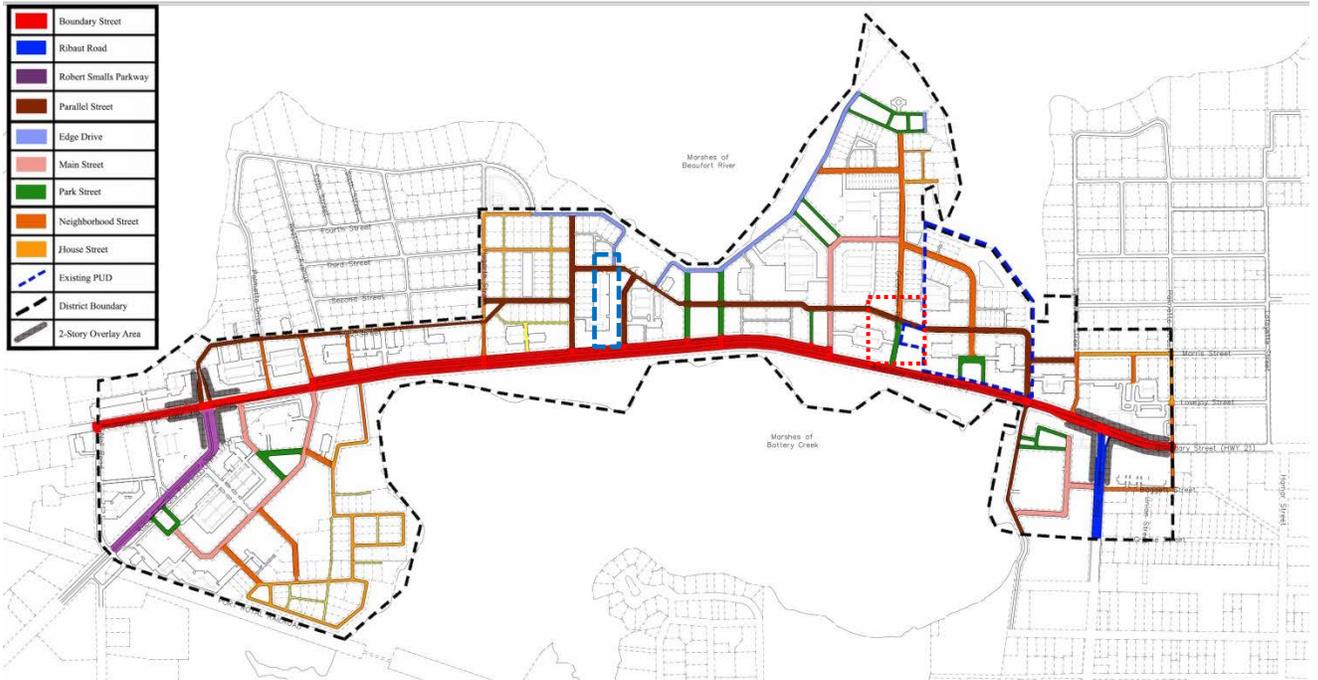
The applicant is proposing to construct a new Springhill Suites hotel where the existing Econo Lodge sits. The existing hotel will be removed and the new one built in its place. The new hotel will be developed under the Boundary Street Redevelopment District Ordinance.



### DETAIL OF BOUNDARY STREET MASTER PLAN

(Showing site of proposed project with existing buildings shown lighter)

The general location of this building is consistent with the Boundary Street Master Plan. The plan shows the existing hotel, with a new building in front of it addressing the street. The proposed hotel plan shows a long building fronting Boundary Street directly and being brought up to the setback line of the future slip road.



## BOUNDARY STREET REGULATING PLAN

(Showing area of proposed project)

### Regulating Plan

Development under the Boundary Street code is regulated by Street Type. As stated in Section 6.8-G: “The code regulates individual parcels of land based upon which type of street they front. The front of a building and its main entrance must face the primary street.” The Primary Street fronting the subject parcel is Boundary Street (BS-1 Section), thus requiring the building to front Boundary Street with its primary entrance. The site also includes a portion of new Parallel Street, which is being provided for in the plan.

## Street Types

The Street types related to this parcel are as follows:

### Boundary Street

### Parallel Street

These streets are ranked in this respective order of hierarchy from highest to lowest.

