



## **AGENDA**

City of Beaufort

### **DESIGN REVIEW BOARD**

Thursday, February 13, 2020 2:00 p.m.

**City Hall, Council Chambers, 2<sup>nd</sup> Floor – 1911 Boundary Street, Beaufort SC**

#### **STATEMENT OF MEDIA NOTIFICATION:**

"In accordance with South Carolina Code of Laws, 1976, Section 30-4-80(d), as amended, all local media were duly notified of the time, date, place and agenda of this meeting."

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**I. Call to Order**

**II. Review of Minutes:**

**A. Minutes of January 9, 2019 Meeting**

**III. Old Business:**

**A. Express Oil Change & Tire Engineers, 238 Robert Smalls Parkway (20-04 DRB.2)**

Applicant: Bohler Engineering

The applicant is requesting approval to construct a 4,747 SF quick service oil change shop (Express Oil Change & Tire Engineers) along with associated parking, landscaping, and utilities.

**IV. New Business**

**A. Hipps Residence, 104 Factory Creek Court (20-03 DRB.1)**

Applicant: Live Oak Builders

The applicant is requesting approval for new construction of a single-family house.

**V. Discussion**

**A. Board Rules and Procedures**

**VI. Adjournment**

*Note: A project will not be reviewed if the applicant or a representative is not present at the meeting.*



# Design Review Board

## Meeting Minutes – January 9, 2020

### 1 CALL TO ORDER

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A regular meeting of the Design Review Board was held at the City Hall Planning Conference Room on Thursday, January 9, 2020 at 2:00 pm.

### 2 ATTENDEES

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Attendees included all Board members- Bob Albright, Rett Bullard, Witt Cox, Kimberly McFann, and Benjie Morillo, and staff members Joan Furlong and Julie Bachety.

### 3 ELECTION OF OFFICERS

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A motion was made to nominate Rett Bullard as Chairman and was seconded. The motion passed unanimously. Mr. Bullard made a motion to nominate Benjie Morillo as Vice-Chairman and was seconded by Ms. McFann. The motion passed unanimously.

### 4 APPROVAL OF MINUTES

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Mr. Morillo made a motion to approve the minutes of October 10, 2019 as submitted. The motion was seconded by Mr. Albright and passed unanimously.

Mr. Cox made a motion to approve the meeting minutes of December 12, 2019 as submitted. The motion was seconded by Mr. Albright and passed unanimously.

### 5 OLD BUSINESS

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None.

### 6 NEW BUSINESS

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1. Refuel - Beaufort, 6 Parris Island Gateway (PIN R120 026 000 0160 0000) - Construction of a gas station, convenience store, and car wash.

Joan Furlong presented the staff report. The Applicant, architect Sean Carlin of The Middleton Group presented the project.

Discussion included suggestions for minor revisions to the picnic area due to proximity to the Spanish Moss Trail, questions about signage and approval of colors. The project has not yet

been submitted to SC DOT.

Mr. Bullard made a motion, seconded by Ms. McFann, to grant preliminary approval to the project. The motion passed unanimously.

## 7 DISCUSSION

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Board Rules and Procedures - The current Board Rules are dated 2014 and need to be reviewed and revised if necessary. One revision was suggested by the Chairman: that the timeline for special meetings be "5 days". Staff agreed to make the change and distribute the updated Board Rules at the next meeting for Board Approval.

Updated Board books were presented to all Board members. Any pending text amendments will be provided at subsequent Board meetings.

Mr. Albright announced his resignation from the Board. Staff will advise the Director of the Community and Economic Development Dept. and City Council and requested that he submit his resignation in writing.

Board Training was discussed. For new Board members six (6) hours are required, then three (3) hours annually. Online training is an available option for members who are unavailable during business hours.

Procedures for recusal were discussed with respect to financial conflicts of interest.

## 8 ADJOURNMENT

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Mr. Bullard made a motion to adjourn that was seconded by Benji Morillo. The motion passed unanimously.

The meeting ended at 3:00 p.m.

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Chair

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Date of approval

**238 Robert Smalls Parkway**

**PIN R122 028 00A 0467 0000**

Applicant: Bohler Engineering on behalf of Express Oil  
The applicant is requesting approval of new construction on an  
undeveloped lot.



# Design Review Board Meeting Staff Report

From the Department of Community and Economic Development  
13 February 2020

## 1 SUMMARY OF REQUEST

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The applicant, Bohler Engineering is requesting Final Approval to construct a quick service oil change shop (Express Oil Change & Tire Engineers) along with parking, landscaping and utilities.

## 2 FACTS

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<b>Property Address:</b>	238 Robert Smalls Parkway
<b>Parcel ID:</b>	R122 028 00A 0467 0000
<b>Case Number:</b>	20-04.01 DRB
<b>Applicant:</b>	Bohler Engineering
<b>Type of Request:</b>	Final Review - New Construction
<b>Zone:</b>	T5-UC / RMX
<b>Use:</b>	Commercial

### **Design Standards as per the Beaufort Code:**

Refer to Staff Report dated December 12, 2019, attached.

### **Background:**

This project was previously reviewed by the DRB at the regular meeting on December 12, 2019 and was tabled pending revisions to building and site plan.

The applicant has addressed some of the Board comments and resubmitted for final review.

## 3 STAFF COMMENTS

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The building elevations have been revised in response to Board comments regarding front façade glazing, interior fan vent, and roof design.

Site layout, sharing access driveway with Lot 3, parallel parking, curb stops, and ADA access suggestions were not addressed. Landscape buffering requirements along the BJWSA ROW were not addressed.

## 4 STAFF RECOMMENDATION

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Staff recommends approval with conditions.



DEVELOPMENT REVIEW PROCESS  
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department  
1911 Boundary Street, Beaufort, South Carolina, 29902  
p. (843) 525-7011 / f. (843) 986-5606  
www.cityofbeaufort.org

Application Fee:  
\$200/meeting  
\$500/special meeting

2004 DRB.1

OFFICE USE ONLY: Date Filed: 1/14/20 Application #: 2007 Zoning District: T5-UC Arch. Survey? Y (N)

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/design-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request:  Conceptual  Preliminary  Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application?  Yes  No

Applicant, Property, and Project Information

Applicant Name: Wyatt Bone

Applicant Address: 4130 Parklake Avenue Raleigh, NC 27612

Applicant E-mail: wbone@bohlereng.com Applicant Phone Number: (919) 578-9000

Applicant Title:  Homeowner  Tenant  Architect  Engineer  Developer

Owner (if other than the Applicant): Malvern Center Inc.

Owner Address: 2966 Trask Pkwy. Beaufort, SC 29903

Project Name: Express Oil Change & Tire Engineers

Property Address: 238 Robert Smalls Pkwy. Beaufort, SC 29906

Property Identification Number (Tax Map & Parcel Number): R122-028-00A-0467-0000

Date Submitted: 11/14/19

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 11-13-19

Owner's Signature: [Signature] Date: 11.06.2019

(The owner's signature is required if the applicant is not the owner.)





Date: 11/13/19

City of Beaufort Planning Department  
1911 Boundary St.  
Beaufort, SC 29902  
Attn: Design Review Board Members

Re: Express Oil Change & Tire Engineers  
Development  
238 Robert Smalls Pkwy.  
Beaufort, SC  
Beaufort County  
BE # NCR192089

Design Review Board Members:

The subject site is located at 238 Robert Smalls Pkwy and is part of the proposed Malvern Development located at the corner of Robert Smalls Pkwy and Nova Drive. The site is currently a vacant outparcel that has been pad graded and cleared. Our project is proposing to put an Express Oil Change & Tire Engineers on this vacant parcel. This will include building a new 4,752 SF building with 9 service bays along with its associated improvements. This will include additional landscaping, utilities, a 19-spot parking lot, dumpster enclosure and appropriate signage.

Site Analysis:

There are 3 existing trees on the southwest corner of the parcel. These include a 15" Oak, a 20" Oak, and a 42" Oak. All measurements are at DBH. There is silt fence currently around the trees that will be kept in place during the construction of the Express Oil Change and no tree will be disturbed. You may reference plan set pages C-600 and C-601 for the location of the silt fence that is currently in place.

I am hopeful that the above information is sufficient to meet the City of Beaufort Design Guide Lines. Should you have any questions regarding this project or require additional information, please do not hesitate to contact me at (919) 578-9000.

Sincerely,  
Bohler Engineering NC PLLC

Wyatt Bone, PE



**CITY OF BEAUFORT**  
**METROPOLITAN PLANNING COMMISSION**  
1911 BOUNDARY STREET  
BEAUFORT, SOUTH CAROLINA 29902  
(843) 525-7011 FAX: (843) 986-5606

**APPROVAL LETTER**

June 17, 2019

Frank Bullard, P.E.  
800 Congress Street  
Beaufort, SC 29902

**RE: Malvern Commercial Major Subdivision – Conceptual Plat Approval**

Dear Mr. Bullard:

On June 17, 2019, the Metropolitan Planning Commission (MPC) met to review your application and Sketch Plan for the Malvern commercial development subdivision, described as:

Property ID# R122 028 00A 0467 000, and  
Property ID# R120 029 000 108H 000

The MPC granted approval to this request.

Approval of a sketch plan shall not constitute approval of the Site Plan or Final Subdivision Plat. Application for approval of the Site Plan (Preliminary Plat) and Final Plat will be considered only after the requirements for each approval as specified in the city of Beaufort Code have been fulfilled and after all specified conditions have been met.

Be advised that the approval will expire two years from the date of this letter as per Section 9.1.4 of the Beaufort Code. If you wish to make any changes in your project that are not part of the approved plan, please notify the planning staff; it may require an additional review by the MPC depending on the scope of the change.

If you have any questions, feel free to call the City of Beaufort Planning Department at (843) 525-7011.

Sincerely,

Bill Harris, Chairman

cc. Rhett Bullard, via email – [rettb@carolinaengineering.com](mailto:rettb@carolinaengineering.com)

Note: Align top of exterior wall packs with bottom of split face CMU banding at 12'-0" a.f.f. Top of emergency lighting at exit doors to be aligned with top of door frame. Do not locate exterior wall packs on side of building with illuminated lightbars or sconces by others except at man doors.



1 Front Elevation  
1/4" = 1'-0"



**NOT FOR  
CONSTRUCTION**

**Express Oil Change & Tire Engineers**  
Single Building - Left Hand Oil Change / Rear Entry

242 Robert Smalls Parkway  
Beaufort, South Carolina 29906

CONCEPTUAL

No.	Description	Date

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**Exterior Elevation - Front**

Project number	TBD
Date	01/09/2020
Drawn by	ARC
Checked by	TAA

**A200**

Scale 1/4" = 1'-0"

1/10/2020 12:14:57 PM

Note: Align top of exterior wall packs with bottom of split face CMU banding at 12'-0" a.f.f. Top of emergency lighting at exit doors to be aligned with top of door frame. Do not locate exterior wall packs on side of building with illuminated lightbars or sconces by others except at man doors.



**NOT FOR CONSTRUCTION**

**Express Oil Change & Tire Engineers**  
Single Building - Left Hand Oil Change / Rear Entry

242 Robert Smalls Parkway  
Beaufort, South Carolina 29906

CONCEPTUAL

No.	Description	Date

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**Exterior Elevation - Rear**

Project number: TBD  
Date: 01/09/2020  
Drawn by: ARC  
Checked by: TAA

**A201**

Scale: 1/4" = 1'-0"

1/10/2020 12:15:06 PM



B.O.T.  
15'-5 1/2"

Painted structural half-highs

Equip. Plat.  
8'-10 1/2"

Unpainted structural half-highs

F.F.  
0"

Transparent glass = T

Standing seam metal roof

1 Rear Elevation  
1/4" = 1'-0"

**NOT FOR  
CONSTRUCTION**

**Express Oil Change & Tire Engineers**  
Single Building - Left Hand Oil Change / Rear Entry

242 Robert Smalls Parkway  
Beaufort, South Carolina 29906

CONCEPTUAL

No.	Description	Date

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**Exterior Elevation -  
Right**

Project number: TBD  
Date: 01/09/2020  
Drawn by: ARC  
Checked by: TAA

**A202**

Scale: 1/4" = 1'-0"

1/10/2020 12:15:12 PM

Note: Align top of exterior wall packs with bottom of split face CMU banding at 12'-0" a.f.f. Top of emergency lighting at exit doors to be aligned with top of door frame. Do not locate exterior wall packs on side of building with illuminated lightbars or sconces by others except at man doors.



