



MEETING AGENDA

The City of Beaufort

HISTORIC DISTRICT REVIEW BOARD

Wednesday, September 11, 2024, 2:00 P.M.

City Hall, Council Chambers, 2nd Floor – 1911 Boundary Street, Beaufort, SC

Please click the link below to access the webinar:

<https://us02web.zoom.us/j/82418923598?pwd=gHKhVOae0iYNPOMRTCbI3WjqtCzIVV.1>

Password: 969588

Meeting ID: 824 1892 3598

Call in Phone #: 1+929 205 6099

STATEMENT OF MEDIA NOTIFICATION: “In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place, and agenda of this meeting.”

Note: A project will not be reviewed if the applicant or representative is not present at the meeting.

I. Call to Order:

II. Review of Minutes:

A. August 14, 2024 Meeting Minutes

III. Applications:

**A. 1607 & 1609 Duke Street, PIN R120 003 000 0147 0000,
Applicant: Arnie McClure, Coast Architects, Inc.**

The applicant is requesting final approval to build two new houses.

**B. 1013 Charles Street, PIN R120 004 000 0193 0000, Mixed-Use Development
Applicant: Lisa Hunnicutt, LTR Enterprises, LLC.**

The applicant is requesting final approval for major renovations including the addition of a second story, for an existing commercial structure.

IV. Discussion

**A. 304 & 305 Bayard Street, PIN R120 004 000 440A 0000, Subdivision.
Applicant: Jeanne Aimar Rogers, Trustee of Jean Sams Aimar Revocable Trust**

The applicant is requesting to subdivide the property into 3 separate parcels.

V. Adjournment



Historic District Review Board Meeting Minutes – August 14, 2024

CALL TO ORDER

0:02

A meeting of the Historic District Review Board was held in-person on Wednesday, August 14, 2024 at 2:00 pm.

ATTENDEES

Members in attendance: Mike Sutton (Chair), Grady Woods, (Vice-Chair), Kimberly Petrella, and Rita Wilson.

Member absent: Eric Berman.

Staff in attendance: Curt Freese (Community Development Director), Jeremy Tate (Meadors Architects), and Julie Bachety (Community Development Administrator)

REVIEW OF MINUTES – JULY 10, 2024

0:04

Motion: Mr. Woods made a motion to approve the July 10, 2024 minutes as submitted. Ms. Wilson abstained from voting since she was not present at the meeting. Ms. Petrella seconded the motion. The motion passed unanimously.

All Historic District Review Board Meeting minutes are recorded and can be found on the City's website at <http://www.cityofbeaufort.org/AgendaCenter>.

APPLICATIONS

0:24

Mr. Sutton informed the board members and the public that the applicant for agenda item, 316 Federal Street, has withdrawn.

- A. 801 Carteret Street, PIN R120 004 000 0443 0000, Renovations**
Applicant: Arnie McClure, Coast Architects, Inc.

The applicant is requesting conceptual approval for major renovations including the addition of a larger building entrance on the north façade.

Public Comment

Lise Sundrla, Historic Beaufort Foundation (HBF), said HBF is excited about the project. The applicant, Arnie McClure was able to meet with HBF and the Preservation Committee. Ms. Sundrla had two comments from the Committee, (1) is it possible to do a flat overhang for that area from weather and/or elements and (2) when the HVAC is relocated to the rear of New Street in the brick enclose, will there be elevated noise level.

Deborah Gray, 1300 Barnwell Buff, has been working in the USCB Library since 2018. Our footprint will not change but we will be greatly impacted. The entrance to the library is behind the original building right now and is hidden. We would like to be more of the heart of the campus. The roof definitely needs to be replaced. She found a few new leaks during tropical storm Debby. HVAC system is creating a bad mold problem. There is no enthusiasm from the students, or their parents that come in and students are going to other schools. The renovations are going to allow us to provide the students with what they are asking for such as collaborative work and quiet spaces to study. We need to introduce more technical uses for them. We're adjacent to and part of The Point and when they designed the original college building, when they did the two additions the criteria was that we be in harmony with the area and that is why the Sandstone is a subdued building. We don't stick out architecturally except of the mural. She is concerned about how the mural and if it can come off and be intact and reused on another part of the building.

Public Comment closed.

Motion: Mr. Woods made a motion to grant conceptual approval of the application as submitted. Ms. Petrella seconded the motion. The motion passed unanimously.

B. 1013 Charles Street, PIN R120 004 000 0193 0000, Mixed-Use Development **32:30
Applicant: Lisa Hunnicutt, LTR Enterprises, LLC.**

The applicant is requesting preliminary approval for major renovations including the addition of a second story, for an existing commercial structure.

Public Comment

Lise Sundrla, Historic Beaufort Foundation (HBF), said HBF and the Preservation Committee met were able to meet with the applicant, Lisa Hunnicutt. We are all very happy with the design of the building itself and the reduction of the awning coming behind the parapet and also the creation of the lightwell. We appreciate that the applicant took close attention to the Industrial heritage of the building. We haven't had time to discuss the planted pots since we're just seeing them, but we don't see any issues or concerns. Ms. Sundrla asked what the parking material was going to be.

Public Comment closed.

Motion: Mr. Woods made a motion to grant preliminary approval with staff's recommendations and for the applicant to restudy the upper canopy. Ms. Petrella seconded the motion. The motion passed unanimously.

Lise Sundrla, Historic Beaufort Foundation (HBF), let the board members know why the applicant pulled the project at 316 Federal Street from today's agenda. There was a challenge with the 33% rule of the Flood Ordinance.

Board members requested from staff that at a future meeting to give them more factual information on how to understand the flood 50% and 33% works.

ADJOURNMENT

1:05:12

Mr. Woods made a motion seconded by Ms. Wilson to adjourn. The meeting ended at 3:05 pm.

DRAFT

1607 & 1609 DUKE STREET

NEW CONSTRUCTION



STAFF REPORT: 1607 and 1609 Duke Street, FINAL APPROVAL

DATE: September 11, 2024

GENERAL INFORMATION		
Applicant:	Coast Architects, agent for the Freedman’s Art’s District	
Site Location/Address:	1607 and 1609 Duke (a combined unsubdivided lot)	
Applicant's Request:	The applicant is requesting final approval to demolish both contributing houses	
Current Zoning:	T-4 N	
Contributing:	Both 1607 and 1609 circa 1910, are listed as contributing structures were approved for demolition in February 2024	
Flood:	Flood Zone X; 23/24’ elevations	
Tree Removals:	30” Pecan Tree to be removed (not protected); Palmetto Tree to be replanted.	
ZONING DISTRICT INFORMATION		
	T4-N	
Lot Width at Setback:	N/a	
Max Lot Coverage:	100%	
Min. Frontage Build Out	60% min/85% max	
Front Setback	0’ min/15’ max	
Side Setback	Side Interior – 5’ min, or 0’ if attached. Side Corner/Alley – 0’min. – 10’ max	
Rear Setback	10’	
Building Height:	4 stories max; 3.5 stories max in & fronting Historic District & interior lots along Allison Rd.	
SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T-4 N	Homes/Vacant	N/A
South: T-4 HN	New Residential Infill: Single Family Homes	N/A
East: T-4 HN	Historic Homes	N/A
West: T-4 N	New Infill Single Family home	N/A

Background: The applicant was approved on February 14, 2024, to demolish the homes at 1607 and 1609 Duke Street. The prior homes were never subdivided and owned by the Kenneth Singleton Trust. The homes were built from 1900-1910 and were both Contributing Structures. The proposal is to build

two cottages as replacements. The cottages proposed have almost identical footprints and floorplans, at ~1100 square feet. The agent for the applicant attended a HTRC meeting in April 2024, and comments from that original submittal are included in the staff report below.

Site Plan:

The Applicant is proposing to center both of the proposed homes on the lot, and has changed from one central 18' shared driveway, to two drive's with a landscape strip of trees to provide access with one 21' drive aisle to Duke Street . The homes are roughly 34' wide and 12' 6" feet from the property line (15' max setback required). The existing curb cut would be removed. Note, Staff did receive a comment questioning whether two primary structures can exist on a lot in the T-4 N district. Upon review, there is no code requirement that two primary buildings cannot be on the same lot in the T-4 N district

July HRB meeting Comments and Recommendations:

- a. The applicant has called out vinyl windows on the drawings, which are not allowed in the historic district per the Beaufort Code and are considered inappropriate for the district per the Beaufort Preservation Manual. Applicant to provide a different window type.
- b. Applicant to confirm that the plans for both structures are the same.
- c. Applicant to reconsider the central access drive, reduce its width, and possibly reconsider whether the cottages should be closer together.
- d. Applicant to consider removing rear balustrades.

Changes from July HRB Meeting:

- ✓ Applicant has provided cut sheets Jeld-Wen aluminum wood clad windows.
- ✓ Applicant has verified that each structure is exactly the same.
- ✓ Applicant has changed to two access aisles which stem from one 21' access drive from Duke Street.
- ✓ Applicant has removed the rear balustrades on the porch.

HTRC April 4, 2024, Comments:

- In general, staff believes the designs of these two cottages are appropriate in scale, form, and details (i.e. fenestration patterns, side-gabled one room deep cottages, etc.) for Beaufort’s Historic District.
- However, staff has concerns that these new buildings are trying to almost identically replicate the structures that are slated to be demolished. While new infill should be designed to be sensitive and complementary to Beaufort’s existing historic buildings, new construction should not give the illusion of being a historic structure.
- The original cottages were initially constructed as simple, one-room side-gabled structures, and the later additions were easily discernable from the original building due to its changes in roof forms, heights, and changes in a plane, such as a cornerboard separating part of an original wall from an added wall.
- Staff’s concerns are that these new structures give a false narrative that there are “original” vs. “addition” portions of the structure with varying construction dates, rather than a single period, i.e. new construction.
- Staff believes the applicant can utilize the basic scale, and certain elements, such as the simple fenestration patterns or low-sloped hip porch roofs but depart from using the same massing and floor plan.
- Staff recommends the applicant revise the designs so that they are differentiated enough from the original structures, but still utilize elements found in historic Beaufort. Emphasis on the shed roof and changing wall planes.
- See section 11.4.4.a Reconstruction.

Surrounding Area

As per the pictures included with the packet, there is a significant portion of new infill in the area surrounding the home, and no other historic buildings on this particular block of Duke Street.

Exterior Materials

	Material	Color
Siding/Trim:	Cementitious	SW 7005 “Pure White”
Doors:	Fiberglass	1607 Duke: SW 0026 “Rachel Pink”

		1609 Duke: SW 6218 "Tradewind"
Windows:	Aluminum-clad wood windows	Jeld-Wen "Bone White"
Shutters	No shutters	N/a
Roof	Asphalt Shingle main house; standing seam metal roof on porch	Shingles: "Slate" Metal roof: "Galvalume Plus"
Railings	2 x 2 balusters	SW 7668 "March Wind"
Porch	8' depth/raised, four 6" fiberglass columns	N/a
Foundation	Horizontal treated wood slats	N/A

Existing Specimen Landmark Trees on Site:	30' Pecan Tree to be removed. Palmette tree to be moved and replanted. All other existing trees under specimen requirement, but will remain.
Flood Ordinance:	All structures are above the 13' flood requirement

<u>4.7.2 Integrity Guidelines</u>	<u>Rationale Present (yes/no)</u>	<u>Staff Analysis of Rationale</u>
1. Location: This is the relationship between the property and its historical context.	Yes	<ul style="list-style-type: none"> ✓ There were two contributing structures on this lot. Staff supports adding structures sympathetic to their former mass and scale. ✓ The Applicant has placed the houses

		<p>in the most appropriate location of the lot, which does not exactly correspond to the previously location of the contributing structures. Replicating the location of the houses would be disingenuous.</p>
<p>2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details</p>	<p>Yes</p>	<ul style="list-style-type: none"> ▪ The design of the two one story cottages, is sympathetic to the two contributing structures on the lot in the past. ▪ The design does not replicate the two former structures, but does utilize the primary design features of each in the design of the cottages.
<p>3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings.</p>	<p>Yes</p>	<ul style="list-style-type: none"> ✓ The applicant is only removing one existing tree. ✓ The applicant is moving the driveway to the center of the property which is appropriate from a design perspective. ✓ Again, the cottages are sympathetic to the mass, scale, and design of the former structures, but do not completely replicate them.
<p>4. Materials: These are the physical elements that make up a property or district.</p>	<p>Yes</p>	<ul style="list-style-type: none"> ✓ The building has typical Beaufort architectural details and materials

		such as a front porch, and fenestration of the Beaufort style.
<p>5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected. Retaining the details of the original craft and craftsman (i.e., wood, masonry, tabby etc.) of the original building ensures the historic fabric is retained and serves as an important component of the integrity and the patina of age of individual structures and the district as a whole.</p>	<p>Yes/w condition</p>	<ul style="list-style-type: none"> ✓ The buildings utilize typical Beaufort architectural details and materials such as a front porch, , and fenestration of the Beaufort style. ✓ Removing the vinyl windows, to a fiberglass or wood window would be more sympathetic to the workmanship of the historic district and is recommended as a condition.
<p>6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects, the feeling of surrounding structures should be considered and respected.</p>	<p>Yes</p>	<ul style="list-style-type: none"> ✓ The former contributing houses were WWI era, with a specific mass, scale, and location on the property. Rebuilding cottages within the spirit of what was there, respects the historic district.
<p>7. Association: This is the direct link between an important historic event or person and a property. This particularly applies to rehabilitation projects, but for new infill projects, association of particular sites and neighborhoods should be considered.</p>	<p>Yes</p>	<ul style="list-style-type: none"> ✓ The former contributing houses were WWI era, with a specific mass, scale, and location on the property. Rebuilding cottages within the spirit of what was there, respects the historic district

FINDINGS AND RECOMMENDATIONS

Staff Recommendation:

Staff recommends final approval of the proposed buildings, in that they satisfy the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code, with the following conditions:

- 1. Applicant to provide colors for the porch columns and foundation stucco.**



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / website: www.cityofbeaufort.org

- Staff Review
- Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: _____ Application #: _____ Zoning District: _____
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://cityofbeaufort.org/372/Historic-District-Review-Board>

Submittal Requirements: All forms and information shall be submitted digitally + 5 hardcopies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page. **Submittals are due by 12:00 noon on the 2nd Friday before the meeting you want to attend.**

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
**Requires a Bailey Bill – Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: Arnie McClure, Coast Architects, Inc.

Applicant Address: 671 Saint Andrews Blvd., Charleston, SC 29407

Applicant E-mail: arnie@coastarchitects.net Applicant Phone Number: 843.763.7064

Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): The Freedman Arts District

Owner Address: PO Box 1764 Beaufort, SC 29902

Project Name: Duke Street Residences

Property Address: 1607 & 1609 Duke Street, Beaufort, SC 29902

Property Identification Number (Tax Map & Parcel Number): R120-003-000-0147-0000

Date Submitted: 08.29.2024

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature:  Date: 08.29.2024

Owner's Signature: _____ Date: _____

(The owner's signature is required if the applicant is not the owner.)



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / website: www.cityofbeaufort.org

Staff Review
Board Review

Application Fee:
see attached schedule

Required Project Information

Project Name: Duke Street Residences

Property Size in Acres: 1/3 acre Proposed Building Use: Single-family residences

Nature of Work (check all that apply):

- New Construction, Primary Structure
Demolition*
Relocation*
Alterations / Additions
*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):
Each house is 1,102 sq. ft. of heated space with 333 sq. ft. of porches.

Is this project a redevelopment project?
Are there existing buildings on the site? if yes, will they remain?

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

The two houses are the same floor plan and exteriors. The design goal is to replace two demolished residences that formerly occupied the site with two new single-family homes that follow the traditional house form throughout the Northwest Quadrant. The homes feature porches fronting Duke Street with simple column, lap siding, double-hung windows, hipped porch roof, and gabled main roof.

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

City of Beaufort Certificate of Appropriateness Checklists

Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: development@cityofbeaufort.org

*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

***This Application Requirements Checklist MUST be included in applications, with submitted items checked.**

Conceptual Review

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

Preliminary Review: All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- A Certified Arborist report may be required if grand trees are affected by the project.

Final Review: All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.

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ABBREVIATIONS	
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICAN WITH DISABILITIES ACT
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
ASF	ALUMINUM STOREFRONT
ARCH.	ARCHITECTURAL/ARCHITECT
@	AT
BRG.	BEARING
BTM.	BOTTOM
BLDG.	BUILDING
(C)	CAULK
CAB.	CABINET
C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
C.F.O.I	CONTRACTOR FURNISHED, OWNER INSTALLED
CLG.	CEILING
CPT	CARPET
CTR.	CENTER
CLOS.	CLOSET
COL.	COLUMN
CONC.	CONCRETE
C.J.	CONTROL JOINT
DTL.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRIC/ELECTRICAL
E.W.C.	ELECTRIC WATER COOLER
ELEV.	ELEVATION-GRADE OR BLG.
E.Z.E.J.	EXPANSION JOINT
EPS	EXTRUDED POLYSTYRENE
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.F.	EXHAUST FAN
EXIST.:(E)	EXISTING
EXT.	EXTERIOR
FT.	FEET
FIN.	FINISH
F.E.	FIRE EXTINGUISHER ON BRACKET
F.E.C.	FIRE EXTINGUISHER CABINET
FLR.	FLOOR
FRT	FIRE RETARDANT TREATED
F.D.	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
GALV.	GALVANIZED
GA	GAUGE
GWB	GYPSUM WALLBOARD
GYP.BD.	GYPSUM BOARD
HC	HANDICAP ACCESSIBLE
HDWR.	HARDWARE
HT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
K.S.	KNEE SPACE
LAM.	LAMINATE
LAV.	LAVATORY
LVT	LUXURY VINYL TILE
MFR.	MANUFACTURER
M.O.	MASONARY OPENING
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.H.	OPPOSITE HAND
O.R.D.	OVERFLOW ROOF DRAIN
(P)	PAINT
PL	PLASTIC LAMINATE
PLYWD	PLYWOOD
PR	PAIR
PREF.	PREFINISHED
PREFAB.	PREFABRICATED
P.T.	PRESSURE TREATED
RAD., R.	RADIUS
RE.	REFERENCE
REINF.	REINFORCE/REINFORCING
REQD.	REQUIRED
R.D. (L)	ROUGH DRAIN (LEADER)
R.O.	ROUGH OPENING
SHT.	SHEET
SIM.	SIMILAR
SPECS.	SPECIFICATIONS
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
TEL.	TELEPHONE
TR.	TREATED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
(V)	VERIFY
VCT	VINYL COMPOSITE TILE
VERT.	VERTICAL
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WD.	WOOD

OWNER

THE FREEDMAN ARTS DISTRICT
 2015 BOUNDARY STREET
 SUITE 317
 BEAUFORT, SC 29902

ARCHITECTURAL

COAST ARCHITECTS, INC.
 671 SAINT ANDREWS BLVD.
 CHARLESTON, SC 29407
 843.763.7064

LANDSCAPE

THE TOMBLIN COMPANY, LLC
 716 FORT SUMTER DRIVE
 CHARLESTON, SC 29412
 843.412.2894

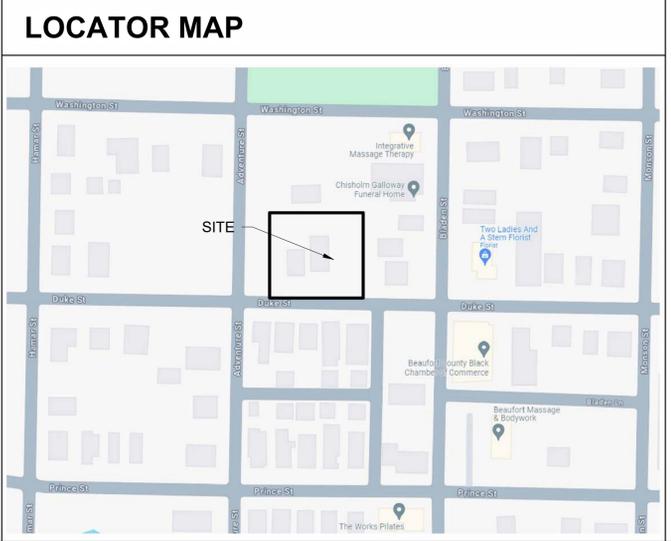
STRUCTURAL

POWELL ENGINEERING
 2225 ASHLEY CROSSING DRIVE, SUITE 202
 CHARLESTON, SC 29407
 843.763.7864

RESPONSE TO HRB CONCEPTUAL REVIEW

CONCEPTUAL APPROVAL 07.10.2024 WITH THE FOLLOWING CONDITIONS:

- CHANGE VINYL WINDOWS TO ONES THAT MEET THE BEAUFORT PRESERVATION MANUAL STANDARD**
 PREFINISHED ALUMINUM CLAD DOUBLE-HUNG WINDOWS WITH SIMULATED DIVIDED LIGHTS (5/8" PUTTY PROFILE) HAVE BEEN SPECIFIED. BOTH HOUSES WILL BE PAINTED THE SAME WITH DIFFERENT ACCENT COLORS FOR THE DOORS.
- CONFIRM PLANS ARE IDENTICAL FOR BOTH STRUCTURES.**
 BOTH FLOOR PLANS ARE IDENTICAL EXCEPT ON THE REAR PORCH THE STEPS AND HVAC UNIT ARE MIRRORED TO ALLOW ACCESS TO PARKING SPOT.
- RECONSIDER CENTRAL ACCESS DRIVE AND CONFIGURATION.**
 THE GRAVEL DRIVE HAS BEEN DIVIDED INTO 2 SEPARATE DRIVES WITH A LANDSCAPE MEDIAN BETWEEN THEM.
- CONSIDER REMOVING REAR BALUSTRADES.**
 SINCE ALL PORCH FLOORS ARE LESS THAN 30" ABOVE THE ADJACENT GRADE, ALL GAURDRAILS HAVE BEEN REMOVED.



DUKE STREET RESIDENCES

1607 AND 1609 DUKE STREET
 BEAUFORT, SOUTH CAROLINA



DRAWING INDEX

G001	TITLE SHEET & LOCATOR MAP	A301	TYP. WALL SECTIONS
C101	SITE SURVEY	A302	TYP. WALL SECTIONS
L101	PREVIOUS SITE PLAN	A401	DOOR SCHEDULE, WINDOW & DOOR TYPES, AND DETAILS
L102	GRADING, DRAINAGE, BMP PLAN & PLANTING DETAILS	A701	1607 PERSPECTIVE VIEW
A001	LANDSCAPE PLAN, PLANTING SCHEDULE & PLANTING DETAILS	A702	1609 PERSPECTIVE VIEW
A100	EXTERIOR MATERIALS AND FINISHES	A703	PERSPECTIVE VIEW
A101	CONTEXT PHOTOGRAPHS	S-01	GENERAL NOTES & DESIGN CRITERIA
A102	FLOOR PLAN & REFLECTED CEILING PLAN	S-02	ABBREVIATIONS, SYMBOLS & LEGENDS
A201	ROOF PLAN	S-03	FOUNDATION PLAN
A202	EXTERIOR ELEVATIONS	S-04	1ST FLOOR FRAMING PLAN
A203	EXTERIOR ELEVATIONS	S-05	1ST FLOOR CEILING FRAMING PLAN
	BUILDING SECTIONS	S-06	ROOF FRAMING PLAN
		S-07	1ST FLOOR SHEAR WALLS
		S-08	SECTIONS & TYPICAL DETAILS
		S-09	TYPICAL DETAILS
		S-10	TYPICAL DETAILS & SCHEDULES

coast architects
 671 St. Andrews Blvd., Charleston, SC 29407
 Phone: 843.763.7064 Fax: 843.763.7061
 www.coastarchitects.net

08.29.2024

DUKE STREET RESIDENCES
 1607 & 1609 DUKE STREET - BEAUFORT, SC

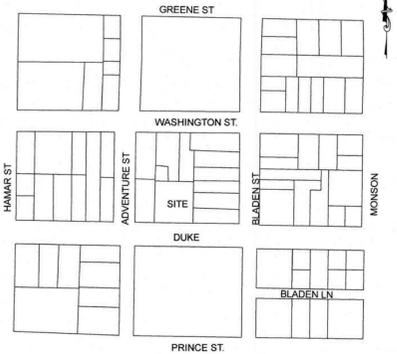
Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM
 CHECKED BY: XXX
 DATE: 08.29.2024
 COAST PROJECT NO.: 2406.00

TITLE SHEET & DRAWING INDEX

G001

HRB FINAL SUBMITTAL FOR 09.11.2024 MEETING



LOCATION MAP (N.T.S.)

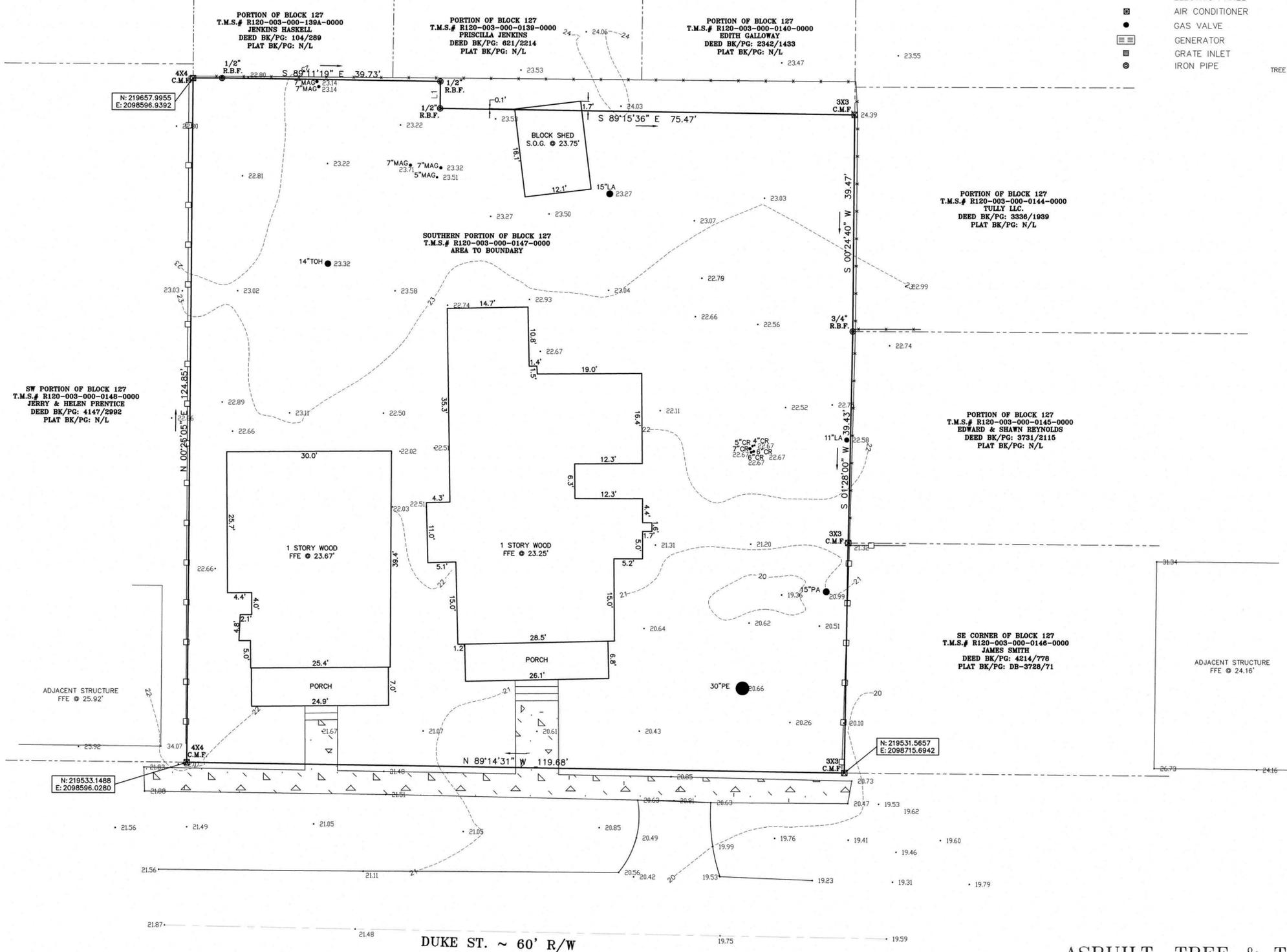
NOTES:

- 1.) THE BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 2.) THIS PLAT DOES NOT CERTIFY THE PRESENCE OR ABSENCE OF THE U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS.
- 3.) METHOD OF AREA CALCULATION BASED ON COORDINATE METHOD.
- 4.) LOCATION OF UNDERGROUND UTILITIES ARE FROM SURFACE INDICATIONS ONLY AND ARE NOT CERTIFIABLE.
- 5.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES ONLY AND IS NOT THE RESULT OF A TITLE SEARCH.
- 6.) CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 7.) THE CERTIFIER HAS NOT INVESTIGATED OR BEEN INSTRUCTED TO INVESTIGATE THE EXISTENCE OR NONEXISTENCE OF AN OVERLAY DISTRICTS, SUCH AS: AIRPORT, MILITARY, NOISE, CRASH POTENTIAL OR ENVIRONMENTAL ISSUES.
- 8.) BEFORE ANY DESIGN WORK OR CONSTRUCTION ON THIS SITE IS STARTED, FLOOD ZONE INFORMATION MUST BE VERIFIED BY PROPER BUILDING CODES OFFICIAL.
- 9.) SETBACKS SHOWN AS PER PLAT OF RECORD AND MUST BE VERIFIED WITH OFFICIAL AGENCY BEFORE PURCHASE AND OR CONSTRUCTION ON SUBJECT PROPERTY.
- 10.) THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE X UNSHADED AS DETERMINED BY F.E.M.A. FIRM COMM-PANEL NUMBER 45013001666 DATED MARCH 23, 2021.
- 11.) CONTOUR INTERVAL IS 1'.
- 12.) VERTICAL DATUM IS 1988 NAVD

REFERENCES:

- 1.) T.M.S.#: R120-003-000-0147-0000
- 2.) DEED REFERENCE BK/PG: 3934/84

LINE	BEARING	DISTANCE
L1	S 00°24'14" W	4.91'



LEGEND OF SYMBOLS & ABBREVIATIONS

- PROPAANE TANK
- ELECTRIC PANEL
- AIR CONDITIONER
- GAS VALVE
- ⊞ GENERATOR
- ⊞ GRATE INLET
- ⊞ IRON PIPE
- CONTOUR LINE
- ▨ GRAVEL
- ▨ CONCRETE
- ▨ BRICK
- TREE SIZE & TYPE
- ELEVATION



S.C. STATE PLANE
CONUS 1983

TREE LEGEND

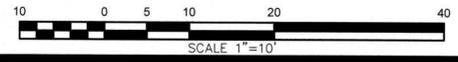
CODE	COMMON NAME	BOTANICAL NAME
PNS	PINE SHORTLEAF	Pinus echinata
PNL	PINE LONGLEAF	Pinus palustris
LO	LIVE OAK	Quercus virginiana
O	OAK	Quercus spp.
MAG	SOUTHERN MAGNOLIA	Magnolia grandiflora
PA	PALMETTO	Sabal palmetto
SUB	SUGARBERRY	Celtis laevigata
EL	ELM	Ulmus spp.
HI	HICKORY	Carya spp.
BA	BAY MAGNOLIA	Gordonia spp.
WX	WAX MYRTLE	Myrica cerifera
CH	BLACK CHERRY	Prunus spp.
CE	EASTERN RED CEDAR	Juniperus virginiana
TA	CHINESE TALLOW-TREE	Sapinum sebiferum
PO	YELLOW POPLAR	Liriodendron tulipifera
BI	BIRCH	Betula spp.
CY	BALDCYPRESS	Taxodium distichum
SY	AMERICAN SYCAMORE	Platanus occidentalis
PE	PECAN	Carya illinoensis
CR	CRAPEMYRTLE	Legostromia indica
FR	FRUIT TREE	
MP	MAPLE	Morus spp.
DW	DOGWOOD	Cornus florida
QU	SWEETGUM	Nyssa sylvatica
WD	WATER OAK	Quercus nigra
LA	LAUREL OAK	Quercus laurifolia
TUL	TULIP TREE	Liriodendron
BJ	BLACKJACK OAK	Quercus marilandica
UNK	UNKNOWN	
CR	CRAB APPLE	Malus sylvestris
ML	MULBERRY	Morus
MIM	MIMOSA TREE	Albizia julibrissin
WHO	WHITE OAK	Quercus alba
TD	TURKEY OAK	Quercus cerris
RO	RED OAK	Quercus rubra
HOL	HOLLY	Aquifoliales
WL	WILLOW TREE	Salix alba
TU	TUPELO	Nyssa yunnanensis
CH	CHINA BERRY	Melia azadirach
CW	COTTONWOOD	Populus
CL	CHERRY LAUREL	Prunus laurocerasus
WAL	BLACK WALNUT	JUGLANS NGRA
TOH	TREE OF HEAVEN	ALANTHUS ALTISSIMA

ALL TREES ARE LOCATED TO THE FACE OF THE TREE TRUNK. THEREFORE TOLERANCE OF THE TREE LOCATED IS PLUS OR MINUS THE DIAMETER OF THE TREE PLUS 0.5 FEET. ALL TREES ARE MEASURED AT CHEST HEIGHT WHICH IS APPROXIMATELY 40 INCHES ABOVE GROUND. GROUND ELEVATION AT TREE LOCATIONS MAY OR MAY NOT ACCURATELY REPRESENT ELEVATIONS BETWEEN TREE SHOTS DUE TO THE GROUND BUTTRESS AT THE BASE OF THE TREE. NOTE ANY TREE LOCATION THAT IS CRITICAL BEYOND THE TOLERANCE STATED ABOVE FOR DESIGN MUST BE POINTED OUT AND A TIGHTER TOLERANCE MUST BE APPLIED UPON.

GASQUE & ASSOCIATES INC.
LAND SURVEYORS PLANNERS
28 PROFESSIONAL VILLAGE CIRCLE, BEAUFORT, S.C.
P.O. BOX 1363, BEAUFORT, S.C.
(843) 522-1798

I, David E. Gasque, a Registered Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my professional knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown.