### Boundary Street (Section 6.8, G.1)

Boundary Street is the most important street in the redevelopment district. The subject site is located on a BS-1 section of Boundary Street as described in the code. The current construction plan does not include the future slip road/access lane.

**Building Placement:** The placement and orientation of the building are in keeping with the code requirements. The building is being pushed back to accommodate the future access lane.

**Building Width:** *16 foot min., 160 ft. max.* - At approximately 80 feet the proposed building meets the standard.

**Frontage Buildout:** *60% min* – Proposed building meets the standard.

**Building Height:** *2-story min.; 5-story max.* At 5 stories, the proposed building meets the standard.

**Lot Coverage:** *80% Maximum;* Proposed building meets the standard.

### Parallel Street (Section 6.8, G.8)

This project includes construction of a portion of a new Parallel Street spanning the width of this parcel as well as the adjacent parcel to the east. 2 travel lanes, diagonal parking, planting strips with street trees and sidewalks are provided on both sides to meet the intent of the ordinance.

**Building Placement:** Build to: *0'-15'* – N/A – the building does not directly engage with this parallel street as it is at the rear of the building.

**Building Width:** *16 foot min., 160 ft. max.* - Proposed building at approximately 20 feet meets the standard.

**Building Height:** *2-story minimum,* At 5 stories, the proposed building meets the standard.

**Lot Coverage:** *80% maximum,* proposed building meets the standard.

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### Permitted Uses (Section 6.8, E)

The proposed uses are permitted within the Boundary Street Redevelopment District.

## General Design Standards (Section 6.8, H)

1. **Building Heights:** The current design meets the ordinance
2. **Corner Radii and Clear Zones:** *Curb radii shall be between 9 and 15 feet. The code includes a provision for a 25 foot clear zone which can be enhanced through the use of a depressed flush curb, while maintaining the tight turning radii appropriate to pedestrian oriented urban environments. The intention is to shorten pedestrian cross walks and reduce vehicular speeds and reckless high speed turns. Please provide curb radii dimensions on the plan.*
3. **Streets:** The applicant should include on the site plan the design of street elements along major street frontages. This includes sidewalks, and street trees.
4. **Alleys:** N/A
5. **Exceptions from Build-to Lines:** N/A
6. **First Floor Height for Residential:** N/A
7. **Accessory Structures:** N/A
8. **Drive-thrus:** N/A 9. **Civic Sites:** N/A

**10. Parking/Landscaping:** *Wherever possible, parking lots shall be located behind buildings, such that building separates parking areas from the street. In no case shall parking be located in front of a building.*

- The location of the parking complies with the plan.
- A landscape plan will need to be provided showing site, street and parking lot landscaping.
- Street trees along the Parallel Street should be overstory trees. Cathedral Elms are one type of commonly used street tree in the city.
- Parking Screening: What is the timing for the proposed building? If it is not anticipated to be built within the next three years, the parking located behind that building will need to be screened from the street with shrubbery, wall, fences or some combination. The screening devices should be a minimum of 3.5 feet tall, and have a minimum of 50% opacity at time of planting. They should be 2/3 evergreen and meet their final height within 3 years.
- Parking Lot Landscaping: *Landscape medians at least 6' wide shall be provided between parking isles of either head-in or diagonal parking. Each median shall have at least 1 tree for every 20 linear feet...and may be covered with grass, shrubs or living ground cover.* There is one grouping of parking spaces that does not appear to comply with this requirement. Is it possible to shift the future building up to comply? If not, the building is more important than the landscape median so staff is willing to grant an exception to this requirement. Also please provide the width of the landscape medians provided.

11. **Large Footprint Buildings:** N/A

## Building Elements (Section 6.8, I)

1. **Door and Window Openings:**
  - *Primary entrances to all buildings shall be located on the exterior wall facing the frontage*

street as required by the code. The standard has been met.

- *Rectangular window openings facing streets should be oriented vertically.* This standard has been met.
- *Street facing facades shall contain 15% to 70% of transparent materials on each story below the roof line.* The standard has been met.