1 Right Elevation  
1/4" = 1'-0"

Note: Align top of exterior wall packs with bottom of split face CMU banding at 12'-0" a.f.f. Top of emergency lighting at exit doors to be aligned with top of door frame. Do not locate exterior wall packs on side of building with illuminated lightbars or sconces by others except at man doors.



**NOT FOR CONSTRUCTION**

**Express Oil Change & Tire Engineers**  
 Single Building - Left Hand Oil Change / Rear Entry

242 Robert Smalls Parkway  
 Beaufort, South Carolina 29906

CONCEPTUAL

No.	Description	Date

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**Exterior Elevation - Left**

Project number: TBD  
 Date: 01/09/2020  
 Drawn by: ARC  
 Checked by: TAA

**A203**

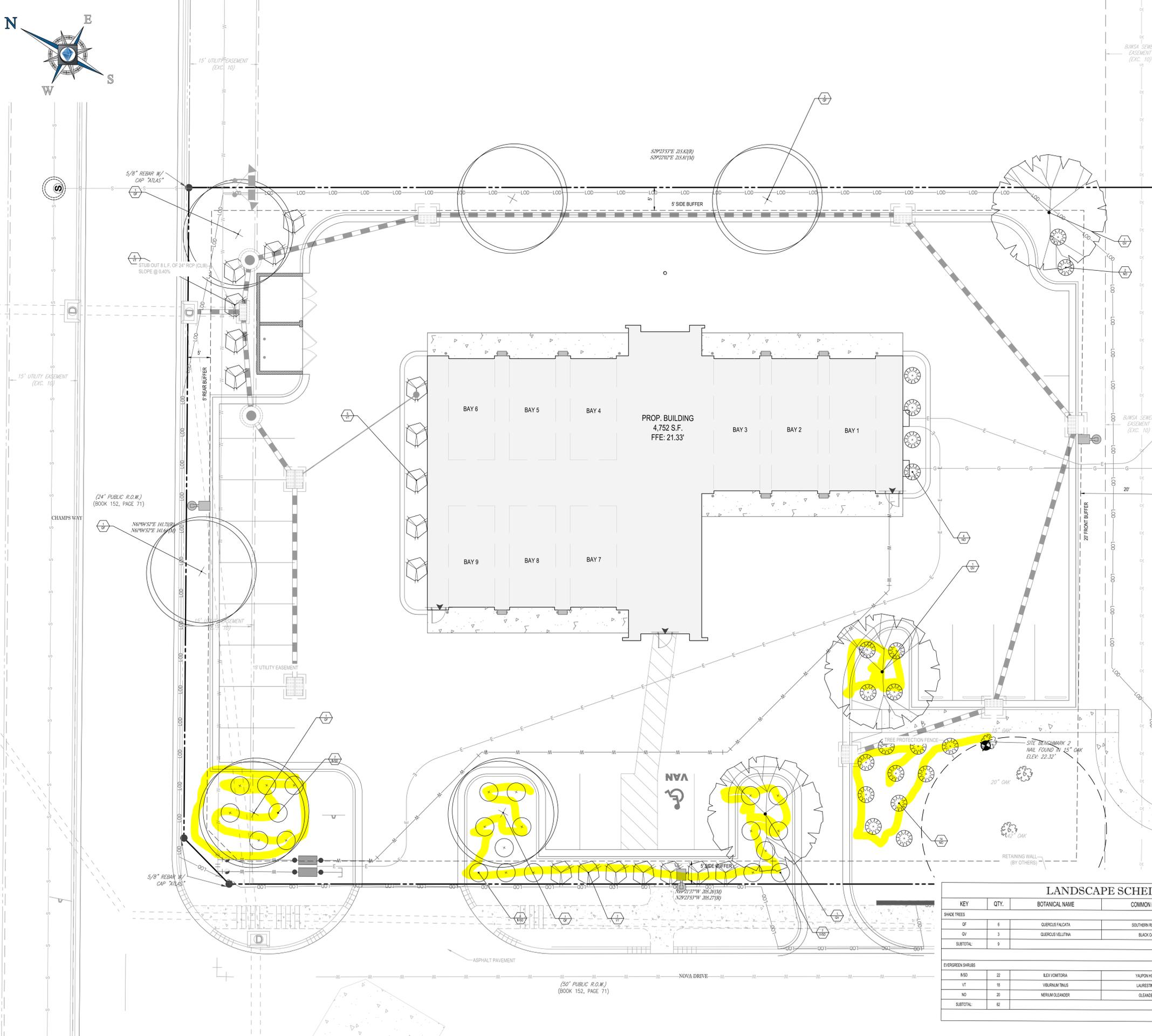
Scale: 1/4" = 1'-0"

1/10/2020 12:15:18 PM



Transparent Glass = T  
 Spandrel Glass = S

1 Left Elevation  
 1/4" = 1'-0"



**PLANTING NOTES:**

1. ALL LANDSCAPED AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, MATURE, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
5. ALL LAWN AREAS TO BE SEEDING SHALL USE A LOCALLY GROWN COMMERCIAL BERMUDA SEED MIX MEETING LATEST STATE OF NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.
6. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
7. ALL TREES MUST BE GUYPED OR STAKED AS SHOWN IN THE DETAILS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION AND PROTECTION BEFORE DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE AND BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR A ONE YEAR GROWING PERIOD.
12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO SUBSTANTIAL COMPLETION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF TRIPLE SHRED HARDWOOD MULCH FROM A LOCAL MULCH SOURCE HARVESTED IN A SUSTAINABLE MANNER.
15. BIODIVERSITY FRIENDLY PLANTING (ALL PLANTS) SHALL BE REQUIRED IN SHRUB BEDS AT BUILDING FACADE.
16. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
17. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GROWING.
18. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.

**GENERAL NOTES:**

1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH THIS PLAN. ALL LAWN AREAS SHALL BE SEEDING WITH A LOCALLY GROWN COMMERCIAL SOD MEETING LATEST SOUTH CAROLINA DEPT. OF AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION. CONSULT LOCAL N.C.S.U. AGRICULTURAL EXTENSION OFFICE FOR PROPER FERTILIZER AND LIME APPLICATION RATES FOR LAWN SEEDING IN THE FORSYTH COUNTY AREA. FESCUE SOD, LOCALLY HARVESTED SHALL BE USED WITHIN THE PROPOSED SODDED AREA DELINEATED ON THE PLAN.
3. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
4. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW ALL UTILITIES AND PROTECTION BEFORE DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
5. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
6. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**BOHLER ENGINEERING NC, PLLC**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

**811**  
 Know what's below.  
 Call before you dig.  
 ALWAYS CALL 811  
 It's fast. It's free. It's the law.

**CITY OF BEAUFORT, SOUTH CAROLINA COMPLIANCE CHARTS**

SECTION	REQUIREMENTS
5.5.1 BUFFER REQUIREMENTS	<p><b>REQUIRED:</b> WHEN AN AREA ZONED T5-UC ABUTS T3, T4-HN, OR ANY COUNTY RESIDENTIAL DISTRICT, A 5FT SIDE AND REAR BUFFER MUST BE PROVIDED. IN THE BUFFER AT LEAST 2 BROAD-LEAVED OVERSTORY TREES MUST BE PRESERVED OR PLANTED IN OR IN CLOSE PROXIMITY TO THE BUFFER EVERY 100 FEET.</p> <p><b>PROVIDED:</b> 2 OAKS PROVIDED PER 100 FEET OF BUFFERS. BUFFERS NOT REQUIRED ALONG ROBERT SMALLS PARKWAY DUE TO EXISTING UTILITY EASEMENT.</p>
5.5.2 BUILDING PERIMETER LANDSCAPING (FOUNDATION BEDS)	<p><b>REQUIRED:</b> WHEN A BUILDING IS 1-STORY IN HEIGHT, THE FOUNDATION BEDS MUST BE:          - MINIMUM WIDTH: 5 FT          - MINIMUM LENGTH: 67% OF FRONT, 50% OF SIDE          - VEGETATION COVERAGE: 67% OF FRONT, 50% OF SIDE</p> <p><b>PROVIDED:</b> LENGTH: FOUNDATION PLANTINGS COVER 50% OF THE BUILDING FACING ROBERT SMALLS PARKWAY. THE OPPOSITE SIDE HAS FOUNDATION PLANTING COVERING 100% OF THE BUILDING.          VEGETATION COVERAGE: SPECIES CHOSEN THAT WILL ADEQUATELY COVER BUILDING.</p>
5.6.1.D LANDSCAPING INSTALLATION AND MAINTENANCE	<p><b>REQUIRED:</b> INSTALLED TREES MUST ADHERE TO THE GRADES AND STANDARDS OUTLINED IN THE ASMS. TREE REQUIREMENTS INCLUDE:          - OVERSTORY TREES: CALIPER OF 2.5", 6" ABOVE THE GROUND          - UNDERSTORY TREES: 8 FEET HIGH          - SHRUBS: SHRUBS SHOULD GROW TO MATURITY WITHIN 3 YEARS.</p> <p><b>PROVIDED:</b> NOTED IN LANDSCAPE SCHEDULE</p>
5.7.8.A PARKING LOT SCREENING AND LANDSCAPING	<p><b>REQUIRED:</b> ALL PARKING SHALL BE SCREENED FROM THE PUBLIC RIGHT OF WAY OR PRIMARY VEHICULAR ACCESS POINT(S) WITH EVERGREEN SHRUBS.          MINIMUM OPACITY AT PLANTING: 50%          INSTALLATION HEIGHT: 2 FT.          PROJECTED HEIGHT IN 4 YEARS: 4 FT.</p> <p><b>PROVIDED:</b> CHOSEN SPECIES AND SPACING WILL ADEQUATELY SCREEN PARKING AT MATURITY. SCREENING NOT REQUIRED ALONG ROBERT SMALLS PARKWAY DUE TO EXISTING UTILITY EASEMENT.</p>
5.7.8.B PARKING LOT PENINSULA LANDSCAPING	<p><b>REQUIRED:</b> AT LEAST ONE BROAD LEAF TREE WITHIN EACH LANDSCAPE PENINSULA AND 50% COVERAGE OF SHRUBS.</p> <p><b>PROVIDED:</b> EACH PENINSULA HAS ONE BROAD LEAF TREE AND SHRUBS.</p>

**FOR CONCEPT PURPOSES ONLY**

PROJECT No.:	XXXXXXXX
DRAWN BY:	RMG
CHECKED BY:	WES
DATE:	11/4/2019
CAD I.D.:	LSP-0

**FINAL DESIGN REVIEW**

FOR \_\_\_\_\_

238 ROBERT SMALLS PKWY.  
 BEAUFORT COUNTY  
 BEAUFORT, SC 29906

**BOHLER ENGINEERING NC, PLLC**  
 NCBELS #1132  
 4130 PARKLAKE AVENUE, SUITE 130  
 RALEIGH, NC 27612  
 Phone: (919) 578-9000  
 NC@BohlerEng.com

**NORTH CAROLINA PROFESSIONAL ENGINEER**  
 SEAL  
 040241  
 L. BOHLER  
 11/14/19

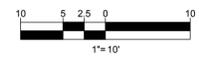
SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**C-700**