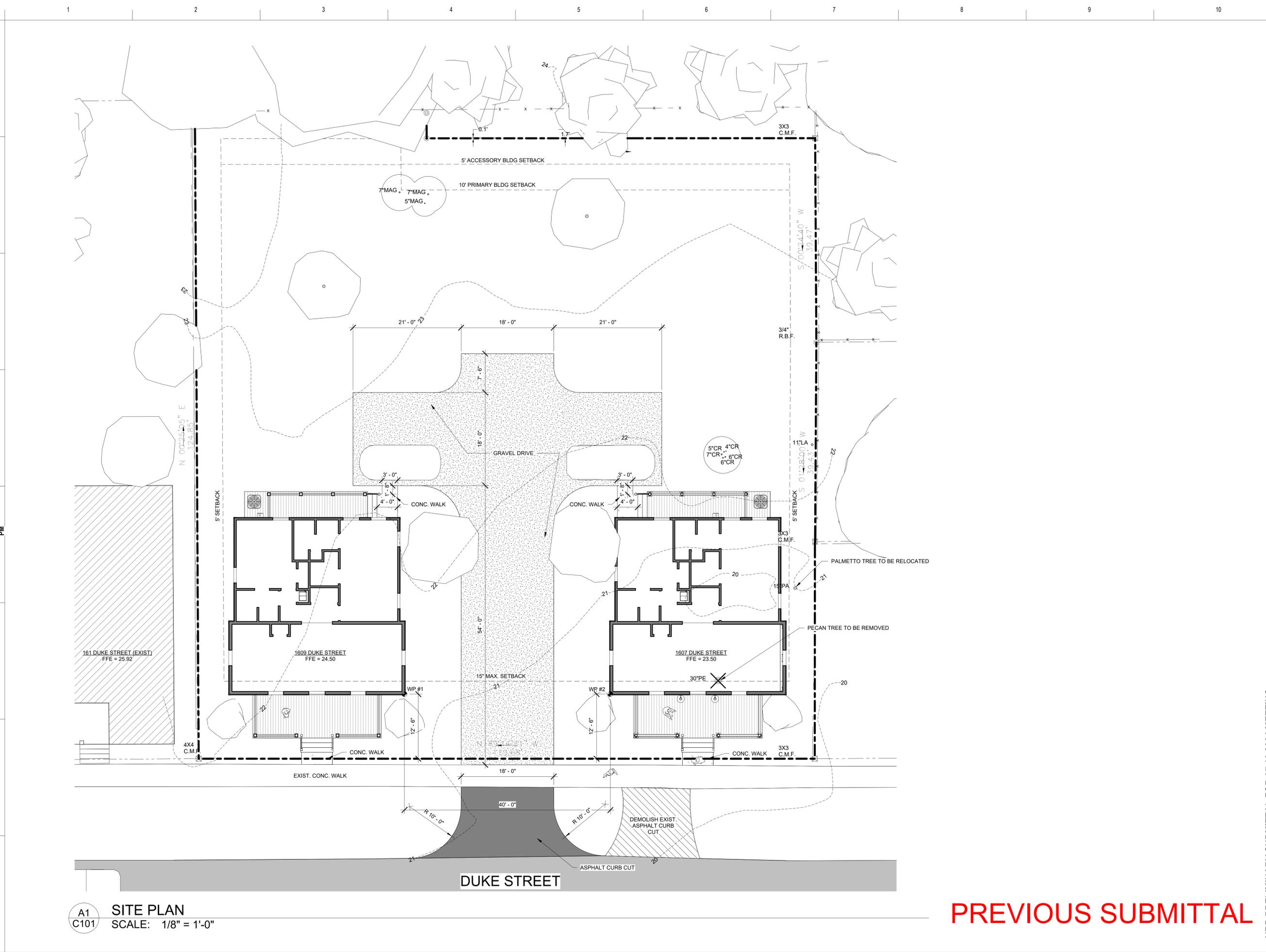
David E. Gasque, R.L.S.
S.C. Registration Number 10506



ASBUILT, TREE & TOPOGRAPHIC SURVEY
SOUTHERN PORTION OF BLOCK 127
T.M.S.# R120-003-000-0147-0000
~PREPARED FOR~
FREEDMAN ARTS DISTRICT
CITY OF BEAUFORT
BEAUFORT COUNTY---SOUTH CAROLINA

DATE: APRIL 5, 2024 SCALE: 1"=10'

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A1 SITE PLAN
C101 SCALE: 1/8" = 1'-0"

PREVIOUS SUBMITTAL

06.13.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

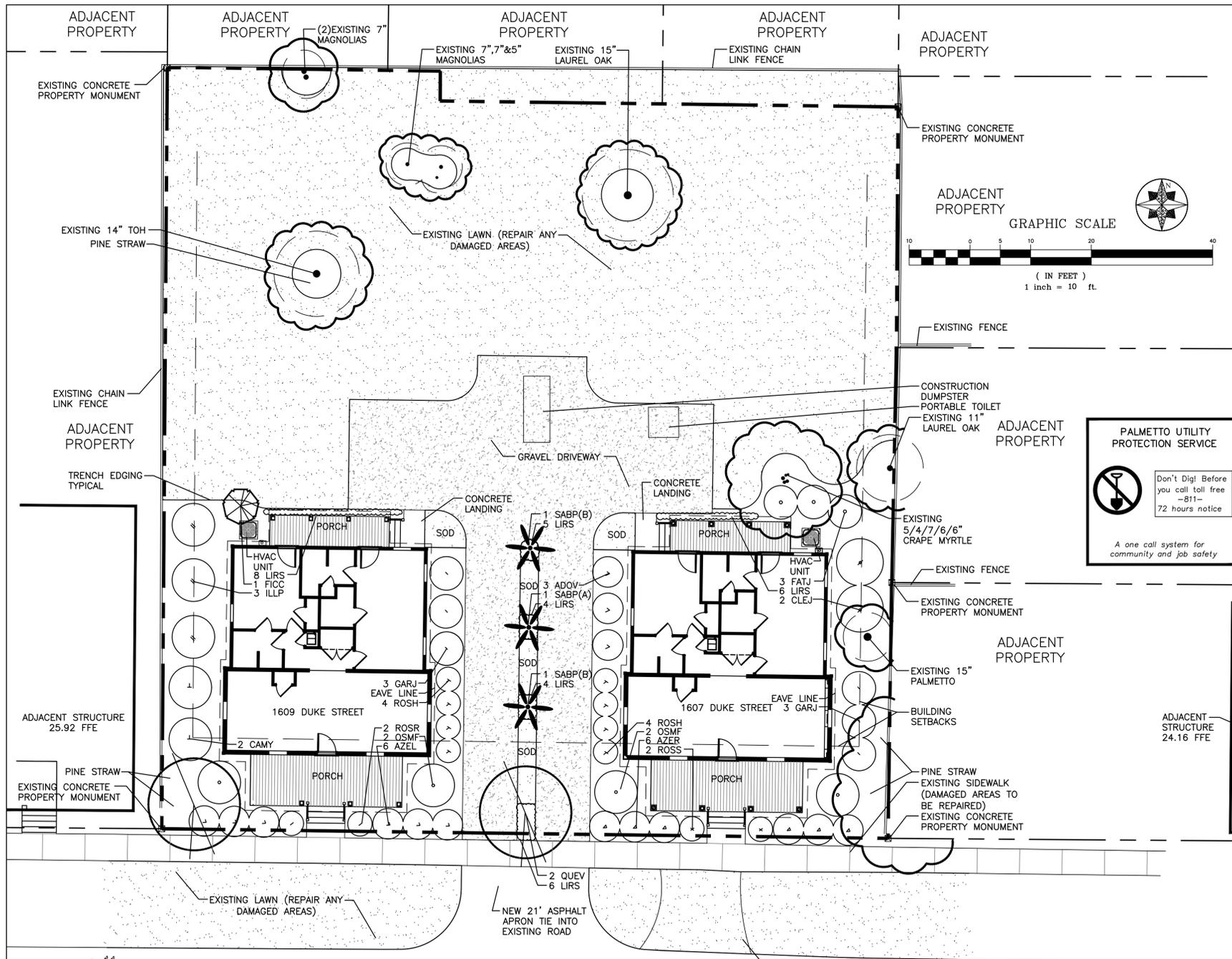
DRAWN BY: FAM
CHECKED BY: Designer
DATE: 06.13.2024

COAST PROJECT NO: 2406.00

SITE PLAN

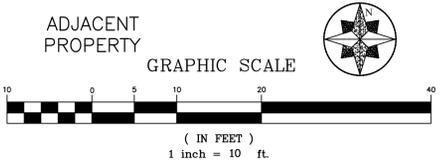
C101

HRB PRELIMINARY SUBMITTAL FOR 07.10.2024 MEETING



PRELIMINARY PLANT SCHEDULE

QUANTITY/	ABBRV	BOTANICAL /COMMON	HEIGHT	SPREAD	CONT	CAL/SPACING	NOTES
2	QUEV	Quercus Virginiana 'High Rise' Live Oak	6' min.	3' min.	Cont.	1.5" Min.	Well Formed
UNDERSTORY TREE							
1	FICC	Ficus carica Fig Tree	4' min.	2' min.	Cont.	=	Well Formed
4	OSMH	Osmanthus Heterophelus 'Gulf Tide' Gulf Tide Tea Olive	4' min.	2' min.	15 Gal. min.	=	Well Formed
PALMETTO/PALM							
1	SABP(A)	Sabal Palmetto Cabbage Palm	14' min.	=	Bare Root	=	Full Specimen 10' Clear trunk
2	SABP(B)	Sabal Palmetto Cabbage Palm	12' min.	=	Bare Root	=	Full Specimen 8' Clear trunk
SHRUBS							
3	ADOV	Adoxaceae Viburnum Obovatum Mrs. Schillers Delight Viburnum	12' min.	12' min.	3 Gal.	=	Plant Evenly
6	AZEL	Azalea x Conlec-Encore Hybrid Autumn Royalty	18' min.	18' min.	3 Gal.	=	Plant Evenly
6	AZER	Azalea x Conlec-Encore Hybrid Autumn Twist	18' min.	18' min.	3 Gal.	=	Plant Evenly
2	CAMY	Camellia Japonica 'Yuletide' Camellia-Red Flower	24' min.	18' min.	3 Gal.	=	Plant Evenly
2	CLEJ	Cleyera Japonica Japanese Cleyera	24' min.	18' min.	3 Gal.	=	Plant Evenly
3	FATJ	Fatsia Japonica Fatsia	18' min.	18' min.	3 Gal.	=	Plant Evenly
6	GARJ	Gardenia Jasminoides 'August Beauty' Gardenia	18' min.	18' min.	3 Gal.	=	Plant Evenly
3	ILLP	Illicium Parviflorum Illicium	24' min.	18' min.	3 Gal.	=	Plant Evenly
8	ROSH	Rosmarinus officinalis 'Jessups Upright' Shrub Rosemary	12"	8"	1 Gal.	=	Plant Evenly
2	ROSR	Rosa Rodrazz Red Knockout Rose	24' min.	18' min.	3 Gal.	=	Plant Evenly
2	ROSS	Rosa 'RAD Sunny' Yellow Knockout Rose	24' min.	18' min.	3 Gal.	=	Plant Evenly
GROUNDCOVER							
3.3	LIRS	Liriope Spicata Creeping Lilyturf	8"	8"	1 Gal.	=	Plant Evenly
GRASS							
	SOD	Centipede					Install level and maintain until no gaps 1/2" or greater

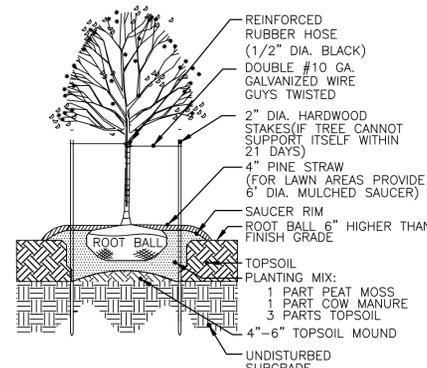


LANDSCAPE NOTES:

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORT.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS WITH 4" OF CLEAN COMPOST TILLED IN ALL PLANTING AREAS. CONTACT LANDSCAPE ARCHITECT FOR SOIL TEST AND FERTILIZER AS SPECIFIED, SUBMIT PURCHASE ORDERS TO LANDSCAPE ARCHITECT.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. DURING SUMMER CONDITIONS ALL PLANT MATERIAL SHALL BE SPRAYED WITH 'WILT-PRUF' OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. PRUNE ALL MATERIAL OUT OF SIDEWALKS, DRIVES AND VISION TRIANGLES.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 4 INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING & TREE WRAP AT THE END OF THE ONE YEAR MAINTENANCE & GUARANTEE PERIOD.
- THE TRUNKS OF ALL TREES SHALL BE WRAPPED AS SOON AS POSSIBLE AFTER PLANTING ACCORDING TO STANDARD PROCEDURES AND AS INDICATED.
- PRIOR TO ANY LANDSCAPE OR IRRIGATION WORK VERIFY EXISTING CONDITIONS.
- PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES. IF CONFLICTS EXIST WITH PROPOSED LOCATIONS OF PLANT MATERIAL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY, DO NOT PLANT MATERIAL MATERIAL.
- ALL VINE MATERIAL, TRASH AND INVASIVE SHRUB SPECIES TO BE REMOVED FROM ALL LANDSCAPE AREAS.
- ALL DIMENSIONS ARE B.O.C.(BACK OF CURB) UNLESS OTHERWISE SPECIFIED.
- ALL UTILITIES AND OTHER EXISTING CONDITIONS SHOWN ARE IN NO WAY AS-BUILT CONDITIONS. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. EXISTING UTILITIES AND OTHER EXISTING CONDITIONS MAY VARY GREATLY DUE TO UNDOCUMENTED CONSTRUCTION.
- ALL PLANTING AREAS TO RECEIVE 4" OF DOUBLE SHREDDED HARDWOOD MULCH FOR FINAL TOP MULCHING.
- LANDSCAPE CONTRACTOR TO COORDINATE ON-SITE MEETING WITH ARCHITECT & GENERAL CONTRACTOR TO REVIEW EXISTING CONDITIONS & PROPOSED WORK PRIOR TO ANY IRRIGATION OR LANDSCAPE INSTALLATION.
- SUBMIT TEMPORARY IRRIGATION PLAN & ADDITIVE COST FOR SYSTEM FOR APPROVAL PRIOR TO ANY WORK. DEPENDENT ON LANDSCAPE INSTALLATION DATE OWNER TO DETERMINE TO INSTALL TEMPORARY IRRIGATION OR NOT. TEMPORARY IRRIGATION TO PROVIDE WATER TO ALL NEW PLANTINGS AND NEW LAWN AREAS ONLY. SYSTEM TO UTILIZE HOSE BIB WATER SOURCE, BATTERY OPERATED CONTROLLER, STAKED TURF SPRAY HEADS & SIMPLE DRIP FOR SHRUB BEDS.
- PRIOR TO ANY WORK VERIFY FULL APPROVAL FROM OWNER & MUNICIPALITY.

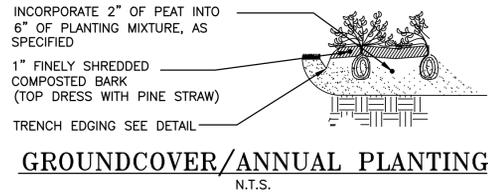
PLANT SCHEDULE EXPLANATORY NOTES:

- THE FOLLOWING PLANT SCHEDULES ARE PREPARED AS A SELECTION OF PLANTING MATERIALS.
- WHERE AN ABBREVIATION IS SHOWN, FOLLOWING NOTES APPLY:
 QUAN - QUANTITY OF PLANT MATERIALS REQUIRED FOR PROJECT.
 (NOTE: CONTRACTOR RESPONSIBLE TO VERIFY QUANTITIES INDICATED.)
 ABBRV - BOTANICAL ABBREVIATION.
 BOTANICAL /COMMON - NAME OF PLANT MATERIAL
 HEIGHT - HEIGHT OF PLANT MATERIAL
 SPREAD - DIAMETER OF PLANT MATERIAL
 CONT - CONTAINER TYPE WHICH PLANT MATERIAL IS ENCASED UPON SITE DELIVERY.
 (SIZE SHALL TAKE PRECEDENCE OVER CONTAINER.)
 SPACING - DISTANCE FROM CENTER OF EACH PLANT.(PLAN SHALL TAKE PRECEDENCE OVER SCHEDULE.)
 CAL - CALIPER/DIAMETER OF TRUNK. (REFER TO SPECS FOR MORE SPECIFIC INFORMATION.)
 CALIPER SHALL TAKE PRECEDENCE OVER HEIGHT & SPREAD.
 NOTES - SPECIFIC NOTES FURTHER SPECIFYING OR DESCRIBING PLANT MATERIAL.
- VERIFY QUANTITIES SHOWN ON PLANT SCHEDULE AND PLANT MATERIAL SHOWN ON PLANTING PLAN.



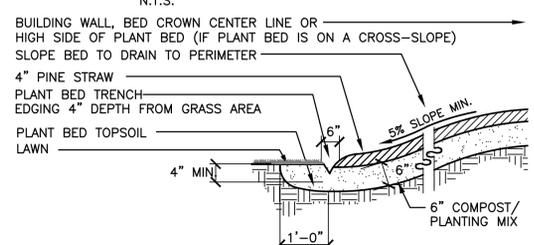
TREE PLANTING DETAIL
N.T.S.

- TREE PLANTING NOTES:**
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.
 - SET AND MAINTAIN TREE IN (PLUMB) VERTICAL POSITION. REMOVE ALL DEAD AND DAMAGED BRANCHES & ALL SUCKER GROWTH. DO NOT CUT CENTRAL LEADER.



GROUNDCOVER/ANNUAL PLANTING
N.T.S.

TRENCH EDGE DETAIL
N.T.S.



THE TOMBLIN COMPANY, LLC
LANDSCAPE ARCHITECTURE
LAND PLANNING
HISTORIC RENOVATION
AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS
716 FORT SUMTER DRIVE
CHARLESTON, SOUTH CAROLINA
1.843.412.2894
FAX 1.843.406.2721
tomblincompany.com

LANDSCAPE ARCHITECTURAL SERVICES
FOR
1607 & 1609 DUKE STREET
SOUTHERN PORTION OF BLOCK 12Z
TMS # 120-003-000-0147
BEAUFORT, SOUTH CAROLINA

JOB NUMBER
024575

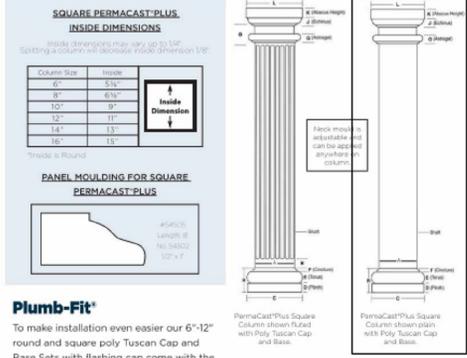
DHT / DHT / 8.26.24
DRAWN BY-CHECKED BY-DATE
REVISED _____

SHEET TITLE
**LANDSCAPE PLAN,
PLANTING SCHEDULE
& PLANTING DETAILS**

SHEET NUMBER
L102 2
OF
2 2

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Square PERMACast® Plus Columns



Plumb-Fit®
 To make installation even easier our 6"-12" round and square poly Tuscan Cap and Base Sets with flashing cap come with the patented (Patent 9689674) Plumb-Fit® installation system included.

SQUARE PERMACAST-PLUS COLUMN DIMENSIONS (IN INCHES)

Column Size	A	C	D	E	F	G	J	K	L	N	O	R	Lengths Available (ft.)
6"	6"	9 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	N/A	N/A	3 1/4"	6, 8, 9, 10, 12
8"	8"	11 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	2 1/4"	8, 10, 12, 14
10"	10"	13 1/4"	2 1/4"	2 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	4 1/4"	10, 12, 14, 16
12"	12"	15 1/4"	2 1/4"	2 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	4 1/4"	12, 14, 16, 18
14"	14"	17 1/4"	3 1/4"	2 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	4 1/4"	14, 16, 18, 20
16"	16"	19 1/4"	3 1/4"	2 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	1 1/4"	4 1/4"	16, 18, 20, 22

Versatility of Square Columns
 The design and versatility of an HB&G square column has enhanced its popularity with today's architects. The HB&G Square PermaCast Plus column lineup includes plain, recessed panel, fluted, and Craftsman styles. An unlimited combination of styles can be achieved by various uses of the panel moulding, neck moulding, and caps and bases. Additionally, the plain square column is not tapered and can be cut to any height without affecting the fit of the caps and bases.



JamesHardie®
Hardie® Plank
 Specs: Smooth

Width	6.25 in
Length	144 in
Thickness	0.312 in
Exposure/Width	5 in
Dream Collection®	
Primed for Paint	•

Smooth
 Primed for Paint

SW 7005
Pure White
 SIDING

SW 7668
March Wind
 PORCH DECK AND HANDRAILS

MAIN ROOF:
 ASPHALT SHINGLE

GAF
Royal Sovereign®
 COLOR: SLATE

PORCH ROOF: STANDING SEAM METAL

MCELROY METAL
 Employee Owned
Medallion-Lok Snap Lock Panels

Galvalume Plus

PORCH COLUMNS



W-5500™ | DOUBLE-HUNG CLAD-WOOD WINDOWS



Aluminum Clad Wood Window

WINDOWS

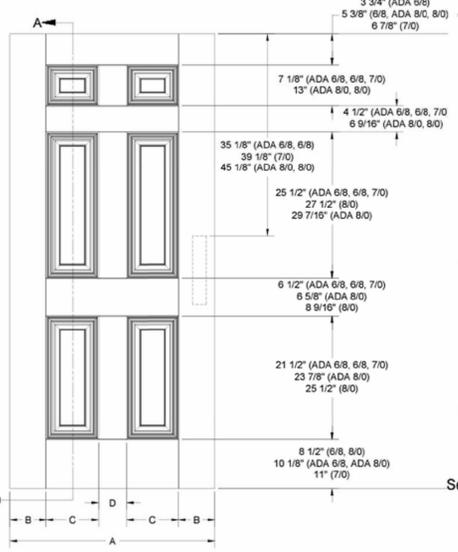
SIDING & PAINT COLORS

(SAME SIDING AND DECK PAINT COLORS FOR BOTH HOUSES)



DESIGN-PRO™ SMOOTH-PRO™ | OPAQUE & LIP LITE EXTERIOR FIBERGLASS DOORS

6 PANEL - ADA 6/8, 6/8, 7/0, ADA 8/0 & 8/0



SW 6218
Tradewind
 1609 DUKE STREET DOOR COLOR

SW 0026
Rachel Pink
 1607 DUKE STREE DOOR COLOR

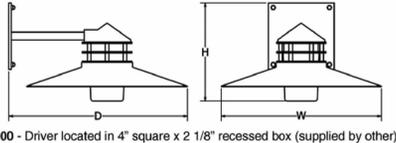
DOORS

ROOFING

SOPHIA Outdoor Sconce

Lighting
 9777 Reavis Park Drive
 St. Louis, MO 63123
 800.331.2425 or 314.631.6000
 sales@glighting.com www.glighting.com

GENERAL SPECIFICATION
LED: High efficiency mid-power LEDs are field serviceable.
LED Dimming: 1% 0-10V dimming standard with LED lamping option.
Body: Cast aluminum cap. Spun .50 aluminum shade.
Acrylic: Cylinder is UL-94 HB Flame Class rated.
Standard Finishes: Highly durable oven cured no VOC premium powder coat.
Surge Protection: External surge protector provided as standard.
Listing: Fixture ETL listed for wet locations.



SAMPLE CATALOG NUMBER: GL-5000-				
MODEL NO.	LAMPING	C- DIFFUSER	NSN- FINISH	A OPTION(S)
GL-5000	W in 17" mm 430 H in 10" mm 255 10lbs 4.5kg	L10. 13LED30° L15. 13LED35° L14. 13LED40° M10. 19LED30° M15. 19LED35° M14. 19LED40°	Glass: A. White Opal Flat Bottom B. Frosted Round Bottom C. Clear Round Bottom D. Clear Prismatic Round Bottom Polycarbonate: E. Clear Prismatic Flat Bottom	Standard: Powder Coat BLK -Black BL -Blue GR -Gray LG -Light Gray BE -Beige PAB -Antique Brass PA -Painted Aluminum PTC -Painted Copper
				A. No Options EL. Emergency LED Consult factory. Must be remotely mounted in a controlled environment with an area temperature range of 32° - 131°F.

WALL LIGHTS

coast architects
 671 St. Andrews Blvd., Charleston, SC 29407
 Phone: 843.763.7064 Fax: 843.763.7061
 www.coastarchitects.net

08.29.2024

DUKE STREET RESIDENCES
 1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

DRAWN BY: **FAM**
 CHECKED BY: **Designer**
 DATE: **08.29.2024**

COAST PROJECT NO: **2406.00**

EXTERIOR MATERIALS, FINISHES, AND PRODUCTS
A001

HRB FINAL SUBMITTAL FOR 09.11.2024 MEETING

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G
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VIEW OF SITE LOOKING NORTHWEST



VIEW OF SITE LOOKING NORTHEAST



VIEW OF DUKE STREET LOOKING SOUTHEAST (ACROSS FROM SITE)



VIEW OF DUKE STREET LOOKING WEST (SITE ON RIGHT)

coast
architects
671 St. Andrews Blvd., Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
www.coastarchitects.net

08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

DRAWN BY: Author
CHECKED BY: Designer
DATE: 08.29.2024

COAST PROJECT NO: 2406.00

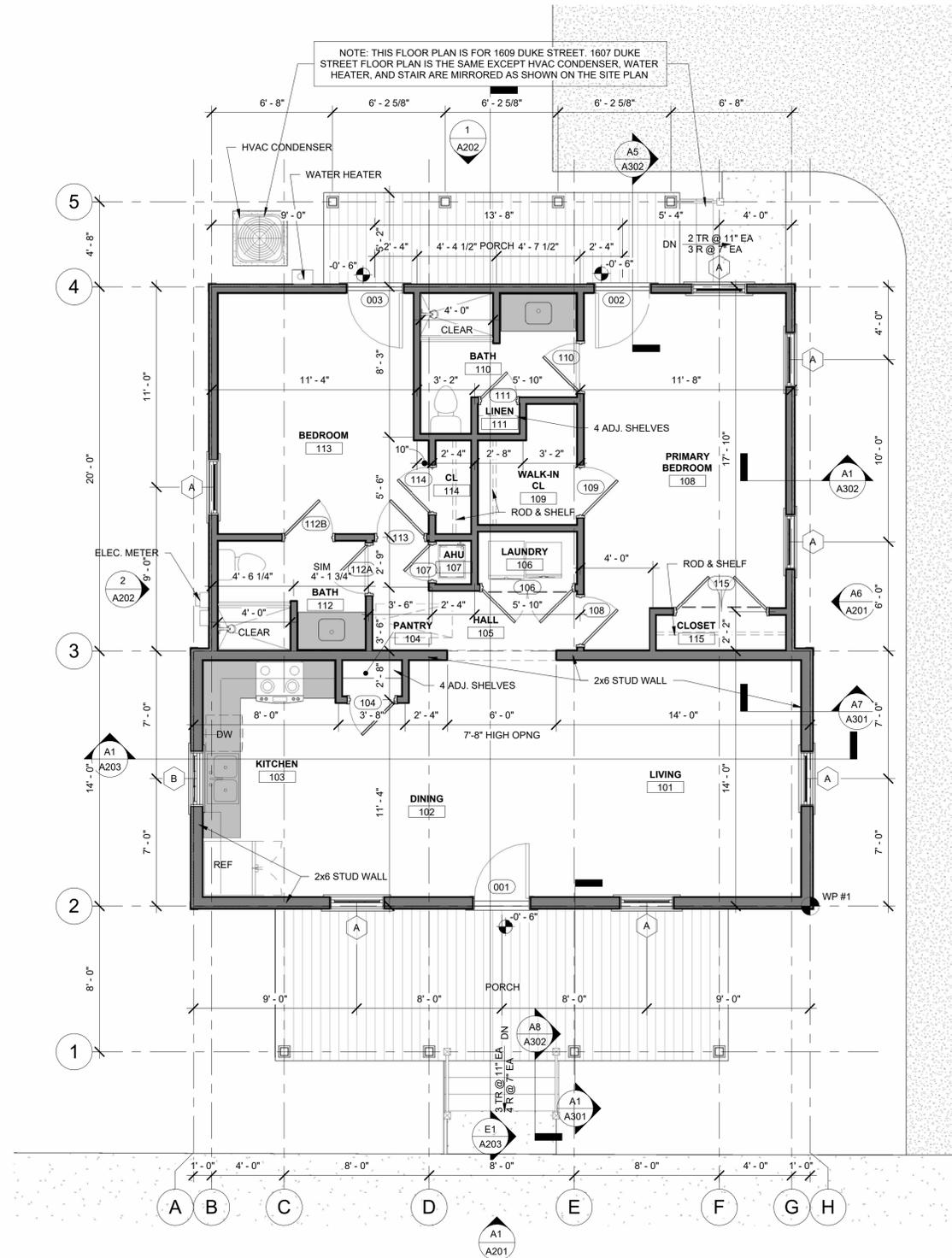
CONTEXT PHOTOGRAPHS

A100

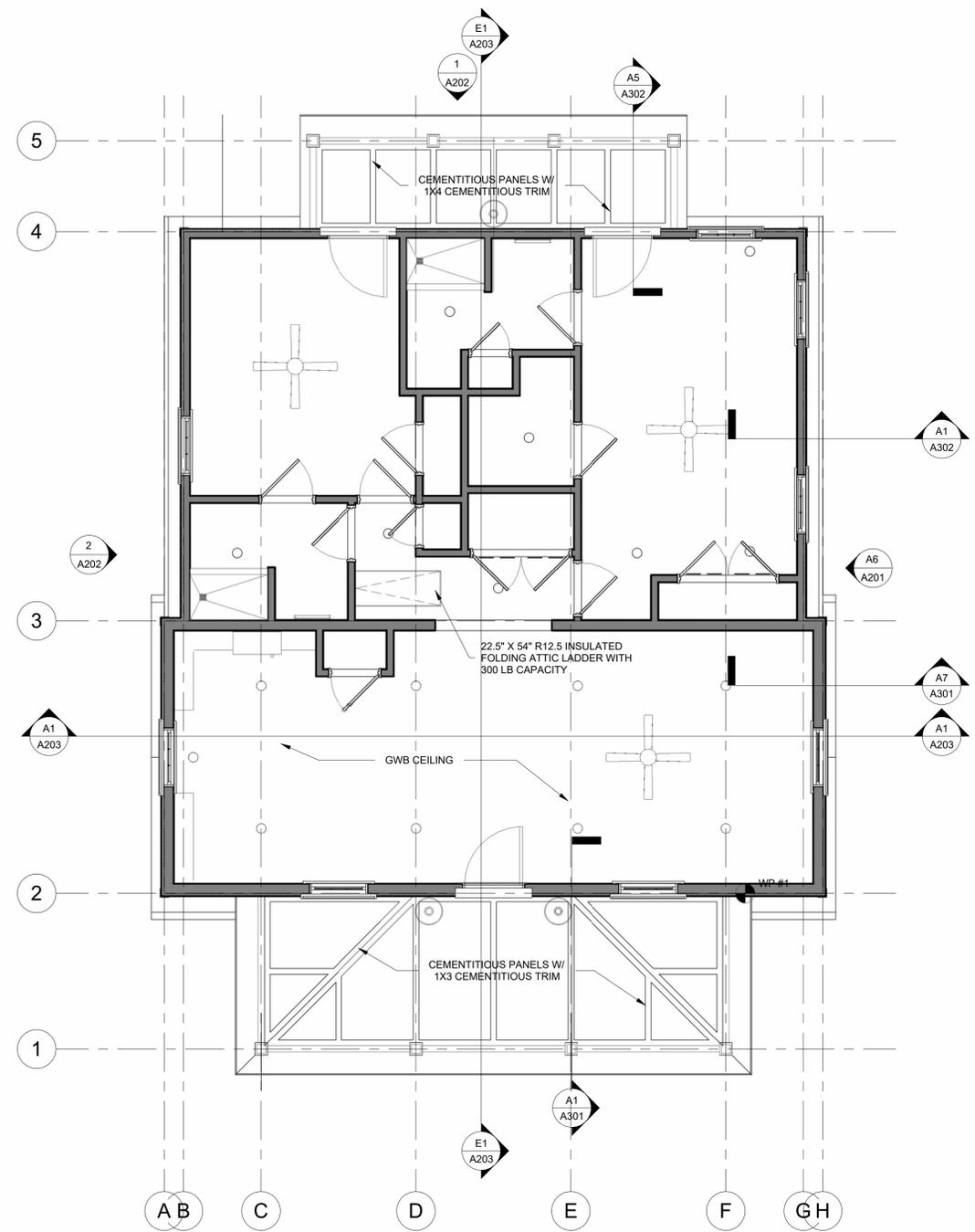
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1 2 3 4 5 6 7 8 9 10

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NOTE: THIS FLOOR PLAN IS FOR 1609 DUKE STREET. 1607 DUKE STREET FLOOR PLAN IS THE SAME EXCEPT HVAC CONDENSER, WATER HEATER, AND STAIR ARE MIRRORED AS SHOWN ON THE SITE PLAN



FLOOR PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM
CHECKED BY: XXX
DATE: 08.29.2024

COAST PROJECT NO: 2406.00

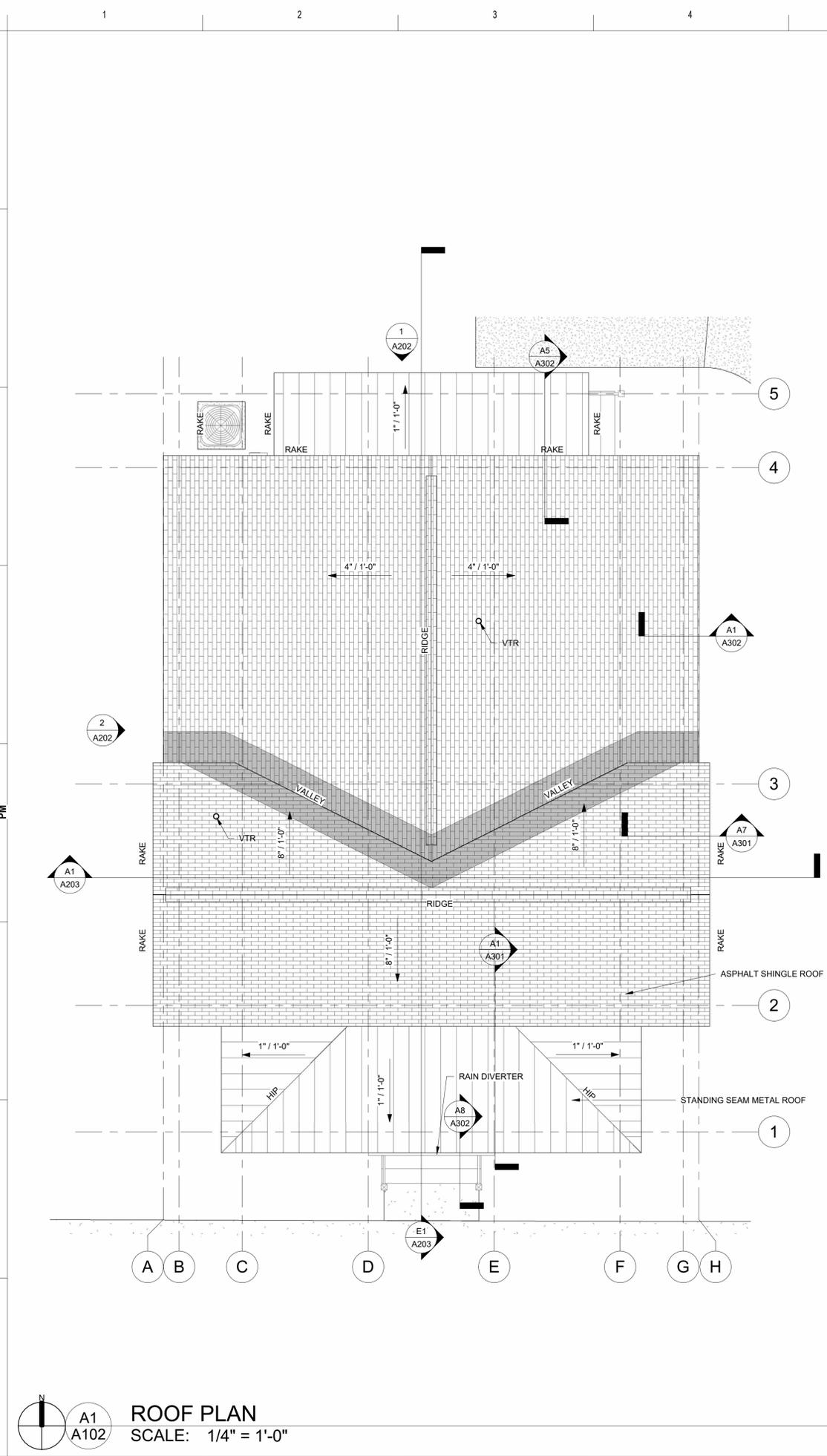
FLOOR PLAN & REFLECTED CEILING PLAN

A101

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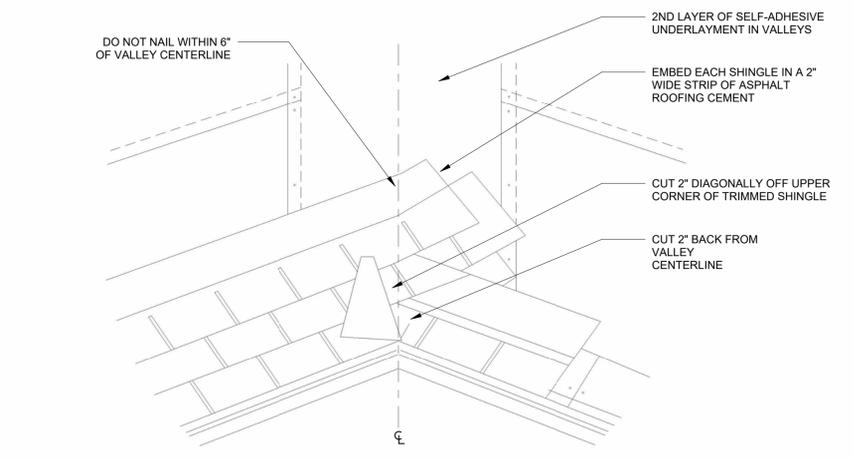
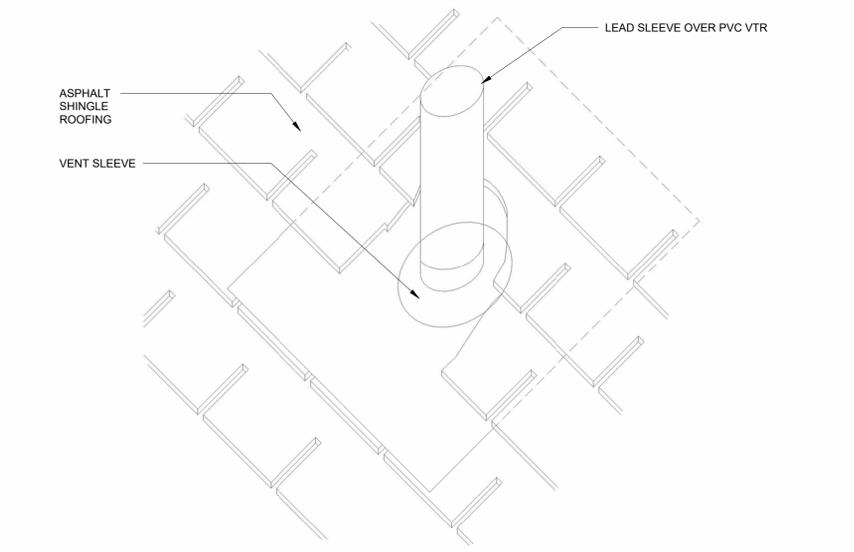
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3:00:27 PM



A1
A102 **ROOF PLAN**
SCALE: 1/4" = 1'-0"

4
A102 **VENT THROUGH ROOF DETAIL**
SCALE: 1 1/2" = 1'-0"



A7
A102 **ROOF VALLEY DETAIL**
SCALE: 3" = 1'-0"