2. **Turrets and Cupolas:** N/A

3. **Colonnades / Arcades:**

- Minimum depth 8' from face of wall to inside face of column – this is noted via email to have been updated to 8' (please include dimensions on the final site plan and floor plan).
- Minimum height: 10' clear – this standard has been met.

4. **Balconies:** N/A

5. **Marquees & Awnings:** N/A

6. **Porches:** N/A

7. **Stoops:** N/A

## Architectural Standards (Section 6.8, J)

1. **Building Walls:**

- a. **General Requirements:** *An expression line shall delineate the division between the first story and the second story.* This standard has been met.
- b. **Permitted Finish Materials:** The use of stucco above a masonry material is appropriate. Stone is not a typical material native to Beaufort. Could you consider using brick? A full materials list, including colors, for the entire building should be submitted for final approval.

2. **Storefronts:** N/A

3. **Garden Walls and Fences:** Garden Walls and/or fences may be required to screen off-street parking (please see note above). Screening is also required to screen utilities and refuse enclosures. All screening walls and fences should be shown on the site plan and landscaping plan submitted with the next application, as well as on any appropriate building elevations. Please provide details of all screening.

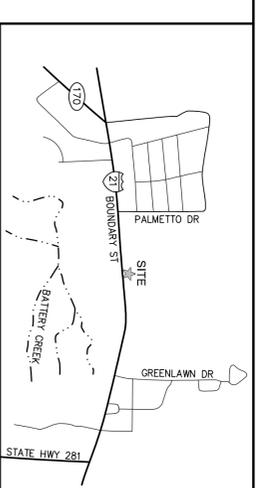
4. **Columns, Arches, Piers, Railings and Balustrades:** *Columns and Piers shall be spaced no farther apart than they are tall. Generally column bays should be equal and of precise proportions.* Staff appreciates the updated, 8' colonnade. Is it possible to make the bays equal in proportion (if the front entrance door bay is different, that's acceptable but the rest of the bays should be equal) and have a square or vertical proportion? This would likely require adding 2-3 columns. It would be acceptable if the columns did not correspond with the window layout beyond. It is important that they do correspond to the door location as you have shown.

5. **Roofs and Gutters:** Flat roofs with parapets are permitted.
6. **Windows, Skylights and Doors:**
  - *A header and sill are required for all windows. Is it possible to articulate headers and sills within the window areas on your facades?*
7. **Opacity & Facades:**
  - The opacity standards have been met.
8. **Signs:** General signage appears to meet the standards. A separate application with detailed dimensions will be required for all signage.

### **Conceptual Review Summary & Recommendations**

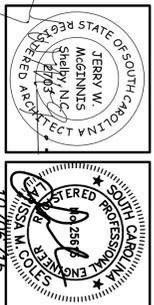
Staff gives **conceptual approval** to this project, contingent on receiving the site plan showing the Parallel Street with diagonal parking, with the following items to be provided and/or addressed at Final Submission. These items are **highlighted** in the staff report above:

- Curb radii dimensions shall be shown on the site plan;
- Colonnade dimensions shall be shown on the site and floor plans;
- Provide a landscaping plan to include fence, garden wall and screening details as appropriate;
- Address comments regarding parking lot layout, landscaping and screening;
- Address comment regarding stone;
- Address colonnade spacing and proportion requirement;
- Address window detail comment;
- Please provide the following drawings for final approval:
  - Existing Site plan with demolition;
  - Site plan including existing trees to be retained and removed;
  - Landscaping plan;
  - Paving, grading, drainage, utility and tree protection plan;
  - Locations of all mechanical equipment;
  - Lighting Plan;
  - Materials list of all building and site elements; and
  - Details on the building construction including a detail of the colonnade, detail of the brackets, detail of the entry porte-cochere, typical wall section through the windows at the ground floor and upper floors to show header, sill, and window depth