REVISION 0 - 11/4/2019

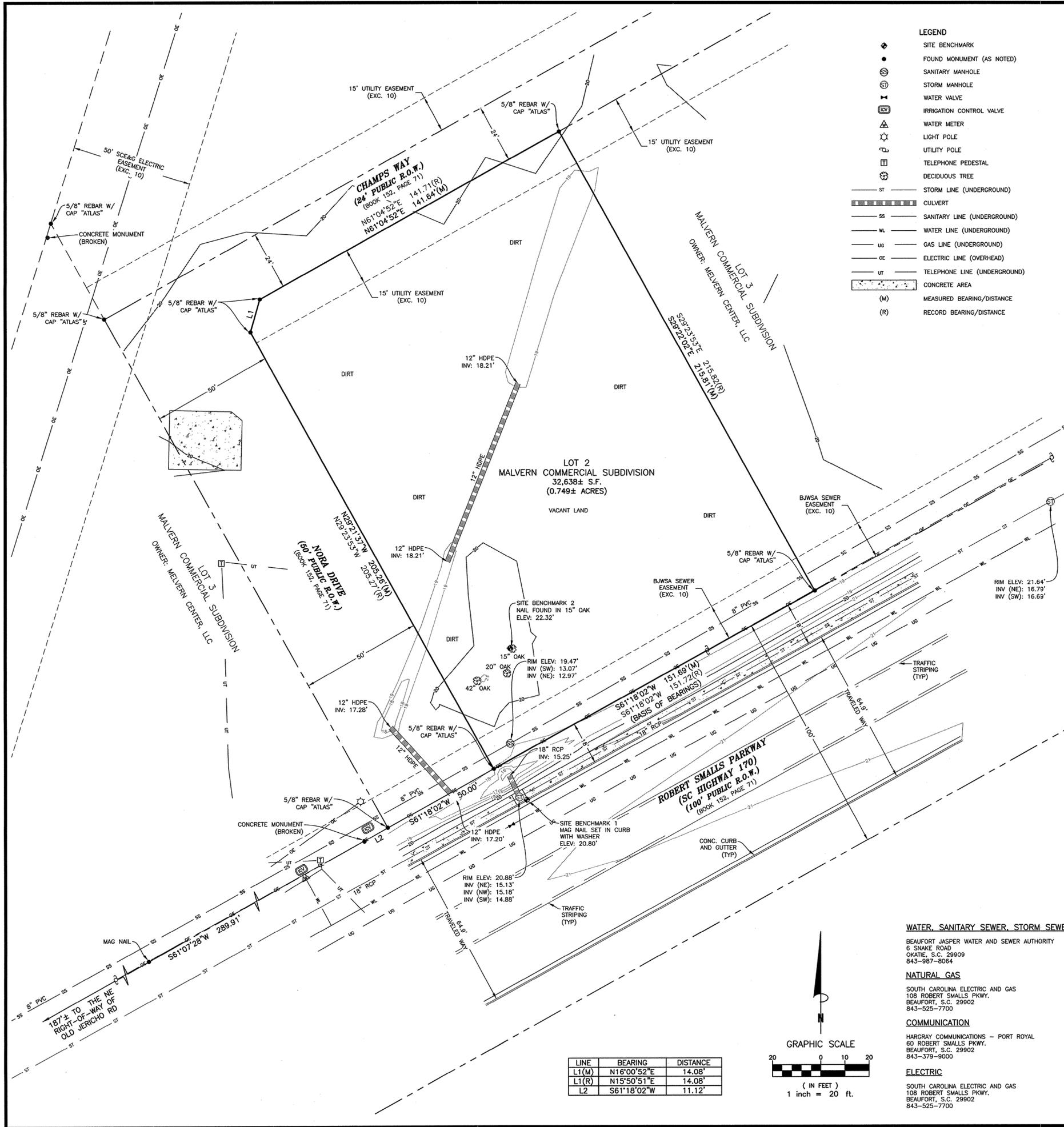
**LANDSCAPE SCHEDULE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL./HT.	CONT.
<b>SHADE TREES</b>					
QF	6	QUERCUS FALCATA	SOUTHERN RED OAK	2 1/2" CAL.	B-B
QV	3	QUERCUS VELITANA	BLACK OAK	2 1/2" CAL.	B-B
SUBTOTAL:	9				
<b>EVERGREEN SHRUBS</b>					
#SD	22	ILEX VOMITORIA	YALPON HOLLY	30" HT. & SPREAD	#5 CAN
VT	18	VIBURNUM TRINUS	LAURESTINUS	34" HT. & SPREAD	B-B
NO	20	NERIUM OLEANDER	OLEANDER	34" HT. & SPREAD	B-B
SUBTOTAL:	62				

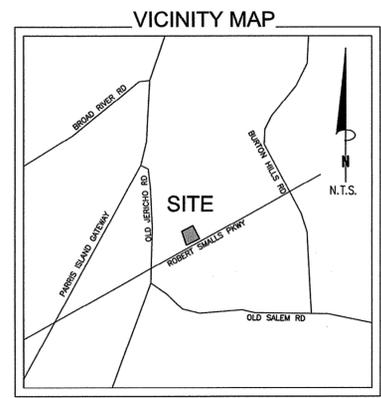








- LEGEND**
- ◆ SITE BENCHMARK
  - FOUND MONUMENT (AS NOTED)
  - SANITARY MANHOLE
  - STORM MANHOLE
  - WATER VALVE
  - IRRIGATION CONTROL VALVE
  - LIGHT METER
  - LIGHT POLE
  - UTILITY POLE
  - TELEPHONE PEDESTAL
  - DECIDUOUS TREE
  - ST — STORM LINE (UNDERGROUND)
  - SS — SANITARY LINE (UNDERGROUND)
  - WL — WATER LINE (UNDERGROUND)
  - US — GAS LINE (UNDERGROUND)
  - OE — ELECTRIC LINE (OVERHEAD)
  - UT — TELEPHONE LINE (UNDERGROUND)
  - ▭ CONCRETE AREA
  - (M) MEASURED BEARING/DISTANCE
  - (R) RECORD BEARING/DISTANCE



**LEGAL DESCRIPTION:**

ALL that certain parcel of land situate on Port Royal Island, in Beaufort County, South Carolina, being more particularly shown and designated as Lot 2 on a plot prepared for Greenline Industries, Inc. a Subdivision Plat of #228 & #242 Robert Smalls Parkway Malvern Commercial Subdivision by Jeremy W. Reeder, S.C.P.L.S. No. 28139 of Atlas Surveying Inc. dated May 20, 2019 and recorded in Book 152, Page 71, in the Office of the Register of Deeds for Beaufort County, South Carolina. For a more detailed description as to metes, courses, distances, and bounds, reference may be had to the above-mentioned plat of record.

**NOTES:**

1. Any underground utilities shown have been located from field survey information, as-built drawings and/or utility markings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. Public utility locate request was made under Ticket No. 1908160732 dated August 16, 2019. This site was located by standard RF methods.
2. Basis of bearings is the south line line of Lot 2, shown on a plot for Greenline Industries, Inc., a Subdivision Plat of #228 & #242 Robert Smalls Parkway, Malvern Commercial Subdivision, dated May 20, 2019, and recorded in Book 152, Page 71 in the Office of the Register of Deeds for Beaufort County, South Carolina, monumented at each end with a 5/8" Rebar and Cap, stamped "ATLAS", having a measured bearing of S61°18'02"W, a distance of 151.69 feet.
3. FEDERAL EMERGENCY MANAGEMENT AGENCY, FEMA FIRMEtte published September 4, 2019, referencing Flood Insurance Rate Map, Community Panel Number 450025 0065 D effective date September 29, 1986, indicates this parcel of land is located in Zone C (Area of minimal flooding).
4. This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Commitment for Title Insurance, prepared by Fidelity National Title Insurance Company, Commitment No. SC19-088FNT with an effective date of August 19, 2019.
5. The lined units used in this drawing are U.S. Survey Feet.
6. Elevations are based on NAVD 88 datum.
7. SITE BENCHMARK 1: Mag nail set in curb, with washer, as shown. Elevation 20.80' (NAVD 88).  
SITE BENCHMARK 2: Nail found in 15" Oak, as shown. Elevation: 22.32' (NAVD 88).
8. The improvements shown hereon are as of the date of field work, August 20, 2019.
9. A zoning report was not provided to the surveyor at the time of the survey.  
Parking Provided: None (Vacant Land)
10. This property contains a calculated area of 32,638 square feet (0.749 acres) more or less.
11. There are improvements along portions of the boundary as shown hereon. Ownership and/or maintenance responsibilities of said improvements was not determined by this survey.
12. Access appears to be obtained directly from Robert Smalls Parkway, Nora Drive and Champs Way. There are currently no visible access points to said rights-of-way. The right of way lines of said streets and the boundary lines of subject property are coterminous and contain no gaps, gores or overlaps.
13. Easements and other record documents shown or noted on this survey were examined as to location and purpose and were not examined as to restrictions, exclusions, conditions, obligations, terms, or as to the right to grant the same.
14. This ALTA/NSPS Land Title Survey was prepared for the exclusive use of persons/parties listed in certification. Said statement does not extend to any unnamed person/parties without an express statement by the surveyor naming said person/parties.
15. The subject property is commonly known as vacant land being located northwesterly of Robert Smalls Parkway. Current assessor records have not been updated to the recently created subdivision.
16. There is observable evidence of earth moving work, building construction or building additions within recent months.
17. There are changes in street right of way lines either completed or proposed, per documents provided by title company.
18. There is no observable evidence of recent street or sidewalk construction or repairs.
19. There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted, nor have we received any documentation of any wetlands being located on the subject property. No markers were observed at the time of the survey.
20. Encroachment Statement: There were no areas of concern at the time of survey.

**SCHEDULE B-2 EXCEPTIONS:**

- Item No.
6. Easement by and between John D. Polk and Florence T. Polk and the Beaufort County Jasper Water and Sewer Authority dated May 29, 2002 and recorded July 11, 2002, in Book 1603, Page 2457, Beaufort County records.  
-IS LOCATED ON SUBJECT PARCEL, LOCATION HAS BEEN REVISED AS SHOWN ON THAT CERTAIN SURVEY RECORDED IN BOOK 152, PAGE 71 (EXCEPTION 10).
  7. Easement by and between John D. Polk and Florence T. Polk and the Beaufort County Jasper Water and Sewer Authority dated May 29, 2002 and recorded July 11, 2002, in Book 1603, Page 2461, Beaufort County records.  
-IS NOT LOCATED ON SUBJECT PARCEL.
  8. All matters as disclosed by that certain survey recorded in Book 140, Page 73, Beaufort County records.  
-IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
  9. All matters as disclosed by that certain survey recorded in Book 142, Page 186, Beaufort County records.  
-IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE.
  10. All matters as disclosed by that certain survey recorded in Book 152, Page 71, Beaufort County records.  
-IS LOCATED ON SUBJECT PARCEL, BLANKET IN NATURE AND AS SHOWN HEREON.
- B-2 items not listed above are determined non-survey related items and are not plotted hereon.

**SURVEYOR'S CERTIFICATION:**

To: Express Oil Change, LLC d/b/a Express Oil Change & Tire Engineers; and Fidelity National Title Insurance Company;  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7a, 8, 11, 13, 14, 16, 17 and 20 of Table A thereof. The field work was completed on August 20, 2019. Date of Plat or Map: September 4, 2019.

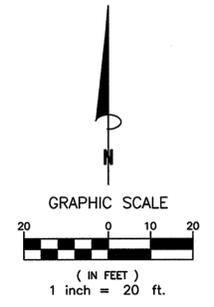
**WATER, SANITARY SEWER, STORM SEWER**  
BEAUFORT JASPER WATER AND SEWER AUTHORITY  
6 SNAKE ROAD  
OKATIE, S.C. 29909  
843-987-8064

**NATURAL GAS**  
SOUTH CAROLINA ELECTRIC AND GAS  
108 ROBERT SMALLS PKWY.  
BEAUFORT, S.C. 29902  
843-525-7700

**COMMUNICATION**  
HARGRAY COMMUNICATIONS - PORT ROYAL  
80 ROBERT SMALLS PKWY.  
BEAUFORT, S.C. 29902  
843-379-9000

**ELECTRIC**  
SOUTH CAROLINA ELECTRIC AND GAS  
108 ROBERT SMALLS PKWY.  
BEAUFORT, S.C. 29902  
843-525-7700

LINE	BEARING	DISTANCE
L1 (M)	N16°00'52"E	14.08'
L1 (R)	N15°50'51"E	14.08'
L2	S61°18'02"W	11.12'



**Bechtler Greenfield Surveying, LLC.**  
1430 West Peachtree St., NW, Suite 225  
Atlanta, Georgia 30309  
Phone: (770) 422-8181  
Fax: (770) 422-8101  
Email: info@gsurveying.com

No.	Revisions	Description	By	Date

**ALTA/NSPS LAND TITLE SURVEY**  
LOT 2  
MALVERN COMMERCIAL SUBDIVISION  
CITY OF BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

Drawn By: AMF  
Checked By: REA

Date: 9/4/2019  
Sheet 1 of 1

**Project No. 190650**

Project Name: MALVERN COMMERCIAL SUBDIVISION, CITY OF BEAUFORT, BEAUFORT COUNTY, SOUTH CAROLINA

Drawn By: AMF  
Checked By: REA

Date: 9/4/2019  
Sheet 1 of 1

*Rodney E. Abney, Jr.*

Rodney E. Abney, Jr.  
South Carolina Registered Land Surveyor No. 23202  
For and on behalf of Clark Land Surveying, Inc.