08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

DRAWN BY: **FAM**
CHECKED BY: **Designer**
DATE: **08.29.2024**
COAST PROJECT NO: **2406.00**

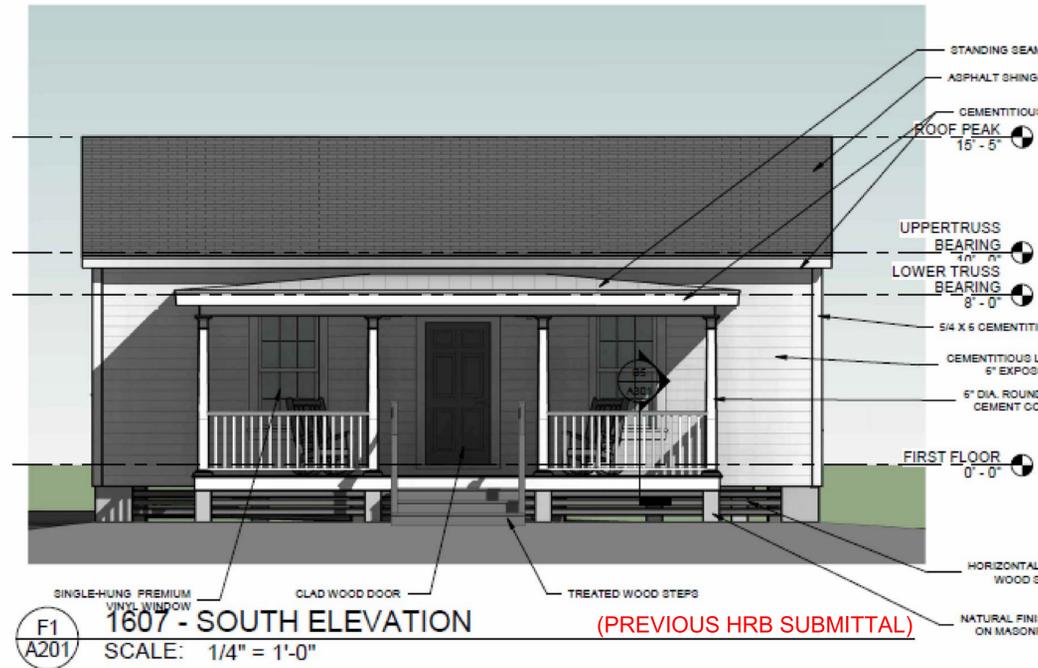
ROOF PLAN

A102

HRB FINAL SUBMITTAL FOR 09.11.2024 MEETING

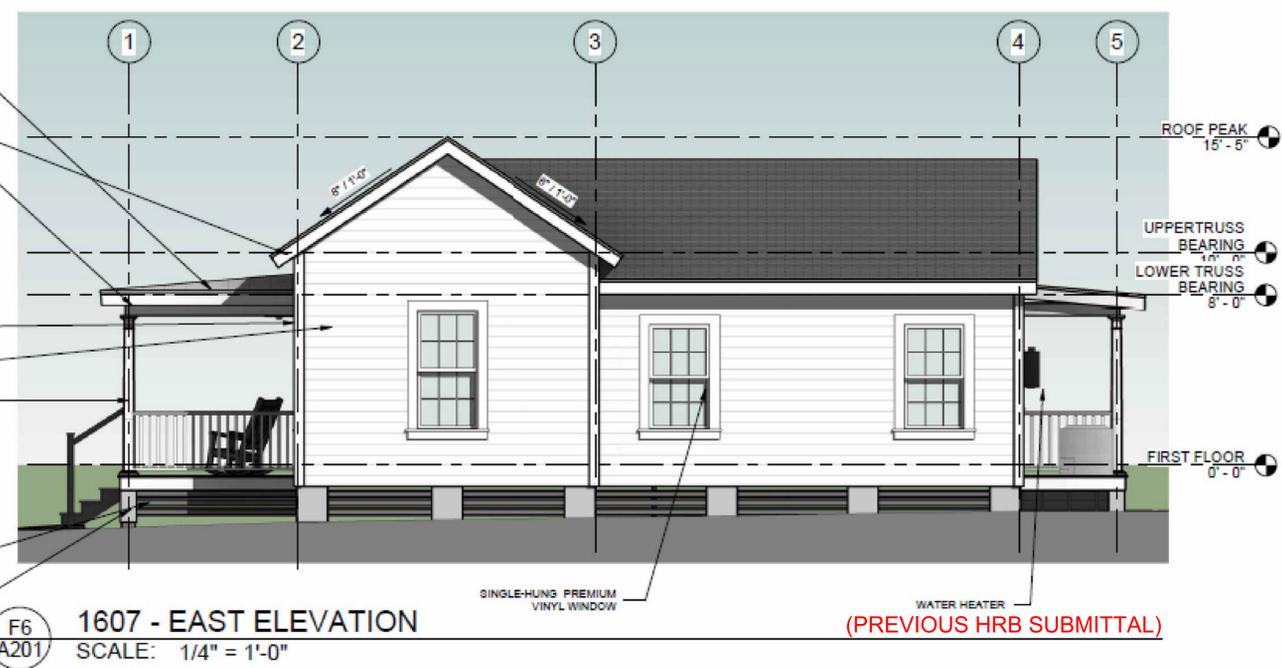
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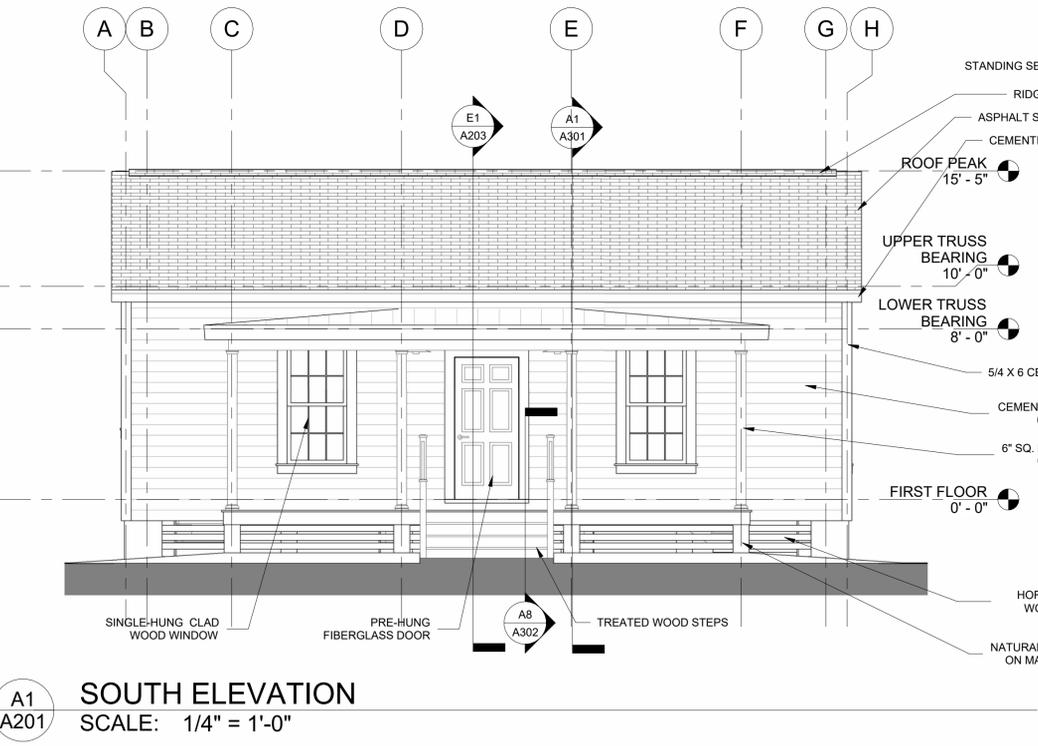
F1
A201
1607 - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

(PREVIOUS HRB SUBMITTAL)

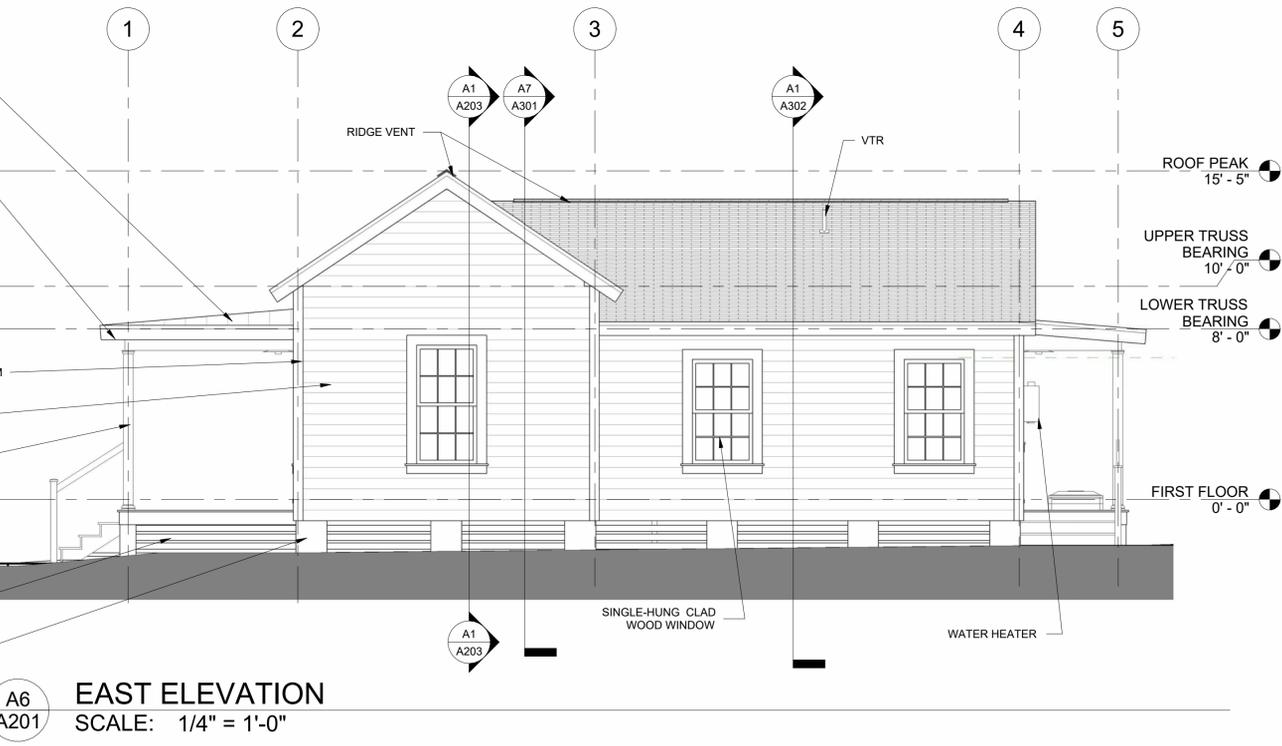


F6
A201
1607 - EAST ELEVATION
SCALE: 1/4" = 1'-0"

(PREVIOUS HRB SUBMITTAL)



A1
A201
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



A6
A201
EAST ELEVATION
SCALE: 1/4" = 1'-0"

08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
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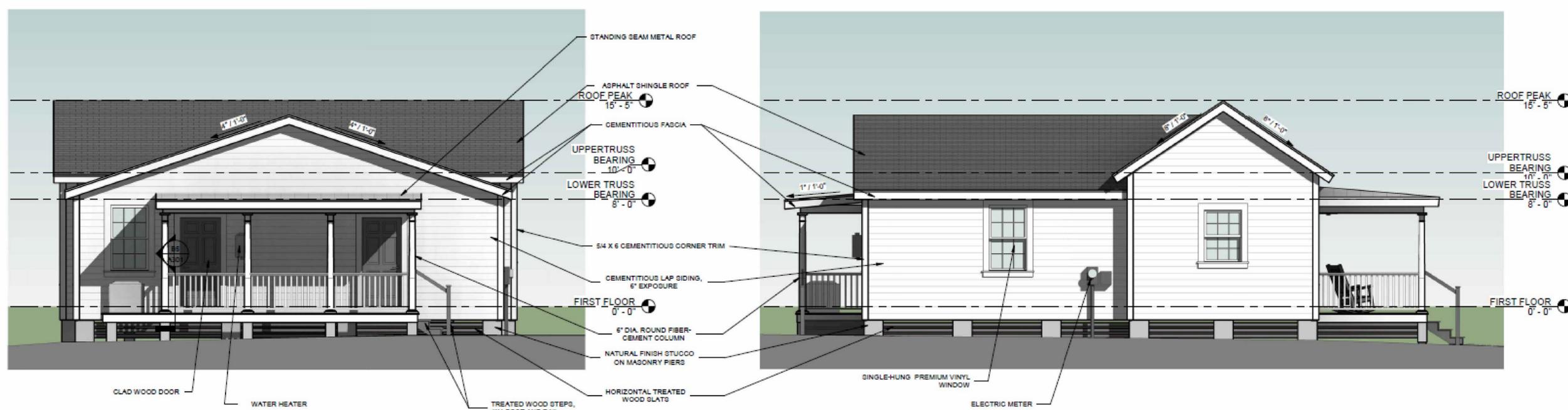
COAST PROJECT NO: **2406.00**

EXTERIOR ELEVATIONS

A201

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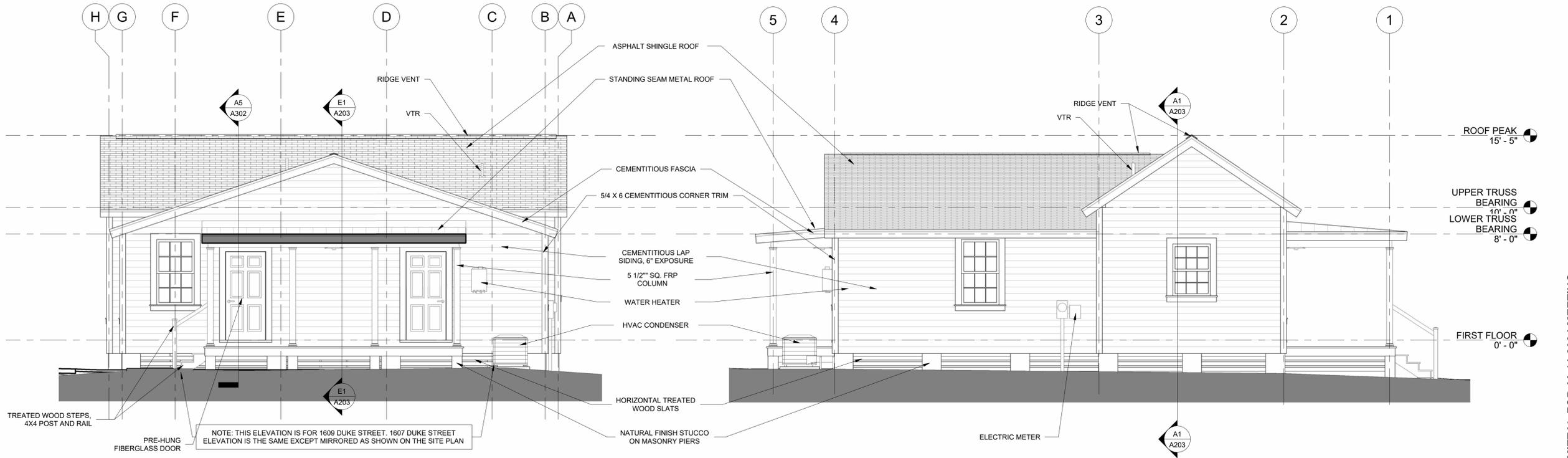


A1
A201 1607 - NORTH ELEVATION
SCALE: 1/4" = 1'-0"

(PREVIOUS HRB SUBMITTAL)

A6
A201 1607 - WEST ELEVATION
SCALE: 1/4" = 1'-0"

(PREVIOUS HRB SUBMITTAL)



1
A202 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

2
A202 WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: THIS ELEVATION IS FOR 1609 DUKE STREET. 1607 DUKE STREET ELEVATION IS THE SAME EXCEPT MIRRORED AS SHOWN ON THE SITE PLAN

08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

DRAWN BY: FAM
CHECKED BY: Designer
DATE: 08.29.2024

COAST PROJECT NO: 2406.00

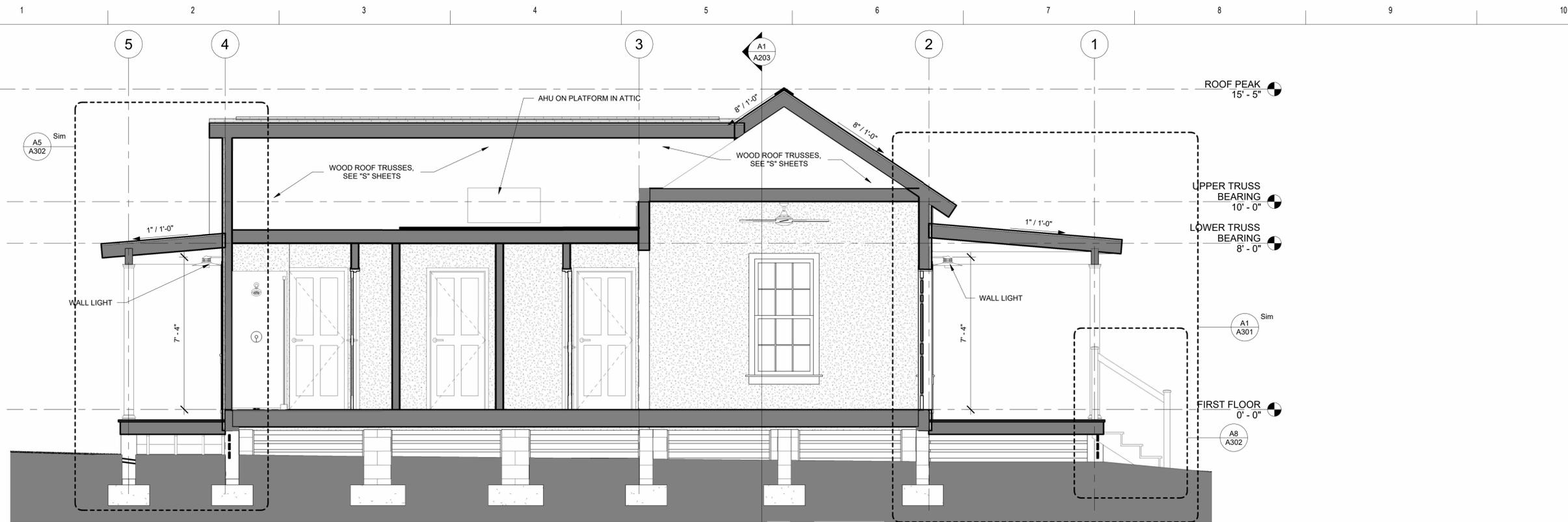
EXTERIOR ELEVATIONS

A202

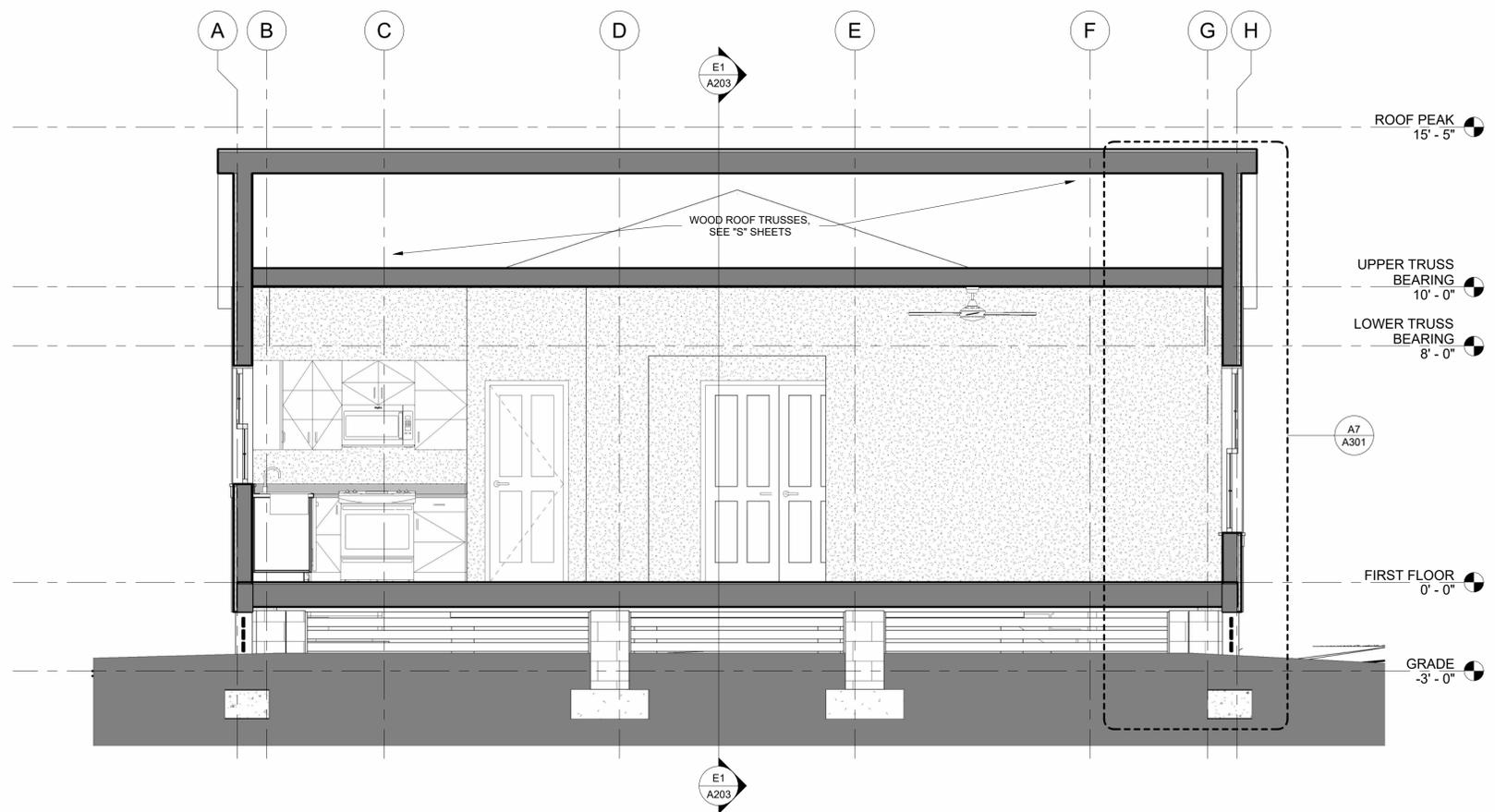
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3:00:42 PM



E1
A203 **BUILDING SECTION - LOOKING EAST**
SCALE: 3/8" = 1'-0"



A1
A203 **BUILDING SECTION - LOOKING NORTH**
SCALE: 3/8" = 1'-0"

08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
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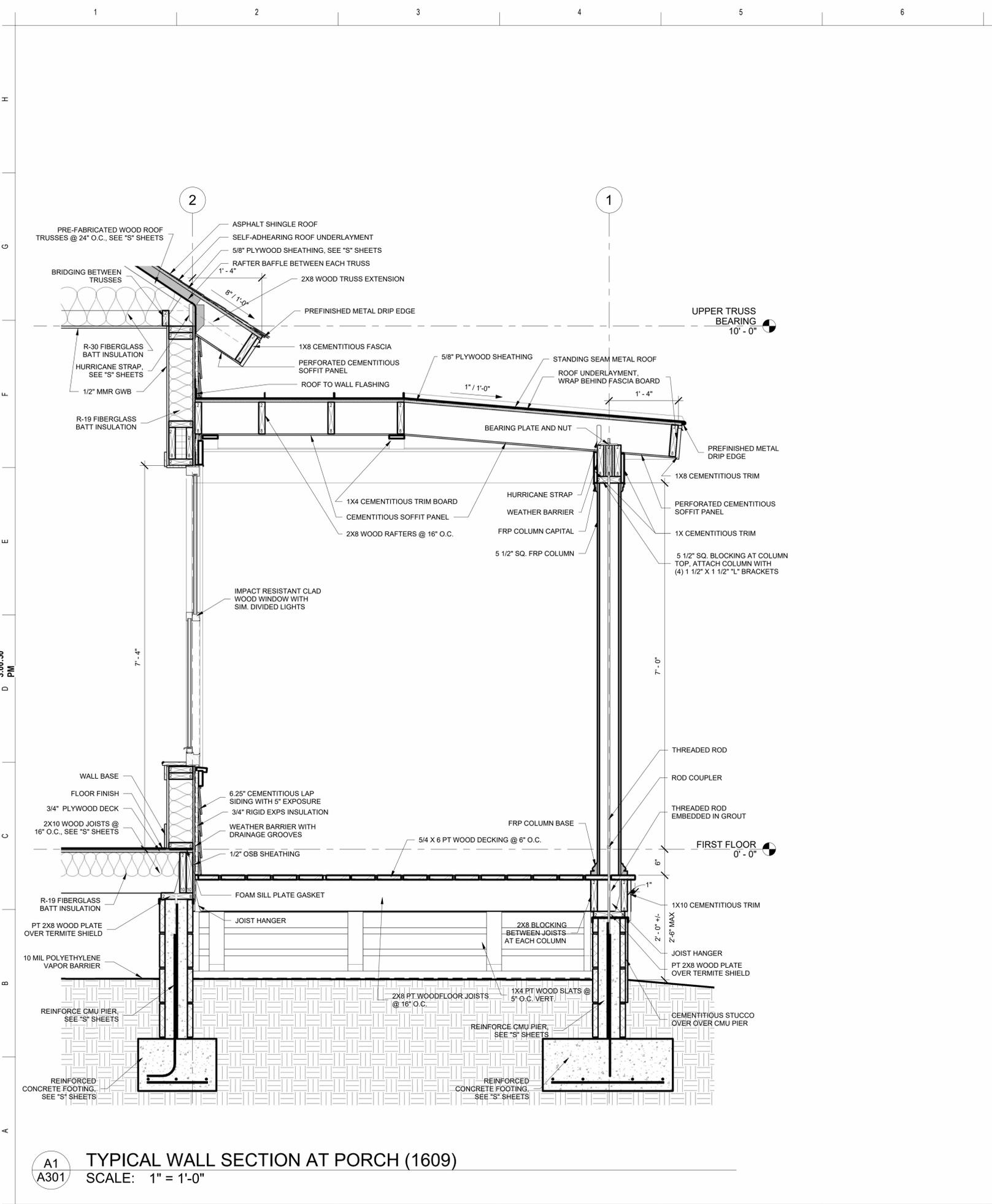
COAST PROJECT NO: **2406.00**

BUILDING SECTIONS

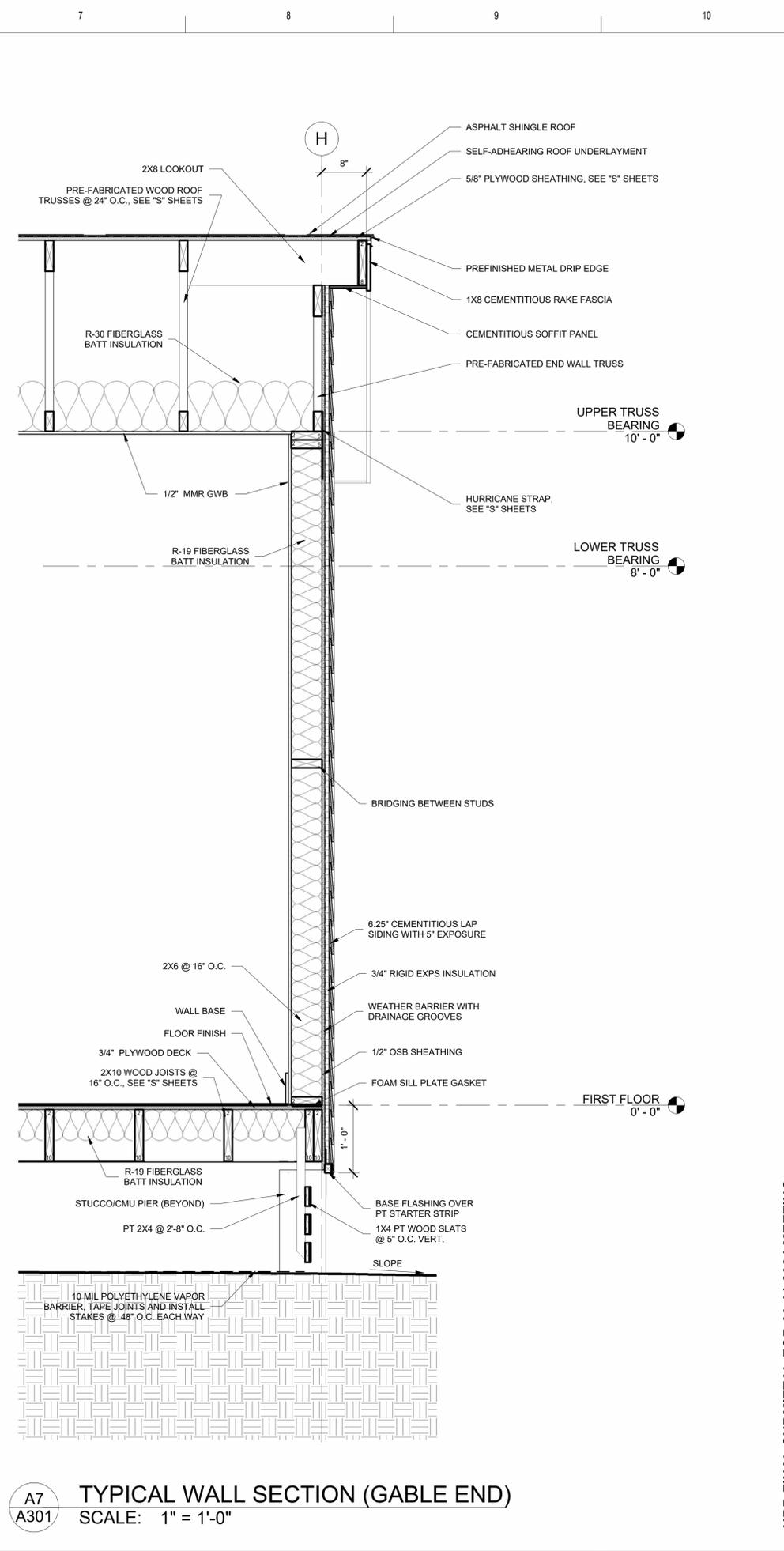
A203

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A1 TYPICAL WALL SECTION AT PORCH (1609)
A301 SCALE: 1" = 1'-0"



A7 TYPICAL WALL SECTION (GABLE END)
A301 SCALE: 1" = 1'-0"

08.29.2024

DUKE STREET RESIDENCES
 1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

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WALL SECTIONS

A301

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DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

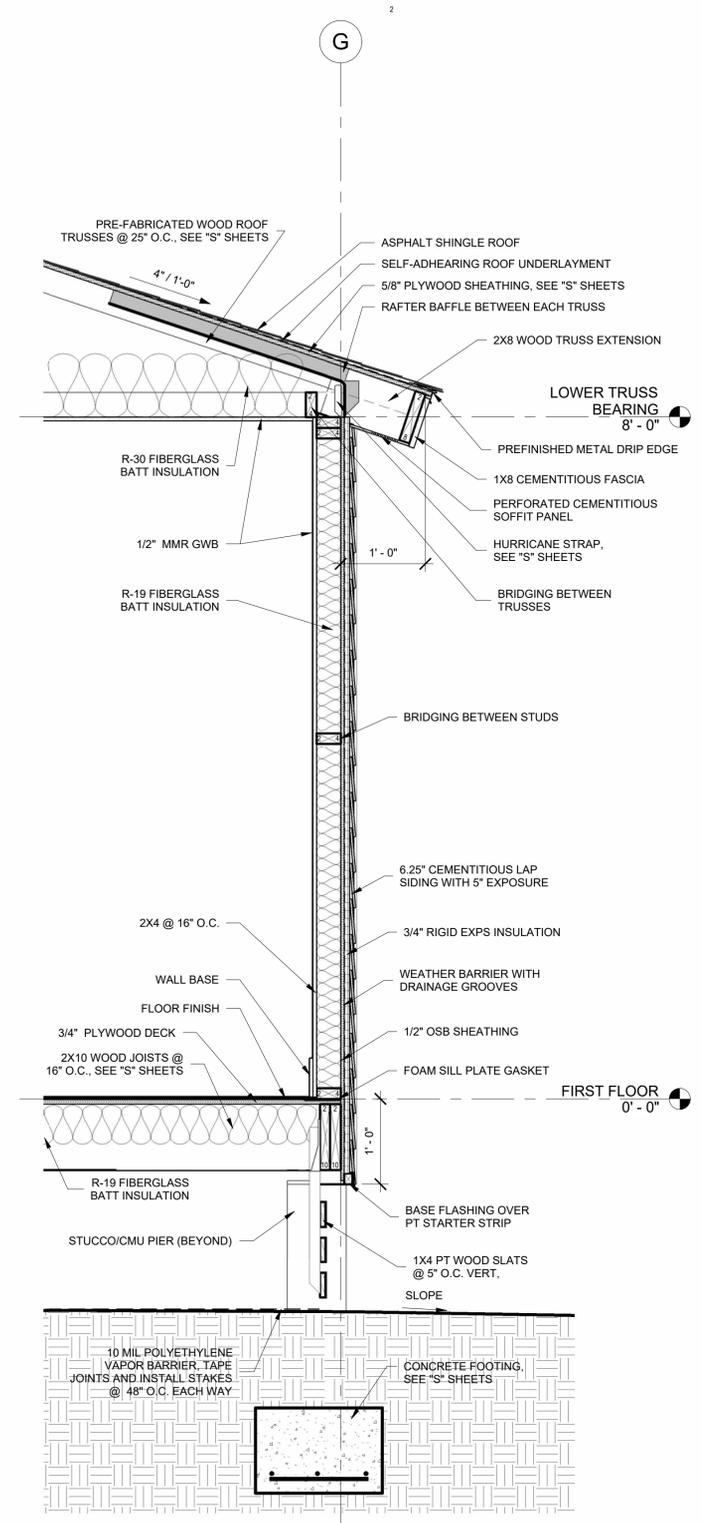
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Revisions	
Rev. No.	Rev. Date

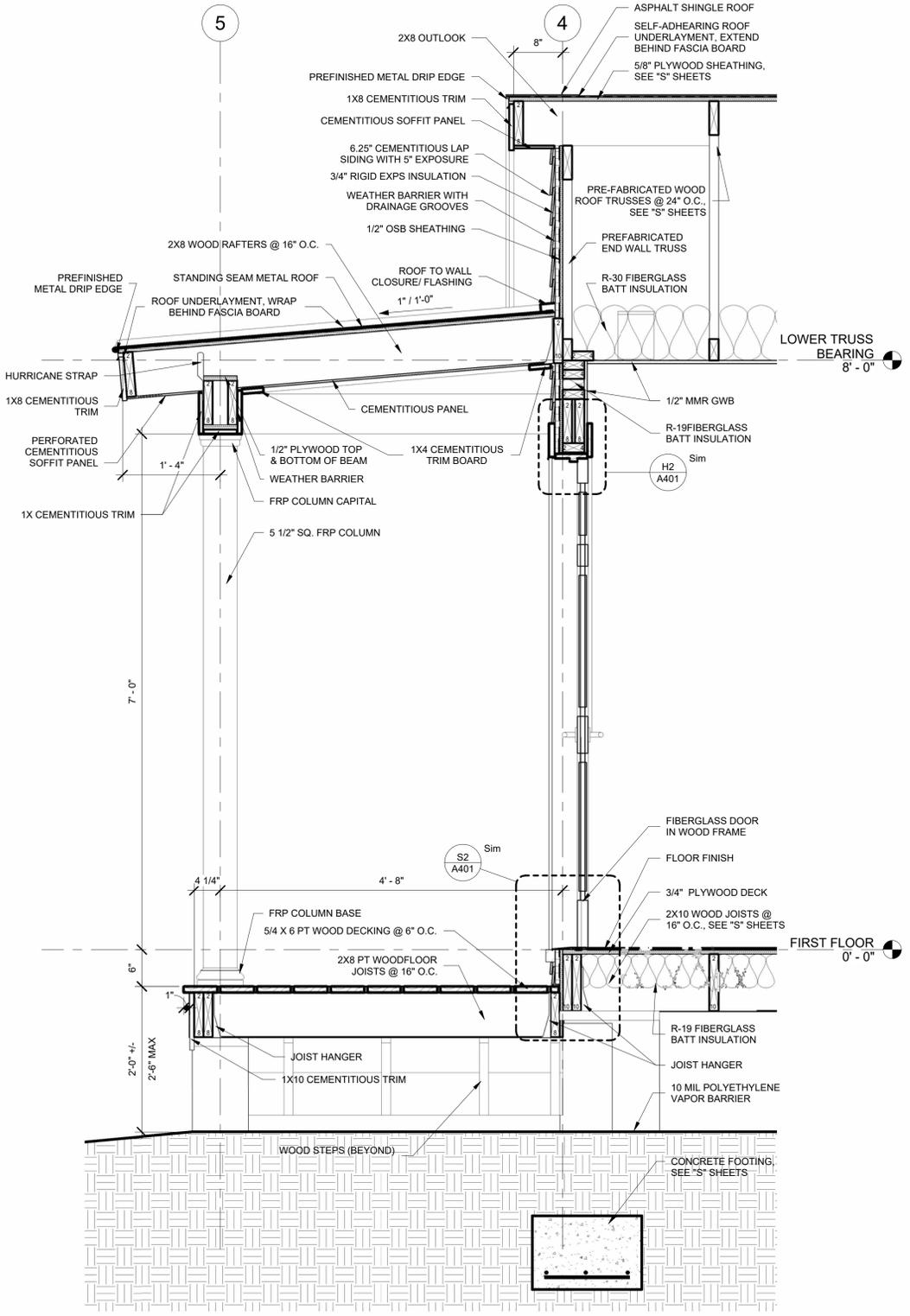
DRAWN BY: FAM
CHECKED BY: Designer
DATE: 08.29.2024
COAST PROJECT NO: 2406.00

WALL SECTIONS

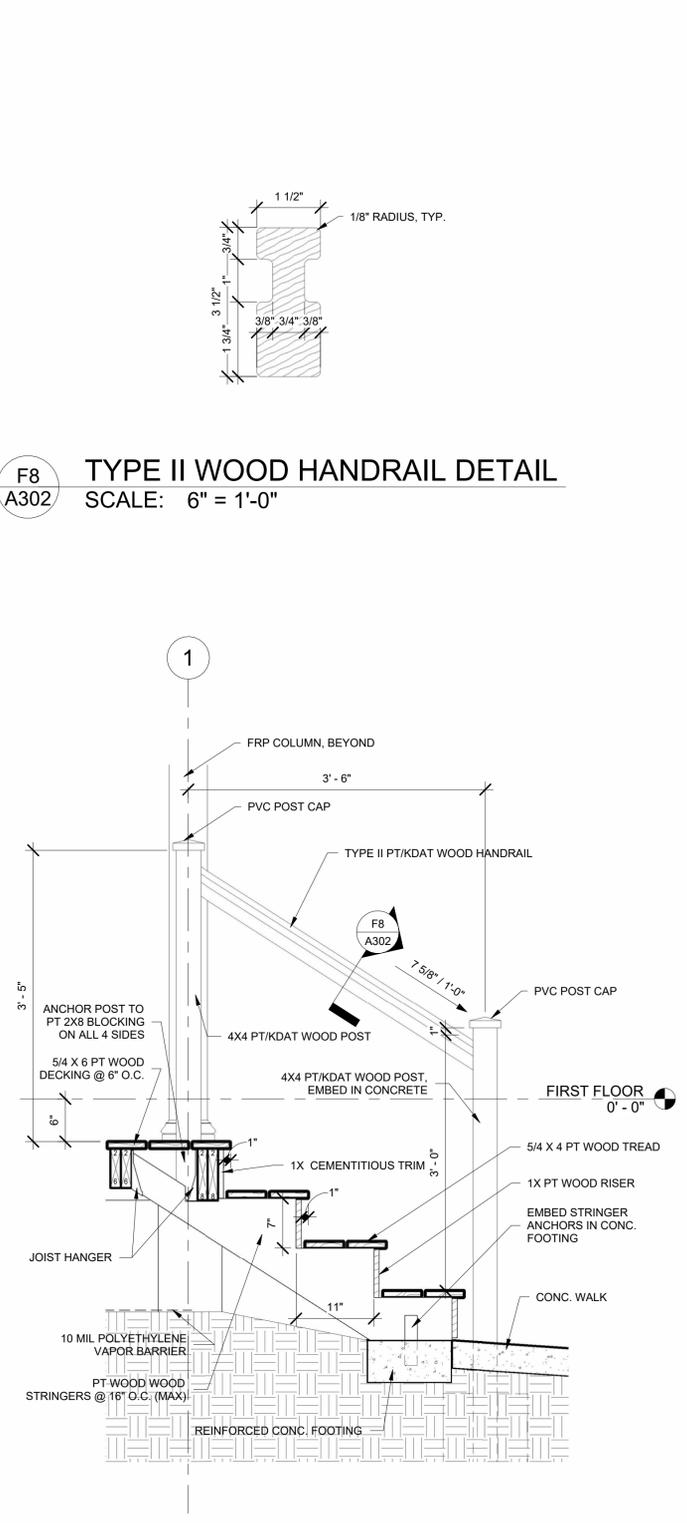
A302



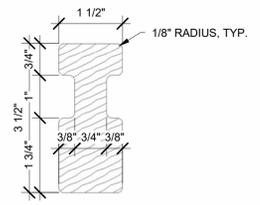
A1
A302 TYPICAL WALL SECTION AT LOWER TRUSS BEARING
SCALE: 1" = 1'-0"