**VICINITY MAP**

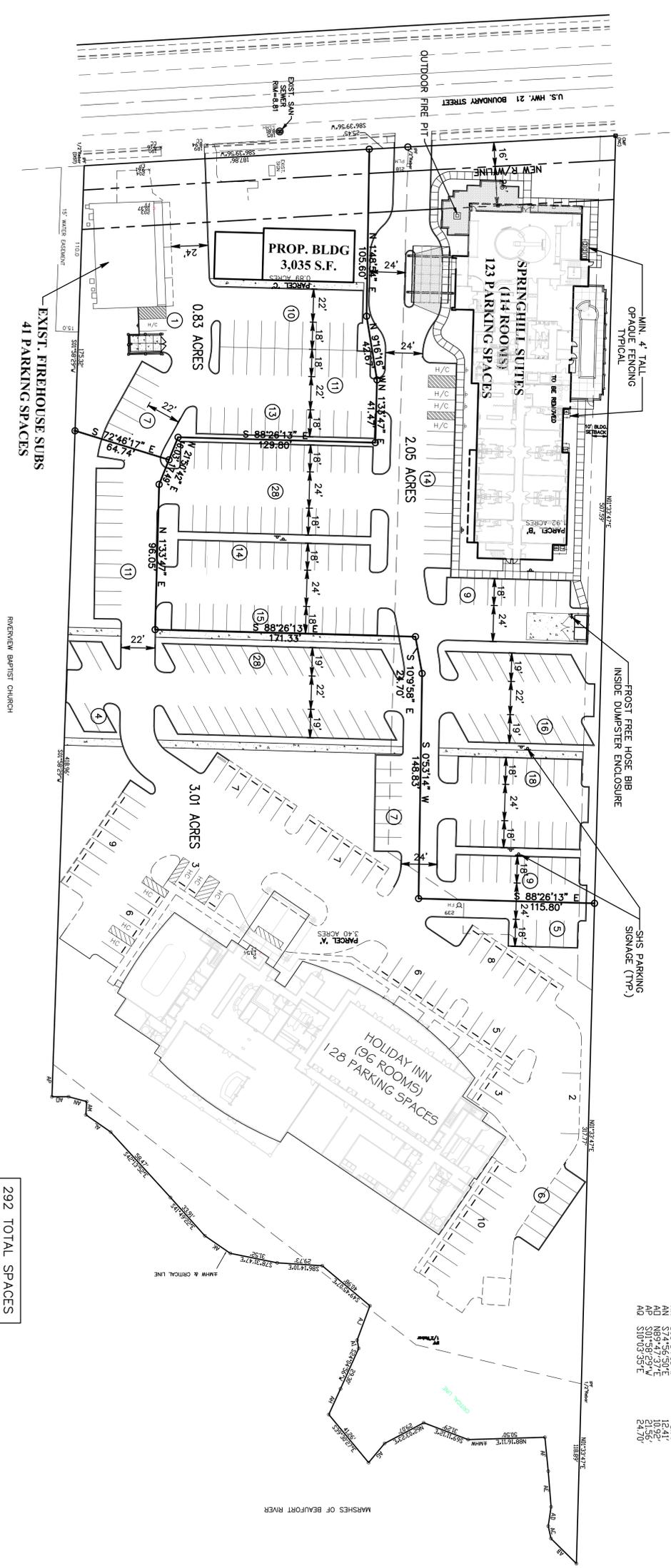
**McGinnis Coles, PLLC**  
 1701-1 Burke Road  
 Shelby, North Carolina 28152  
 PHONE: 704-482-7883  
 MOBILE: 704-692-4953  
 FAX: 704-487-6088  
 EMAIL: jmcginnis@mcginniscoles.com



LARISSA M. COLES, P.E.  
 1701-1 BURKE ROAD  
 SHELBY, NC 28152  
 704-482-7883 (PHONE)  
 704-487-6088 (FAX)  
 lcoles@mcginniscoles.com

Project Manager: Jerry W. McGinnis, AIA  
 Project Architect: Jerry W. McGinnis, AIA  
 checked by: JWM / LMC

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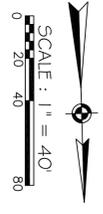


NO.	BEARING	DISTANCE
AA	S96°39'58"W	133.67
AB	S12°13'34"E	6.841
AD	S08°09'28"W	12.87
AE	S04°32'22"E	53.68
AF	S04°42'44"E	53.68
AG	N39°36'39"E	16.31
AH	S24°33'16"W	18.68
AI	S10°04'21"E	23.54
AL	S55°10'22"E	20.38
AM	S02°54'18"W	9.47
AN	N99°47'37"E	11.92
AP	S01°58'29"W	21.56
AQ	S10°03'33"E	24.70

292 TOTAL SPACES

**STAKING AND STRIPING PLAN**

SCALE: 1" = 40'-0"



**Vimal Enterprises, LP**  
 owner  
 Beaufort, South Carolina 29902

**Springhill Suites**  
 Boundary Street  
 Beaufort, South Carolina 29902  
 project title

STAKING AND STRIPING PLAN  
 sheet title

1404-2  
 project no.  
 04/15/14  
 date

**C-1**

sheet no. . of .