9.6.19

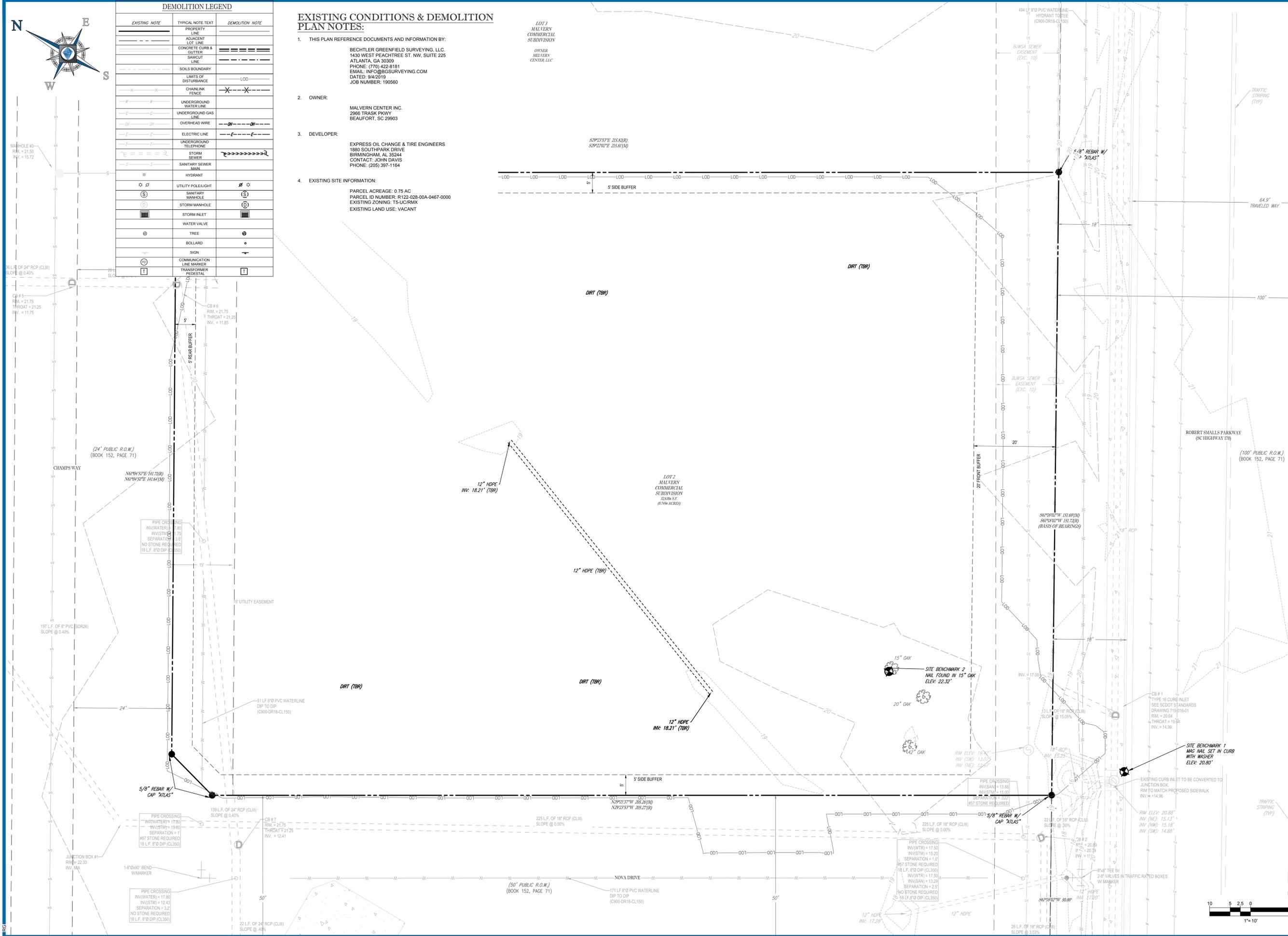


DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTE
---	PROPERTY LINE	---
---	ADJACENT LOT LINE	---
---	CONCRETE CURB & GUTTER	---
---	SAWCUT LINE	---
---	SOILS BOUNDARY	---
---	LIMITS OF DISTURBANCE	---
---	CHAINLINK FENCE	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	ELECTRIC LINE	---
---	UNDERGROUND TELEPHONE	---
---	STORM SEWER	---
---	SANITARY SEWER	---
---	HYDRANT	---
---	UTILITY POLE/LAUGHT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM INLET	---
---	WATER VALVE	---
---	TREE	---
---	BOLLARD	---
---	SIGN	---
---	COMMUNICATION LINE MARKER	---
---	TRANSFORMER	---

**EXISTING CONDITIONS & DEMOLITION PLAN NOTES:**

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:  
 BECHTLER GREENFIELD SURVEYING, LLC.  
 1430 WEST PEACHTREE ST. NW, SUITE 225  
 ATLANTA, GA 30309  
 PHONE: (770) 422-8181  
 EMAIL: INFO@BGSURVEYING.COM  
 DATED: 9/4/2019  
 JOB NUMBER: 190560
- OWNER:  
 MALVERN CENTER INC.  
 2965 TRASK PKWY  
 BEAUFORT, SC 29903
- DEVELOPER:  
 EXPRESS OIL CHANGE & TIRE ENGINEERS  
 1880 SOUTH PARK DRIVE  
 BIRMINGHAM, AL 35244  
 CONTACT: JOHN DAVIS  
 PHONE: (205) 397-1164
- EXISTING SITE INFORMATION:  
 PARCEL ACREAGE: 0.75 AC  
 PARCEL ID NUMBER: R122-028-00A-0467-000  
 EXISTING ZONING: T5-UC/RMX  
 EXISTING LAND USE: VACANT

LOT 1  
MALVERN  
COMMERCIAL  
SUBDIVISION  
OWNER:  
MALVERN  
CENTER, LLC



**BOHLER**  
ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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 DRAWN BY: RMG  
 CHECKED BY: WES  
 DATE: 11/4/2019  
 CAD I.D.: DMP-0

PROJECT:  
FINAL DESIGN REVIEW

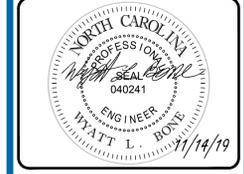
FOR

**EXPRESS OIL CHANGE**  
**TIRE ENGINEERS**

238 ROBERT SMALLS PKWY.  
BEAUFORT COUNTY  
BEAUFORT, SC 29906

**BOHLER**  
ENGINEERING NC, PLLC  
NCBELS # 1132

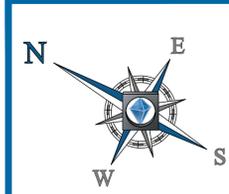
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com



SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER:  
**C-200**

REVISION 0 - 11/4/2019



GRAPHIC LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY LINE	---
---	BUILDING OR PARKING SETBACK	---
---	LIMITS OF DISTURBANCE	---
---	CURB & GUTTER	---
---	EDGE OF PAVEMENT	---
---	FLUSH CURB	---
---	SPILL CURB	---
---	RETAINING WALL	---
---	STORMWATER INLET	---
---	PARKING COUNT	---
---	PAVEMENT STRIPING - 4" SSSL	---

LOT 1  
MALVERN  
COMMERCIAL  
SUBDIVISION

OWNER:  
MALVERN  
CENTER, LLC

**SITE PLAN & ZONING NOTES:**

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:  
BECHTLER GREENFIELD SURVEYING, LLC  
1430 WEST PEACHTREE ST. NW, SUITE 225  
ATLANTA, GA 30309  
PHONE: (770) 422-8181  
EMAIL: INFO@GCSURVEYING.COM  
DATED: 9/4/2019  
JOB NUMBER: 190560
- OWNER:  
MALVERN CENTER INC.  
2966 TRASK PKWY  
BEAUFORT, SC 29903
- DEVELOPER:  
EXPRESS OIL CHANGE & TIRE ENGINEERS  
1880 SOUTH PARK DRIVE  
BIRMINGHAM, AL 35244  
CONTACT: JOHN DAVIS  
PHONE: (205) 997-1164
- EXISTING SITE INFORMATION:  
PARCEL ACREAGE: 0.75 AC  
PARCEL ID NUMBER: R122-028-00A-0467-0000  
EXISTING ZONING: T5-UC/RMX  
EXISTING LAND USE: VACANT
- PROPOSED SITE INFORMATION:  

ZONING INFORMATION	
PROPOSED ZONING	T5-UC/RMX
PROPOSED LAND USE	COMMERCIAL
PARCEL INFORMATION	
PROP. PARCEL AREA	0.75 AC
TOTAL DISTURBED AREA	0.755 AC
LANDSCAPE BUFFERS	
FRONT (ROBERT SMALLS PKWY.)	20'
WEST	5'
EAST	5'
NORTH (CHAMPS WAY)	5'

PARKING SUMMARY			
TYPE	REQUIREMENT	REQUIRED PARKING	PROPOSED PARKING
SERVICES - OTHER SERVICES USES	1 PER 400 GROSS SQUARE FEET	4747 4.98'x11' SPACE PER 400 GROSS SQUARE FEET	19 PARKING SPACES
		TOTAL REQUIRED PARKING: 12 PARKING SPACES	
ADA REQUIREMENT		PROPOSED ACCESSIBLE PARKING SPOTS	
1 TO 25 INDIVIDUAL PARKING SPACES = MIN. 1 ACCESSIBLE PARKING SPACES		1 ACCESSIBLE PARKING SPACES (1 VAN)	

PAINTING STRIPING LEGEND	
4"SSWL	SINGLE SOLID WHITE LINE / 4" WIDE
4"SSBL	SINGLE SOLID BLUE LINE / 4" WIDE

PAVEMENT LEGEND	
[Symbol]	DELINEATES STANDARD DUTY ASPHALT
[Symbol]	DELINEATES PROPOSED STANDARD DUTY CONCRETE

**BOHLER ENGINEERING NC, PLLC**

SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

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CHECKED BY:	WES
DATE:	11/4/2019
CAD I.D.:	SSP-0

PROJECT:  
**FINAL DESIGN REVIEW**

FOR

**EXPRESS OIL CHANGE**

**TIRE ENGINEERS**

238 ROBERT SMALLS PKWY.  
BEAUFORT COUNTY  
BEAUFORT, SC 29906

**BOHLER ENGINEERING NC, PLLC**  
NCBELS #1132

4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

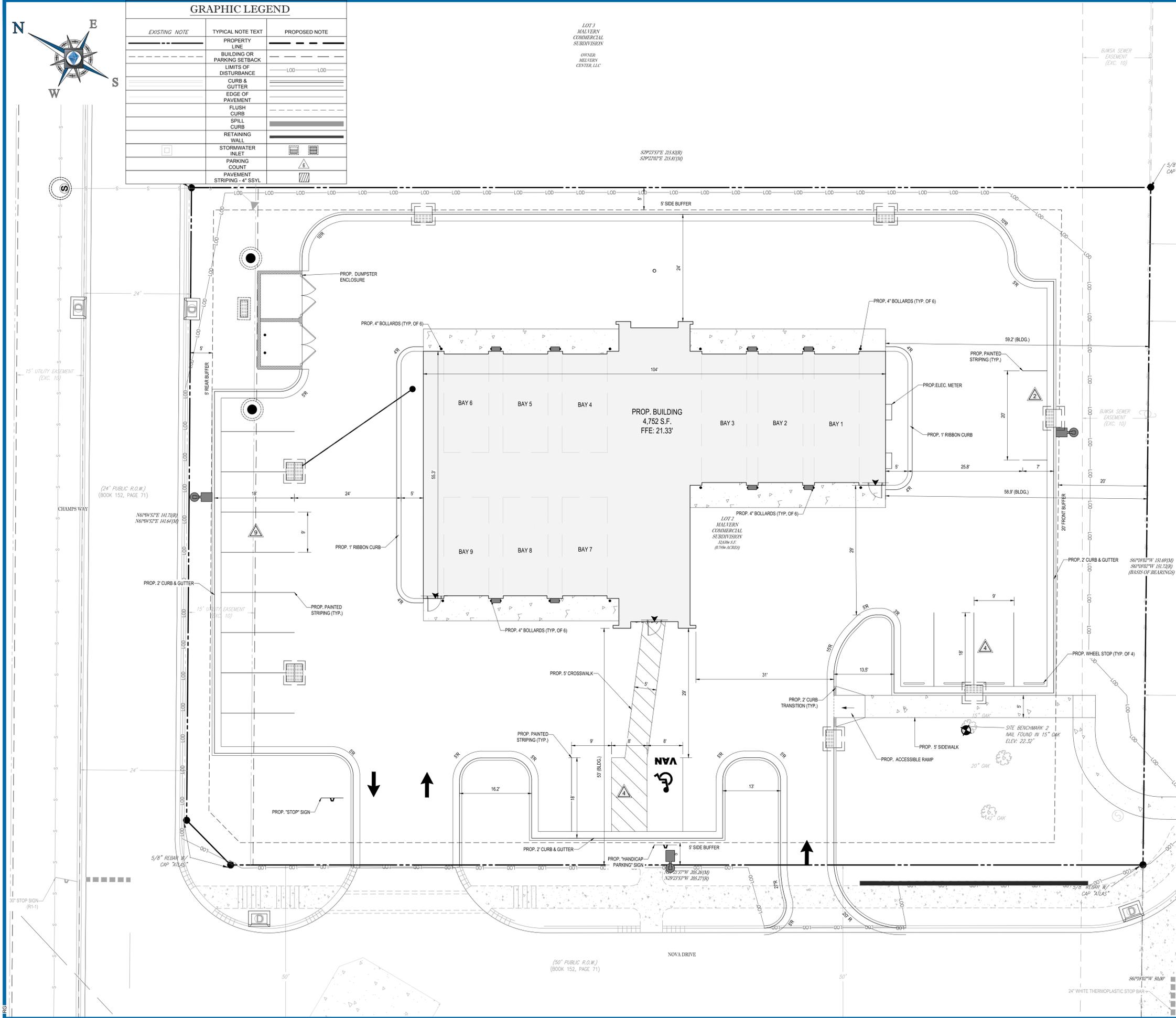
**NORTH CAROLINA PROFESSIONAL ENGINEER**