A5
A302 TYPICAL WALL SECTION AT REAR PORCH
SCALE: 1" = 1'-0"

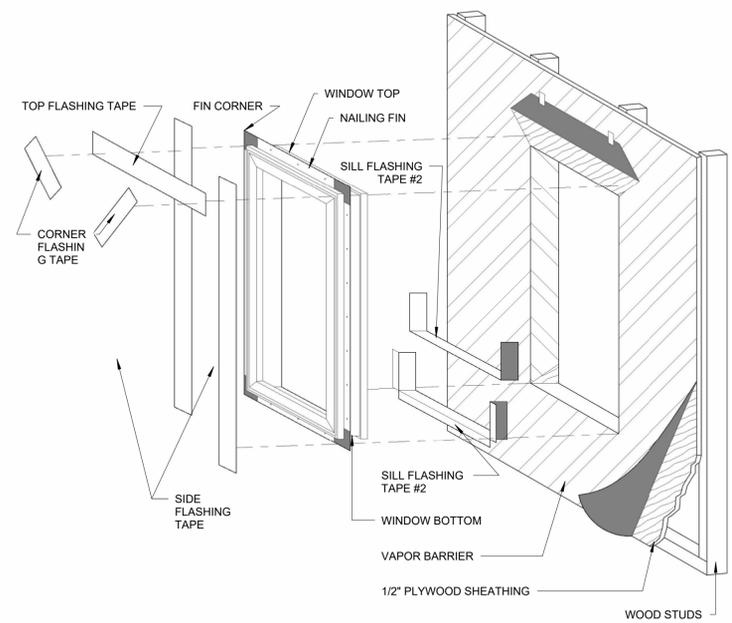


A8
A302 TYPICAL EXTERIOR STAIR SECTION
SCALE: 1" = 1'-0"

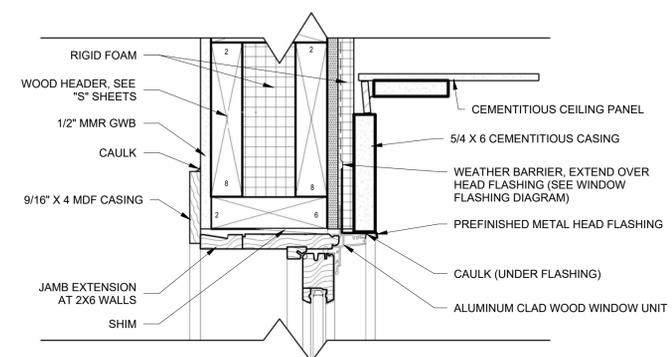


F8
A302 TYPE II WOOD HANDRAIL DETAIL
SCALE: 6" = 1'-0"

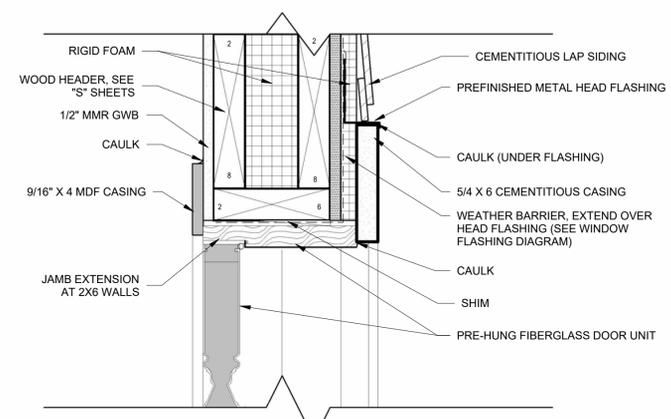
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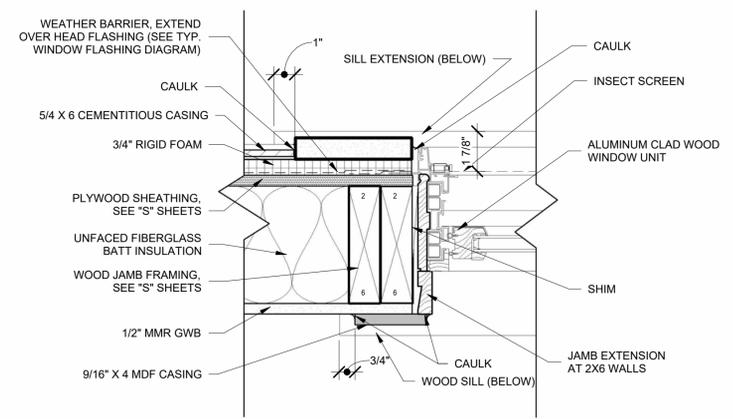
F1
A401 TYPICAL WINDOW FLASHING DIAGRAM
SCALE: 1 1/2" = 1'-0"



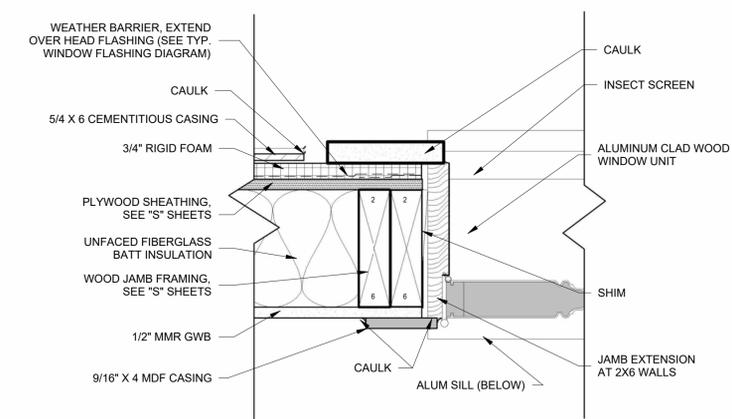
H1
A401 HEAD AT DOUBLE HUNG
SCALE: 3" = 1'-0"



H2
A401 HEAD AT EXTERIOR DOOR
SCALE: 3" = 1'-0"

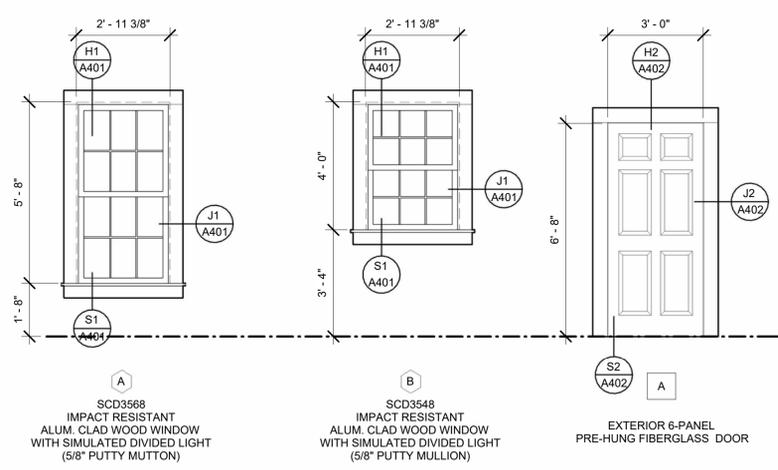


J1
A401 JAMB AT DOUBLE HUNG WINDOW
SCALE: 3" = 1'-0"

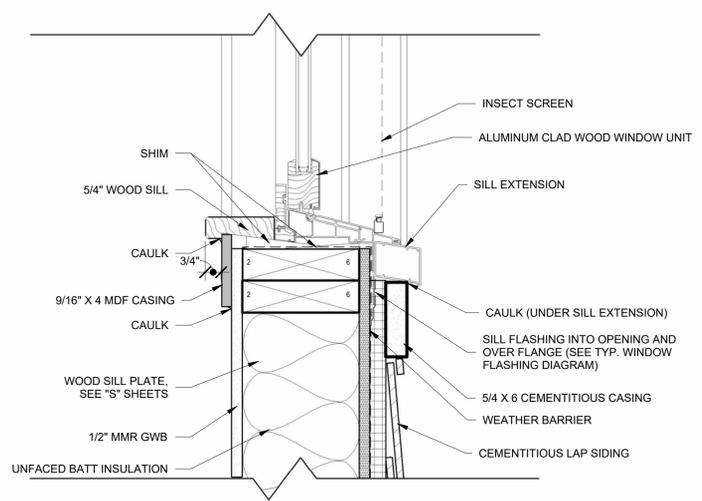


J2
A401 JAMB AT EXTERIOR DOOR
SCALE: 3" = 1'-0"

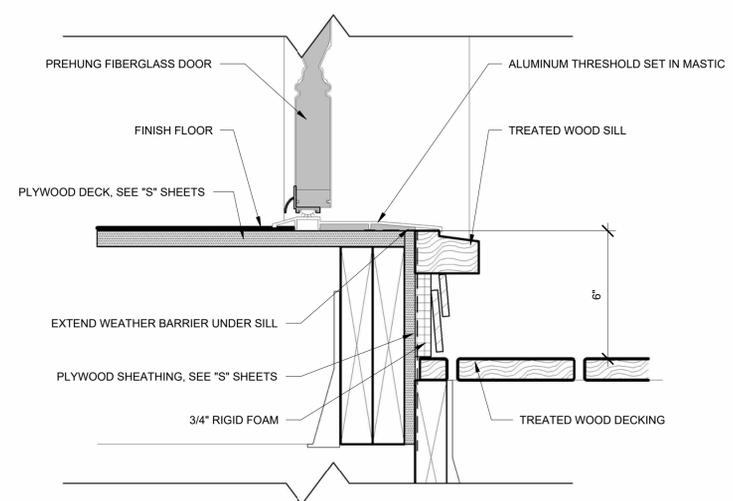
DOOR SCHEDULE								
DOOR NO.	ROOM NAME	DOOR TYPE	WIDTH	DOOR HEIGHT	THICKNESS	FRAME TYPE	FUNCTION	COMMENTS
001	DINING	A	3'-0"	7'-0"	1 3/4"	WD	ENTRY	
002	PRIMARY BEDROOM	A	3'-0"	7'-0"	1 3/4"	WD	ENTRY	
003	BEDROOM	A	3'-0"	7'-0"	1 3/4"	WD	ENTRY	
104	PANTRY	B	2'-6"	6'-8"	1 3/8"	WD	CLOSET	
106	LAUNDRY	C	5'-0"	6'-8"	1 3/8"	WD	CLOSET-DBL	
107	AHU	B	2'-0"	6'-8"	1 3/8"	WD	CLOSET	
108	PRIMARY BEDROOM	B	2'-8"	6'-8"	1 3/8"	WD	PRIVACY	
109	WALK-IN CL	B	2'-8"	6'-8"	1 3/8"	WD	PASSAGE	
110	BATH	B	2'-8"	6'-8"	1 3/8"	WD	PRIVACY	
111	LINEN	B	2'-0"	6'-8"	1 3/8"	WD	CLOSET	
112A	BATH	B	2'-8"	6'-8"	1 3/8"	WD	PRIVACY	
112B	BATH	B	2'-8"	6'-8"	1 3/8"	WD	PRIVACY	
113	BEDROOM	B	2'-8"	6'-8"	1 3/8"	WD	PRIVACY	
114	CL	B	2'-6"	6'-8"	1 3/8"	WD	CLOSET	
115	CLOSET	C	5'-0"	6'-8"	1 3/8"	WD	CLOSET-DBL	
116		A	3'-0"	7'-0"	1 3/4"			
117		A	3'-0"	7'-0"	1 3/4"			



A1
A401 WINDOW AND DOOR ELEVATIONS
SCALE: 3/8" = 1'-0"



S1
A401 SILL AT DOUBLE HUNG WINDOW
SCALE: 3" = 1'-0"



S2
A401 SILL AT EXTERIOR DOOR
SCALE: 3" = 1'-0"

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architects
671 St. Andrews Blvd. • Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
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08.29.2024

DUKE STREET RESIDENCES
1607 & 1609 DUKE STREET - BEAUFORT, SC

Revisions	
Rev. No.	Rev. Date

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CHECKED BY: Designer
DATE: 08.29.2024

COAST PROJECT NO: 2406.00

DOOR SCHEDULE,
WINDOW & DOOR
ELEVATIONS, AND
DETAILS

A401

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1607 DUKE STREET - VIEW FROM DUKE STREET LOOKING NORTHWEST



PREVIOUS HRB SUBMITTAL

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architects
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Phone: 843.763.7064 Fax: 843.763.7061
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1607
PERSPECTIVE
VIEW

A701

HRB FINAL SUBMITTAL FOR 09.11.2024 MEETING

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1609 DUKE STREET - VIEW FROM DUKE STREET LOOKING NORTHWEST



PREVIOUS HRB SUBMITTAL

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architects
671 St. Andrews Blvd., Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
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1609
PERSPECTIVE
VIEW

A702

HRB FINAL SUBMITTAL FOR 09.11.2024 MEETING

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1 2 3 4 5 6 7 8 9 10



VIEW FROM REAR YARD OF 1607 (LEFT) AND 1609 (RIGHT) LOOKING SOUTH TOWARD DUKE STREET



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architects
671 St. Andrews Blvd., Charleston, SC 29407
Phone: 843.763.7064 Fax: 843.763.7061
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PERSPECTIVE VIEW

A703

HRB FINAL SUBMITTAL FOR 09.11.2024 MEETING

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10

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE 2021 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE WITH SOUTH CAROLINA MODIFICATIONS.
2. INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' PRINTED INSTALLATION INSTRUCTIONS (MPI'S) AND/OR SPECIFICATIONS.
3. ALTERATIONS MADE TO THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER MAY VOID THE ENGINEERED DESIGN.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS RELATING TO THE STRUCTURAL DESIGN PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
5. CONTRACTOR(S) PERFORMING WORK THAT INVOLVES EXISTING CONDITIONS SHALL FIELD VERIFY DIMENSIONS AS THEY RELATE TO THE PROPOSED WORK PRIOR TO PERFORMING ANY CONSTRUCTION AND PROCURING ANY MATERIALS THAT MAY BE AFFECTED BY THE ACTUAL CONDITIONS.
6. THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL AND/OR DESIGN DRAWINGS.
7. EXAMINE AND COMPARE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, SITE, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
8. SECTIONS AND DETAILS SHOWN ON DRAWINGS ARE TYPICAL.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TEMPORARY BRACING OF CONSTRUCTION ELEMENTS FOR STRUCTURAL SYSTEMS AND FOR WIND AND/OR CONSTRUCTION LOADS.
10. INTERIOR AND EXTERIOR GUARDRAILS/HANDRAILS SHALL BE COORDINATED WITH THE ARCHITECTURAL DESIGN REQUIREMENTS AND SHALL MEET THE MINIMUM LOAD REQUIREMENTS OF THE GOVERNING BUILDING CODE.
11. REFER TO ARCHITECTURAL DRAWINGS FOR FLASHING AND WEATHER PROOFING OF THE BUILDING ENVELOPE.
12. DO NOT SCALE REPRODUCED DRAWINGS.

FOUNDATION NOTES:

- 1. FOUNDATION DESIGN IS BASED ON A PRESUMED ALLOWABLE BEARING CAPACITY OF 1,500 PSF IN ACCORDANCE WITH THE IRC TABLE R401.4.1.
2. EXTERIOR STRIP FOOTINGS SHALL BEAR AT LEAST 24" BELOW THE GROUND SURFACE IN WELL PREPARED AND COMPACTED EXCAVATIONS.
3. FOOTING EXCAVATION BOTTOM SURFACE COMPACTION SHALL BE CONFIRMED BY DYNAMIC CONE PENETROMETER (DCP) FIELD TESTS PERFORMED BY A QUALIFIED TECHNICIAN PRIOR TO PLACING REBAR AND CONCRETE.
4. TOPSOIL, ORGANIC MATERIAL AND ANY NATURAL OR MANMADE DEBRIS SHALL BE STRIPPED FROM THE SITE TO THE DEPTHS REQUIRED OR NOTED.
5. UNSUITABLE SUBGRADE BELOW FOOTINGS OR SLABS, IF ENCOUNTERED, SHALL BE UNDERCUT AND REPLACED WITH LEAN CONCRETE.
6. FOUNDATIONS OR SLABS SHALL NOT BE PLACED IN WATER NOR ON SATURATED SUBGRADE.
7. SLABS ON GRADE SHALL BE CAST ON A MINIMUM 4" LAYER OF CLEAN COMPACTED CAPILLARY LAYER SUCH AS SAND OR PEA GRAVEL.
8. FOUNDATIONS OR SLABS SHALL NOT BE PLACED IN WATER NOR ON SATURATED SUBGRADE.
9. SLABS ON GRADE SHALL BE CAST ON A MINIMUM 4" LAYER OF CLEAN COMPACTED CAPILLARY LAYER SUCH AS SAND OR PEA GRAVEL.
10. ALL SLABS ARE TO BEAR ON SOILS COMPACTED TO 95% STANDARD PROCTOR ACCORDANCE TO ASTM D1557 TO INCLUDE THE LAYER OF CLEAN WASHED SAND FOR SLABS ON GRADE.
11. SLABS FOR CONDITIONED SPACE OR AREAS TO RECEIVE ADHESIVE ADHERED FLOORING SHALL HAVE A VAPOR RETARDER PLACED IN DIRECT CONTACT WITH THE BOTTOM OF SLAB.

CAST-IN-PLACE CONCRETE NOTES:

- 1. CONCRETE WORK SHALL CONFORM TO REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE (ACI) 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE", ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
2. CONCRETE USED ON THIS PROJECT SHALL HAVE THE FOLLOWING PROPERTIES:
28-DAY COMPRESSIVE STRENGTH: 3000 PSI (FOUNDATIONS/SLAB-ON-GRADE)
4000 PSI (ELEVATED STRUCTURAL SLABS, BEAMS & COLUMNS)
UNIT DENSITY: 145 (PCF) UNIT WEIGHT
PORTLAND CEMENT TYPE: ASTM C-150 TYPE I/II
MAX WATER-CEMENT RATIO: 0.55 (FOUNDATIONS)
0.50 (SLAB-ON-GRADE, CONCRETE COLUMNS)
0.45 (ELEVATED STRUCTURAL SLABS/FLATWORK & BEAMS)
MAXIMUM SLUMP: 3" TO 5" (BEFORE WR ADMIXTURES)
UP TO 8" AFTER ADDITION OF WR ADMIXTURES
3. NORMAL WEIGHT CONCRETE SHALL CONTAIN FINE AND COARSE AGGREGATES COMPLYING WITH ASTM C-33.
4. CONTRACTOR IS RESPONSIBLE FOR PROPER CURING OF CONCRETE.
5. ADDITION OF WATER TO READY-MIX CONCRETE IN THE FIELD ABOVE THE AMOUNT HELD BACK AT THE PLANT SHALL NOT BE ALLOWED.
6. CONTROL JOINTS LOCATIONS SHOWN ON THE DRAWINGS ARE MANDATORY.
7. ALL SAWN CONTROL JOINTS ARE TO BE CUT BETWEEN 4 TO 12 HOURS AFTER THE SLAB IS POURED.
8. CONCRETE SLABS ON GRADE SHALL BE PLACED SO THAT THE SLAB THICKNESS IS AT NO POINT LESS THAN THAT INDICATED ON THE CONTRACT DRAWINGS.
9. CHAMFER EXPOSED CORNERS OF CONCRETE 3/4 INCH.
10. DEPOSIT CONCRETE IN A CONTINUOUS OPERATION UNTIL THE PLACING OF CONCRETE IS COMPLETE.
11. COORDINATE WITH ELECTRICAL DRAWINGS FOR GROUNDING REQUIREMENTS.

CONCRETE REINFORCING STEEL NOTES:

- 1. REINFORCING BARS SHALL BE ASTM A615 GRADE 60 KSI.
2. REINFORCING SHALL NOT BE WELDED OR HEATED FOR BENDING.
3. PROVIDE CLASS B LAP SPLICES WHERE SPLICES ARE REQUIRED.
4. ALL REINFORCING BAR SPICE LENGTHS AND LOCATIONS, EMBEDMENTS, LENGTHS, HOOKS, ETC., SHALL BE DONE AS INDICATED ON THE DRAWINGS.
5. WHERE REINFORCING IS SHOWN IN SECTION, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER THE SECTION APPLIES.
6. HOOKS, TIES, AND STIRRUPS SHALL BE MADE IN ACCORDANCE WITH MINIMUM BEND DIAMETERS AND EXTENSIONS AS SPECIFIED IN ACI 318.
7. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
A) CONCRETE CAST AGAINST & PERMANENTLY EXPOSED TO EARTH: 3"
B) CONCRETE EXPOSED TO EARTH OR WEATHER:
NO. 6 THRU NO 18 BARS: 2"
NO. 5 BAR, W31 OR D31, AND SMALLER: 1 1/2"
C) CONCRETE NOT EXPOSED TO OR IN CONTACT WITH GROUND:
SLABS, WALLS, & JOISTS:
NO. 14 AND NO. 18 BARS: 1 1/2"
NO. 11 BAR AND SMALLER: 3/4"
BEAMS, COLUMNS:
PRIMARY REINF, TIES, STIRRUPS, SPIRALS: 1 1/2"
SHELLS, FOLDED PLATE MEMBERS:
NO. 6 BAR AND LARGER: 3/4"
NO. 5 BAR, W31 OR D31 WIRE & SMALLER: 1/2"
8. WELDED WIRE REINFORCING SHALL CONFORM TO ASTM A496 AND SHALL BE PROVIDED IN FLAT SHEETS WHEN AVAILABLE FOR SPECIFIED SIZE.

CONCRETE MASONRY UNIT (CMU) NOTES:

- 1. STRENGTH OF MASONRY MATERIALS SHALL BE AS FOLLOWS:
A. CONCRETE MASONRY UNITS SHALL BE LIGHT WEIGHT CONFORMING TO ASTM C-90 AND HAVE A MINIMUM AVERAGE COMPRESSIVE STRENGTH OF 1,900 PSI ON THE NET AREA TO PROVIDE A COMPOSITE COMPRESSIVE STRENGTH OF 1,500 PSI AS DESIGNED.
B. MORTAR SHALL CONFORM TO ASTM C270 TYPE M OR S.
GROUT SHALL CONFORM TO ASTM C476 WITH LOW ALKALI CONTENT, A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI.
ALTERNATE TO GROUT FILLED CELLS: NORMAL WEIGHT CONCRETE WITH MAX 1/2" COURSE AGGREGATE AND MINIMUM 28 DAY COMPRESSIVE STRENGTH 2,500 PSI.
GROUT OR CONC FILL SHALL HAVE A SLUMP BETWEEN 8" & 11" AT THE TIME OF PLACEMENT.
2. IF GROUTING WORK STOPS FOR 1 HOUR OR LONGER, THE HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING ALL TIERS AT THE SAME ELEVATION AND WITH THE GROUT 1" BELOW THE JOINT.
3. ALL MASONRY REINFORCEMENT FOR CONCRETE MASONRY SHALL BE ASTM A615 GR. 60 KSI.
4. REINFORCING BARS IN MASONRY SHALL HAVE THE FOLLOWING MINIMUM COVER MEASURED FROM THE OUTSIDE FACE OF MASONRY ELEMENTS AND INCLUDING THE THICKNESS OR MORTAR AND GROUT:
A. MASONRY EXPOSED TO WEATHER OR EARTH:
BARS LARGER THAN NO.5: 2"
5 BARS OR SMALLER: 1 1/2"
4. MASONRY NOT EXPOSED TO WEATHER OR EARTH: 1 1/2"
5. PROVIDE REBAR (SIZE TO MATCH TYP VERT REINF) EA SIDE, TOP, AND BOTTOM OF ALL OPENINGS.
6. PROVIDE 9 GAGE LADDER TYPE HORIZONTAL JOINT REINFORCEMENT AT 16" OC VERTICAL IN ALL RUNNING BOND MASONRY.
7. ALL SPLICES SHALL BE LAPPED 48 BAR DIAMETERS MINIMUM.
8. VERTICAL BARS SHALL TERMINATE INTO FOOTINGS 90° STANDARD HOOKS.
9. PLACE REINFORCEMENT IN THE CENTER OF CELLS AND GROUT SOLID.
10. ALL MASONRY WALLS SHALL BE PROVIDED WITH A FULL WYTHE MORTAR SETTING BED ON TOP OF THE SUPPORTING FOUNDATIONS/SLABS.
11. PROVIDE SOLID GROUTED UNITS IN ALL AREAS BELOW GRADE AND AREAS TO RECEIVE CAST-IN-PLACE OR POST INSTALLED ANCHORAGE TO WALLS.
12. PROVIDE 2x TP SILL PLATE ABOVE ALL MASONRY PIERS/WALLS SUPPORTING WOOD FRAMING UNLESS OTHERWISE NOTED.
13. ANCHOR PRESSURE TREATED SILL PLATES TO MASONRY PIERS/WALLS W/ 5/8" DIA HDG ANCHOR BOLT WITH 7" EMBEDMENT.
14. PROVIDE PA-51 OR PA-68 STRAPS EMBEDDED MIN 4 COURSES INTO VERTICALLY REINFORCED CELLS AS FOLLOWS:
14.1. FOR PIERS/WALLS SUPPORTING FRAMING 20" OR GREATER IN DEPTH, PROVIDE PA-68 STRAPS IN LIEU OF PA-51.
14.2. LOCATE IN EVERY OTHER VERTICALLY REINFORCED CELL BUT NO MORE THAN 5'-4" OC.
14.3. WITHIN 16" OF EA SIDE OF CORNERS AND THE ENDS OF WALL SEGMENTS GREATER THAN 36" LONG.
14.4. (1) STRAP WITHIN MIDDLE THIRD OF PIERS LESS THAN OR EQUAL TO 36" LONG.
15. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN UTILIZING HIGH LIFT GROUTING PROCEDURES.

ENGINEERED OPEN WEB WOOD ROOF TRUSS NOTES:

- 1. SHOP DRAWINGS OF TRUSSES TO BE SUBMITTED TO THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION.
2. CONTRACTOR SHALL INSTALL DIAGONAL AND LATERAL TRUSS BRACING IN ACCORDANCE WITH THE RECOMMENDATIONS OF "BUILDING COMPONENT SAFETY INFORMATION (BCSI) - GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING, & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES" (BY THE TRUSS PLATE INSTITUTE).
3. TRUSSES TO BE SPACED PER PLAN, EXCEPT CLOSER SPACINGS THAN INDICATED ON THE PLANS MAY BE USED IF REQUIRED BY TRUSS MANUFACTURER TO MEET THE DESIGN CRITERIA.
4. INDIVIDUAL TRUSS MEMBERS SHALL BE DESIGNED FOR THE LIVE LOADS AND DEAD LOADS AS SPECIFIED USING ALL APPLICABLE LOAD COMBINATIONS.
5. ROOF TRUSSES SHALL BE DESIGNED FOR APPLICABLE WIND LOADS AT PROJECT SITE IN COMBINATION WITH DEAD LOADS SHOWN BELOW.
6. TRUSS UPLIFT ANCHORAGE FORCES AND GABLE FRAME UPLIFT CONNECTIONS SHALL BE DETERMINED USING MAIN WIND FORCE RESISTING SYSTEM WIND LOADS.
7. INDIVIDUAL TRUSS MEMBERS SHALL BE DESIGNED USING COMPONENTS & CLADDING WIND LOADS.
8. TRUSSES SHALL BE DESIGNED & FABRICATED PER BEARING POINTS, PITCHES, HEEL HEIGHTS, AND SPANS INDICATED ON THE STRUCTURAL DRAWINGS.
9. TRUSS DESIGN LOADS (SUPERIMPOSED) TO BE AS FOLLOWS:
ROOF (NON-OCCUPIED) TRUSS LOADS:
TOP CHORD LIVE LOAD: 20 PSF
TOP CHORD DEAD LOAD: 10 PSF
BOTTOM CHORD LIVE LOAD (ATTIC): 20 PSF
BOTTOM CHORD DEAD LOAD: 10 PSF
MAXIMUM TRUSS DEFLECTIONS:
DEFLECTION: L/d
VERT (LIVE LOAD): 480
VERT (TOTAL LOAD): 360 (3/4" MAX)
10. TRUSS MANUFACTURER SHALL PROVIDE CONNECTION PRODUCTS FOR ALL TRUSS-TO-TRUSS AND TRUSS TO SUPPORTING FRAMING CONNECTIONS.
11. RIGID GYPSUM BOARD CEILING WILL BE ATTACHED TO BOTTOM CHORD OF TRUSSES.

ENGINEERED I-JOISTS, LVL, & GLU-LAM WOOD FLOOR FRAMING NOTES:

- 1. ANY HOLES CUT THROUGH STRUCTURAL ELEMENTS TO BE IN ACCORDANCE WITH THE IRC AND/OR ENGINEERED LUMBER MANUFACTURER'S LIMITATIONS.
2. COMPONENTS SHALL BE SUPPORTED WITH ENGINEERED HANGERS AS SPECIFIED ON THESE PLANS OR EQUIVALENT PRODUCTS.
3. ENGINEERED BEAMS USED ON THIS PROJECT SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
LAMINATED VENEER LUMBER (LVL)
ALLOWABLE BENDING STRESS: 2,900 PSI
ALLOWABLE SHEAR STRESS: 285 PSI
MODULUS OF ELASTICITY: 2.0E
SPECIES: SOUTHERN PINE OR BETTER
GLUED LAMINATED BEAMS (GLU-LAM)
APA GRADE: 24F - V4
MODULUS OF ELASTICITY: 1.7E (MINIMUM)
4. MAXIMUM FLOOR DEFLECTIONS:
DEFLECTION: L/d
VERT (LIVE LOAD): 720
VERT (TOTAL LOAD): 480 (1/2" MAX)
5. MULTIPLE PLY BEAMS SHALL BE ATTACHED TOGETHER IN ACCORDANCE WITH THE MPI'S OR DETAILS IF PROVIDED.

CONVENTIONAL WOOD FRAMING NOTES:

- 1. WOOD FRAMING SHALL BE MINIMUM #2 SOUTHERN PINE & KILN DRIED TO A 19% MAXIMUM MOISTURE CONTENT UNLESS OTHERWISE NOTED.
2. ALL P.T. LUMBER TO BE GROUND CONTACT UCA4 OR GREATER REGARDLESS OF LOCATIONS.
3. PRESERVATIVE TREATED FRAMING REQUIREMENTS:
3.1. FIELD APPLY COPPER NAPHTHENATE SEALER TO FIELD CUT END/EDGES/NOTCHES/BORES OF TREATED WOOD.
3.2. ALL WOOD FRAMING AT OR BELOW BASE FLOOR ELEVATION SHALL BE PRESSURE TREATED TO THE APPROPRIATE AWP4 STANDARD USE CATEGORY BASED ON SERVICE CONDITIONS.
3.3. ALL WOOD MEMBERS EXPOSED TO WEATHER, EARTH OR CONNECTED TO CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED TO THE APPROPRIATE AWP4 STANDARD USE CATEGORY BASED ON INTENDED SERVICE CONDITION.
3.4. PROVIDE PRESSURE TREATED WOOD STRUCTURAL PANELS UP TO A MINIMUM OF 4'-0" ABOVE FINISH FLOOR FOR WALLS FRAMED ON SLAB ON GRADE FOUNDATIONS AND DECK FLOORS.
3.5. ALL PORTIONS OF WOOD FLOOR FRAMING WITHIN 18" OF FINISH GRADE SHALL BE PRESSURE TREATED LUMBER.
4. ALL GIRDETS, BEAMS AND OTHER LUMBER SHALL BE CONTINUOUS WITHOUT SPLICES EXCEPT AS SHOWN ON DRAWINGS.
5. FLOOR & CEILING JOISTS OF SOLID SAWN DIMENSIONAL LUMBER SHALL HAVE ONE ROW OF BRIDGING AT CENTERLINE OF SPANS 10 TO 15 FT AND TWO ROWS OF BRIDGING EQUALLY SPACED FOR SPANS GREATER THAN 15 FT.
6. PROVIDE DOUBLE JOISTS OR SOLID BLOCKING AT 24" OC UNDER ALL PARTITION WALLS.
7. PROVIDE DOUBLE LAYER PLYWOOD OR OR MAXIMUM FLOOR JOISTS SPACING OF 16" OC UNDER ALL CERAMIC OR STONE TILE FLOOR AREAS.
8. ALL WALL AND ROOF SHEATHING SHALL BE APA RATED, EXPOSURE 1 AS PER USDOC PS1 (PLYWOOD) OR PS2 (OSB).
9. EXTERIOR WOOD WALL SHEATHING PANELS SHALL BE INSTALLED PER SHEATHING & FASTENINGS SCHEDULE.
10. SHEATHING PANELS SHALL NOT BE LESS THAN 4FT BY 8FT, EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING.
11. NAILS SHALL BE LOCATED AT LEAST 3/8 INCH FROM EDGES OF FRAMING AND EDGES OF PANELS AS INDICATED ON THE SHEATHING ATTACHMENT DIAGRAM.
12. FRAMING NOT EXPLICITLY DETAILED OR CALLED OUT ON DRAWINGS SHALL BE PER STANDARD TIMBER CONSTRUCTION TECHNIQUES CONFORMING TO IRC 2021.
13. MULTIPLE PLY BEAMS AND COLUMNS SHALL BE CONNECTED TOGETHER IN ACCORDANCE WITH THE MINIMUM NAILING SCHEDULE OR DETAILS ON THESE DRAWINGS WHEN PROVIDED.
14. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SET FORTH IN R502.8 OF THE IRC OR THE MPI'S.
15. PRESSURE TREATED SILL PLATES OF STRUCTURAL WOOD FRAMED WALLS ON SLABS ON GRADE SHALL BE ATTACHED TO CONCRETE W/ HDG 5/8" DIA x 9" ANCHOR BOLTS W/ 3"x3"x1/4" HDG PLATE WASHER @ 4'-0" OC MAX SPACING.
WOOD FASTENERS & CONNECTORS NOTES:
1. ALL WOOD CONNECTORS SHALL BE BY SIMPSON STRONG-TIE AND SHALL HAVE A MINIMUM STANDARD COATING G90.
2. CONNECTIONS SHALL BE MADE AS INDICATED ON DRAWINGS.
3. PROVIDE PILOT HOLES FOR LAG SCREWS EQUAL TO 75% OF THE SCREW DIAMETER.
4. INSTALL FASTENERS & CONNECTORS PER MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS.
5. RETIGHTEN SILL ANCHOR BOLTS AND HOLDOWN ANCHOR BOLTS BEFORE CLOSING WALLS.
6. ALL THRU BOLTS SHALL BE ASTM GRADE A307N W/ HDG FINISH.
7. ALL BOLTS & LAG SCREWS TO RECEIVE STANDARD FLAT WASHERS BETWEEN WOOD AND FASTENER.
8. NUTS SHALL BE ASTM GRADE A563-A W/ HDG FINISH.
9. FINISH METAL PARTS W/ HDG PER ASTM A153 WHERE INDICATED ON DRAWINGS.
10. ADJUST STANDARD HOLE SIZES IN METAL PLATES & NUT TAPS TO ACCOMMODATE HOT DIPPED GALVANIZING ON METAL PARTS WHERE REQUIRED.

POST INSTALLED ANCHOR NOTES:

- 1. INSTALLATION AND INSPECTION OF ALL POST INSTALLED ANCHORS SHALL CONFORM TO THE MANUFACTURERS PUBLISHED INSTALLATION INSTRUCTIONS, THE REQUIREMENTS OF THE RESPECTIVE ICC-ES REPORT, AND THE APPLICABLE BUILDING CODE.
2. POST INSTALLED CONCRETE ANCHORS SHALL BE APPROVED FOR USE IN CRACKED CONCRETE WITH THE REFERENCED BUILDING CODE BY AN ICC-ES REPORT.
3. POST INSTALLED ANCHORS AND THREADED ANCHORS SHALL BE CARBON STEEL, HOT DIPPED GALVANIZED PER ASTM A153, OR ZINC PLATED PER ASTM B633 OR ASTM B695.
4. ADHESIVE DOWELS SHALL BE ASTM A616 REINFORCING BARS OR A36 ROD.
STRUCTURAL SUBMITTAL REQUIREMENTS:
1. SUBMIT THE FOLLOWING SHOP DRAWINGS TO THE GENERAL CONTRACTOR & PROJECT ARCHITECT FOR REVIEW & APPROVAL PRIOR TO FABRICATION OF THE COMPONENTS.
A. ENGINEERED WOOD ROOF TRUSS LAYOUT & CALCULATIONS.

PROTECTION OF DOOR & WINDOW OPENINGS:
2021 SOUTH CAROLINA RESIDENTIAL CODE
ASCE 7-16 (WIND DESIGN)
ASCE 24-14 (FLOOD RESISTANT DESIGN & CONSTRUCTION)
1. LIVE LOADS:
FLOOR (LIVING/DECK/PORCH AREA) 40 PSF
FLOOR (SLEEPING AREA) 30 PSF
ROOF 20 PSF
ATTIC (LIMITED STORAGE) 20 PSF (UNINHABITABLE)
ATTIC (NO STORAGE) 10 PSF (UNINHABITABLE)
2. SUPERIMPOSED DEAD LOADS:
ROOF 10 PSF
FLOOR (NON-BRITTLE FLOORING) 15 PSF
FLOOR (BRITTLE FLOORING) 20 PSF *SEE SPECIAL CASES BELOW...
*KITCHEN ISLAND / CABINET AREAS 50 PSF
*TUBS & SHOWERS 100 PSF
3. SNOW LOADS:
GROUND SNOW LOAD, P_o 5 PSF
WIND LOADS (REFER TO SHEET S-02 FOR SCHEDULE):
MWFRS: BASIC WIND SPEED (3 SEC GUST) = 140 MPH (ULTIMATE) 108 MPH (ASD)
C&C WIND LOADS REFER TO TABLE IN DWGS
EXPOSURE CATEGORY C
ENCLOSURE CATEGORY ENCLOSED*
*RISK CATEGORY II
5. SEISMIC LOADS:
SITE CLASS D
MAPPED ACCELERATIONS S_s = 0.65g S_1 = 0.21g
SEISMIC DESIGN CATEGORY D_o
6. FLOOD ZONE: ZONE X (FEMA MAP 45013C0166G EFF. 03/23/21)
7. ALLOWABLE SOIL BEARING CAPACITY: 1,500 PSF (PRESUMED)

Table with 5 columns: BUILDING ZONE, 10, 20, 50, 100, 500. Rows include ROOF ZONE 1, ROOF ZONE 2, ROOF ZONE 3, WALL ZONE 4, WALL ZONE 5, OH ZONE 2, OH ZONE 3.