EXTERIOR FINISH KEY	GENERAL NOTES	CRITERIA NOTES
 E1 COLOR 1  E2 COLOR 2  E3 COLOR 3 TRIM AND FRAMES  E5 COLOR 5  E6 COLOR 6  E7 COLOR 7	<p>1. GUTTERS SHALL BE PRE-FINISHED ALUMINUM, SMACNA RECTANGULAR TYPE GUTTER STYLE F SIZED AS REQ'D FOR LOCAL CLIMATE CONDITIONS. 3" MIN. HEIGHT GUTTERS SHALL HAVE CONTINUOUS, NON-CORROSIVE LEAF SCREEN.</p> <p>2. DOWNSPOUTS SHALL BE PRE-FINISHED ALUMINUM SIZED AS REQUIRED PER LOCAL CLIMATE CONDITIONS 3" X 4" MINIMUM.</p> <p>3. DOWNSPOUT BOOT AND EXPOSED PORTIONS OF UNDERGROUND STORM WATER PIPE SHALL BE PAINTED TO MATCH DOWNSPOUTS.</p> <p>4. SEE DOOR &amp; WINDOW SCHEDULES, SHEET 601 FOR ADDITIONAL INFORMATION.</p> <p>5. PAINT ALL ROOFTOP MOUNTED DEVICES AND PENETRATIONS TO MATCH ADJACENT ROOF MATERIAL.</p> <p>6. E.I.F.S. COLORS ARE INTEGRAL IN THE FINISH AND SHALL NOT BE A PAINTED FINISH.</p>	<p>48 PTAC LOUVERS FRAMED INTEGRAL WITH WINDOWS</p> <p>49 PREFINISHED ALUMINUM WINDOW AS SCHEDULED</p> <p>54 METAL PANEL, TRIM AREA - COLOR AND TEXTURE TO MATCH ADJACENT WINDOW</p> <p>65 BACKLIGHTED, THERMO-PLASTIC SPRINGHILL SIGN - RECESSED IN EIFS FACE AND WRAPS END OF BUILDING FACE. MARRIOTT SIGN TO BE SURFACE MTD CHANNEL LETTERS. SEE SIGNAGE PACKAGE. SIGN LETTERS ARE TO BE THE BRAND COLOR BY DAY, WHITE AT NIGHT (DUAL-COLOR FILM), WHERE THE BUILDING COLOR IS MEDIUM TO DARK TONED, WHITE FACE LETTERS BY DAY &amp; NIGHT SHOULD BE USED.</p> <p>143 PROVIDE METAL COPING CAP AT PARAPETS</p>

### McGinnis Coles, PLLC

1701-1 Burke Road  
 Shelby, North Carolina 28152  
 PHONE: 704-482-7883  
 MOBILE: 704-692-4953  
 FAX: 704-487-6088  
 EMAIL: jmcginnis@mcginniscoles.com



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 drawn by: MSG  
 checked by: JWM / LMC

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no.	description	date
Revisions		

### Vimal Enterprises, LP

Beaufort, South Carolina 29902  
 owner

### Springhill Suites

Boundary Street  
 Beaufort, South Carolina 29902  
 project title

### EXTERIOR BUILDING ELEVATIONS

sheet title

1404-2  
 project no.