SEAL  
040241  
WYATT L. BONE  
11/14/19

SHEET TITLE:  
**SITE PLAN**

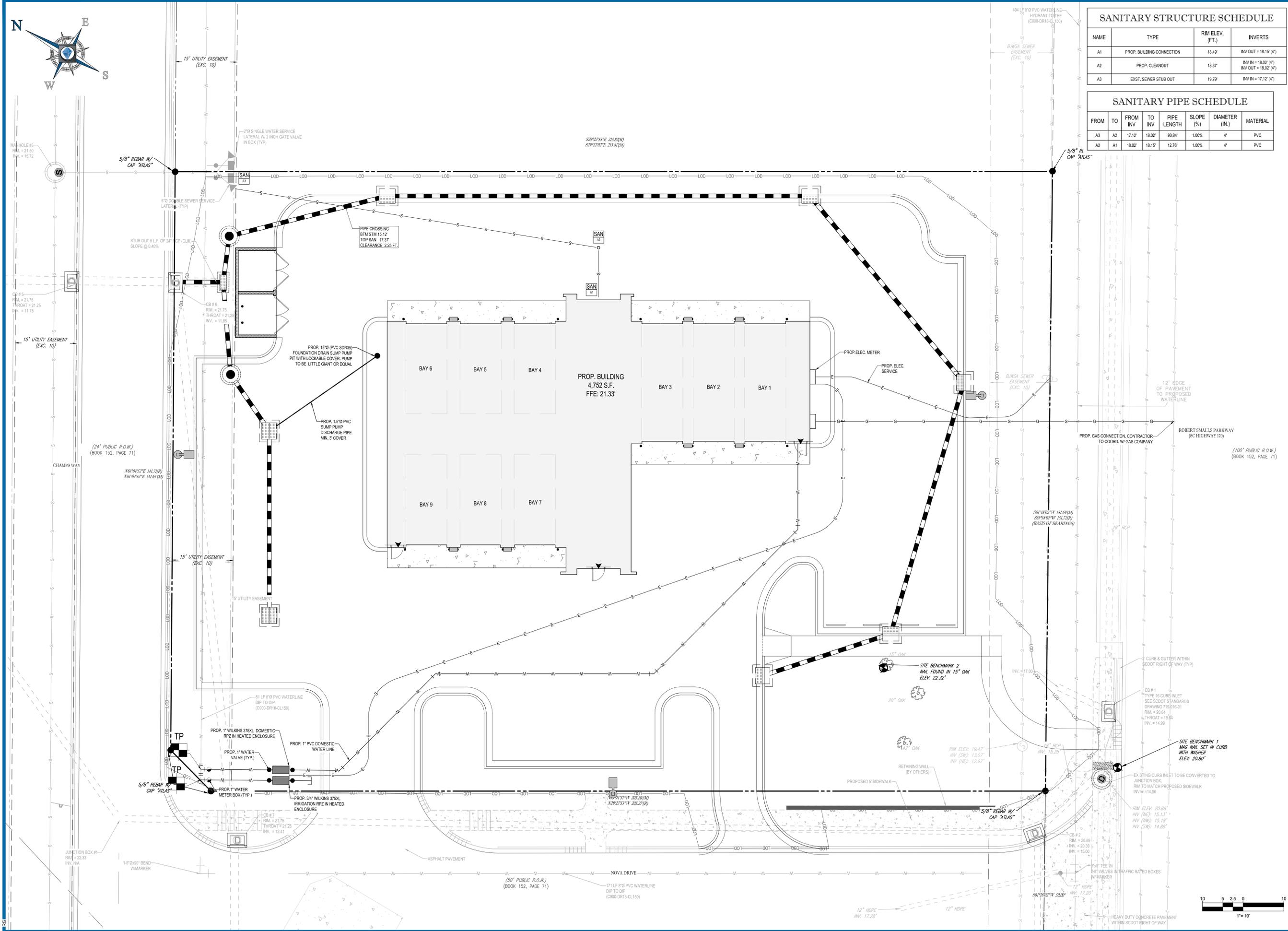
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**C-300**

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### SANITARY STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (FT.)	INVERTS
A1	PROP. BUILDING CONNECTION	18.49'	INV OUT = 18.15' (4")
A2	PROP. CLEANOUT	18.37'	INV IN = 18.02' (4") INV OUT = 18.02' (4")
A3	EXST. SEWER STUB OUT	19.79'	INV IN = 17.12' (4")

### SANITARY PIPE SCHEDULE

FROM	TO	FROM INV	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
A3	A2	17.12	18.02	90.8'	1.00%	4"	PVC
A2	A1	18.02	18.15	12.7'	1.00%	4"	PVC

**BOHLER ENGINEERING NC, PLLC**

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 DRAWN BY: RMG  
 CHECKED BY: WES  
 DATE: 11/4/2019  
 CAD I.D.: UTP-0

**FINAL DESIGN REVIEW**

FOR

**EXPRESS OIL CHANGE**  
**TIRE ENGINEERS**

238 ROBERT SMALLS PKWY.  
 BEAUFORT COUNTY  
 BEAUFORT, SC 29906

**BOHLER ENGINEERING NC, PLLC**  
 NCELS # 1132

4130 PARKLAKE AVENUE, SUITE 130  
 RALEIGH, NC 27612  
 Phone: (919) 578-9000  
 NC@BohlerEng.com

**NORTH CAROLINA PROFESSIONAL ENGINEER**

W. L. BOHLER  
 SEAL  
 040241  
 11/14/19

SHEET TITLE:  
**UTILITY PLAN**

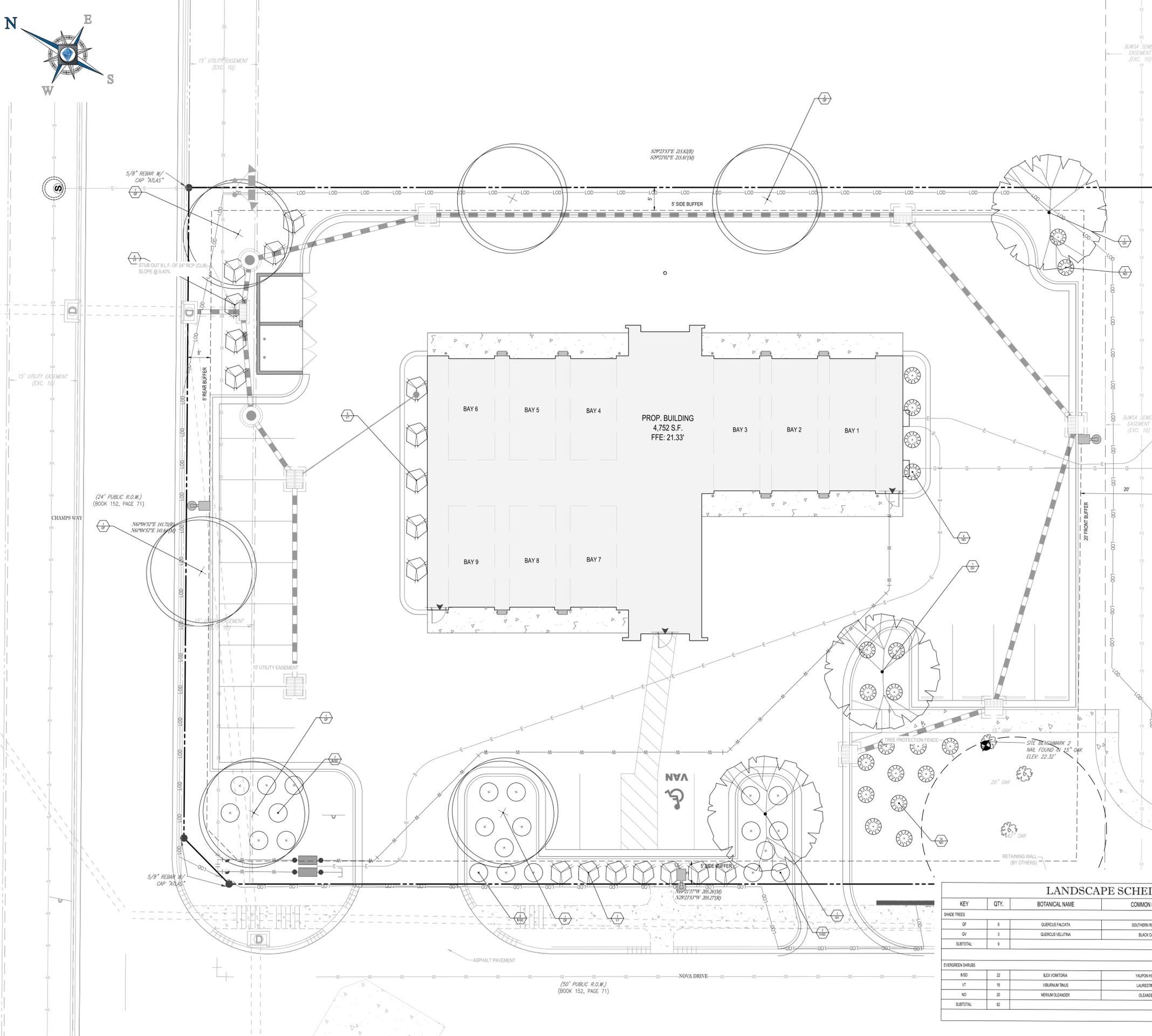
SHEET NUMBER:  
**C-500**

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- PLANTING NOTES:**
1. ALL LANDSCAPED AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
  2. ALL PLANT MATERIAL SHALL BE HEALTHY, MATURE, AND FREE OF PESTS AND DISEASE.
  3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
  4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
  5. ALL LAWN AREAS TO BE SEEDING SHALL USE A LOCALLY GROWN COMMERCIAL BERMUDA SEED MIX MEETING LATEST STATE OF NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.
  6. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
  7. ALL TREES MUST BE GUYPED OR STAKED AS SHOWN IN THE DETAILS.
  8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
  10. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION AND PROTECTION BEFORE DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
  11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE AND BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR A ONE YEAR GROWING PERIOD.
  12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED PRIOR TO SUBSTANTIAL COMPLETION SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
  13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
  14. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF TRIPLE SHRED HARDWOOD MULCH FROM A LOCAL MULCH SOURCE HARVESTED IN A SUSTAINABLE MANNER.
  15. BIODEGRADABLE WEEDING MAT OR PAPER MAT OR APPROVED EQUAL SHALL BE REQUIRED IN SHRUB BEDS AT BUILDING FACADE.
  16. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
  17. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GROWING.
  18. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.