SCHEDULE NOTES:
1. TO CONVERT TABULATED ALLOWABLE STRESS VALUES TO ULTIMATE PRESSURES DIVIDE THE VALUE BY 0.6.
2. PRESSURES ACT NORMAL TO THE BUILDING SURFACE WHEREAS POSITIVE IS ACTING TOWARDS THE SURFACE AND NEGATIVE IS ACTING AWAY FROM THE SURFACE.

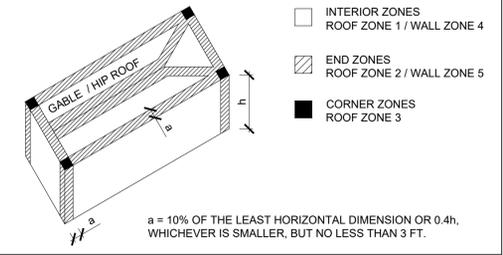
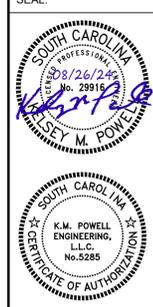


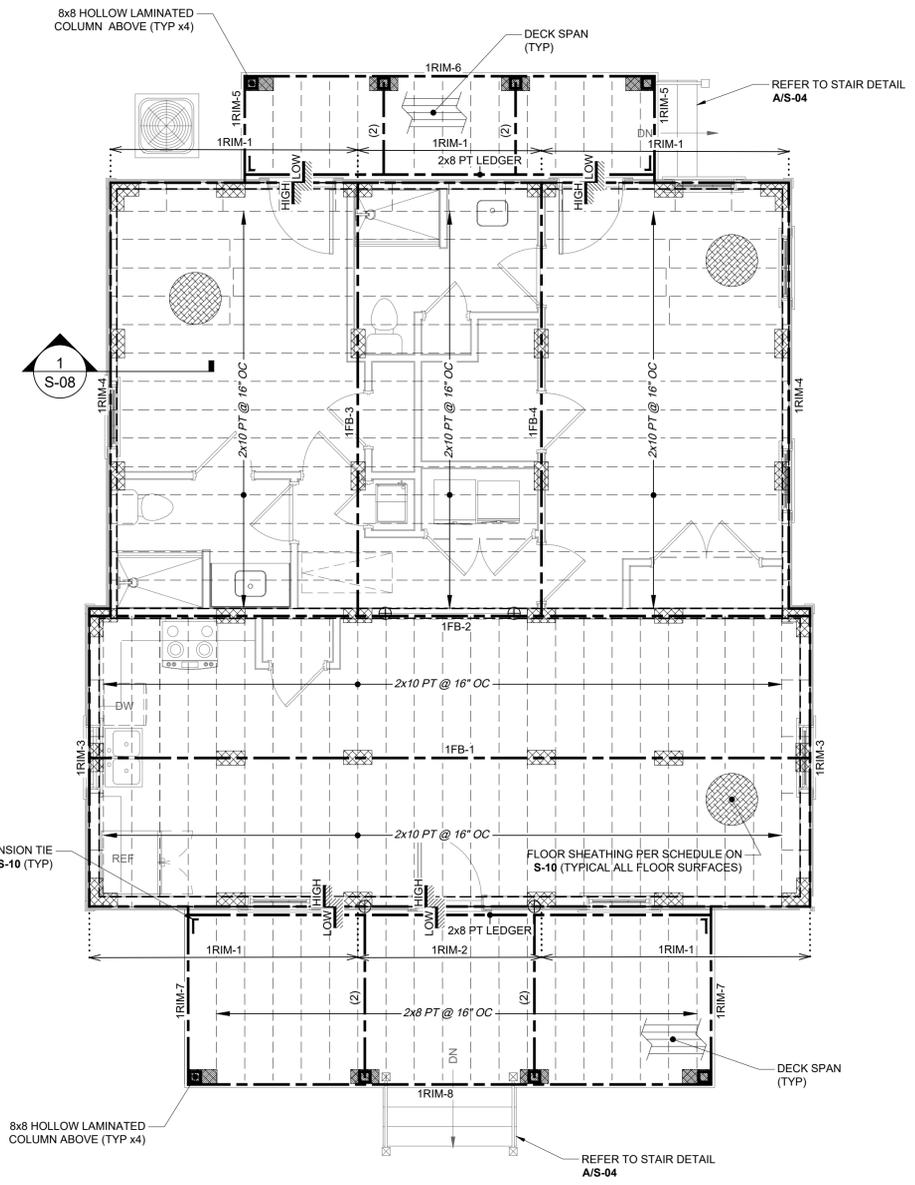
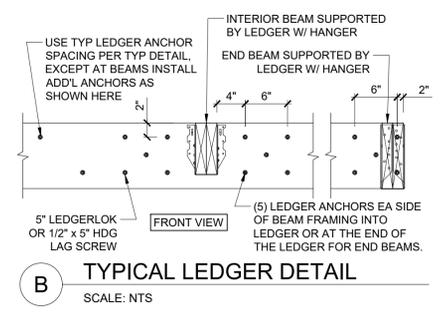
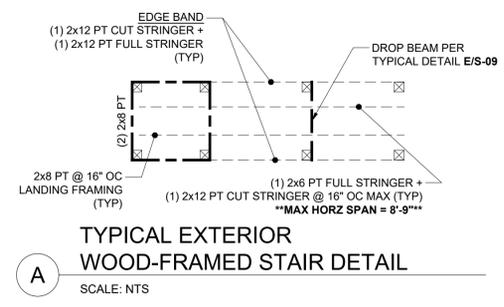
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STRUCTURAL
NEW RESIDENCE
1609 DUKE STREET
BEAUFORT, SC 29502

JOB NO.: 11224
DESIGN BY: KMP
DRAWN BY: DAL
DATE: 08/26/24
SCALE: AS NOTED

SHEET TITLE: GENERAL NOTES & DESIGN CRITERIA
SHEET NO. S-01



GROUND FLOOR WALLS SHOWN (BELOW)
1ST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"
PLAN NORTH

- FLOOR FRAMING PLAN NOTES:**
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE NOTES ON SHEET S-01 IN ADDITION TO THE FOLLOWING NOTES.
 - REFER TO SHEET S-02 FOR PLAN ABBREVIATIONS, SYMBOLS, AND LEGENDS.
 - FLOOR ELEVATION SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS. ANY ELEVATIONS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST WITH FLOOR ELEVATIONS/HEIGHTS SHOWN WITHIN THESE DRAWINGS AND THE ARCHITECTURAL DRAWINGS.
 - FLOOR PLAN WALL LAYOUT IS SHOWN FOR REFERENCE ONLY. NOTIFY ENGINEER IF DISCREPANCIES EXIST BETWEEN REFERENCE WALL LAYOUT AND THE ARCHITECTURAL PLANS USED FOR CONSTRUCTION.
 - PROVIDE FULL DEPTH SOLID BLOCKING BETWEEN JOISTS/TRUSSES OVER LOAD BEARING WALLS.
 - PROVIDE WEB STIFFENERS ON I-JOIST AS FOLLOWS: WHEN REQUIRED BY THE JOIST HANGER MANUFACTURER'S INSTALLATION INSTRUCTIONS, IN ACCORDANCE WITH THE I-JOIST MANUFACTURER'S STANDARD DETAILS FOR INTERIOR BEARING CONDITIONS & AT END BEARING CONDITIONS WITH CONCENTRATED LOADS AND NO RIM BOARD PRESENT.
 - PORCH COLUMN BASES AND TOPS SHALL BE ANCHORED TO THE FRAMING PER TYPICAL DETAILS FOR CONTINUOUS UPLIFT LOAD PATH RESISTANCE.
 - CONTRACTOR TO COORDINATE STRUCTURAL MEMBERS WITH TOILET FLANGES, TUB AND FLOOR DRAINS, DUCTWORK, RECESSED LIGHTING AND ALL OTHER MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT AND FIXTURES.

- EXTERIOR DECK & STAIR FRAMING NOTES:**
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE NOTES ON SHEET S-01 IN ADDITION TO THE FOLLOWING NOTES.
 - ALL DECKS HIGHER THAN 30" ABOVE GRADE OR LEVEL BELOW MUST HAVE GUARDRAILS AT LEAST 36" IN HEIGHT MEASURED FROM T/DECK TO T/RAIL.
 - ALL RIM BEAMS SHALL BE DOUBLE MEMBERS.
 - ATTACH NEWEL POSTS TO TOP OF DECK FRAMING AS SHOWN IN TYPICAL DETAILS. PROVIDE NEWEL POSTS ADJACENT TO EXTERIOR WALLS.
 - STAIR HANDRAIL POSTS SHALL BE BOLTED TO THE INSIDE OR OUTSIDE OF STRINGERS PER TYPICAL DETAILS.
 - WHEN REQUIRED, STAIR STRINGERS SHALL HAVE INTERMEDIATE DROPPED BEAM SUPPORTS AND EACH STRINGER CONNECTED TO DROP BEAM W/ H2.5A CLIP.

NO	REVISION DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	08/26/24

SEAL:

STRUCTURAL
NEW RESIDENCE
1609 DUKE STREET
BEAUFORT, SC 29902

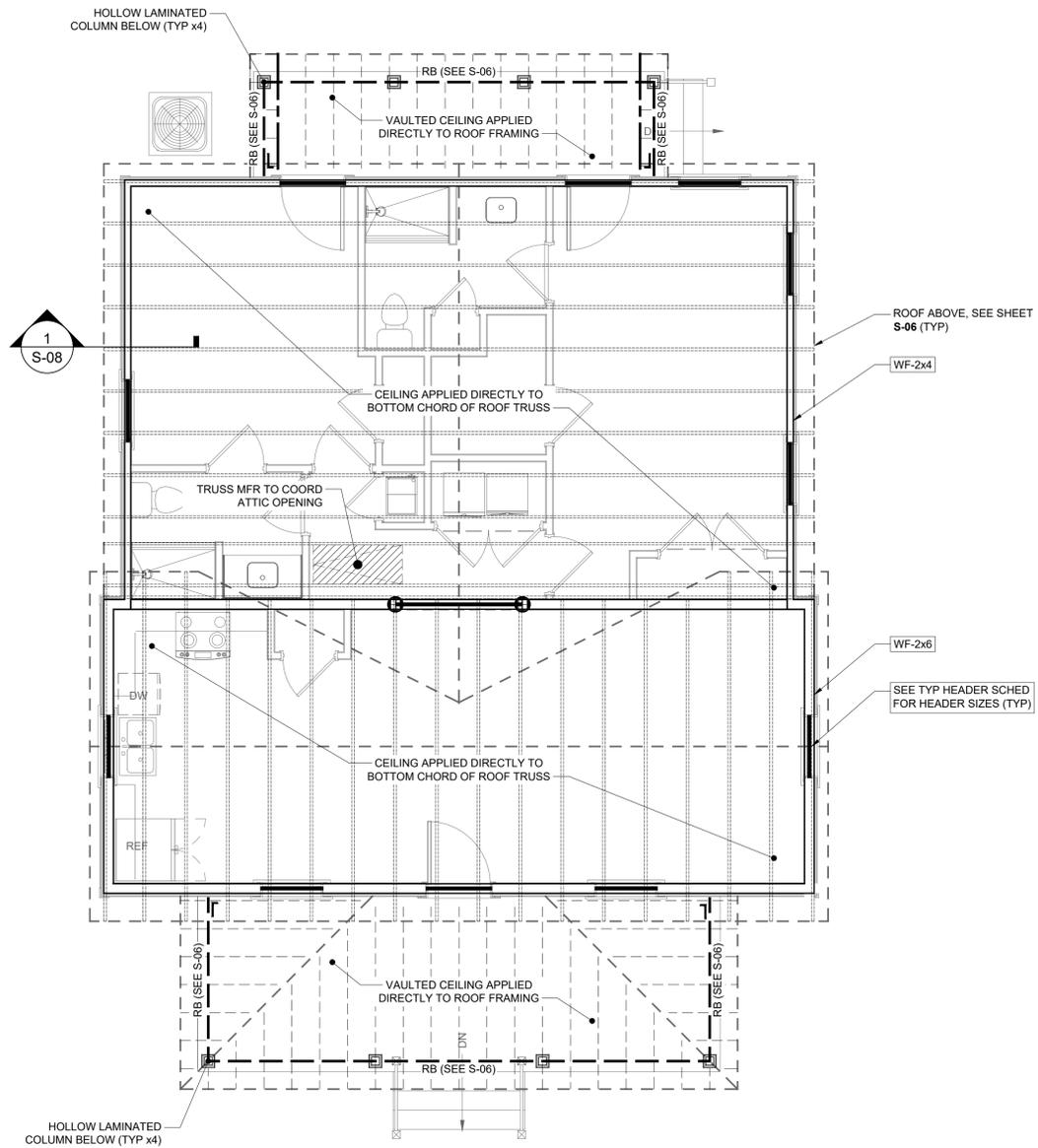
JOB NO.: 11224
DESIGN BY: KMP
DRAWN BY: DAL
DATE: 08/26/24
SCALE: AS NOTED

1ST FLOOR BEAM (1FB) SCHEDULE (ALL FLUSH UON)		
MARK	MEMBER	END CONNECTORS / REMARKS
1RIM-1	(2) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1RIM-2	(3) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1RIM-3	(2) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1RIM-4	(2) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1RIM-5	(2) 2x8 PT	STRAPPED TO CMU PER TYP DETAIL, HUC28-2 @ WALL
1RIM-6	(2) 2x8 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1RIM-7	(2) 2x8 PT	STRAPPED TO CMU PER TYP DETAIL, HUC28-2 @ WALL
1RIM-8	(2) 2x8 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1FB-1	(2) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1FB-2	(3) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1FB-3	(3) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"
1FB-4	(3) 2x10 PT	STRAPPED TO CMU PER TYP DETAIL, "NO SPLICES OVER OPENINGS"

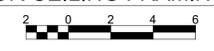
SHEET TITLE:
1ST FLOOR FRAMING PLAN

SHEET NO.
S-04

8/26/24 12:44:45 PM
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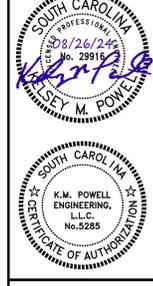


1ST FLOOR WALLS SHOWN (BELOW)
1ST FLOOR CEILING FRAMING PLAN
 SCALE: 1/4"=1'-0"



- CEILING FRAMING PLAN NOTES:**
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE NOTES ON SHEET S-01 IN ADDITION TO THE FOLLOWING NOTES.
 - REFER TO SHEET S-02 FOR PLAN ABBREVIATIONS, SYMBOLS, AND LEGENDS.
 - PROVIDE BUILT-UP WALL STUD COLUMNS BELOW ALL SCHEDULED CEILING BEAMS. EXCEPT WHERE SPECIFICALLY NOTED, PROVIDE MULTI-PLY LAMINATED STUD COLUMNS BELOW BEAMS. THE STUD COL SHALL MATCH OR EXCEED THE WIDTH OF THE SUPPORTED BEAM AND BE SCREWED SECURELY IN PLACE USING (2) SIMPSON SDWC15600 UNLESS OTHERWISE NOTED IN BEAM SCHEDULE.
 - ATTACH ENDS OF OF ANY MULTI-PLY CEILING JOISTS OR BEAMS W/ SIMPSON SDWC15600 PER DETAIL THIS SHEET UNLESS OTHERWISE NOTED IN THE BEAM SCHEDULE.
 - WHERE POINT LOADS FROM ROOF SUPPORT COLUMNS LAND ON TOP OF WALLS, PROVIDE MINIMUM STUD PACK IN WALLS WITH EQUAL AMOUNT OF PLYS AS THE ROOF SUPPORT COLUMN. ANCHOR THE BASE OF THESE STUD PACKS TO THE SILL PLATE W/ (1) DIAGONAL SIMPSON SDWC15600 WOOD SCREW.
 - PROVIDE 3 1/2" END BEARING AT BEAMS, UON.
 - PROVIDE FULL DEPTH SOLID BLOCKING BETWEEN CEILING JOISTS OVER LOAD BEARING WALLS.
 - WHERE CEILING JOISTS RUN PARALLEL TO GABLE END WALLS, PROVIDE BLOCKING @ 48" OC IN THE FIRST TWO CEILING JOISTS BAYS NEAREST THE WALL. REFER TO TYP DETAILS.
 - BALLOON FRAME ALL WALLS FROM BOTTOM SUPPORT TO TOP SUPPORT WHERE NO FLOOR OR CEILING IS PRESENT TO PROVIDE LATERAL BRACING WHERE DOUBLE PLATES WOULD OTHERWISE BE LOCATED. SEE PLAN FOR BALLOON FRAME WALL LOCATIONS.
 - REFER TO TYPICAL CEILING AND ROOF FRAMING DETAILS. WHEN NON-STRUCTURAL RIDGES (NSR) ARE USED, THE CEILING JOISTS SHALL FORM A CONTINUOUS TIE AND BE ATTACHED TO RAFTER ENDS TO PREVENT THE SPREADING OF RAFTERS. WHERE CEILING JOISTS ARE NOT PARALLEL TO ROOF RAFTERS, WOOD SHEATHING OR METAL STRAPS SHALL BE ATTACHED TO THE ENDS OF OPPOSING RAFTERS TO PROVIDE A CONTINUOUS TIE. WHEN STRUCTURAL RIDGES (SR) ARE USED, THE RAFTERS ARE NOT PRONE TO SPREAD AND THE CEILING SYSTEM IS NOT REQUIRED TO ACT AS A CONTINUOUS TIE.
 - CONTRACTOR TO COORDINATE STRUCTURAL MEMBERS WITH TOILET FLANGES, TUB AND FLOOR DRAINS, DUCTWORK, RECESSED LIGHTING AND ALL OTHER MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT AND FIXTURES.

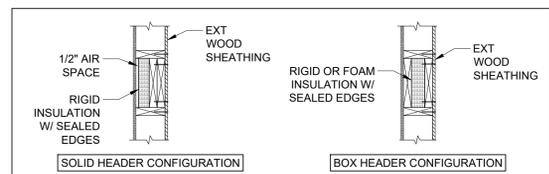
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0	ISSUED FOR CONSTRUCTION	08/26/24



STRUCTURAL
NEW RESIDENCE
 1609 DUKE STREET
 BEAUFORT, SC 29902

WALL FRAMING (WF) SCHEDULE				
MARK	NOM. SIZE	SPACING	GRADE	REMARKS
WF-2x4	2 x 4	16" OC	#2 SYP (OR BETTER)	---
WF-2x6	2 x 6	16" OC	#2 SYP (OR BETTER)	TYP, UON

NOTES:
 1. STUD MARK INDICATES LOAD BEARING WALLS BELOW.
 2. ALSO REFER TO WOOD WALL STUD SIZE & SPACING SCHEDULE.

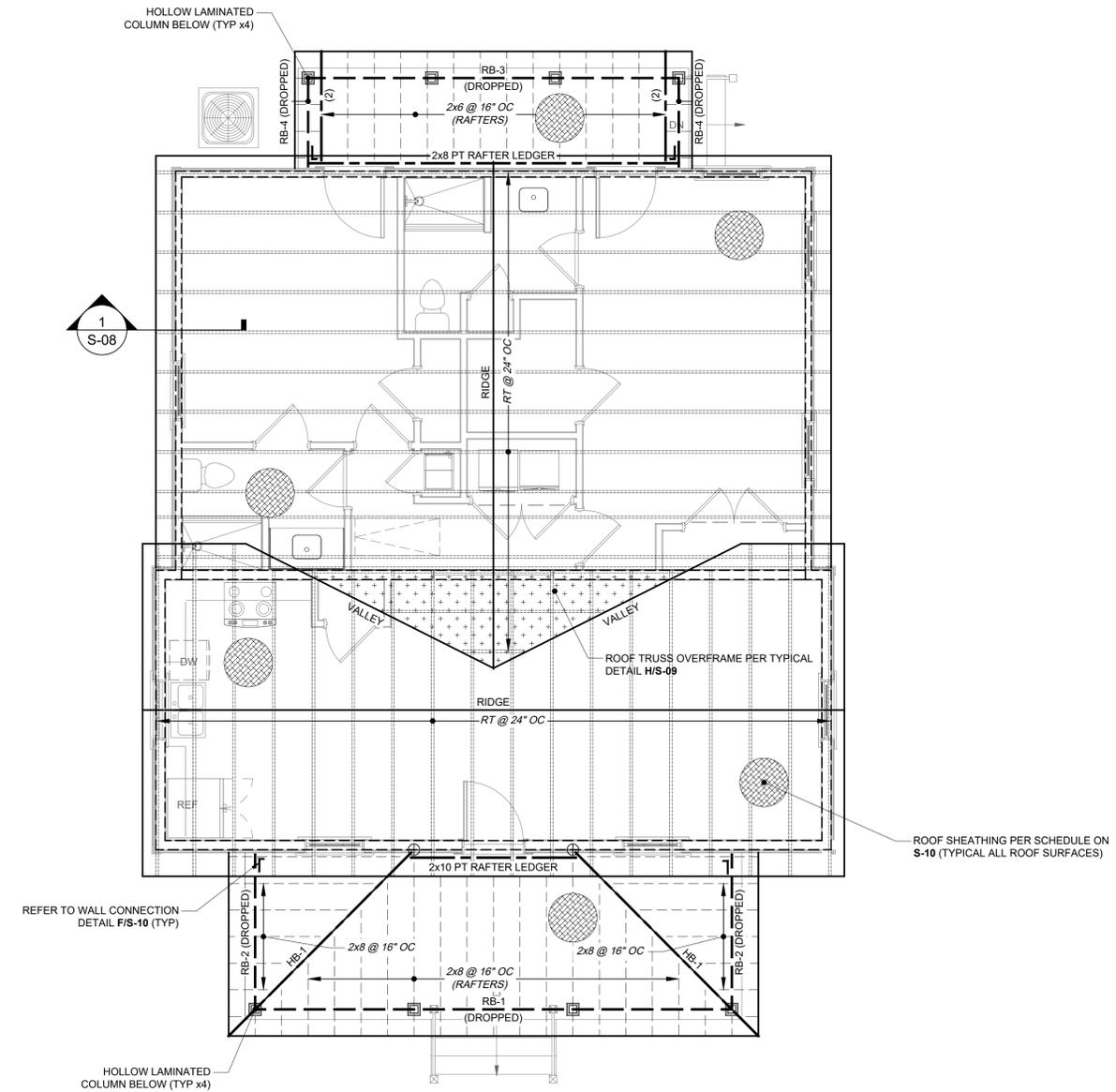


HEADER SCHEDULE ²					
LOCATION / MARK		MAX SPAN	HEADER SIZE	JACK STUDS EA END	KING STUDS EA END
CHOOSE BASED ON HEADER CLEAR SPAN UON	EXTERIOR WALLS	3'-6"	(2) 2x8	1	1
		6'-6"	(2) 2x10	1	2
		8'-0"	(2) 1 3/4" x 9 1/4" LVL	2	2
		10'-0"	(2) 1 3/4" x 11 7/8" LVL	2	3
INTERIOR WALLS (LOAD BEARING)		3'-6"	(2) 2x8	1	1
		6'-6"	(2) 2x10	2	2
		8'-0"	(2) 1 3/4" x 9 1/4" LVL	2	2
		10'-0"	(2) 1 3/4" x 11 7/8" LVL	2	2

- SCHEDULE NOTES:**
- CONTRACTOR OPTION TO MAKE SOLID OR BOX HEADER CONFIGURATION.
 - HEADERS TO BE INSTALLED BASED ON WALL LOCATION AND SPAN UNLESS HEADER MARKS ARE SPECIFICALLY INDICATED ON PLAN. FIRST FLOOR HEADERS ARE SHOWN ON SECOND FLOOR FRAMING, AND SO ON.

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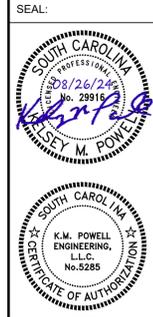
SHEET TITLE:
1ST FLOOR CEILING FRAMING PLAN
 SHEET NO.
S-05



1ST FLOOR WALLS SHOWN (BELOW)
ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"
PLAN NORTH

- ROOF FRAMING PLAN NOTES:**
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE NOTES ON SHEET S-01 IN ADDITION TO THE FOLLOWING NOTES.
 - REFER TO SHEET S-02 FOR PLAN ABBREVIATIONS, SYMBOLS, AND LEGENDS.
 - FLOOR PLAN WALL LAYOUT IS SHOWN FOR REFERENCE ONLY. NOTIFY ENGINEER IF DISCREPANCIES EXIST BETWEEN REFERENCE WALL LAYOUT AND THE ARCHITECTURAL PLANS USED FOR CONSTRUCTION.
 - MINIMUM RAFTER BEARING ON TOP PLATE IS 1 1/2".
 - ALL ROOF FRAMING MEMBERS SHALL BE ATTACHED AT THE ENDS TO RESIST UPLIFT FORCES. REFER TO TYPICAL ROOF FRAMING CONNECTORS SCHEDULE FOR HURRICANE CLIP CONNECTOR OPTIONS FOR VARIOUS ROOF FRAMING MEMBERS.
 - ROOF SHEATHING SHALL BE LAID WITH THE STRENGTH AXIS OF THE PANEL PERPENDICULAR TO THE SUPPORTS (I.E., LONG WAYS ACROSS SUPPORTS).
 - ATTACH ROOF SHEATHING TO FRAMING PER SHEATHING ATTACHMENT SCHEDULE.
 - PROVIDE 2-PLY MINIMUM 2x BUILT-UP WALL STUD COLUMNS BELOW ALL ROOF BEAM BEARING POINTS OR MORE PLIES AS REQUIRED TO AT LEAST MATCH BEAM WIDTH. STRAP BEAMS TO STUD COLUMNS W/ (2) MTSC16 TWIST STRAPS.
 - PROVIDE (2) MTS16 COIL STRAPS @ TOP & BOTTOM OF ALL ROOF COLUMNS TO PROVIDE CONTINUOUS UPLIFT LOAD PATH RESISTANCE.
 - BASE OF PORCH/DECK COLUMNS TO BE ANCHORED TO OR STRAPPED TO FLOOR FRAMING AND SUPPORTED BEAMS AS SHOWN IN DETAILS TO PROVIDE CONTINUOUS LOAD PATH FOR WIND UPLIFT RESISTANCE.
 - REFER TO TYPICAL ROOF FRAMING CONNECTION SCHEDULE ON THIS SHEET.

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STRUCTURAL
NEW RESIDENCE
1609 DUKE STREET
BEAUFORT, SC 29902

ROOF BEAM SCHEDULE		
MARK	BEAM SIZE	END CONNECTORS / REMARKS
RB-1	(2) 2x10 PT	SEE CONX SCHEDULE
RB-1	(3) 2x8 PT	STRAPPED TO COL PER TYP DETAIL
RB-2	(3) 2x8 PT	STRAPPED TO COL PER TYP DETAIL, HUC28-3 @ WALL
RB-3	(2) 2x8 PT	STRAPPED TO COL PER TYP DETAIL
RB-4	(2) 2x8 PT	STRAPPED TO COL PER TYP DETAIL, HUC28-2 @ WALL

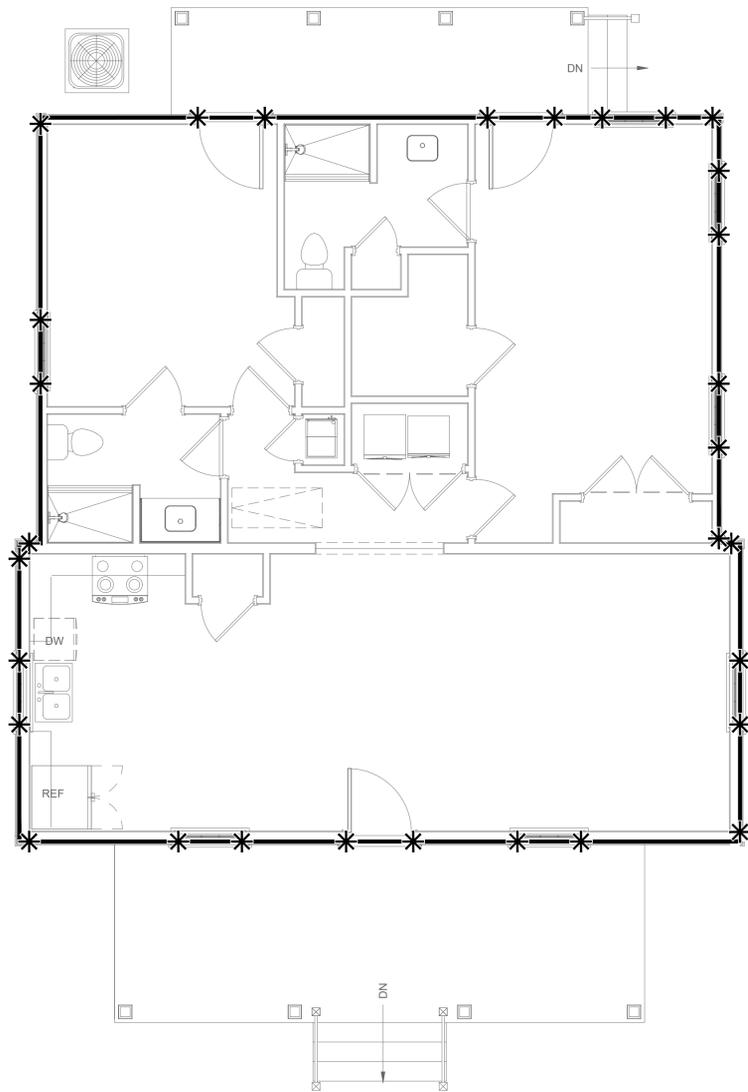
SCHEDULE NOTES:
1. INSTALL END CONNECTORS/HANGERS IN ACCORDANCE WITH MPII'S.

TYPICAL ROOF FRAMING - END CONNECTION SCHEDULE	
CONNECTION LOCATION	CONNECTION REQUIREMENT
ROOF TRUSS CLEAR SPAN UP TO 24'	H2.5A W/ (5) 8d INTO TRUSS AND TOP PLATES/BEAM EA
ROOF TRUSS CLEAR SPAN OVER 24'	H10A W/ (9) 10d INTO TRUSS AND TOP PLATES/BEAM EA
GIRDER TRUSS	LGT2A W/ (14) 16d INTO TRUSS AND STUD COLUMN
2x6 & 2x8 RAFTERS TO TOP PLATE/BEAM	H2.5A W/ (5) 8d INTO RAFTER AND TOP PLATES/BEAM EA
2x6, 2x8, & 2x10 RAFTER TO HIP/VALLEY BEAM	LRU26, LRU28, & LRU210 "OR" 4, 5, 6 16d TOENAILS
2x6, 2x8 OR 2x10 RAFTERS FLUSH FRAMED INTO LEDGER OR BLOCKED WALL	LRU26, LRU28, OR LRU210 RESPECTIVELY W/ 16d INTO LEDGER AND 10d x 1 1/2" NAILS INTO RAFTER INSTALLED PER MPII'S.
HIP/VALLEY BEAM TO TOP PLATE	(2) CS16 COIL STRAPS (1 EA SIDE OF CORNER)

SCHEDULE NOTES:
1. NOTIFY ENGINEER IN WRITING IN THE EVENT CONDITIONS NOT COVERED BY THIS SCHEDULE ARE ENCOUNTERED.

JOB NO.: 11224
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SHEET TITLE:
ROOF FRAMING PLAN
SHEET NO.
S-06



1ST FLOOR SHEARWALL PLAN

SCALE: 1/4"=1'-0"

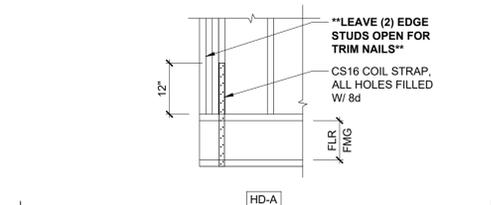


SHEARWALL PLAN LEGEND	
_____	SHEARWALL PER SCHEDULE (BOLD LINE INDICATES SHEATHING SIDE)
EXT-SW-#	EXTERIOR SHEARWALL TYPE PER SCHEDULE
INT-SW-#	INTERIOR SHEARWALL TYPE PER SCHEDULE
*	HOLDOWN PER DETAILS

SHEARWALL SCHEDULE			
SHEARWALL TYPE	SHEATHING	FASTENING (EDGE/FIELD)	REMARKS
EXT-SW-1 (TYPICAL EXTERIOR)	TYPICAL SHEATHING AND FASTENING PER SHEATHING ATTACHMENT SCHEDULE & WALL FRAMING DETAIL.		** TYPICAL UNLESS NOTED ON PLAN **

SCHEDULE NOTE:
1. ALL SHEARWALLS ARE TYPICAL EXTERIOR (EXT-SW-1) EXCEPT WHERE INDICATED ON PLAN.

- SHEARWALL HOLDOWN NOTES:**
- REFER TO HOLDOWN DETAILS THIS SHEET FOR THE REQUIRED HOLDOWN TYPE & CONTRACTOR OPTIONS. WHEN HOLDOWNS ARE NOT SPECIFIED, PROVIDE NAILING AT EDGES OF OPENINGS AND WALL CORNERS PER TYPICAL DETAILS.
 - INTERIOR SHEARWALL HOLDOWNS SHALL BE STRAPS CONNECTING THE BASE OF WALL TO THE FLOOR FRAMING BELOW PER INTERIOR SHEARWALL DETAIL.
 - INSTALL ALL ENGINEERED CONNECTORS AND HOLDOWNS PER MANUFACTURERS PRINTED INSTALLATION INSTRUCTIONS (MPII).

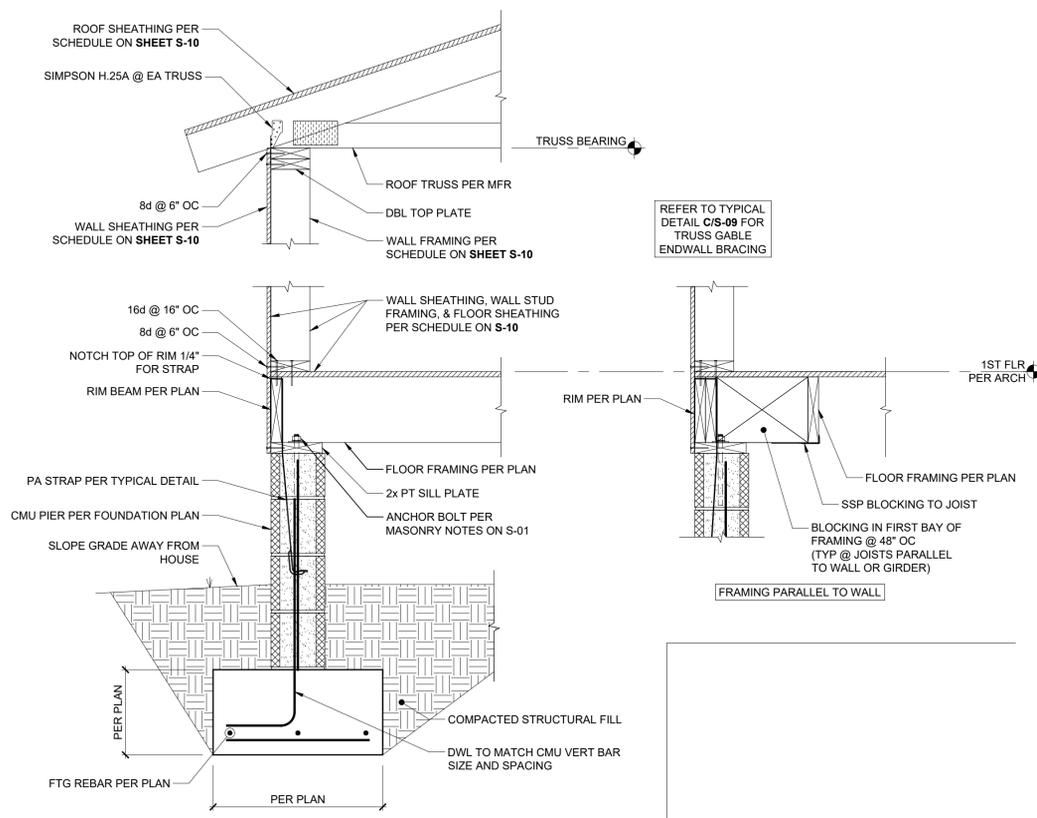


1ST FLOOR HOLDOWNS:
ALL 1ST FLOOR HOLDOWNS AT PERIMETER WALLS SHALL BE TYPE HD-A.