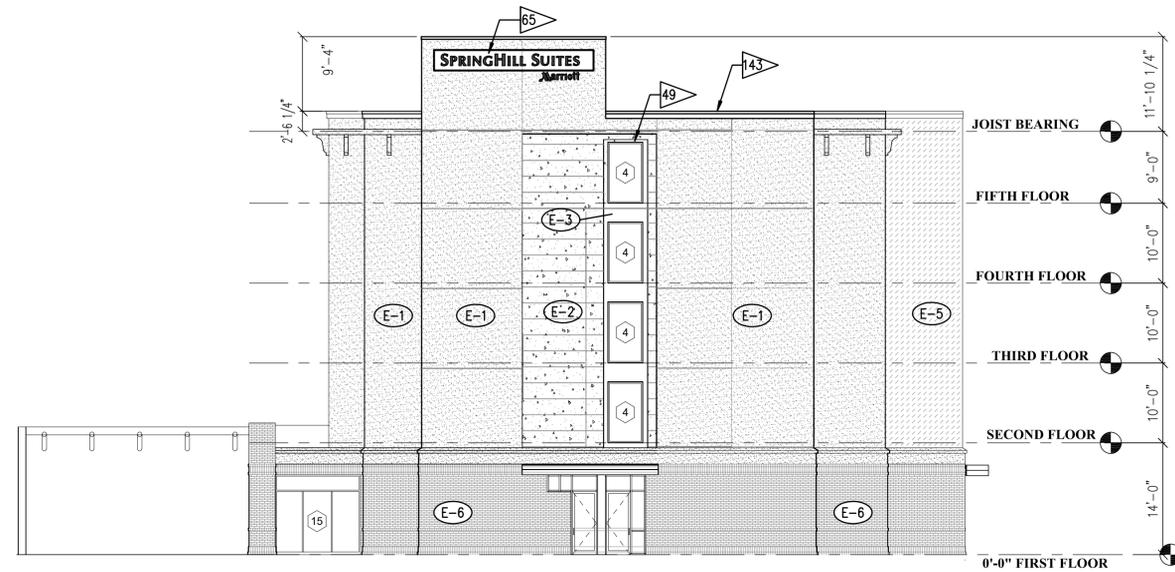
08/17/15  
 date

# A-209a

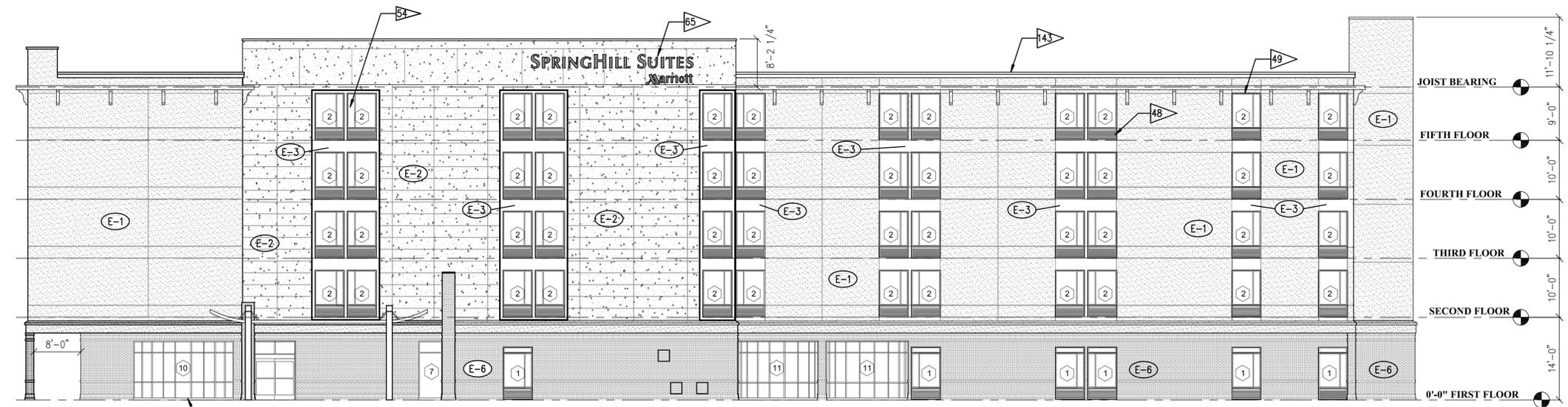
sheet no. . of .