- GENERAL NOTES:**
1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
  2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH THIS PLAN. ALL LAWN AREAS SHALL BE SEEDING WITH A LOCALLY GROWN COMMERCIAL SOD MEETING LATEST SOUTH CAROLINA DEPT. OF AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION. CONSULT LOCAL N.C.S.U. AGRICULTURAL EXTENSION OFFICE FOR PROPER FERTILIZER AND LIME APPLICATION RATES FOR LAWN SEEDING IN THE FORSYTH COUNTY AREA. FESCUE SOD, LOCALLY HARVESTED SHALL BE USED WITHIN THE PROPOSED SODDED AREA DELINEATED ON THE PLAN.
  3. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
  4. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA TO PROTECT ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
  5. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
  6. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

**BOHLER ENGINEERING NC, PLLC**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
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**CITY OF BEAUFORT, SOUTH CAROLINA COMPLIANCE CHARTS**

SECTION	REQUIREMENTS
5.5.1 BUFFER REQUIREMENTS	<b>REQUIRED:</b> WHEN AN AREA ZONED T5-UC ABUTS T3, T4-HN, OR ANY COUNTY RESIDENTIAL DISTRICT, A 5 FT SIDE AND REAR BUFFER MUST BE PROVIDED. IN THE BUFFER AT LEAST 2 BROAD-LEAVED OVERSTORY TREES MUST BE PRESERVED OR PLANTED IN OR IN CLOSE PROXIMITY TO THE BUFFER EVERY 100 FEET. <b>PROVIDED:</b> 2 OAKS PROVIDED PER 100 FEET OF BUFFERS. BUFFERS NOT REQUIRED ALONG ROBERT SMALLS PARKWAY DUE TO EXISTING UTILITY EASEMENT.
5.5.2 BUILDING PERIMETER LANDSCAPING (FOUNDATION BEDS)	<b>REQUIRED:</b> WHEN A BUILDING IS 1-STORY IN HEIGHT, THE FOUNDATION BEDS MUST BE: - MINIMUM WIDTH: 5 FT - MINIMUM LENGTH: 67% OF FRONT, 50% OF SIDE - VEGETATION COVERAGE: 67% OF FRONT, 50% OF SIDE <b>PROVIDED:</b> LENGTH: FOUNDATION PLANTINGS COVER 50% OF THE BUILDING FACING ROBERT SMALLS PARKWAY. THE OPPOSITE SIDE HAS FOUNDATION PLANTING COVERING 100% OF THE BUILDING. VEGETATION COVERAGE: SPECIES CHOSEN THAT WILL ADEQUATELY COVER BUILDING.
5.6.1 D LANDSCAPING INSTALLATION AND MAINTENANCE	<b>REQUIRED:</b> INSTALLED TREES MUST ADHERE TO THE GRADES AND STANDARDS OUTLINED IN THE ASMS. TREE REQUIREMENTS INCLUDE: - OVERSTORY TREES: CALIPER OF 2.5", 6" ABOVE THE GROUND - UNDERSTORY TREES: 8 FEET HIGH - SHRUBS: SHRUBS SHOULD GROW TO MATURITY WITHIN 3 YEARS. <b>PROVIDED:</b> NOTED IN LANDSCAPE SCHEDULE
5.7.8 A PARKING LOT SCREENING AND LANDSCAPING	<b>REQUIRED:</b> ALL PARKING SHALL BE SCREENED FROM THE PUBLIC RIGHT OF WAY OR PRIMARY VEHICULAR ACCESS POINT(S) WITH EVERGREEN SHRUBS. MINIMUM OPACITY AT PLANTING: 50% INSTALLATION HEIGHT: 2 FT. PROJECTED HEIGHT IN 4 YEARS: 4 FT. <b>PROVIDED:</b> CHOSEN SPECIES AND SPACING WILL ADEQUATELY SCREEN PARKING AT MATURITY. SCREENING NOT REQUIRED ALONG ROBERT SMALLS PARKWAY DUE TO EXISTING UTILITY EASEMENT.
5.7.8.3 PARKING LOT PENINSULA LANDSCAPING	<b>REQUIRED:</b> AT LEAST ONE BROAD LEAF TREE WITHIN EACH LANDSCAPE PENINSULA AND 50% COVERAGE OF SHRUBS. <b>PROVIDED:</b> EACH PENINSULA HAS ONE BROAD LEAF TREE AND SHRUBS.

**FOR CONCEPT PURPOSES ONLY**

PROJECT No.: XXXXXXXX  
 DRAWN BY: RMG  
 CHECKED BY: WES  
 DATE: 11/4/2019  
 CAD I.D.: LSP-0

**FINAL DESIGN REVIEW**

FOR \_\_\_\_\_

238 ROBERT SMALLS PKWY.  
 BEAUFORT COUNTY  
 BEAUFORT, SC 29906

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 11/14/19

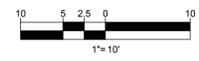
SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**C-700**

REVISION 0 - 11/4/2019

**LANDSCAPE SCHEDULE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL./HT.	CONT.
<b>SHADE TREES</b>					
QF	6	QUERCUS FALCATA	SOUTHERN RED OAK	2 1/2" CAL.	B-B
QV	3	QUERCUS VELITANA	BLACK OAK	2 1/2" CAL.	B-B
SUBTOTAL	9				
<b>EVERGREEN SHRUBS</b>					
#SD	22	ILEX VOMITORIA	YALPON HOLLY	30" HT. & SPREAD	#5 CAN
VT	18	VIBURNUM TRINUS	LAURESTINUS	34" HT. & SPREAD	B-B
NO	20	NERIUM OLEANDER	OLEANDER	34" HT. & SPREAD	B-B
SUBTOTAL	62				



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# LANDSCAPE SPECIFICATIONS

**1. SCOPE OF WORK:**  
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

**2. MATERIALS**  
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.  
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.  
1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW GROWTH.  
1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS.  
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER  
1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.  
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL  
1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.  
1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIALS.  
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.  
1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS THAT WILL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.  
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.  
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.  
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.  
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

**3. GENERAL WORK PROCEDURES**  
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.  
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

**4. SITE PREPARATIONS**  
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.  
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.  
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

**5. TREE PROTECTION**  
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.  
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.  
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.  
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

**6. SOIL MODIFICATIONS**  
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.  
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.  
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.  
1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.  
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.  
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

**7. FINISHED GRADING**  
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.  
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").  
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.  
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

**8. TOPSOILING**  
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.  
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.  
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.  
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA).  
1.1. 20 POUNDS GROW POWER OR APPROVED EQUAL  
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP  
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

**9. PLANTING**  
A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.  
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.  
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.  
D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL TO BACKFILLING.  
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.  
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:  
1.1. PLANTS: MARCH 15 TO DECEMBER 15  
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1  
G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.  
H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY. THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:  
ACER RUBRUM PLATANUS X ACERIFOLIA  
BETULA VARIETIES POPULUS VARIETIES  
CARPINUS VARIETIES PRUNUS VARIETIES  
CRATAEGUS VARIETIES PYRUS VARIETIES  
KOELREUTERIA QUERCUS VARIETIES  
LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA  
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

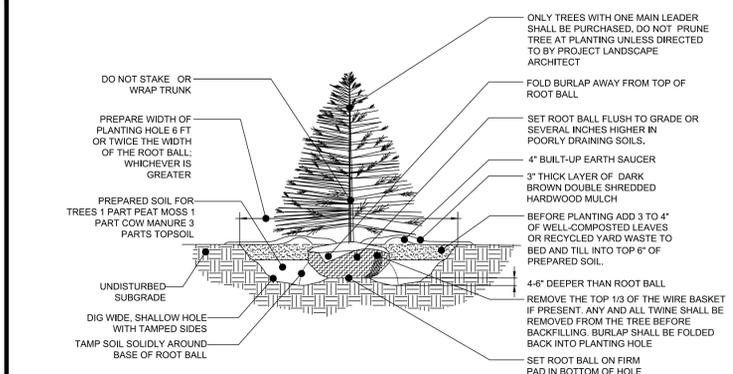
I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:  
• 1 PART PEAT MOSS  
• 1 PART COMPOSTED COW MANURE BY VOLUME  
• 3 PARTS TOPSOIL BY VOLUME  
• 21 GRAMS "AGRIFORM" PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:  
A) 2 TABLETS PER 1 GALLON PLANT  
B) 3 TABLETS PER 5 GALLON PLANT  
C) 4 TABLETS PER 15 GALLON PLANT  
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK  
J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.  
K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.  
L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.  
M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.  
N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.  
O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.  
P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

**10. TRANSPLANTING (WHEN REQUIRED)**  
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.  
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.  
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.  
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.  
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.  
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

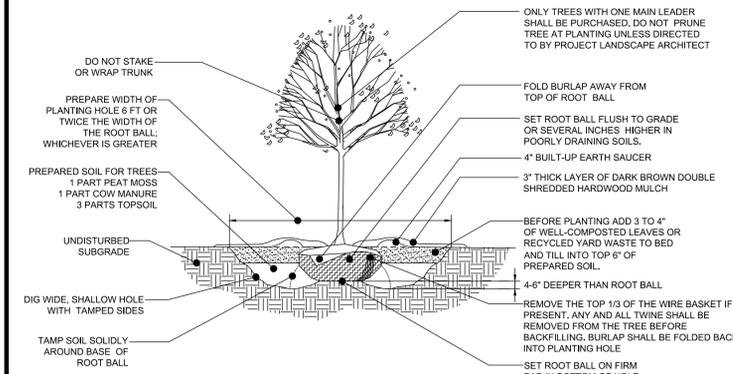
**11. WATERING**  
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.  
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.  
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

**12. GUARANTEE**  
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.  
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.  
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.  
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

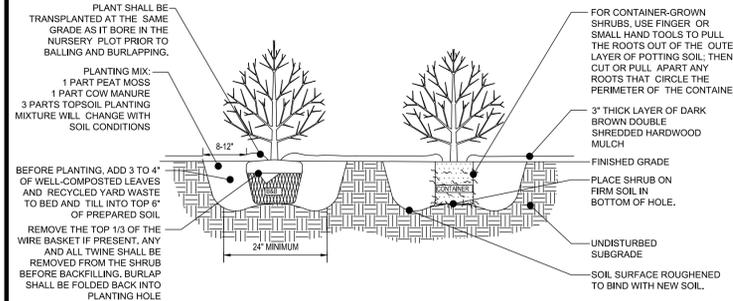
**13. CLEANUP**  
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.  
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



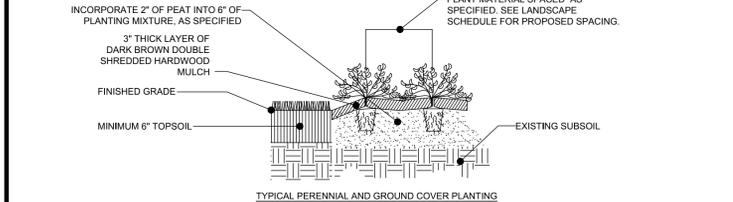
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



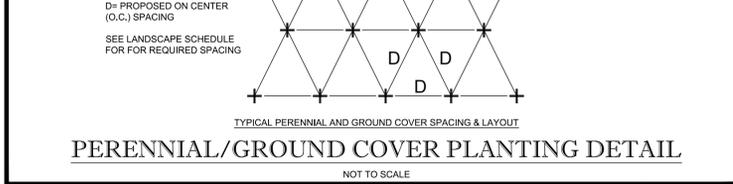
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**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



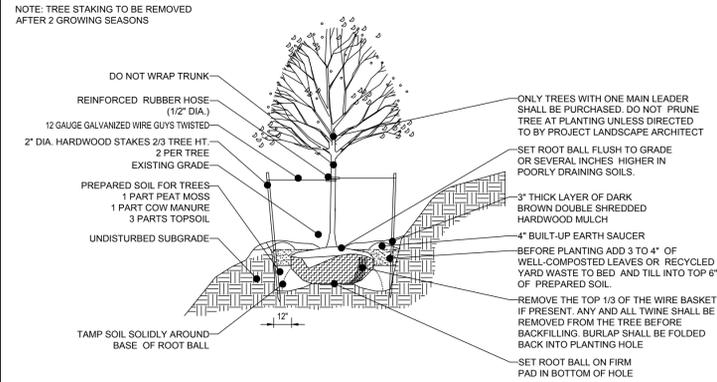
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**PERENNIAL/GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**PERENNIAL/GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**TREE PLANTING ON SLOPE DETAIL**  
NOT TO SCALE



**TREE PLANTING ON SLOPE DETAIL**  
NOT TO SCALE

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SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DESIGN BY	CHECKED BY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR CLIENT REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS RECALLED OTHERWISE.