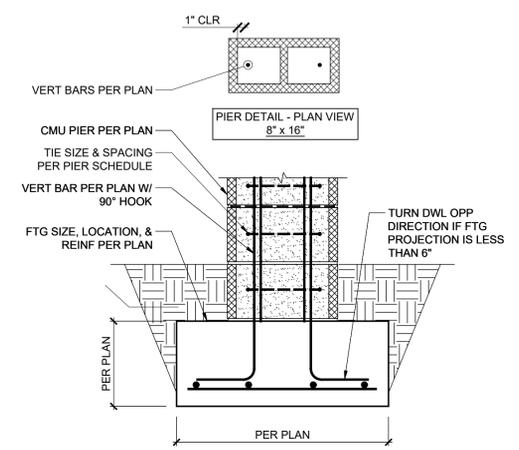
A TYPICAL SHEARWALL HOLDOWN DETAILS
SCALE: NTS

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<p>K.M. POWELL ENGINEERING, LLC 225 ASHLEY CIRCLE, SUITE 100, BEAUFORT, SC 29502 WWW.POWELL-ENG.COM</p>	
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SHEET NO.:	S-07

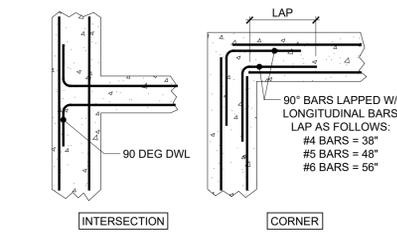
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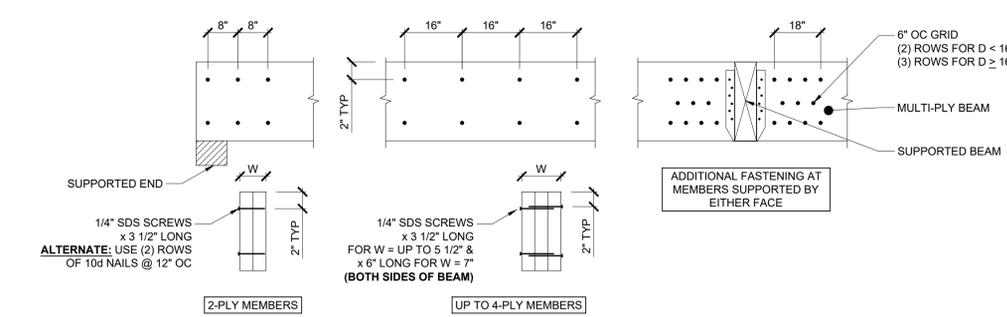
1 TYPICAL SECTION
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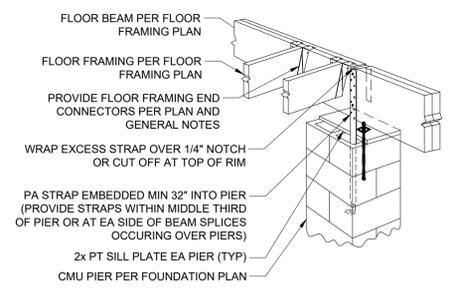
2 TYPICAL CMU PIER DETAILS
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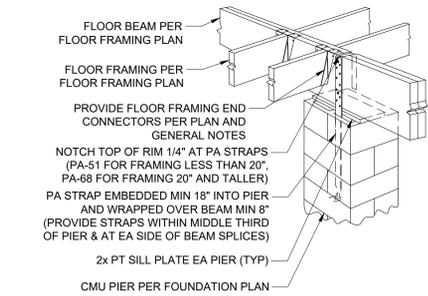
A TYP STRIP FOOTING
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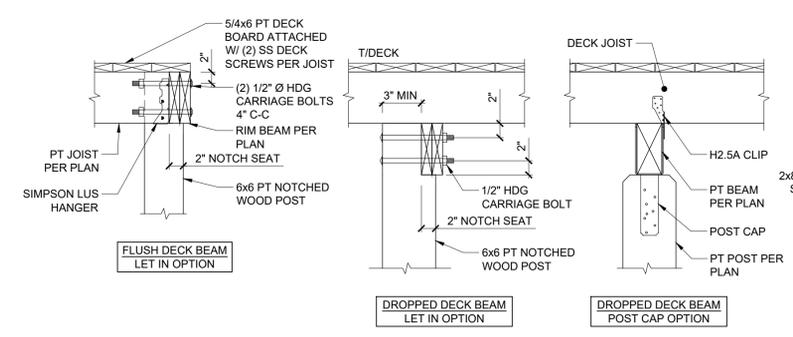
B TYPICAL MULTI-PLY BEAM LAMINATION DETAILS
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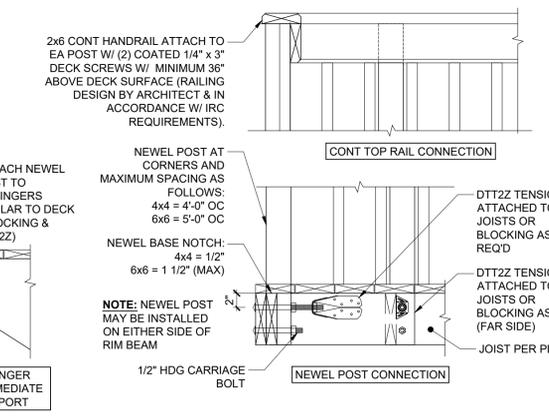
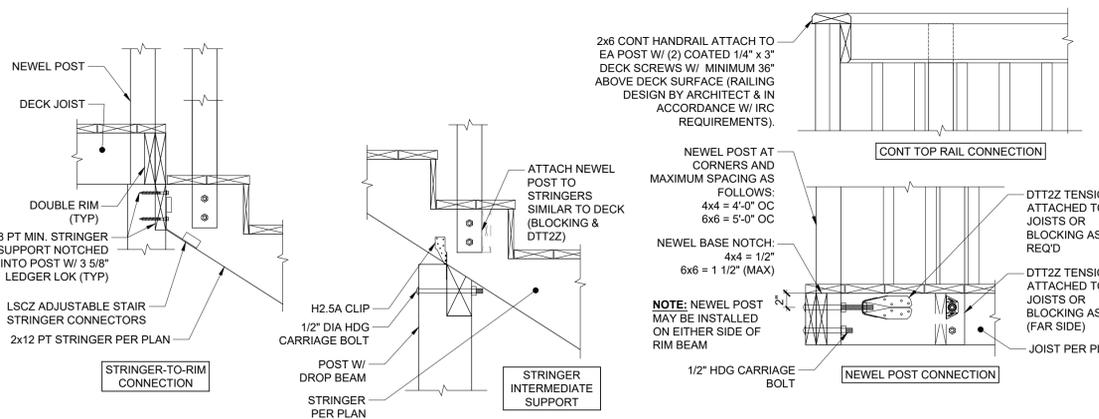
C TYP PERIMETER
CMU PIER DETAIL
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D TYP INTERIOR
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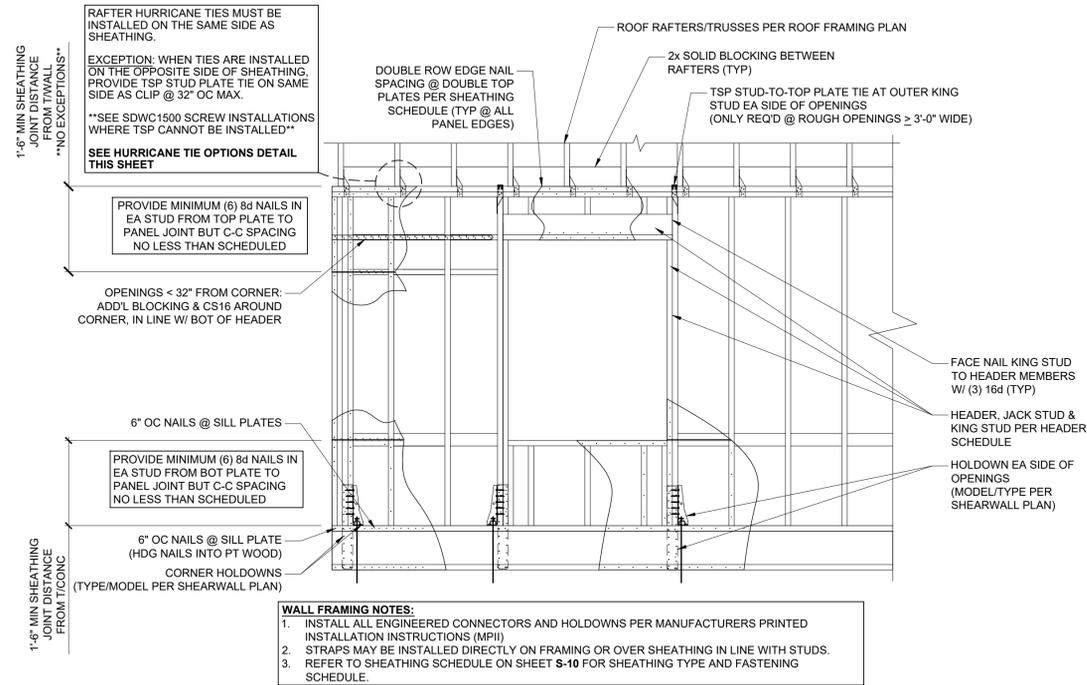


E TYPICAL EXTERIOR DECK & STAIR FRAMING DETAILS
SCALE: NTS

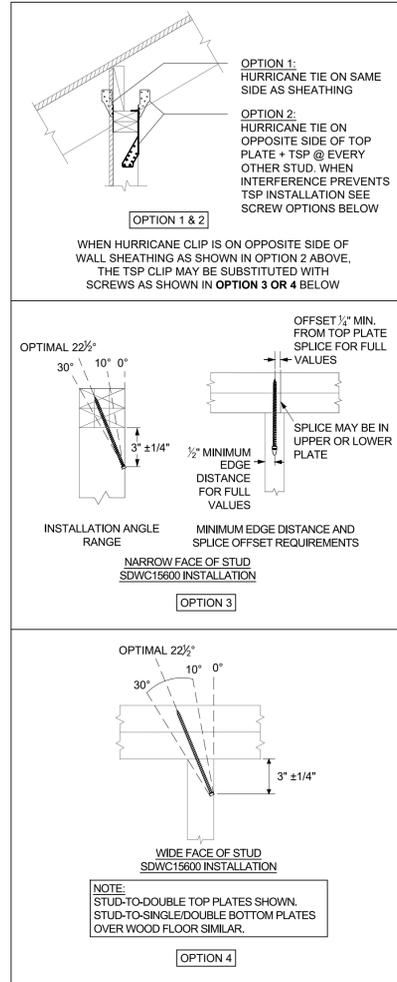


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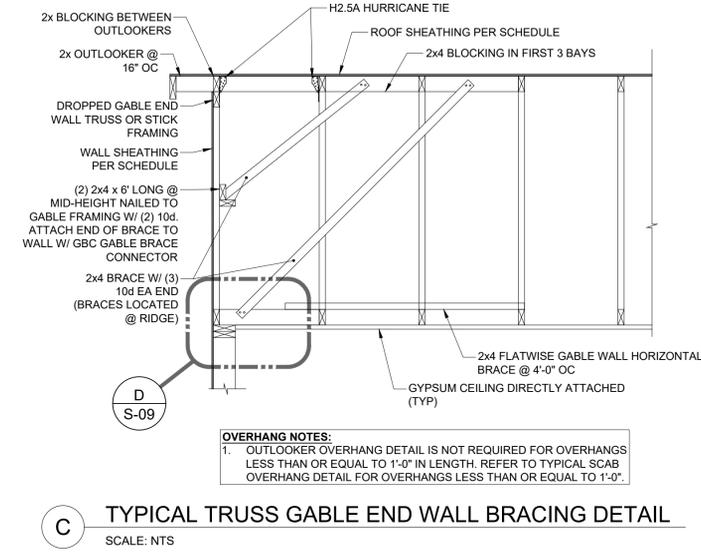
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JOB NO.:	11224
DESIGN BY:	KMP
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SHEET NO.:	S-08



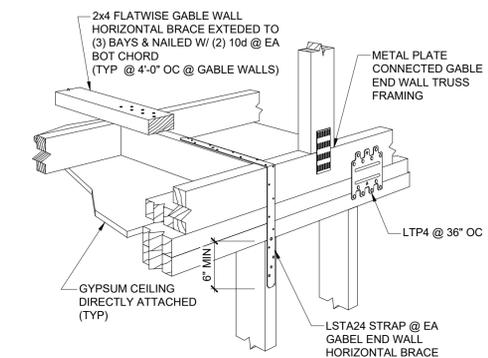
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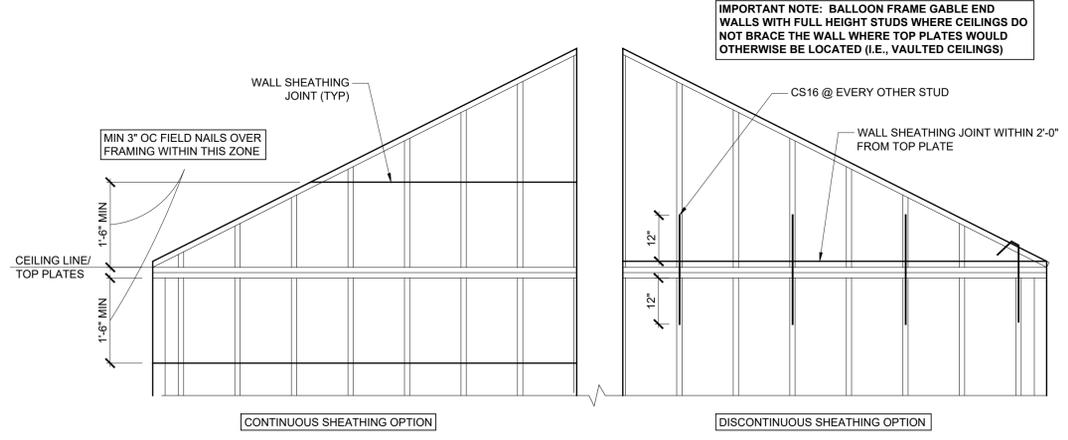
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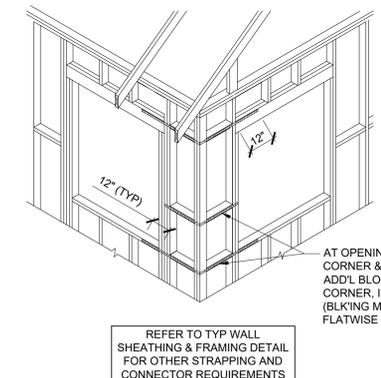
C TYPICAL TRUSS GABLE END WALL BRACING DETAIL
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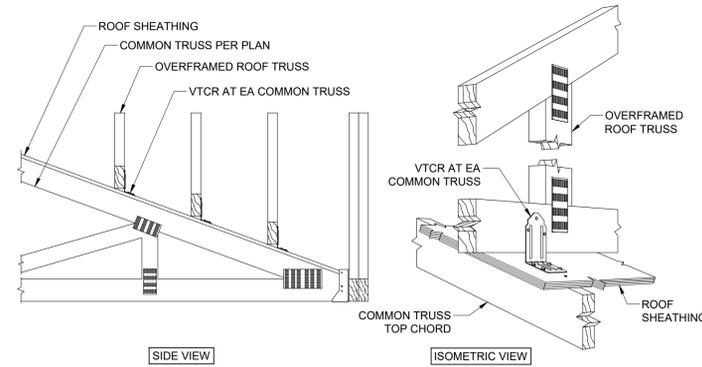
D GABLE END WALL FRAMING DETAIL @ TOP PLATE
 SCALE: NTS



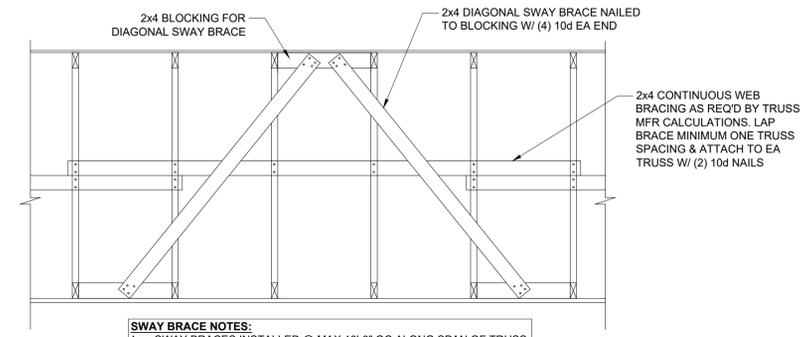
E GABLE END WALL SHEATHING DETAIL OPTIONS
 SCALE: NTS



G TYP STRAPPING @ OPENINGS LESS THAN 32" FROM CORNER
 SCALE: NTS



H OVERFRAMED ROOF TRUSS DETAIL
 SCALE: NTS



F TYPICAL TRUSS SWAY BRACING DETAIL
 SCALE: NTS

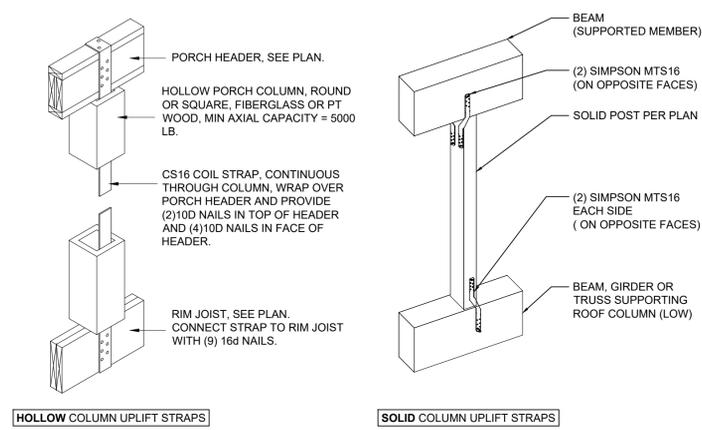
MINIMUM NAILING SCHEDULE:

- BRIDGING TO JOIST, TOENAIL EACH END
- BLOCKING BETWEEN JOISTS OR RAFTERS - TOENAILS EACH END.....(2)-10d TO JOIST OR RAFTERS - TOENAILS EACH END.....(2)-10d TOENAILS OR (2)-16d
- SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL.....16d @ 16" OC (THRU FLOOR SHEATHING)
- TOP PLATE TO STUD, END NAIL.....(2)-16d
- STUD TO SOLE PLATE.....(4)-8d TOENAIL OR (2)-16d END NAIL
- DOUBLED TOP PLATES, FACE NAIL.....10d @ 24" OC
- TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL.....SEE TYP TOP PLATE SPLICE DETAIL
- CEILING JOISTS TO PLATE, TOENAIL.....(2)-16d
- JOIST OR RAFTERS AT ALL BEARINGS - TOENAILS, EACH SIDE.....(2)-10d
- GABLE TRUSS TO TOP PLATE.....SIMPSON A34 @ 3'-0" OC MAX
- CEILING JOISTS TO TOP PLATE.....(2)-16d TOENAIL
- CEILING JOISTS LAPS OVER PARTITIONS.....(3) 16d OR (4) 10d
- CEILING JOISTS TO PARALLEL RAFTERS.....(3) 16d OR (4) 10d
- BUILT UP CORNER STUDS.....16d @ 24" EA SET OF PLIES, 2 ROWS STAGGERED
- BUILT UP 2x GIRDERS & BEAMS LESS THAN 3 PLYS.....20d 32" OC TOP & BOT, 2 ROWS STAGGERED
- BUILT UP 2x GIRDERS & BEAMS MORE THAN 3 PLYS.....1/2" DIA THRU BOLT @ 32" OC, TOP & BOT, 2 ROWS

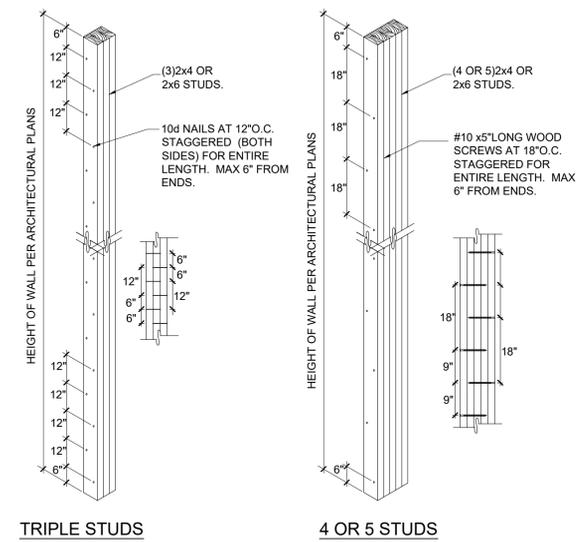
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STRUCTURAL	NEW RESIDENCE 1609 DUKE STREET BEAUFORT, SC 29902
JOB NO.:	11224
DESIGN BY:	KMP
DRAWN BY:	DAL
DATE:	08/26/24
SCALE:	AS NOTED
SHEET TITLE:	TYPICAL DETAILS
SHEET NO.	S-09

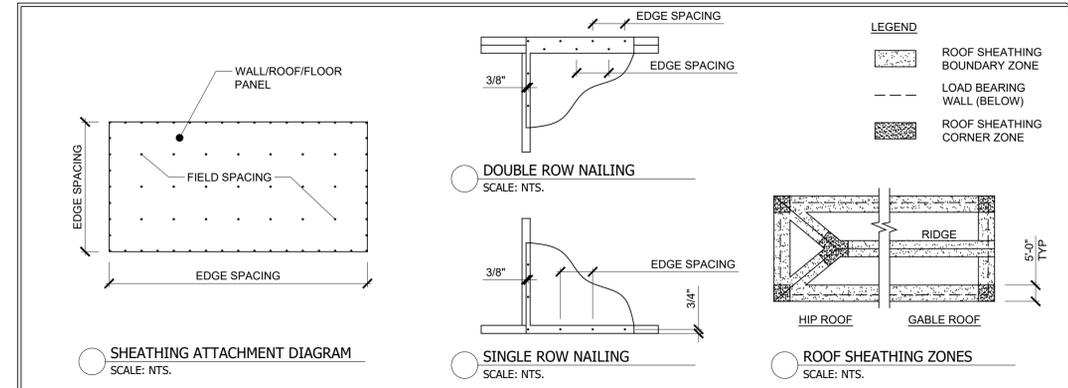
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 1122L_1609 Duke Street_Struct.dwg
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A TYPICAL COLUMN UPLIFT STRAP DETAILS
SCALE: NTS



B MULTI-PLY COLUMN FASTENING DETAIL
SCALE: NTS

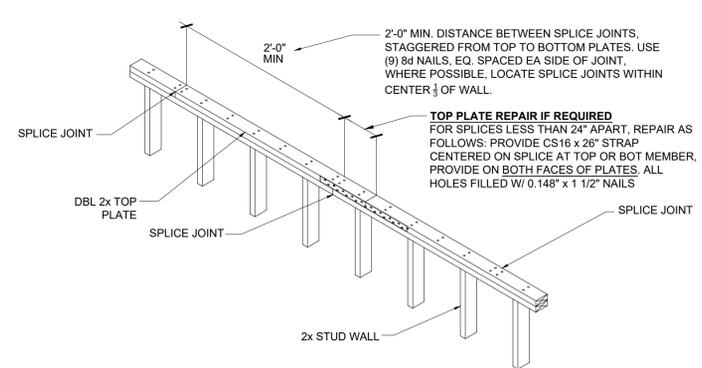


SHEATHING ATTACHMENT SCHEDULE (ROOF, WALL, FLOOR)

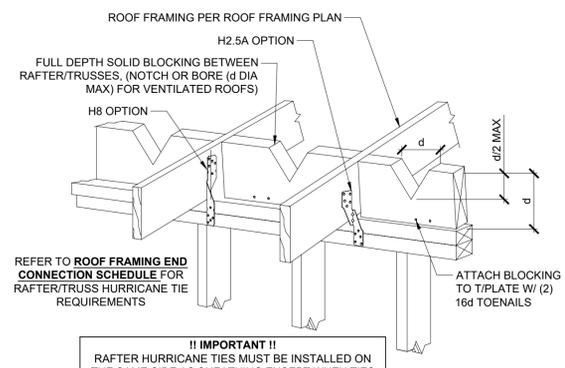
BUILDING SURFACE	PANEL TYPE/ GRADE	PANEL THICKNESS	SPAN RATING	FASTENER SIZE & TYPE	FASTENER SPACING			REMARKS
					CORNER ZONE ²	BOUNDARY ZONE ²	INTERIOR ZONE	
ROOF	APA OSB OR PLYWOOD SHEATHING EXPOSURE I	15/32	32/16	8d HDG RING SHANK NAILS	4" EDGES & 4" FIELD	6" EDGES & 6" FIELD	6" EDGES & 12" FIELD	PROVIDE 2x BLOCKING @ ALL PANEL EDGES IN ROOF CORNER ZONES
WALL	APA OSB OR PLYWOOD SHEATHING EXPOSURE I	15/32"	32/16	8d HDG RING SHANK NAILS	N/A	6" EDGES & 6" FIELD (SEE NOTE 4)	6" EDGES & 12" FIELD	PROVIDE 2x BLOCKING @ ALL PANEL EDGES. ORIENT BLOCKING FLATWISE.
FLOOR	ADVANTECH (BY HUBER) T&G STRUCTURAL I FLOOR SPAN (OR ESR-1785 RATED EQUAL)	23/32"	24"	8d COMMON NAILS + GLUE	6" EDGES & 12" FIELD			NAIL & GLUED W/ CONSTRUCTION ADHESIVE MEETING ASTM D3498

SCHEDULE NOTES:

- 8d & 10d NAILS SHALL BE 2.5" & 3" RESPECTIVELY.
- REFER TO ROOF SHEATHING ZONE SCHEMATICS THIS SHEET FOR DEFINITION OF ROOF CORNER & BOUNDARY ZONES.
- REFER TO SCHEMATICS THIS SHEET FOR FASTENING EDGES OF SHEATHING PANELS TO STRUCTURAL FRAMING.
- WALL BOUNDARY ZONE OCCURS WITHIN 4'-0" FROM EACH WALL CORNER.



C TOP PLATE SPLICE DETAIL
SCALE: NTS



D TYPICAL ROOF BOUNDARY DETAIL
SCALE: NTS

WOOD WALL STUD SIZE & SPACING SCHEDULE

WALL TYPE / HEIGHT	1ST FLOOR	2ND FLOOR
EXT & INT BRG WALL / UP TO 9'-0"	2x4 @ 16" OC OR 2x6 @ 16" OC	2x4 @ 16" OC OR 2x6 @ 16" OC
EXT & INT BRG WALL / UP TO 10'-0"	(2) 2x4 @ 16" OC OR 2x6 @ 16" OC	2x6 @ 16" OC
EXT BRG WALL / UP TO 12'-0"	2x6 @ 16" OC	2x6 @ 16" OC
EXT BRG WALL / UP TO 13'-6"	2x6 @ 12" OC	NA
EXT BRG WALL / UP TO 15'-6"	(2) 2x6 @ 12" OC	NA
EXT BRG WALL / UP TO 20'-0"	(2) 2x6 @ 8" OC OR (2) 2x8 @ 16"	NA

SCHEDULE NOTES:

- THIS TABLE IS PROVIDED FOR GENERAL GUIDANCE AND DOES NOT COVER ALL POSSIBLE CONDITIONS. CONTACT ENGINEER WHEN OTHER CONDITIONS REQUIRE CONSIDERATION.

TYPICAL 2x SOLID SAWN FRAMING END CONNECTORS

BEAM SIZE	CONNECTOR(S)
2x6, (2) 2x8	LUS26, LUS26-2
2x8, (2) 2x8	LUS28, LUS28-2
2x10, 2x12	LUS210, LUS212
(2) 2x10, (2) 2x12	HUS210-2
(3) 2x10, (3) 2x12	HHUS210-3

SCHEDULE NOTES:

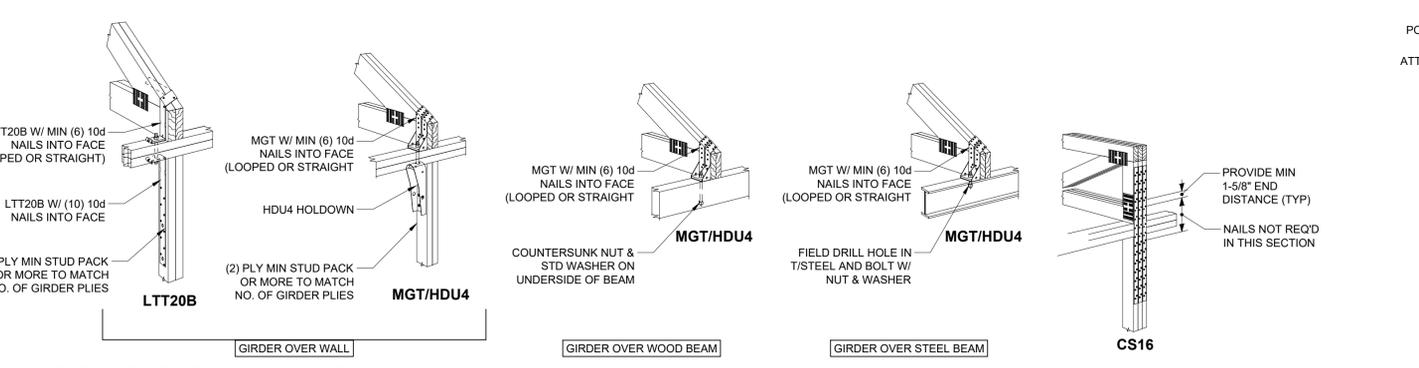
- INSTALL END CONNECTORS/HANGERS IN ACCORDANCE MPPI'S.

DECK LEDGER CONNECTION TO BAND JOIST

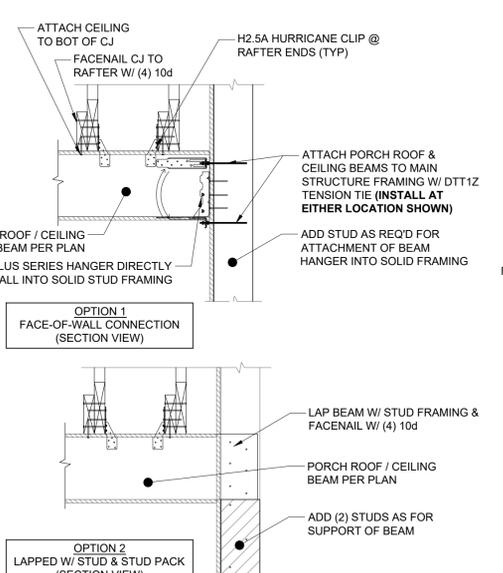
CONNECTION DETAILS	JOIST SPAN		
	UP TO 10'	10'-1" TO 12'	12'-1" TO 18'
5" LEDGERLOK (0.228" MIN UNTHREADED SHANK DIA) WOOD SCREW	14"	12"	8"
1/2" DIA x 5" HDG LAG SCREW	16"	12"	10"

SCHEDULE NOTES:

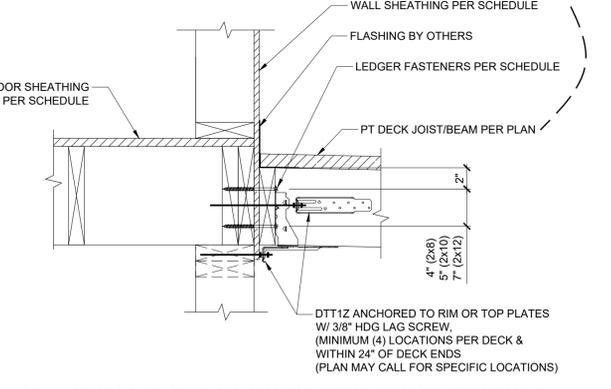
- TABLES ASSUME LEDGER FASTENERS GO THRU MINIMUM 1/2" THICK SHEATHING AND FULLY PENETRATE AT LEAST ONE 1.5" MIN RIM/BAND.



E ROOF TRUSS GRIDER TIEDOWN DETAILS
SCALE: NTS



F WALL CONNECTION DETAIL
SCALE: NTS



G TYPICAL WOOD DECK ATTACHMENT DETAIL
SCALE: NTS

DATE: 08/26/24

NO. 0

REVISION DESCRIPTION: ISSUED FOR CONSTRUCTION

SEAL:

K.M. POWELL ENGINEERING, LLC
 PROFESSIONAL ENGINEER
 No. 5285
 STATE OF SOUTH CAROLINA

POWER ENGINEERING
 K.M. POWELL ENGINEERING, LLC
 225 Ashley Blvd., Suite 1000, Charleston, SC 29407
 TEL: 843.799.9999 FAX: 843.799.9991
 WWW.KMPE.COM

STRUCTURAL

NEW RESIDENCE
 1609 DUKE STREET
 BEAUFORT, SC 29902

JOB NO.: 11224

DESIGN BY: KMP

DRAWN BY: DAL

DATE: 08/26/24

SCALE: AS NOTED

SHEET TITLE: TYPICAL DETAILS & SCHEDULES

SHEET NO. **S-10**

1013 CHARLES STREET

MIXED-USE



STAFF REPORT: 1013 Congress Street – Final Approval

DATE: September 11, 2024

GENERAL INFORMATION		
Applicant:	Lisa Hunnicutt, LRT Enterprises LLC	
Site Location/Address:	1013 Congress Street; R 120-004-000-0193-0000	
Applicant's Request:	The applicant is requesting final approval for major renovations including the addition of a second story for an existing commercial structure.	
Current Zoning:	T4-N	
Contributing/Neighborhood	Non-Contributing	
Flood Zone/Base Flood	Flood Zone X, Elevation: ~17'-18'	
Existing Trees	No tree survey submitted	
ZONING DISTRICT INFORMATION		
	<u>T4-N</u>	
Lot Width at Setback:	N/A	
Max Lot Coverage:	70% of lot area	
Min. Frontage Build Out	60% min, 85% max.	
Front Setback	0' min/15' max.	
Side Setback	0' min, 10' max. alley	
Rear Setback	10' min.	
Building Height:	2 stories max	
SURROUNDING ZONING, LAND USE AND REQUIRED BUFFERS		
<u>Adjacent Zoning</u>	<u>Adjacent Land Uses</u>	<u>Setbacks for Adjacent Zoning /Buffer required if rezoned</u>
North: T4-N	1-story commercial building	N/A
South: T4-N	Historic Homes/Vacant Lot	N/A
East: T4-HN	Historic Homes/Vacant Lot	N/A
West: T4-N	Historic Homes/Vacant Lot	N/A

Background: The applicant is requesting final approval for major renovations including the construction of a new floor, an existing non-contributing commercial building on a ~5,500 SF lot. The applicant also owns the ~9,100 SF lot to the south. The applicant is proposing to structurally reinforce the ~4,275 SF first floor, which they intend to make into a café/retail/art studio. The proposed new second floor of 4000 SF would include three residential apartments with a lightwell above the central

hallway; a height for the lightwell was not provided, but it is shorter than the observation deck that was part of the conceptual design. The height of the barrel roof is at ~23'-4". The applicant has attended two HTRC meetings with notes for each provided below. The project was granted a conceptual approval at the July 2024 HRB meeting, preliminary approval at the August HRB meeting.

CHANGES SINCE LAST MEETING:

- 1) Added support to metal awning, which projects 6'.
- 2) Lowered light well.
- 3) Added landscaping.
- 4) Removed garage parking to Congress Street.

Comments As Project Has Been in Review:

HTRC 5/29/24 Comments:

- It is the applicant's desire to keep the existing structure and alter and add to it.
- While the structure is a non-contributing structure in the historic district, it does represent a typical commercial mid-century structure.
- The current proposal's mass and scale is not consistent with the immediate context.
- The current proposal is very aggressive and appears to conquer the existing structure.
- The existing structure and proposed modifications do not comply with section 4.6.3.C related to percentage of fenestration for first and second floors.
- It is recommended the applicant consider a low-slope roof system which is consistent with commercial mid-century structures.
- It is recommended the applicant consider maintaining the existing masonry finish or cladding in stucco.
- It is recommended that the addition be extended vertically on the north side to visually hold the same line as the existing north wall. Cladding of the second-floor should compliment the structure as a whole but does not need to match.
- The second floor addition height should be as minimal to support floor, wall, and roof structure with the goal to minimally protrude above the front (west) parapet wall.
- The building should wholistically tie together visually but yet still slightly discern the original structure. The design should not tell a false narrative of the building's history.

-
- The applicant shall review section 4.7 of the Beaufort Code which covers historic district infill design guidelines. It is recommended that the applicant provide a narrative to how the design complies with this section of the code.
 - The applicant should provide a site plan noting location and diameters of trees existing on site and note any required removal/trimming of any landmark or specimen tree.
 - The applicant should include parking layouts on the site plan.
 - The applicant to note that the project may require compliance with the Southern Lowcountry Stormwater Design Manual (SoLoCo).
 - The residential component above the commercial space will require a fire sprinkler system.

HTRC 6/12/24 Comments:

- ✓ Staff believes the new design is more sensitive to the existing structure and better reflects the simplicity of the existing building.
- ✓ Staff prefers the barrel roof option
- ✓ Staff supports the removal of the front awning.
- ✓ Applicant to clarify if the building will have a roof deck and provide a roof plan in future submissions.
- ✓ Staff recommends replacing the arched windows with simple rectangular windows and removing the keystones.
- ✓ Staff could be supportive of balconies on the second floor, but these are difficult to see in these drawings. Please provide floor plans of all floors and section drawings through the building. Provide a second-floor height and note how far above the parapet wall the flat roof will extend.
- ✓ 3D views north and south on Charles Street are recommended for HRB consideration.

July 2024 HRB Meeting –Comments:

1. In general, staff believes the proposed design enhances the existing façade and that the new addition is sensitive to the existing structure.
2. Staff strongly recommends removing the observation deck from the project altogether as it adds unnecessary height (34') to the building which does not exist in the surrounding area.
3. Staff recommends the applicant remove the barrel ceiling canopy and supporting beams and posts at the front of the building (projecting over existing west elevation parapet wall) and replace it with a metal awning (like the ones on the ground floor) below the larger barrel ceiling.

August 2024 HRB Meeting Comments:

- 1) Applicant to note the height of the lightwell for the next submission.
- 2) Applicant consider the second story barrel-vaulted metal awning, specifically to shorten it, or if it would require structural support, on the second floor behind the parapet wall.
- 3) Applicant to provide cutsheets for any decorative exterior lights or exterior ceiling fans.
- 4) Applicant to provide cutsheets and color selections for all exterior materials for the next submission.
- 5) Applicant to provide typical window and door details.

Exterior Materials

	Material	Color
Exterior Cladding	Stucco first floor; Brick veneer new addition	Brick: Beldon “Yukon Blend”
Doors:	Glass Storefront	Marvin: “Liberty Bronze”
Windows:	3 over 4, 2 over 4, on first and second floor - storefront	Marvin: “Liberty Bronze”
Awning/Parapet	Will retain existing parapet roof form, add metal awning on front shopfront and second story porch	Parapet cap metal: “Medium Bronze” Awning: Aluminum
Roof	Standing seam metal roof/barrel roof design	Standing seam metal roof in “Medium Bronze”
Existing Trees on Site:	Tree survey is required. An existing 30” pecan tree and 9” Carolina laurel tree are shown on the landscape plan.	
Flood Ordinance:	All structures are well above the 13’ flood requirement.	

Tree Removal Proposed:

No trees are proposed to be removed. Two existing trees (30" pecan tree – (broadleaf overstory) & 9" Carolina laurel tree) are to remain.

Surrounding Area:

This property is located in the Northwest Quadrant. The buildings on the block and surrounding area are made up of historic structures, several of which have been converted into commercial spaces. Most of the buildings are one story in height, with a few two-story buildings throughout. The lot to the immediate north is vacant.