**3 FRONT ELEVATION**  
 SCALE: 3/32" = 1'-0"



**4 REAR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**1 RIGHT SIDE ELEVATION**  
 SCALE: 3/32" = 1'-0"

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 Shelby, North Carolina 28152  
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no.	description	date
Revisions		

**Vimal Enterprises, LP**

Beaufort, South Carolina 29902  
 owner

**Springhill Suites**

Boundary Street  
 Beaufort, South Carolina 29902  
 project title

**EXTERIOR BUILDING ELEVATIONS**

sheet title

1404-2  
 project no.

08/17/15  
 date

**A-209b**

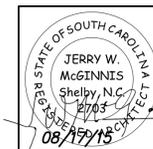
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**1** LEFT SIDE ELEVATION  
 A209b SCALE : 3/32" = 1'-0"

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Beaufort, South Carolina 29902  
 owner

**Springhill Suites**

Boundary Street  
 Beaufort, South Carolina 29902  
 project title

**EXTERIOR FURNISHING PLAN**

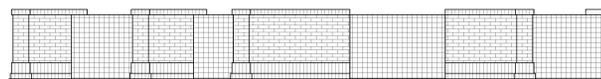
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1404-2  
 project no.

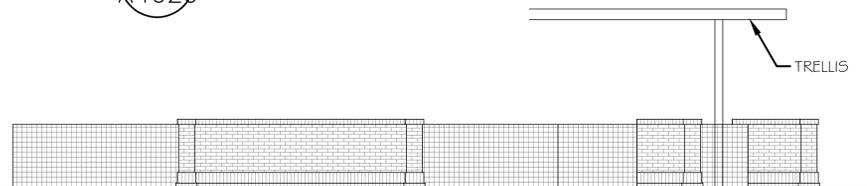
08/17/15  
 date

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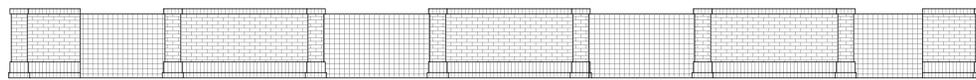
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**3 RIGHT PATIO ELEVATION**  
 A402c SCALE : 3/16" = 1'-0"



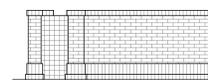
**3 FRONT PATIO ELEVATION**  
 A402c SCALE : 3/16" = 1'-0"



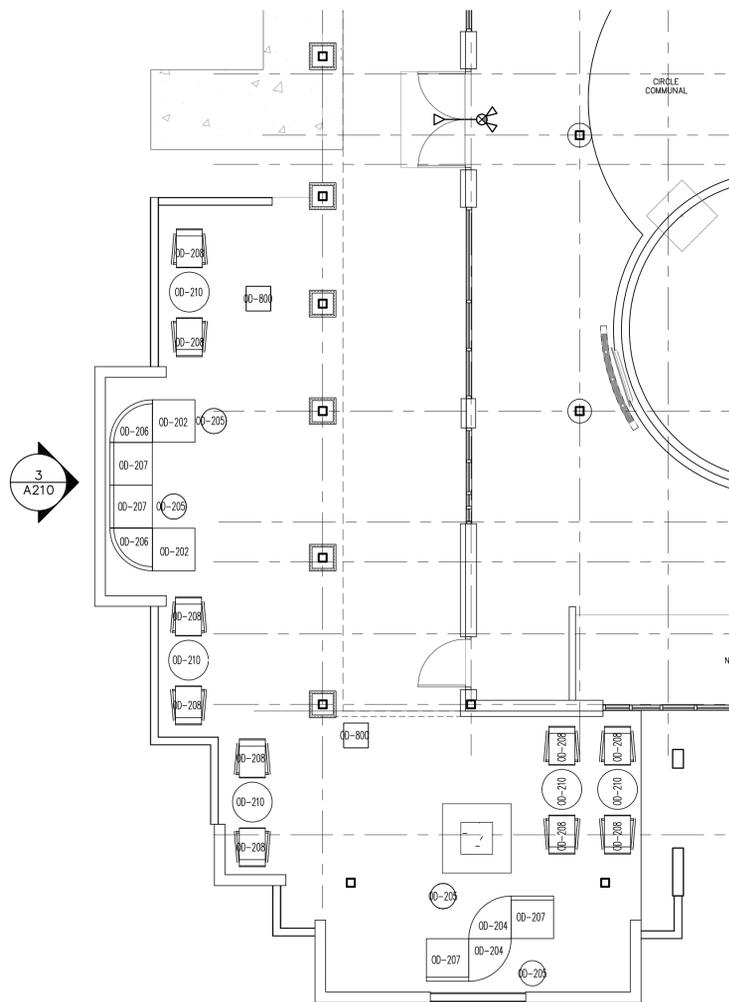
**7 LEFT POOL ELEVATION**  
 A402c SCALE : 3/16" = 1'-0"