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PROJECT No.:	XXXXXXXX
DRAWN BY:	RMG
CHECKED BY:	WES
DATE:	11/4/2019
CAD I.D.:	SDP-0

PROJECT: **FINAL DESIGN REVIEW**

FOR

**EXPRESS OIL CHANGE**

**TIRE ENGINEERS**

238 ROBERT SMALLS PKWY.  
BEAUFORT COUNTY  
BEAUFORT, SC 29906

**BOHLER ENGINEERING NC, PLLC**  
1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

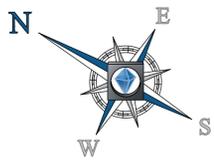
**North Carolina Professional Engineer Seal**  
WYATT L. BOHLE  
040241  
11/14/19

SHEET TITLE: **LANDSCAPE DETAILS**

SHEET NUMBER: **C-701**

REVISION 0 - 11/4/2019

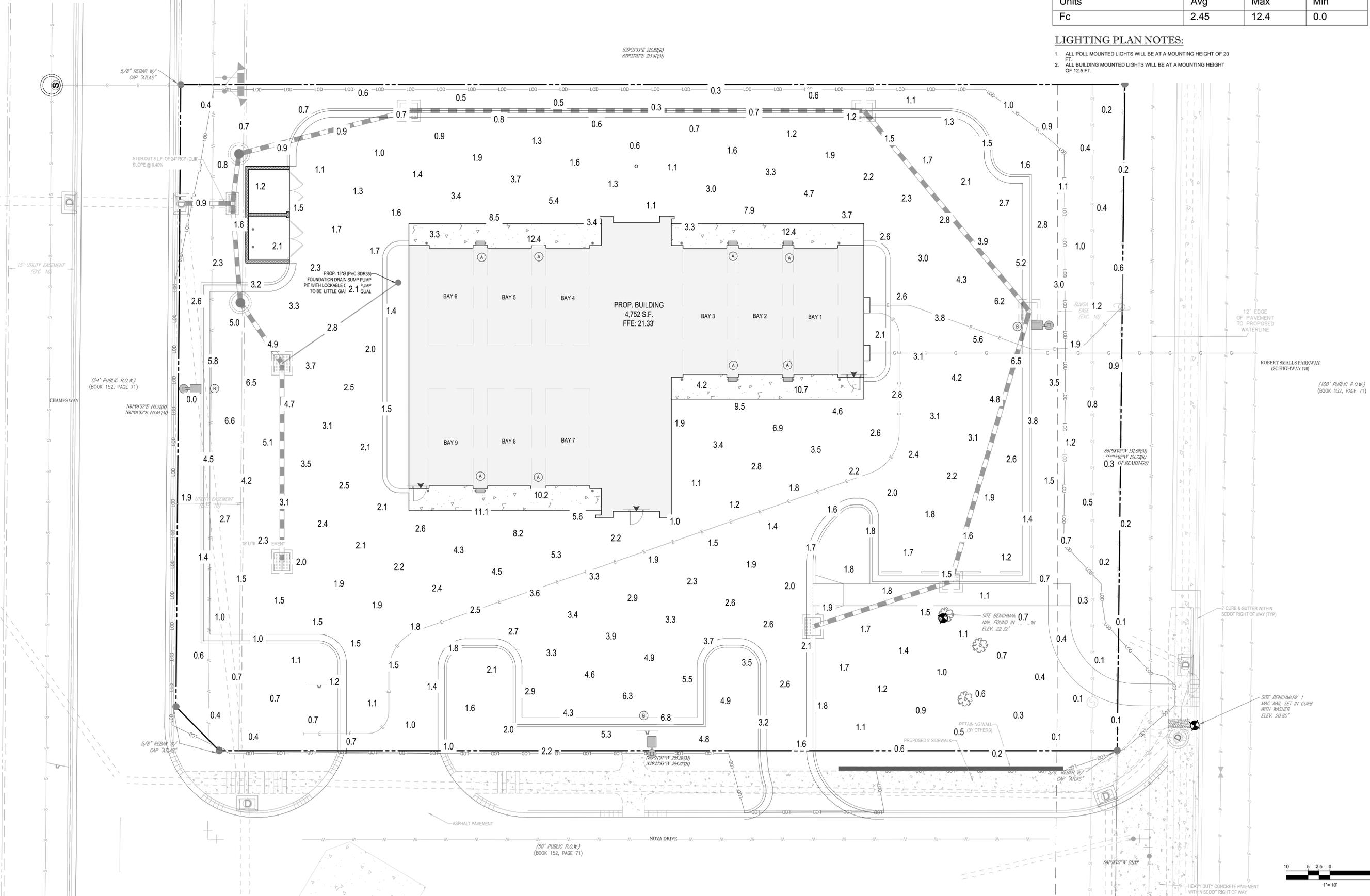
H:\2019\NCR192089\DRAWINGS\PLAN SETS\NCR192089 - SDP-0.dwg PRINTED BY: RGALLAGHER 11.14.19 @ 3:42 PM LAST SAVED BY: RGALLAGHER



Luminaire Schedule		
Qty	Symbol	Label
8	A	rab02600
3	B	ECF-S-48L-1A-NW-G2-3

Calculation Summary			
Units	Avg	Max	Min
Fc	2.45	12.4	0.0

- LIGHTING PLAN NOTES:**
- ALL POLL MOUNTED LIGHTS WILL BE AT A MOUNTING HEIGHT OF 20 FT.
  - ALL BUILDING MOUNTED LIGHTS WILL BE AT A MOUNTING HEIGHT OF 12.5 FT.



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PROJECT No.: XXXXXXXX  
 DRAWN BY: RMG  
 CHECKED BY: WES  
 DATE: 11/4/2019  
 CAD I.D.: LSP-0

**FINAL DESIGN REVIEW**

FOR \_\_\_\_\_

238 ROBERT SMALLS PKWY.  
 BEAUFORT COUNTY  
 BEAUFORT, SC 29906

**BOHLER ENGINEERING NC, PLLC**  
 4130 PARKLAKE AVENUE, SUITE 130  
 RALEIGH, NC 27612  
 Phone: (919) 578-9000  
 NC@BohlerEng.com

**NORTH CAROLINA PROFESSIONAL ENGINEERING SEAL**  
 W. L. BOHLER  
 040241  
 11/14/19

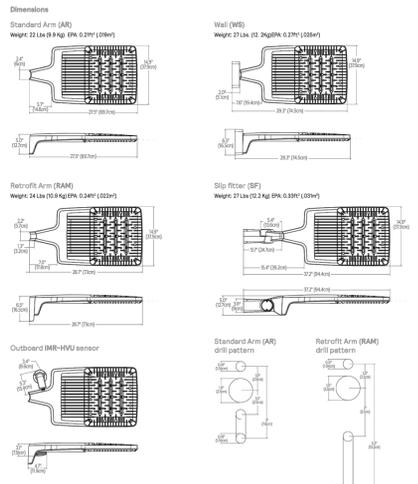
SHEET TITLE:  
**LIGHTING PLAN**

SHEET NUMBER:  
**C-702**

REVISION 0 - 11/4/2019

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**ECF-S EcoForm small Area luminaire**



ECF-S EcoForm small 04/19 page 6 of 8

**SLIM37YW**



**Technical Specifications**

**UL Listing:** Suitable for wet locations. Wet Mount only.

**RECAL LED's & LM-80 Testing:** RECAL LED's have been tested by an independent laboratory in accordance with IESNA LM-80 and LM-81, and have received the Department of Energy "Lighting Facts" seal.

**Construction:** Designed for outdoor use. All components are UV resistant and designed for long life.

**IP Rating:** IP66. Formulated for high durability and long lasting color.

**Color Stability:** LED color temperature is warranted to shift no more than 2000K in CCT over a 5 year period.

**Color Consistency:** 7-step Macdonald Elgare binning to achieve consistent beam to beam color.

**Electrical:** Driver: Constant Current. Wattage: 37W. Color Temp: 3000K. Color Accuracy: T1 CRI. L70 Lifetime: 100,000 hours. Lifetime: 100,000 hours. Efficiency: 104 LPW.

SLIM37YW 04/19 page 7 of 8

**GARDCO EcoForm**

Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

**Ordering guide**

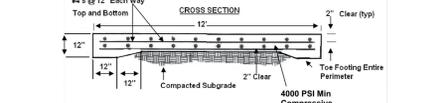
example: ECF-S-64L-900-NM-Q2-AR-S-120-165-M07

ECF-S	Color	Wattage	Arm	Mount	Height	Finish	Notes
64L	900	900	NM	Q2	AR	S	120-165-M07

1. SLIM37YW equipped with cut-off sensor lighting when voltage is 110V-120V.
2. Mounting kit 4" round pole with adapter included for 100mm poles.
3. Limited to a maximum of 48 poles per mounting kit.
4. Not available with other dimming control systems.
5. Not available with other control systems.
6. Not available with photocell.
7. Available only in 100 or 120V.
8. Not available with 100 or 120V.
9. Available only with Type 1 and 2B poles.
10. Available only with Type 1 and 2B poles.
11. Available only with 100 and 120V poles.
12. Mounting kit with 4" round pole with adapter included for 100mm poles.
13. Limited to a maximum of 48 poles per mounting kit.
14. Not available with other dimming control systems.
15. Not available with other control systems.
16. Not available with photocell.

ECF-S EcoForm small 04/19 page 8 of 8

**Standard Dumpster Pad Detail**



**Maximum horizontal slope not to exceed 3%**

**PLAN VIEW:** 20' x 12' concrete pad with 2" clear zone. Sawed contraction joint (1-1/2" deep).

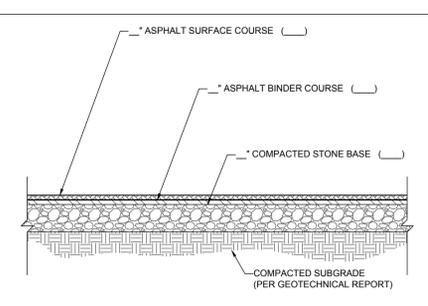
**NOTE:** Position the dumpster pad such that the truck can approach the containers head on.

- To do this, take into consideration the turning radius, truck length, and angle of the approach.
- The access area, approach, and pad must be level.
- Truck shall approach dumpster on the long axis as shown.
- Contractor SHALL NOT place any other structure on the 20' x 12' concrete pad that may inhibit the truck from servicing the dumpster.
- Gates must be provided with a mechanism to secure them in the fully opened position.
- Dual pads shall be 25' (wide) x 20' (deep).
- If a grease storage container is to be utilized, the container must be accounted for and secured within an approved enclosure.
- A 10' x 12' fence or wall may be constructed to enclose the pad; however, it must be constructed off of the pad and 12' opening maintained to the approach and stops installed so the gates can be secured when open.

**Screening Requirements from Zoning Ordinance Section 6-300(F)(2)a**

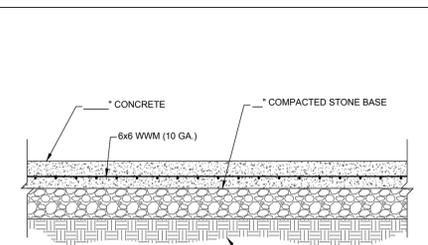
A solid screen shall be provided to match the height of the receptacle(s) made of durable architectural materials used in the primary building's facade. When the dumpster is placed in public view, such as on a side of a building facing a street or driveway, it shall have an opaque, non-wooden gate, such as vinyl or metal. When the dumpster is placed outside of public view, such as behind a building in a service area, an opaque, non-wooden gate still must be used, but it may consist of chain link with vinyl or metal slats. Foundation plantings based on the type of primary building on the site are required around non-access perimeter of the screen wall. For legally nonconforming, developed sites (where dumpsters were not required to be screened at the time of the site development), the Planning and Development Director may approve alternative screening materials based on the location of the dumpster and the age of the development.

City of Rock Hill standard dumpster height is 88".