Findings for New Historic Infill

Section 4.7 of the Development sets the standards the HRB must use in considering an infill project in the historic district. Section 4.7 states, “The District is the Resource, Not Only Its Individual Parts: Beaufort is comprised of a number of individually significant buildings. Additionally, Beaufort's historic areas are significant as a collective whole, and shall be considered as such and protected in their entirety. This is the primary, overarching principle.” To this end, seven integrity standards found in Section 4.7.2 — why, where and when a property is important — were created to be upheld in all new construction and rehabilitation projects. Guidelines for determining integrity, and staff analysis of each are found below:

<u>4.7.2 Integrity Guidelines</u>	<u>Rationale</u> Present <u>(yes/no)</u>	<u>Staff Analysis of Rationale</u>
1. Location: This is the relationship between the property and its historical context.	Yes	✓ The structure currently exists on the lot and is original to the property.
2. Design: This is the combination of elements that create the feeling of a district or structure. These elements include building patterns, streetscapes, site elements, building size, mass and scale, spatial relationships, and specific architectural elements and details	Yes	<ul style="list-style-type: none"> ▪ While the proposed barrel roof is not typical of the Beaufort style, it is sensitive to the building’s original features such as the parapet wall on the front façade. It also softens the height, scale, and mass of the overall structure.

<p>3. Setting: This is the physical environment of a property and should be evaluated on its context as well as on the historical role the property has played and continues to play. Important features include topography, vegetation, man-made features, and relationships between existing structures and their surroundings.</p>	<p>Yes</p>	<p>✓ The surrounding properties are a mix of residential and commercial spaces. The combination of retail/commercial space and residential space above fits with the surrounding program in the area.</p>
<p>4. Materials: These are the physical elements that make up a property or district.</p>	<p>Yes</p>	<p>✓ The building has typical Beaufort architectural details and materials that are seen in other commercial buildings in the historic district constructed around the same time.</p>
<p>5. Workmanship: This is the physical evidence of the crafts of a particular culture or time period. This particularly applies to rehabilitation projects, but for new infill projects, workmanship of surrounding structures should be considered and respected. Retaining the details of the original craft and craftsman (i.e., wood, masonry, tabby etc.) of the original building ensures the historic fabric is retained and serves as an important component of the integrity and the patina of age of individual structures and the district as a whole.</p>	<p>Yes</p>	<p>✓ The building shares common architectural details and materials found in several other commercial buildings in Beaufort, such as the front parapet wall, painted masonry walls, and horizontal fenestration .</p>
<p>6. Feeling: This is the property's expression of the aesthetic or historic sense of a particular period of time. This particularly applies to rehabilitation projects, but for new infill projects, the feeling of surrounding structures should be considered and respected.</p>	<p>Yes</p>	<p>✓ This is a wide interior lot on the block, next to two story homes.</p>
<p>7. Association: This is the direct link between an important historic event or person and a property. This particularly applies to rehabilitation projects, but for new infill projects, association of particular sites and neighborhoods considered.</p>	<p>N/A</p>	<p>✓ Staff has not found any relevant history or persons directly linked to this specific property.</p>

FINDINGS AND RECOMMENDATIONS

Staff Recommendation:

Staff recommends Final approval of the proposed alterations and additions to the existing structure, in that it satisfies the intent of the Beaufort Preservation Manual and requirements of the Beaufort Code, with the following conditions:

- 1) Staff recommends adding a cast stone lintel and sill to the brick opening on the second floor, north façade to match the adjacent windows.**
- 2) Applicant to provide a cutsheet for the metal stair railing.**
- 3) Applicant to confirm that new stairs are to be concrete. Provide a detail through the stairs to better illustrate their construction details.**
- 4) Applicant to note that the SDL windows and doors shall have spacer bars.**
- 5) Are the commercial windows also the Marvin Coastline or are they commercial storefront as is labeled on the wall sections? If they are storefront, the applicant shall submit cutsheets for the product to be used.**
- 6) The first level awnings should be raised to engage with the horizontal metal band at second floor level. As currently depicted, they sit awkwardly at the lower portion of the metal band.**
- 7) The gutter in detail 2 sheet A10 appears to be set too low relative to roof edge.**
- 8) Provide a cutsheet for the metal standing seam roof profile.**
- 9) Staff recommends the applicant choose a stucco color in the range of Jogging Path SW7638, Grecian Ivory SW7541, or Contend SW6191 if the stucco isn't mottled. These colors are more in keeping with the overall material palette and more visually similar to the rendering depiction. If the stucco is to be mottled in color, the applicant must submit a mock-up for review.**
- 10) Applicant to note that stucco must have a smooth texture; the material selections on Sheet A14 note that it will be textured.**



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / website: www.cityofbeaufort.org

Staff Review
 Board Review

Application Fee:
see attached schedule

OFFICE USE ONLY: Date Filed: 8/29 Application #: 27517 Zoning District: T4-N
BCAGHS Survey: Yes No

Schedule: The Historic Review Board (HRB) typically meets the 2nd Wednesday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - <http://cityofbeaufort.org/372/Historic-District-Review-Board>

Submittal Requirements: All forms and information shall be submitted digitally + 5 hardcopies of all documents. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page. Submittals are due by 12:00 noon on the 2nd Friday before the meeting you want to attend.

Review Request: Conceptual Preliminary Final Bailey Bill Approval* Change After Certification
**Requires a Bailey Bill - Part A Preliminary Review Application Form*

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? Yes No

Applicant, Property, and Project Information

Applicant Name: LRT ENTERPRISES LLC / LISA HUNNICUTT
LOCAL
Applicant Address: 92 BATTERY CREEK CLUB DR, BEAUFORT, SC 29902
Applicant E-mail: lisa@aquaponbequa.com Applicant Phone Number: 303.775.6535
Applicant Title: Homeowner Tenant Architect Engineer Developer

Owner (if other than the Applicant): SAME

ALTERNATE
Owner Address: PO BOX 597, KREMMLING, CO 80459

(TEMP)
Project Name: ART BOX STUDIO

Property Address: 1013 CHARLES ST, BEAUFORT, SC 29901

Property Identification Number (Tax Map & Parcel Number): R120 004 000 0193

Date Submitted: AUG 30, 2024

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 8/30/24

Owner's Signature: _____ Date: _____

(The owner's signature is required if the applicant is not the owner.)
See Section 9.10 of the Beaufort Code for complete information about Certificates of Appropriateness and Section 10.7 for complete information about the Historic Review Board | This form is also available online at www.cityofbeaufort.org | updated Dec. 18, 2023)



DEVELOPMENT REVIEW PROCESS
HISTORIC REVIEW BOARD APPLICATION

Community Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
Email: development@cityofbeaufort.org / website: www.cityofbeaufort.org

- Staff Review
Board Review

Application Fee:
see attached schedule

Required Project Information

Project Name: ART BOX STUDIO

Property Size in Acres: .127 Proposed Building Use: MIXED USE

Nature of Work (check all that apply):

- New Construction, Primary Structure
Demolition*
Relocation*
Alterations / Additions
*Demolition and Relocation requires a public hearing

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

4247 sq ft 1st (E) LEVEL; +/- 4000 sq ft 2ND LEVEL

Is this project a redevelopment project? [X] Y [] N

Are there existing buildings on the site? [X] Y [] N if yes, will they remain? [X] Y [] N

Provide a brief Project Narrative (if requesting Bailey Bill Approval, this section may be left blank):

STRUCTURAL REINFORCEMENT OF EXISTING BUILDING TO PROVIDE FOR 2ND FLOOR ADDITION OF (3) RESIDENTIAL UNITS. THE EXISTING 1ST FLOOR WILL BE LEASED FOR OFFICE, SMALL COFFEE CAFE, ART STUDIO & GALLERY, DETAIL

CONTACT INFORMATION:

Attention: Julie A. Bachety, Administrative Assistant II
City of Beaufort Community Development Department
1911 Boundary Street, Beaufort, South Carolina 29902
E-Mail: development@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

City of Beaufort Certificate of Appropriateness Checklists

Submission Requirements for New Construction and Alterations or Additions

Please submit DIGITAL FILES ONLY via email to: development@cityofbeaufort.org

*Initial submittals should show existing and proposed conditions. For all subsequent submittals, architectural drawings should show and clearly label existing conditions, the previous proposal, and the current proposed. Each version of the same drawing should be adjacent to the others in the application for easy review.

*This Application Requirements Checklist **MUST** be included in applications, with submitted items checked.

Conceptual Review

- Existing Context:** Color photographs of the existing structure and the adjacent structures.
- Plat:** A plat indicating the tax map and parcel number, existing structure(s), setbacks, existing trees, and proposed construction footprint.
- Site Plan:** A site plan, to scale, indicating the location of the existing structure on the lot, proposed new structure, any site modifications (parking, paths, landscaping, tree removal, etc...), any new or existing mechanical equipment and screening area, and percentage of the total impervious paving. The plan should also include any connections to the public right of way (street and/or sidewalk), and grade elevations of the street and/or sidewalk and the proposed construction at the first floor.
- Design:** One or more drawings that convey the intent of the proposal. This may include: floor plans, elevations, and building sections. They should display massing and scale of new construction and how it relates to the existing structure or surrounding context. For new construction and additions, this drawing should include a street elevation and/or a street section showing height and width relationships to existing adjacent buildings.
- 3-D Rendering:** A 3-D rendering, or physical scale model, showing the height, mass and scale of the proposed building in its context is required for all structures except single-family and 2-3 unit residential buildings.
- Pre-Application Conference:** A Pre-application conference is required for all commercial new construction and substantial commercial renovation projects. The requirement for an Archeological Impact Assessment will be determined at this meeting.

Preliminary Review: All the documents required for Conceptual Review, PLUS:

- Floor Plans:** Proposed floor plans of all levels of the building, including square footage. For Alterations or Additions, existing conditions drawings of the floor plan are also required, showing the area and square footage affected by the addition.
- Elevations:** Elevation drawings of all sides of the building, including heights – height above grade, floor-to-floor heights, eave height and ridge height (if applicable). For Alterations or Additions, existing conditions drawings of all four elevations are also required.
- Color Rendering:** A colored version of at least one elevation, noting proposed materials and colors.
- Additional on-site representation, such as a height story pole, and corner staking of the foundation, may be required.
- A Certified Arborist report may be required if grand trees are affected by the project.

Final Review: All the documents required for Preliminary Review, PLUS:

- Details:** A typical wall section(s), window details, door details, eave details, porch details, and any other details characteristic to the building are required.
- Material Samples and Cut Sheets:** Applicant to submit cut sheets for all exterior building materials, to include roof and typical roof details, doors, windows, dryer vents, exterior lighting, etc. Samples of windows, lighting and building materials may be required at Staff's discretion.
- Final Materials List:** A final list, including colors, is required.
- Landscaping Plan:** A landscaping plan is required for commercial projects. It shall include a schedule detailing materials and colors of all plants and landscape materials, all existing trees, with the trees to be removed noted, existing and proposed grading, and any exterior lighting proposed.

1013 CHARLES STREET

ART BOX STUDIO
LRT Enterprises LLC



Existing Context

HRB Final Review - September 11, 2024

- A0 COVER SHEET
- A1 SITE PLAN - PARKING
- A2 LANDSCAPE PLAN
- A3(E) EXISTING GROUND FLOOR PLAN
- A3 PROPOSED GROUND FLOOR PLAN
- A4 PROPOSED SECOND FLOOR PLAN
- A5 PROPOSED ROOF PLAN
- A6 PRELIMINARY BUILDING SECTIONS
- A7(E) EXISTING ELEVATIONS
- A7 PROPOSED NORTH & SOUTH ELEVATIONS
- A8 PROPOSED EAST & WEST ELEVATIONS
- A9 COLOR RENDERINGS
- A10 SECTION DETAILS
- A11 MANUFACTURER DETAILS - CANOPIES
- A12 WINDOWS & DOORS
- A13 PRODUCTS
- A14 EXTERIOR FINISHES

Wren
Home
Designs LLC

mirjam.gerlach@outlook.com
803.741.4799

1013 Charles Street

ART BOX STUDIO

LRT Enterprises, llc

Date 09.11.2024

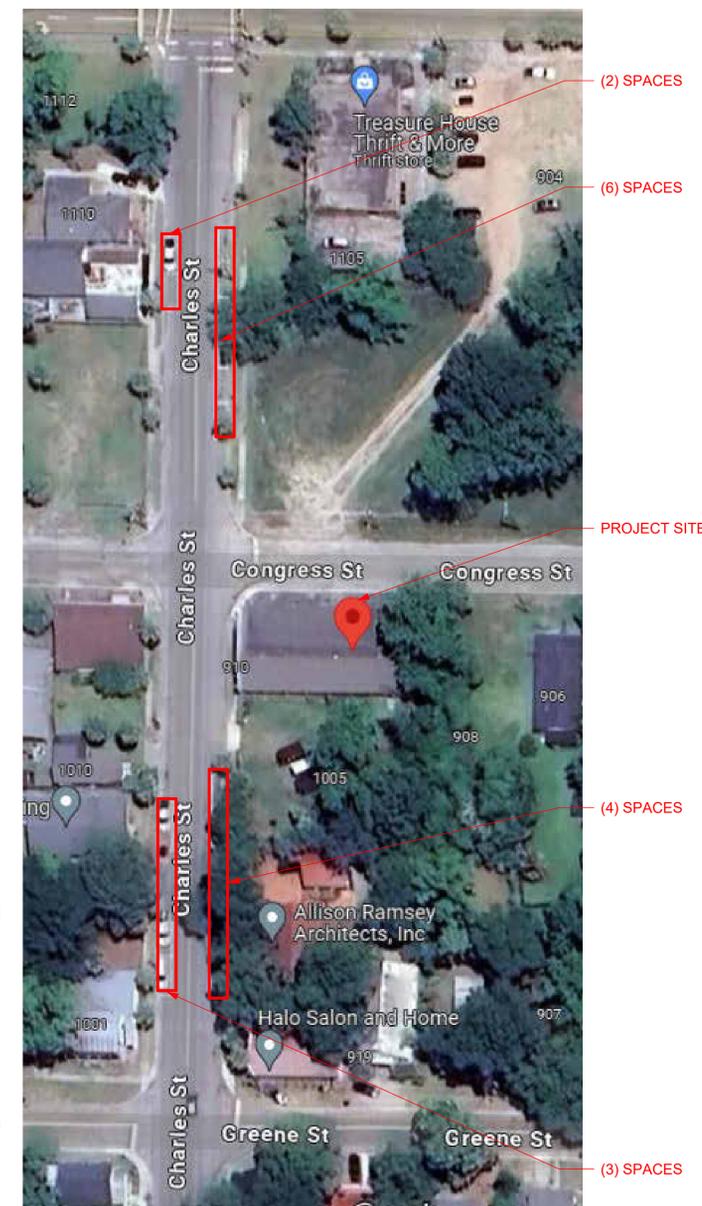
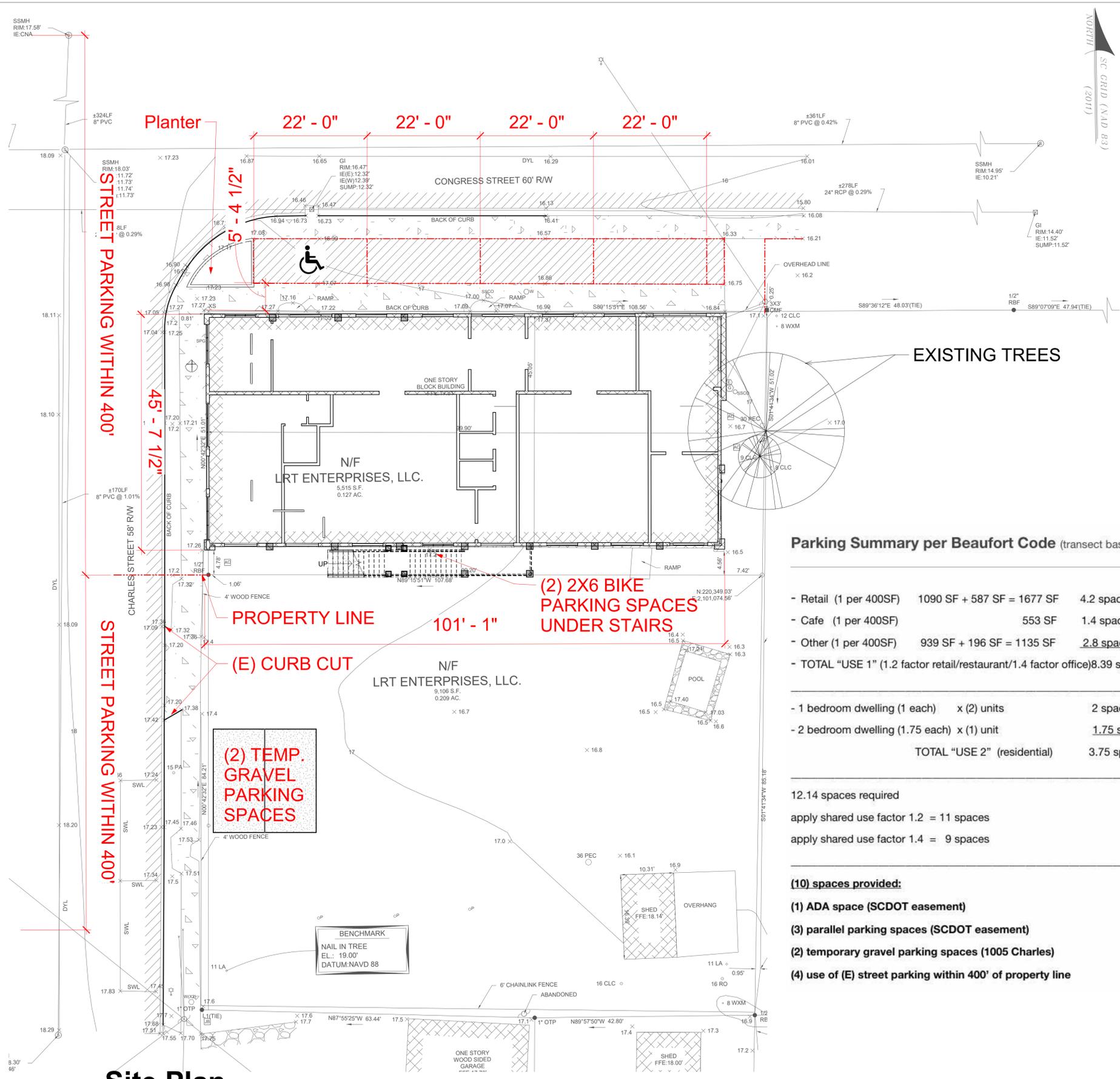
Scale As indicated

Cover Sheet

A0

HRB FINAL SUBMITTAL

9/29/2024 8:23:33 PM



EXISTING STREET PARKING WITHIN 400 FEET OF PROJECT SITE

Parking Summary per Beaufort Code (traverse based T4)

- Retail (1 per 400SF)	1090 SF + 587 SF = 1677 SF	4.2 spaces
- Cafe (1 per 400SF)	553 SF	1.4 spaces
- Other (1 per 400SF)	939 SF + 196 SF = 1135 SF	2.8 spaces
- TOTAL "USE 1" (1.2 factor retail/restaurant/1.4 factor office)		8.39 spaces
<hr/>		
- 1 bedroom dwelling (1 each)	x (2) units	2 spaces
- 2 bedroom dwelling (1.75 each)	x (1) unit	1.75 spaces
	TOTAL "USE 2" (residential)	3.75 spaces

12.14 spaces required
 apply shared use factor 1.2 = 11 spaces
 apply shared use factor 1.4 = 9 spaces

- (10) spaces provided:**
- (1) ADA space (SCDOT easement)
 - (3) parallel parking spaces (SCDOT easement)
 - (2) temporary gravel parking spaces (1005 Charles)
 - (4) use of (E) street parking within 400' of property line

Site Plan
 1" = 10'-0"

LANDSCAPE SUMMARY

existing to remain:

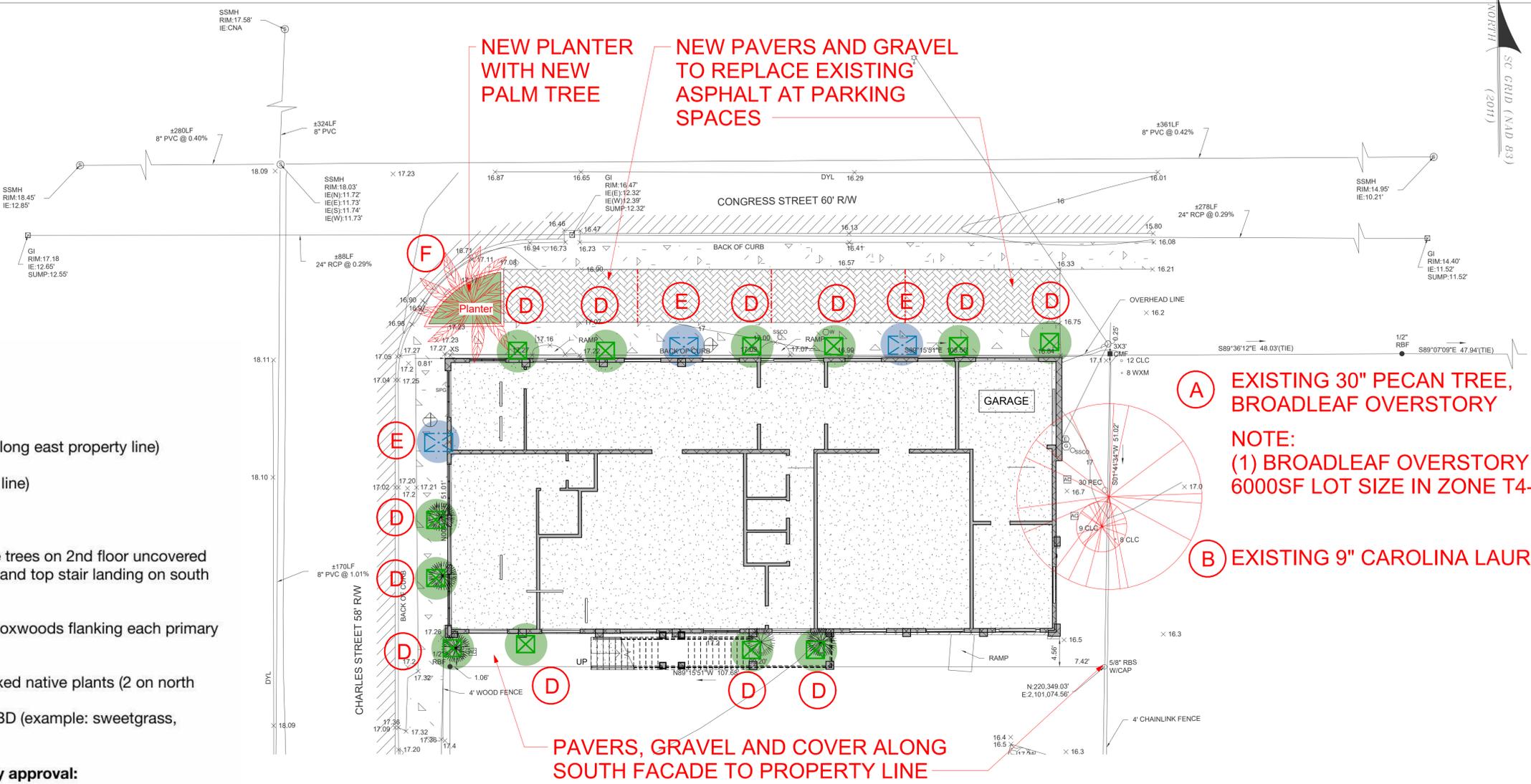
- A: (1) 30" pecan tree; broadleaf overstory (along east property line)
- B: (1) 9" carolina laurel (along east property line)

proposed to install:

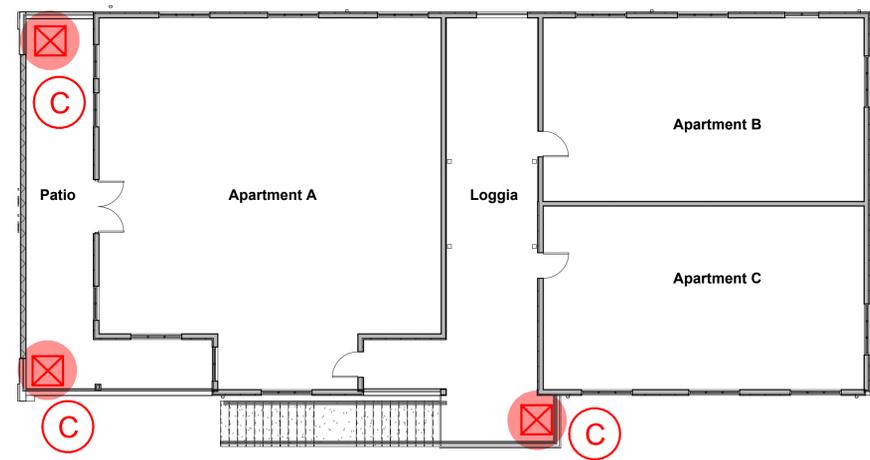
- C: (3) large container (24 x 24) crape myrtle trees on 2nd floor uncovered deck (north west corner, south west corner and top stair landing on south facade)
- D: (6-8) large container (18W x 18D x 20H) boxwoods flanking each primary entry doorway
- E: (3) large container (39W x 12D x 20H) mixed native plants (2 on north elevation; 1 on west elevation)
combination of native mixed plants TBD (example: sweetgrass, purple coneflower, carolina jasmine)

TBD - proposed pending SCDOT and City approval:

- F: corner raised planter with palm tree (so as to avoid visual impairment at corner) with mixed native plants and ground cover



1 Ground Floor Landscape Plan
1" = 10'-0"



2 Second Floor Landscape Plan
1" = 10'-0"

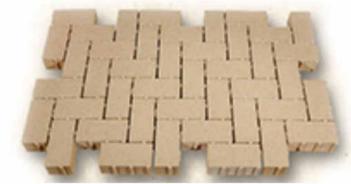
- A** EXISTING 30" PECAN TREE, BROADLEAF OVERSTORY
- NOTE:**
(1) BROADLEAF OVERSTORY PER 6000SF LOT SIZE IN ZONE T4-N
- B** EXISTING 9" CAROLINA LAUREL

PAVERS, GRAVEL AND COVER ALONG SOUTH FACADE TO PROPERTY LINE



Your outdoor oasis awaits. Crafted from a patented composite that uses 70% recycled materials, the Hevea Long Box Outdoor Planters are an eco-friendly alternative to traditional plastic. Lightweight yet sturdy and UV resistant to minimize fading, they can be left out any time, come rain or shine. Mix and match with other planters in the Hevea Collection to build out a landscape that best suits your space.

OR EQUAL



WHEATFIELD HERRINGBONE PATTERN

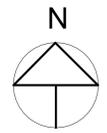
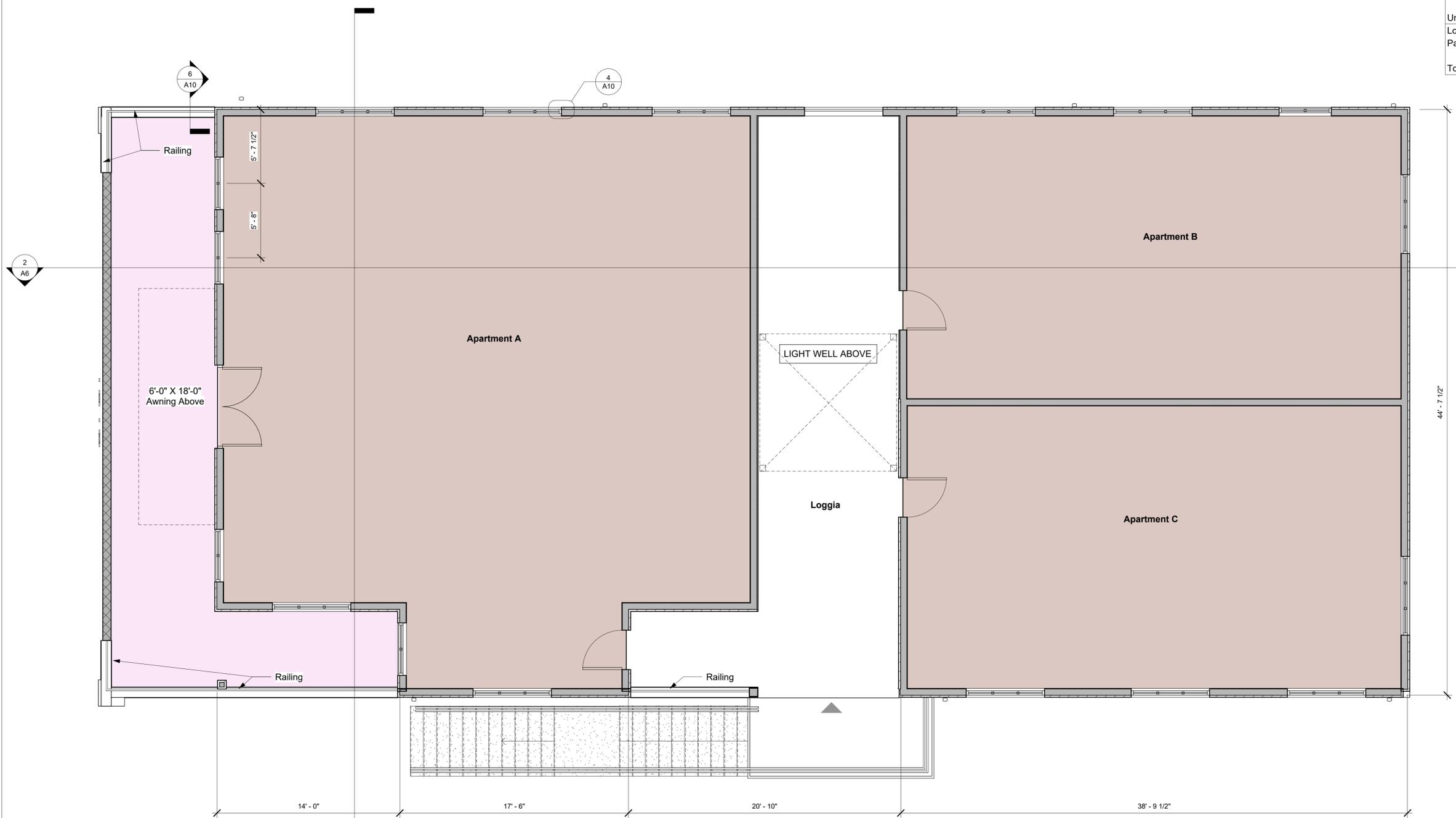
BELDEN BRICK COMPANY PERMEABLE PAVERS OR EQUAL

Area Schedule	
Conditioned	
Retail	1090 SF
Hall	343 SF
Studio/Coop	939 SF
Gallery	587 SF
Cafe	553 SF
Office	196 SF
Storage 2	249 SF
Storage 1	412 SF
Apartment C	872 SF
Apartment B	873 SF
Apartment A	1677 SF
Restrooms	130 SF
	7921 SF
Unconditioned	
Loggia	580 SF
Patio	499 SF
	1079 SF
Total	9000 SF



1 Ground Floor
1/4" = 1'-0"

Area Schedule	
Conditioned	
Retail	1090 SF
Hall	343 SF
Studio/Coop	939 SF
Gallery	587 SF
Cafe	553 SF
Office	196 SF
Storage 2	249 SF
Storage 1	412 SF
Apartment C	872 SF
Apartment B	873 SF
Apartment A	1677 SF
Restrooms	130 SF
	<u>7921 SF</u>
Unconditioned	
Loggia	580 SF
Patio	499 SF
	<u>1079 SF</u>
Total	9000 SF



1 **Second Floor**
1/4" = 1'-0"

1013 Charles Street
ART BOX STUDIO
LRT Enterprises, llc

Date 09.11.2024
Scale 1/4" = 1'-0"

Second Floor

A4

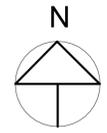
HRB FINAL SUBMITTAL

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METAL AWNINGS BELOW.
SEE MANUFACTURER DETAIL SHEET A11

6'-0"X18'-0" SECOND FLOOR
METAL AWNING, SEE
MANUFACTURER DETAIL
SHEET A11

11'-6" x 8'-0"
LIGHT WELL
+ 30'-0"



1013 Charles Street
ART BOX STUDIO
LRT Enterprises, llc

Date 09.11.2024

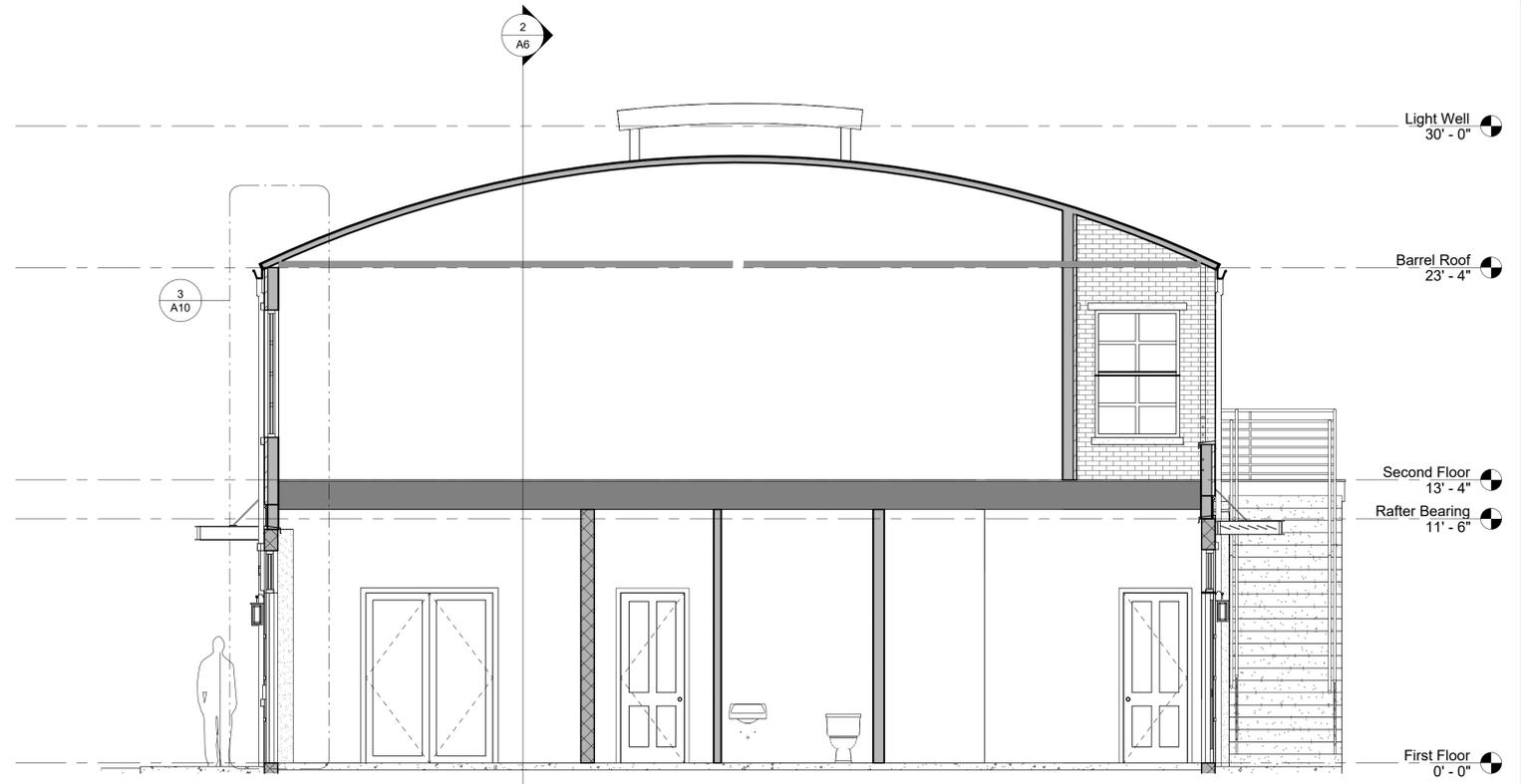
Scale 1/4" = 1'-0"

Roof Plan

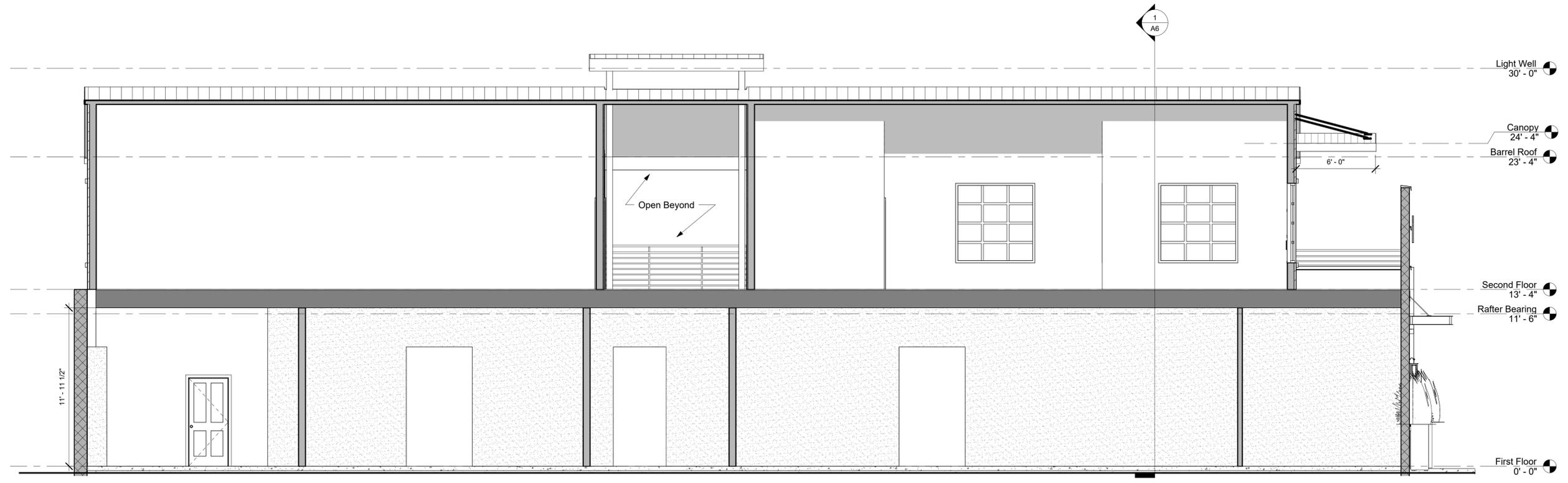
A5

HRB FINAL SUBMITTAL

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1 **Section North-South**
1/4" = 1'-0"



2 **Section East-West**
1/4" = 1'-0"