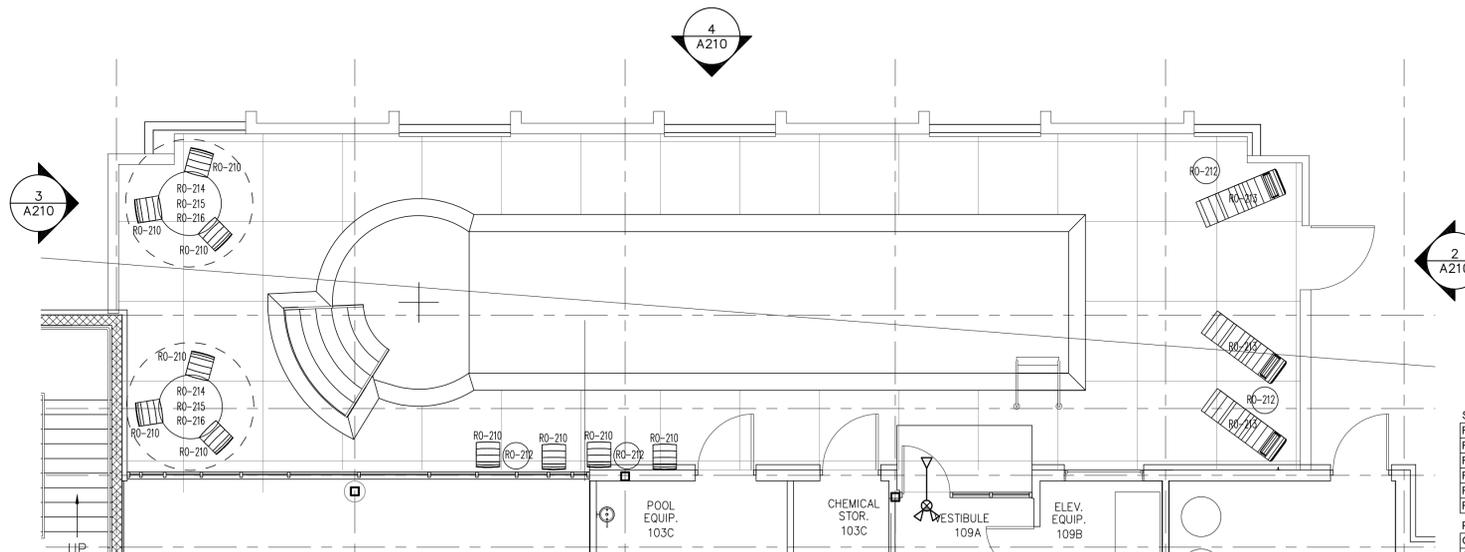
**5 FRONT POOL ELEVATION**  
 A402c SCALE : 3/16" = 1'-0"



**5 REAR POOL ELEVATION**  
 A402c SCALE : 3/16" = 1'-0"



**1 EXTERIOR FURNISHING PLAN AT PATIO AREA**  
 A402c SCALE : 3/16" = 1'-0"



**2 EXTERIOR FURNISHING PLAN AT POOL AREA**  
 A402c SCALE : 3/16" = 1'-0"

SUN DECK	
RO-210	10 Outdoor Chair
RO-212	4 20" Round Table
RO-213	3 Outdoor Chaise
RO-214	2 48" Round Umbrella Table
RO-215	2 Umbrella
RO-216	2 Umbrella Base
PATIO	
OD-202	2 Ottoman
OD-204	2 Ottoman Curved
OD-205	4 19" Round Outdoor Table
OD-206	2 Corner Module
OD-207	4 Chair module
OD-208	12 Outdoor Chair
OD-210	6 30" Round Outdoor Table Top & OD-210B
OD-800	2 Planter