1 North Elevation
1/4" = 1'-0"

EXTERIOR PLANTERS, SEE SELECTION SHEET A12

STUCCO FINISH

NEW STOREFRONT WINDOW

NEW STOREFRONT DOOR



2 South Elevation
1/4" = 1'-0"

EXTERIOR WALL SCONCES, TYP. SEE SELECTION SHEET A12

EXTERIOR PLANTERS, TYP. SEE SELECTION SHEET A12



1 West Elevation
1/4" = 1'-0"

EXTERIOR PLANTERS, TYP. SEE SELECTION SHEET A12

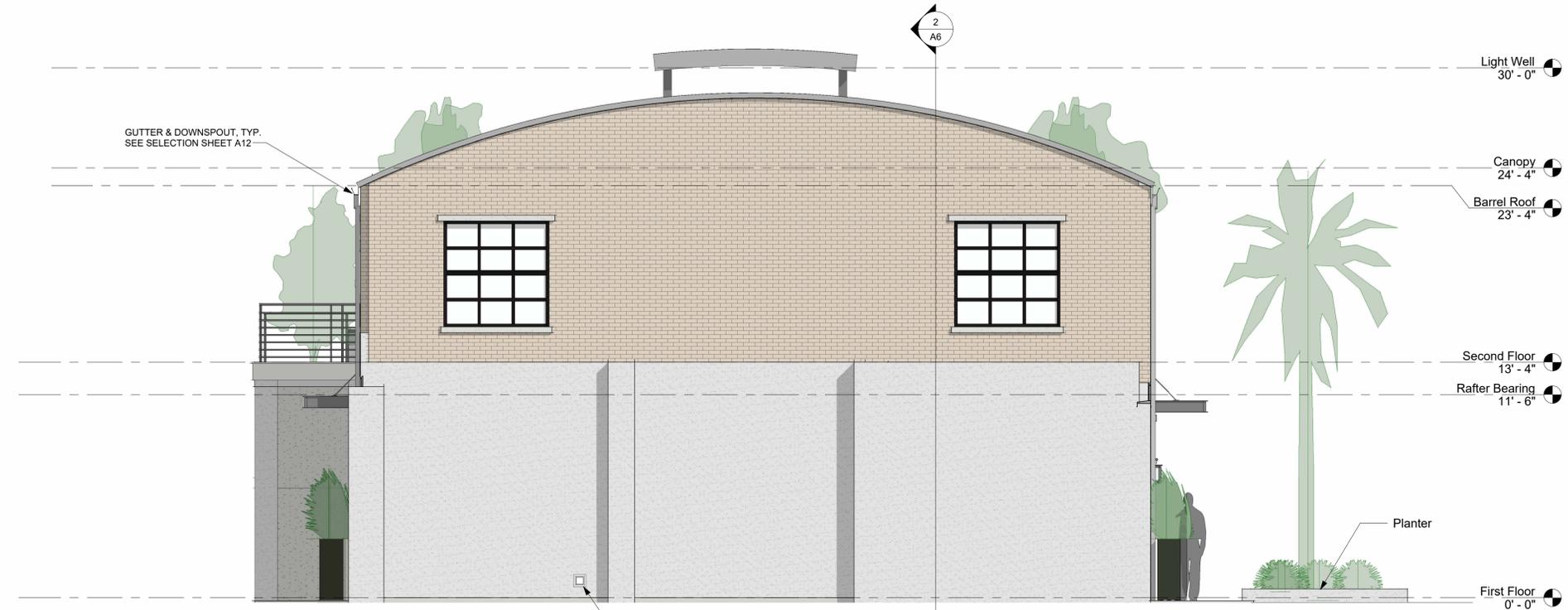
EXTERIOR WALL SCONCES, TYP. SEE SELECTION SHEET A12

FENESTRATION SUMMARY - GROUND FLOOR

GROUND FLOOR REQUIRES 40%	(wall surface)	(fenestration) 40%	(fenestration)
elevation	elevation area	required area	actual area
north	1166 SF	466 SF	519 SF
south	1166 SF	466 SF	443 SF
east	525 SF	210 SF	0 SF
west	525 SF	210 SF	234 SF

FENESTRATION SUMMARY - SECOND FLOOR

SECOND FLOOR REQUIRES 20%	(wall surface)	(fenestration) 20%	(fenestration)
elevation	elevation area	required area	actual area
north	1062 SF	212 SF	228 SF
south	935 SF	187 SF	204 SF
east	674 SF	134 SF	72 SF
west	674 SF	134 SF	166 SF



2 East Elevation
1/4" = 1'-0"

DRYER VENT

Planter



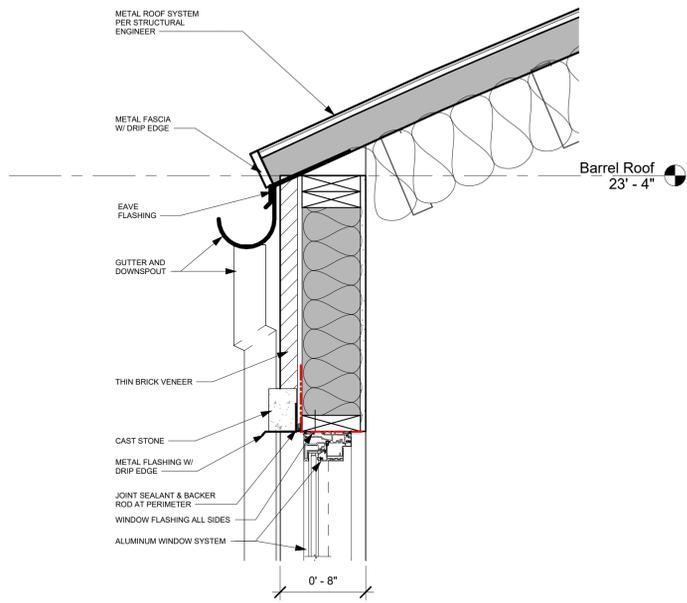
1013 Charles Street
ART BOX STUDIO
LRT Enterprises, llc

Date 09.11.2024

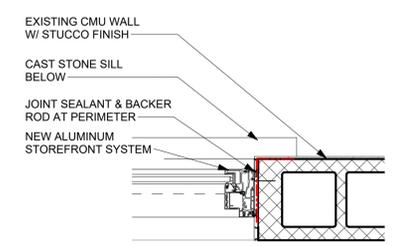
Scale

3D Elevations

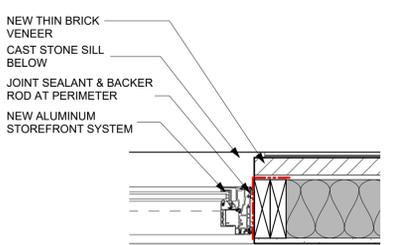
A9



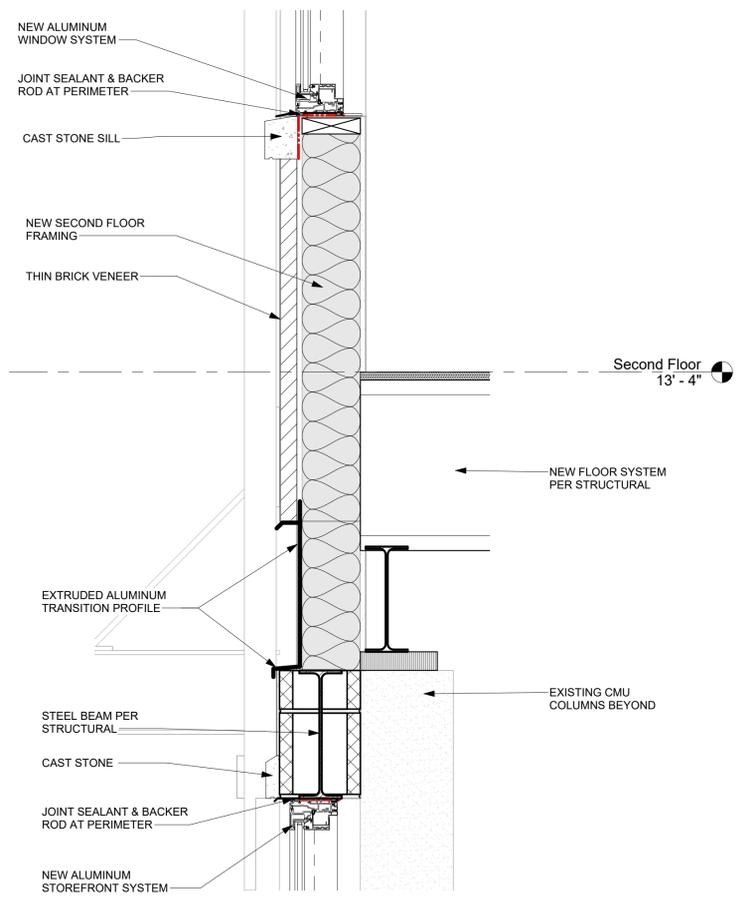
2 WINDOW HEAD & EAVE DETAIL
1 1/2" = 1'-0"



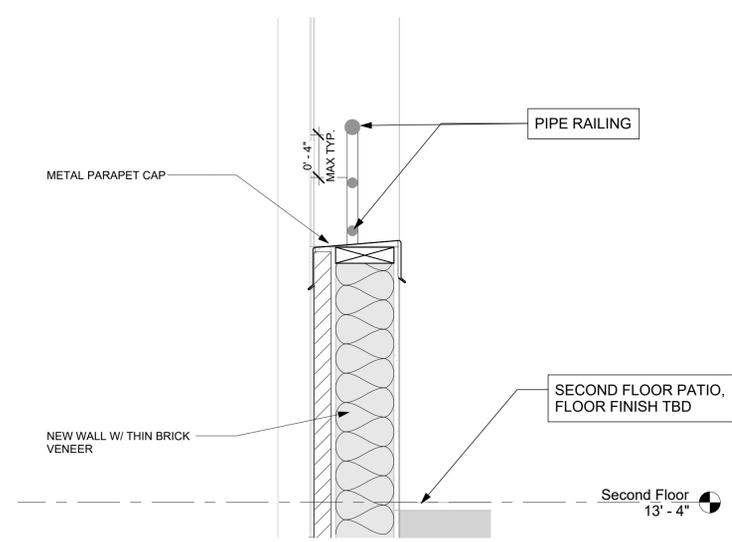
5 JAMB DETAIL @ CMU, TYP
1 1/2" = 1'-0"



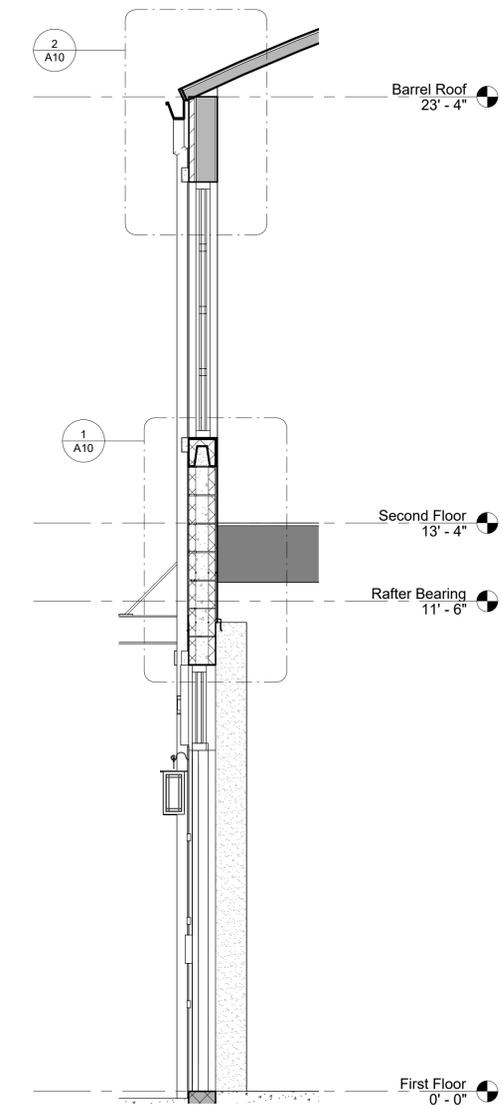
4 JAMB DETAIL @ WOOD STUD, TYP
1 1/2" = 1'-0"



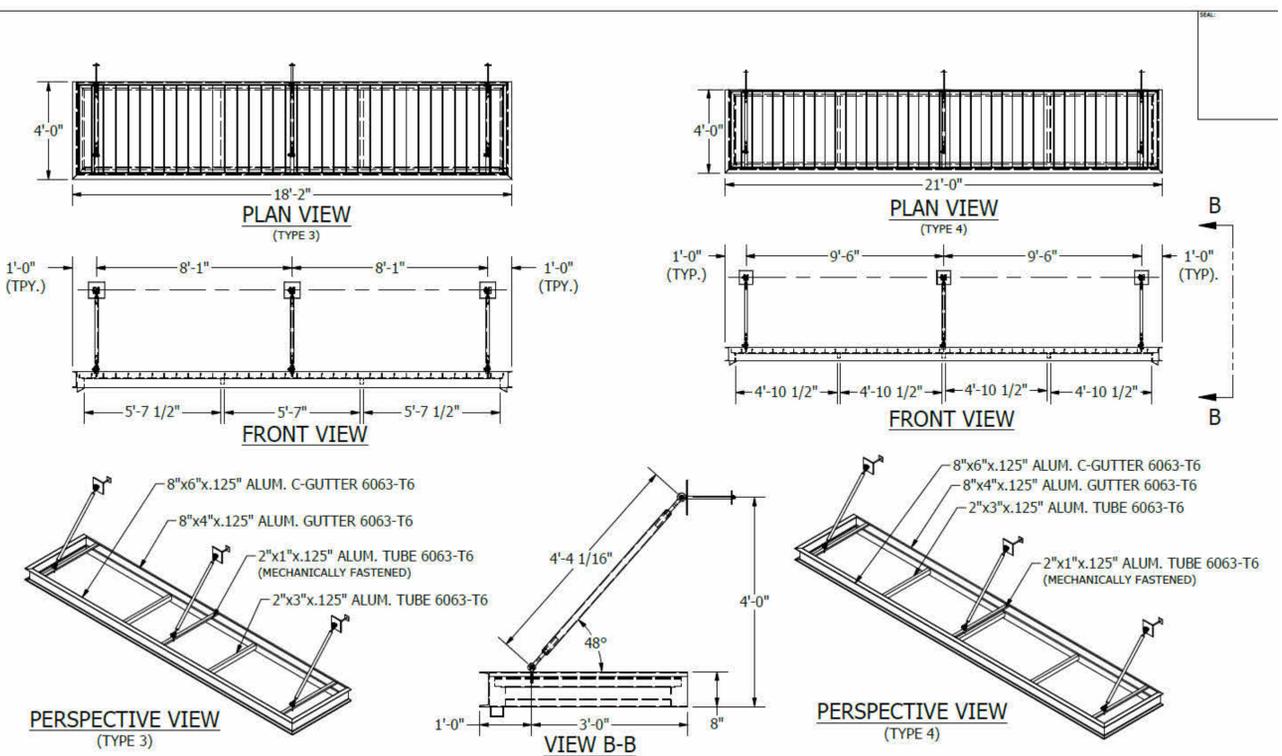
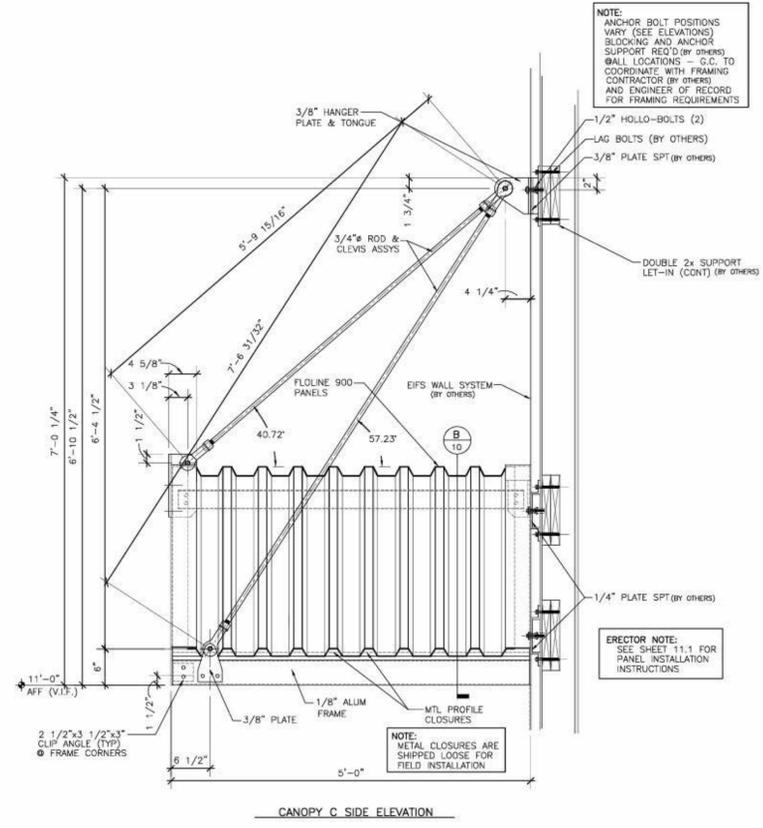
1 HEADER & SILL DETAIL, TYP
1 1/2" = 1'-0"



6 Detail Section @ Railing, TYP
1 1/2" = 1'-0"

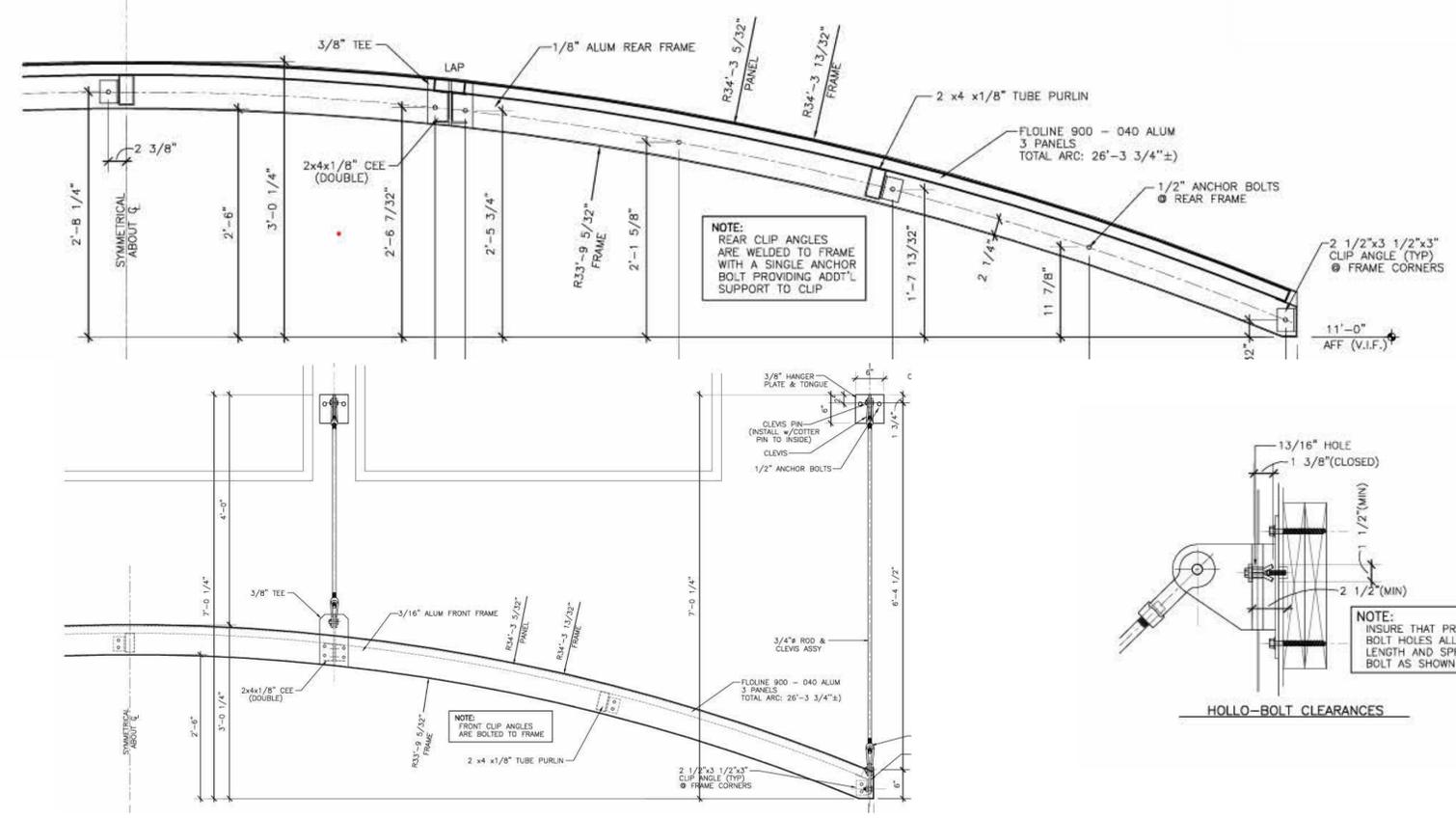


3 Typical Wall Section
1/2" = 1'-0"



H. CANOPIES TYPE 3 @ BLDG 1							
	WIDTH	PROJ.	E. WEST	E. NORTH	E. EAST	E. SOUTH	QTY.
TYPE 4	21'-0"	4'-0"	-	-	1	-	1

H. CANOPIES TYPE 3 @ BLDG 2							
	WIDTH	PROJ.	E. WEST	E. NORTH	E. EAST	E. SOUTH	QTY.
TYPE 3	18'-2"	4'-0"	2	-	-	-	2



CURVED CANOPY SECOND FLOOR, FLOLINE ARCHITECTURAL SYSTEMS OR EQUAL

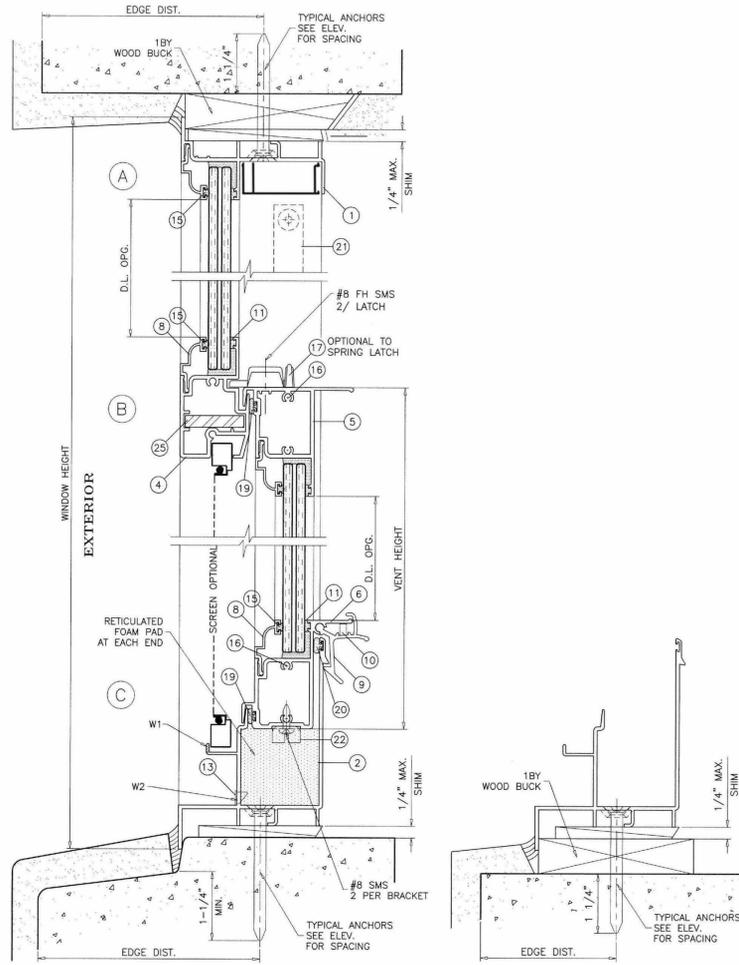
TYPICAL DOOR AWNING, MANUFACTURER SKYSCAPE OR EQUAL

COASTLINE IMPACT PRODUCT SPECIFICATIONS

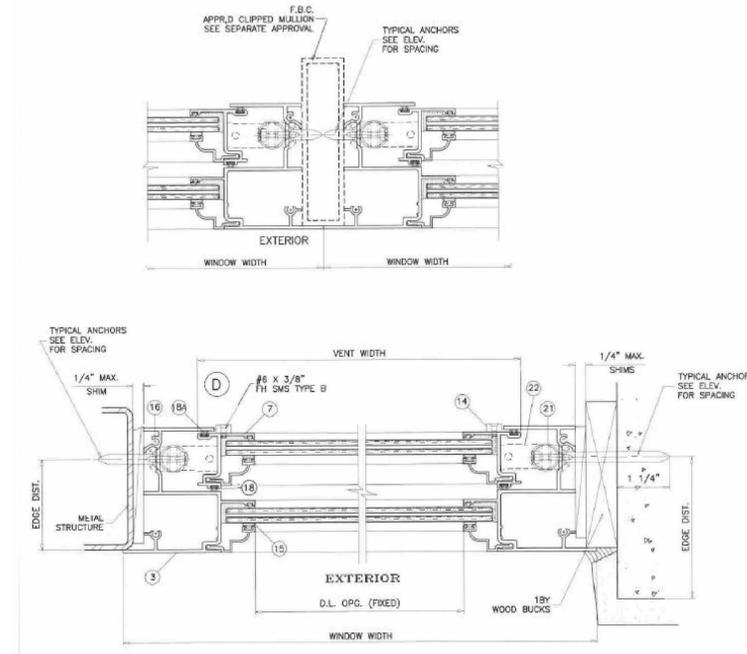
Marvin Coastline all aluminum windows and doors combine a beautiful aesthetic, design flexibility, and rigorous impact performance. Available in select southeast coastal regions, Coastline products meet the most stringent hurricane code requirements in North America.

	COASTLINE CASEMENT + AWNING Accommodate vast, unobstructed expanses of glass while providing a clean feel and narrow sightlines. Perfect for hard to reach areas like over a sink or counter.	
	COASTLINE SINGLE HUNG A traditional design that instills a sense of warmth, the Coastline Single Hung window features a stationary top window and a well-balanced bottom sash.	
	COASTLINE GLIDER Also referred to as a horizontal roller, the glider is an excellent choice for wide horizontal openings. The operating sash is equipped with durable brass tandem rollers that ensure they will always be easy to open and close.	
	COASTLINE PICTURE AND PICTURE NARROW FRAME The glass is glazed directly into the frame eliminating the need for a sash. Features a sleek, streamlined frame that will complement any contemporary aesthetic. <small>Coastline Picture Narrow Frame shown</small>	
	COASTLINE STOREFRONT Perfect for establishing an impressive business facade but commonly used on homes to capture amazing views. Three product types featuring unique glazing. Windows with the same glazing can be combined to create massive window walls.	
	COASTLINE SPECIALTY SHAPES AND SPECIALTY SHAPES NARROW FRAME Available in hundreds of geometric shapes that provide the design freedom to create unique and stunning architectural statements. The sleek, streamlined appearance of the Narrow Frame will complement any contemporary aesthetic. <small>Coastline Specialty Shapes Narrow Frame shown</small>	

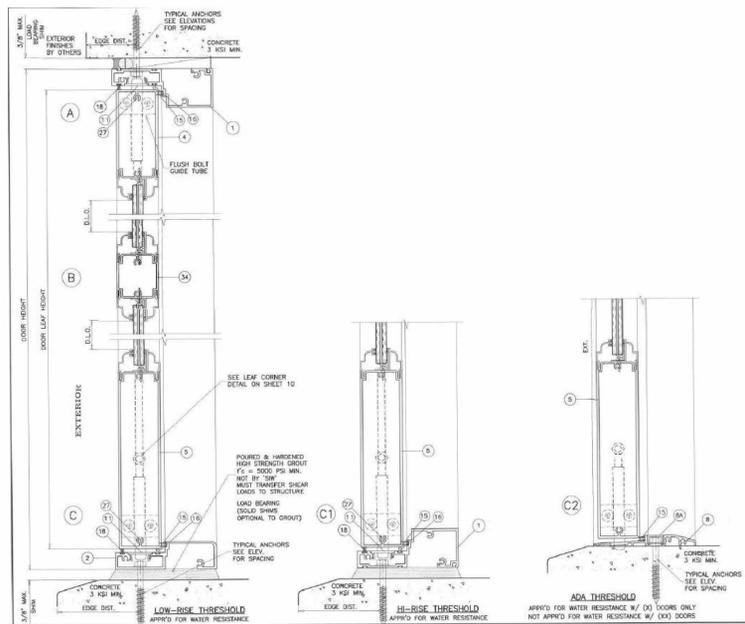
MARVIN
Section Details Single Hung, High-Performance



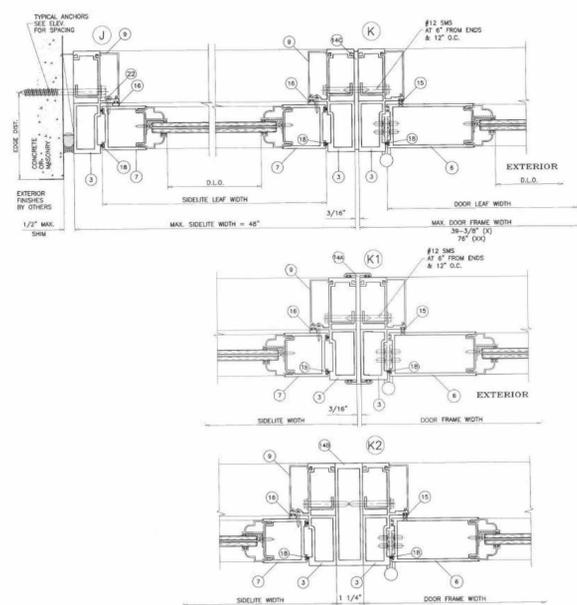
MARVIN
Section Details Single Hung, High-Performance



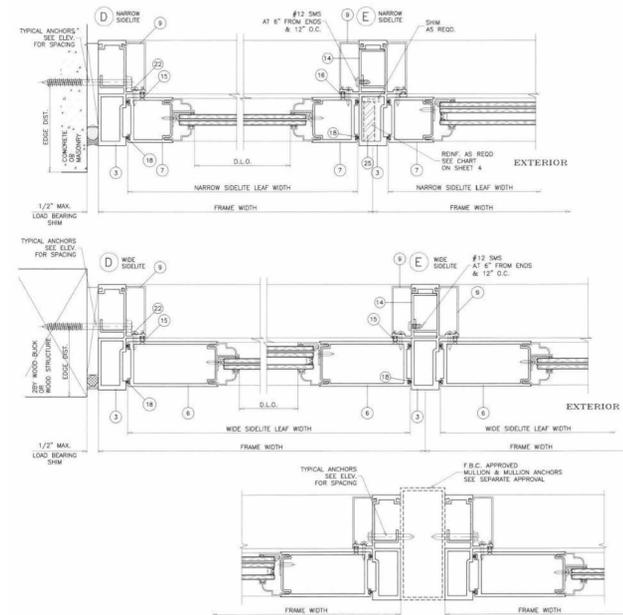
Section Details Outswing



Section Details Mulling



Section Details Sidelite/Transom



BRAND Hinkley Lighting

DESCRIPTION

The Porter 120V Outdoor Hanging Wall Light merges modern farmhouse style with industrial and Arts and Crafts details resulting in a distinct look. The Porter's sturdy hanger loop create a stunning and distinctive statement while the Clear Glass panes provide protection from Mother Nature's elements. Note: LED option is Title 24 Compliant with included bulb.



Shown in: Oil Rubbed Bronze /

SHADE COLOR	Clear
BODY FINISH	Oil Rubbed Bronze
WATTAGE	5W
DIMMER	Low Voltage Electronic
DIMENSIONS	7.5"W x 25"H x 9.25"D
BULB INCLUDED	
LAMP	1 x T10/Medium (E26)/5W/120V LED
<i>Technical Information</i>	
LUMINOUS FLUX	450 lumens
LUMENS/WATT	90.00
LAMP COLOR	2700K
COLOR RENDERING	90 CRI

Lightology

BRAND Minka Aire

DESCRIPTION

The Simple Ceiling Fan offers a sophisticated modern update for your indoor or outdoor space with its clean lines. Its DC motor powers three sleek blades to refresh the room while ensuring energy efficiency. A hand-held remote control with wall holder is included: model RC400 for the 44 inch and 52 inch fans, and RC1000 for the 65 inch fans. It enables motor on/off, 6 speeds and forward/reverse. If the light kit (sold separately) is installed, the remote can turn it on/off and control full range dimming. Note: The light kit pictured is not included. The light kit and other optional accessories are sold separately. The 44 and 52 inch fans are Energy Star rated.



Shown in: Oil Rubbed Bronze / Medium Maple

MINKA AIR OR EQUAL

SHADE COLOR	Medium Maple
BODY FINISH	Oil Rubbed Bronze
WATTAGE	N/A
DIMMER	N/A
DIMENSIONS	52"W x 12.75"H
LAMP	N/A

Simple Ceiling Fan
SPEC #



MKA419174



Your outdoor oasis awaits. Crafted from a patented composite that uses 70% recycled materials, the Hevea Long Box Outdoor Planters are an eco-friendly alternative to traditional plastic. Lightweight yet sturdy and UV resistant to minimize fading, they can be left out any time, come rain or shine. Mix and match with other planters in the Hevea Collection to build out a landscape that best suits your space.

OR EQUAL



BELDEN BRICK THIN BRICK, YUKON BLEND OR EQUAL



WHEATFIELD HERRINGBONE PATTERN

BELDEN BRICK COMPANY OR EQUAL



INOVATE DRYER WALL VENT OR EQUAL

HALF-ROUND GUTTERS (1900S - 1960S)

Half round gutters were popularized in the early 1900s when metal roll machines came into regular use. They are, just as the name implies, a half round design with either a single or double bead rolled edge for added strength.



Half Round gutters

In their heyday at the beginning of the 20th-century (until the K-style gutter rose to popularity in the late 1940s) the half round gutter was commonly found in a multitude of materials readily available at the time. Today they are mainly made from painted aluminum for performance and cost purposes. Below are some of the various materials you could find half round gutters in historically.

- **Galvanized Steel** – The most affordable option these gutters only lasted about 5-10 years before rust began being a problem
- **Galvalume** – Steel gutters dipped in molten zinc and aluminum for strength and corrosion resistance this extended the life of gutters to 30 years and beyond
- **Zinc** – A premium price and for a premium corrosion resistant material
- **Copper** – The gold standard for metal gutters lasting easily 100+ years with minimal to no maintenance

6" GUTTER SYSTEM HALF ROUND WITH 4" DOWNSPOUTS OR EQUAL

Wren Home Designs LLC

mirjam.gerlach@outlook.com
803.741.4799

1013 Charles Street
ART BOX STUDIO
LRT Enterprises, LLC

Date 09.11.2024

Scale

PRODUCTS

A13

HRB FINAL SUBMITTAL

9/29/2024 8:24:03 PM



- ① MCELROY METAL STANDING SEAM ROOF: MEDIUM BRONZE 614366
- ② ROOF FACE, GUTTERS & DOWNSPOUTS: PAC-CLAD PETERSON METAL: CHAMPAGNE 614349
- ③ BELDEN BRICK THIN BRICK VENEER: YUKON BLEND

- ④ MID-LEVEL BAND (SAME AS 2 ABOVE): PAC-CLAD PETERSON METAL: CHAMPAGNE 614349
- ⑤ PARAPET CAP & RAILINGS (SAME AS 1 ABOVE): PAC-CLAD MEDIUM BRONZE 614366
- ⑥ SUGGESTED PAINT COLORS. MIX TO BE DETERMINED ON SITE WITH PLASTERER. (ALL SHERWIN WILLIAMS)
 - JOGGING PATH SW7638
 - GRECIAN IVORY SW7541
 - CONTENTED SW6191
 - QUIVER TAN SW6151
 - MOONRAKER SW6701
- ⑦ SIMILAR TEXTURED PLASTER IN SANTA BARBARA FINISH (COLOR BLEND TBD PER 6 ABOVE)
- ⑧ DOOR AND WINDOW FRAMES: MARVIN LIBERTY BRONZE

311 BAYARD STREET

DISCUSSION/RECOMMENDATION OF
MINOR SUBDIVISION



CITY OF BEAUFORT
Community Development Department

SCOTT MARSHALL
City Manager

1911 BOUNDARY STREET
BEAUFORT, SC 29902
(843) 525-7011
FAX (843) 986-5606

CURT FREESE
Community Development
Director

Date: September 11, 2024

From: Curt Freese, Community Development Director

To: HDRB

Re: Recommendation of Subdivision at 313 Bayard Street

Background:

Staff received a minor subdivision earlier this year to create an additional lot at 313 Bayard Street. The property is 0.9 acres, and the proposed minor subdivision would be 0.16 acres out of the 0.9 acres. The property is contributing. The proposed subdivision has been brought by the family trust, with a potential desire to possibly add a third lot (at the hatched fence line) for tax and financial purposes for the trust. There is no desire at this time to develop either lot should a subdivision be approved.

Staff denied an administrative approval of the application and has recommended the applicant obtain a recommendation by the HDRB, before they make a formal application to the Zoning Board of Appeal. Staff feels the HDRB is best suited to make a formal recommendation on how such a subdivision would impact the historic district.

Beaufort Code:

Section 9.9.2.D.3 of the Beaufort Code states: "The subdivision of any property listed on the original **1969 National Historic Landmark District** nomination is not permitted. Variance requests for this provision may be made per Section 9.14." The code has a minor wording error in this section. It says the **1969 National Historic Landmark District**, but it should say the **1969 National Register of Historic Places**. It wasn't until 1973 that the district was designated a National Historic Landmark.

Per the City of Beaufort website, "the 304-acre area comprising the original town was listed in the National Register of Historic Places (NRHP) in 1969 and in 1973, the district was designated a National Historic Landmark (NHL)."

Regardless, 313 Bayard Street is still listed in the original 1969 form.



CITY OF BEAUFORT
Community Development Department

SCOTT MARSHALL
City Manager

1911 BOUNDARY STREET
BEAUFORT, SC 29902
(843) 525-7011
FAX (843) 986-5606

CURT FREESE
Community Development
Director

The links to the code section as well as the 1969 National Register of Historic Places:
[National-Historic-District-Landmark-Nomination-1969-and-2001-Combined \(civicplus.com\)](#)

Recommendation:

Staff feels the proposed lots would not alter the historic landscape, or the contributing house at 313 Bayard Street. Should the lots eventually be developed, they will be required to come back to the HDRB for approval, as consistent with the historic district. However, as the lots are primarily for tax purposes for the original family to better manage the property, Staff recommends approval of the subdivision to the ZBOA.