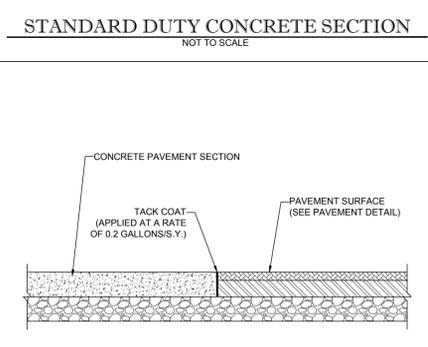
**NOTE:** 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF \_\_\_ PER GEOTECHNICAL REPORT PREPARED BY ENTITLED DATED (PROJECT # \_\_\_). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**STANDARD DUTY ASPHALT PAVEMENT SECTION**



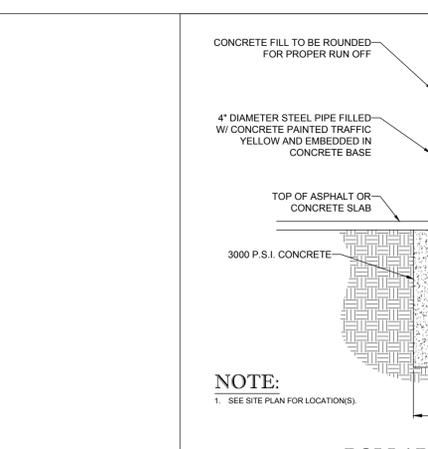
**NOTE:** 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF \_\_\_ PER GEOTECHNICAL REPORT PREPARED BY ENTITLED DATED (PROJECT # \_\_\_). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**STANDARD DUTY CONCRETE SECTION**

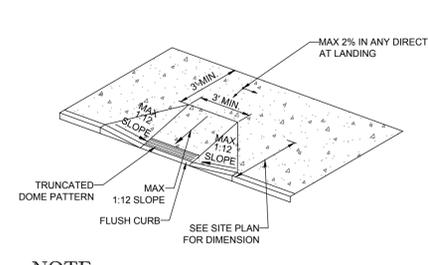


**NOTE:** 1. SEE SITE PLAN FOR LOCATIONS.

**BOLLARD DETAIL**

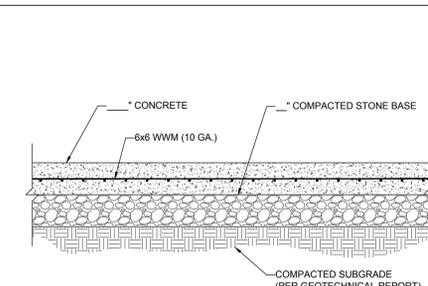


**NOTE:** 1. SEE SITE PLAN FOR LOCATIONS.



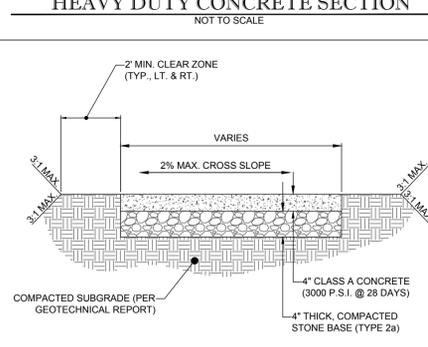
**NOTE:** 1. ADA ACCESSIBLE RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA ACCESSIBLE GUIDELINES.

**ADA ACCESSIBLE RAMP DETAIL**



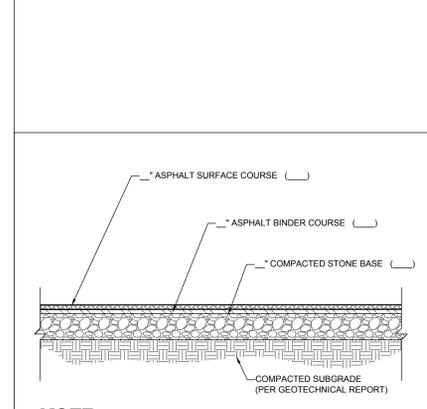
**NOTE:** 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF \_\_\_ PER GEOTECHNICAL REPORT PREPARED BY ENTITLED DATED (PROJECT # \_\_\_). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY CONCRETE SECTION**



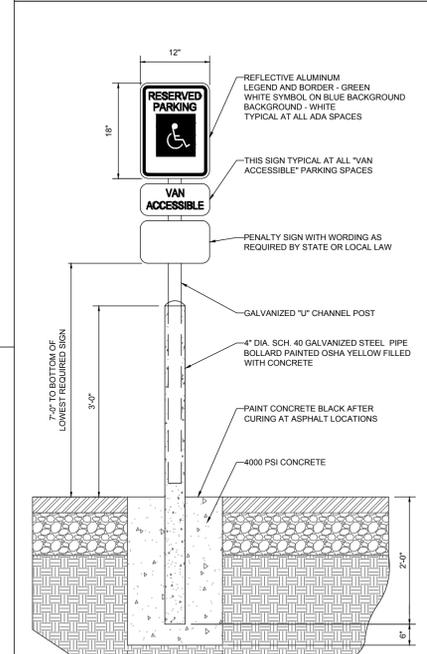
**NOTE:** 1. EXPANSION JOINTS 1/2" WIDE PREMOLDED BIT MATERIAL SHALL BE INSTALLED AT 30' INTERVALS, CRACK CONTROL JOINTS TO BE SPACED AT INTERVALS EQUAL TO SIDEWALK WIDTH.

**CONCRETE SIDEWALK DETAIL**



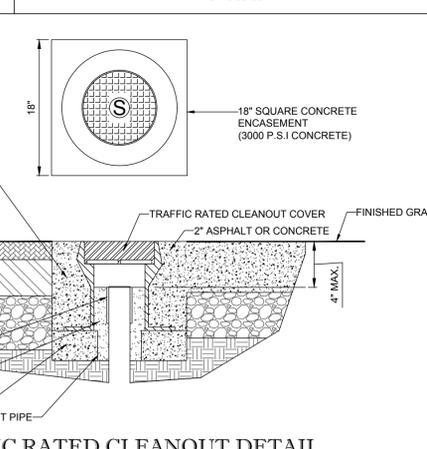
**NOTE:** 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF \_\_\_ PER GEOTECHNICAL REPORT PREPARED BY ENTITLED DATED (PROJECT # \_\_\_). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

**HEAVY DUTY ASPHALT PAVEMENT SECTION**



**NOTE:** ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

**BOLLARD MOUNTED ADA PARKING SIGN DETAIL**



**NOTE:** 1. SEE SITE PLAN FOR LOCATIONS.

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PROSCAPE ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
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PERMITTING SERVICES  
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DATE: 11/4/2019  
CAD I.D.: SDP-0

**FINAL DESIGN REVIEW**

FOR

**EXPRESS OIL CHANGE**

**TIRE ENGINEERS**

238 ROBERT SMALLS PKWY.  
BEAUFORT COUNTY  
BEAUFORT, SC 29906

**BOHLER ENGINEERING NC, PLLC**

4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

**North Carolina Professional Engineer**

W. L. BOHLER  
040241  
11/14/19

**CONSTRUCTION DETAILS I**

SHEET NUMBER: **C-800**

REVISION 0 - 11/4/2019

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1114/2019  
W-08

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CHECKED BY: WES  
DATE: 11/4/2019  
CAD I.D.: SDP-0

PROJECT:  
FINAL DESIGN  
REVIEW

FOR

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BEAUFORT COUNTY  
BEAUFORT, SC 29906

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NCBELS P-1132

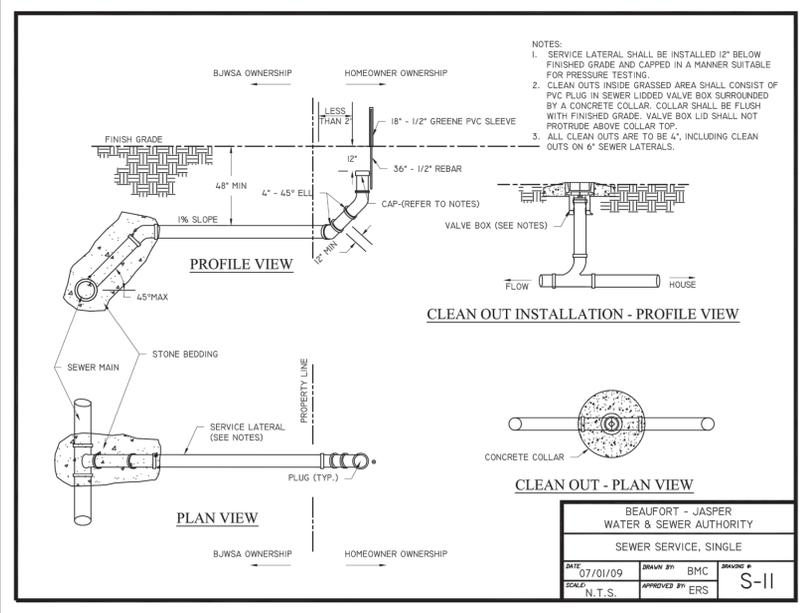
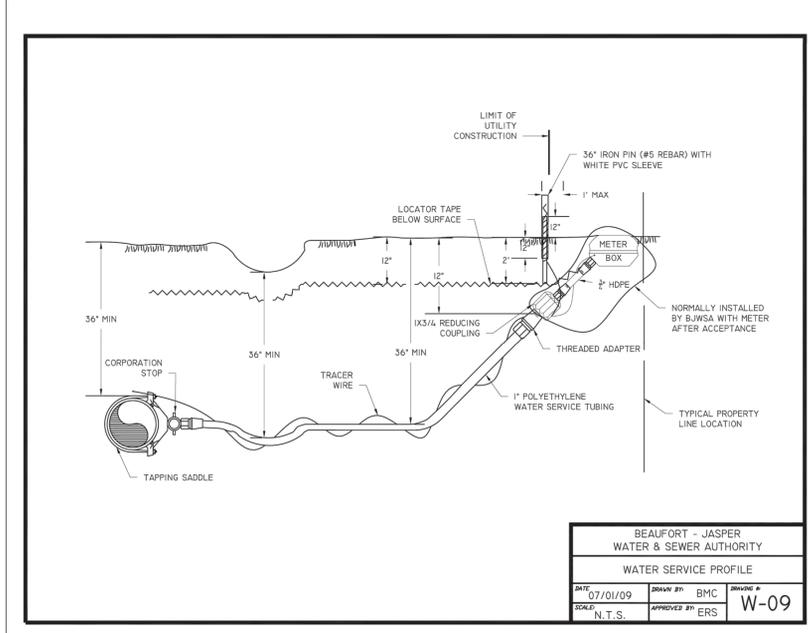
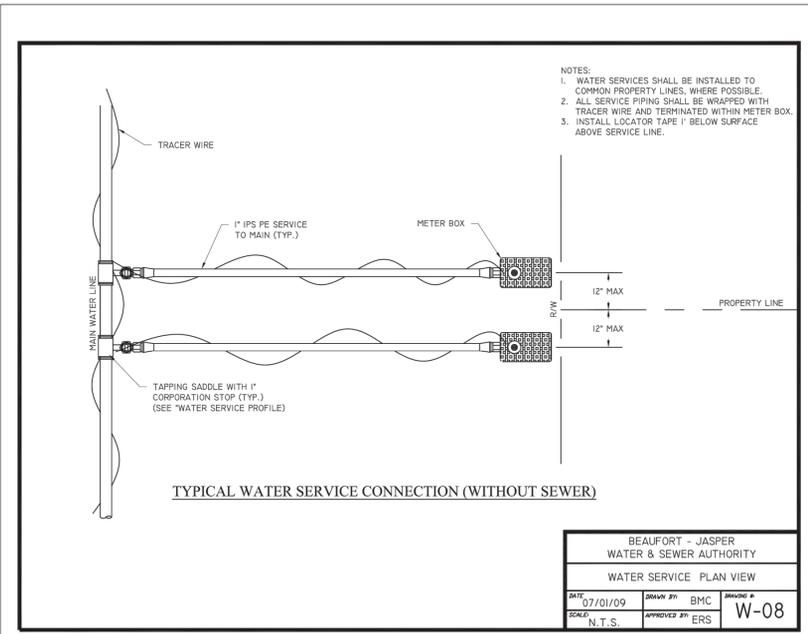
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

NORTH CAROLINA  
PROFESSIONAL  
ENGINEER  
WYATT L. BONE  
040241  
11/14/19

SHEET TITLE:  
CONSTRUCTION  
DETAILS II

SHEET NUMBER:  
**C-801**

REVISION 0 - 11/4/2019



H:\2019\NCR192089\DRAWINGS\PLAN SETS\NCR192089 - SDP-0.dwg LAYOUT\_C801 - CONSTRUCTION DETAILS II

**104 Factory Creek**

**PIN R123 015 0000 0785 0000**

Applicant: Live Oak Builders on behalf of Mike Hipps

The applicant is requesting approval of new construction of a single-family dwelling in a Legacy PUD.



# Design Review Board Meeting Staff Report

From the Department of Community and Economic Development  
13 February 2020

## 1 SUMMARY OF REQUEST

---

Live Oak Builders, on behalf of Mike Higgs, is requesting approval of construction of a new single-family house in the Lady's Island Marina Village LPUD.

## 2 FACTS

---

<b>Property Address:</b>	102 Factory Creek
<b>Parcel ID:</b>	R123 015 0000 0785 0000
<b>Case Number:</b>	20-03.01 DRB
<b>Applicant:</b>	Live Oak Builders, LLC
<b>Type of Request:</b>	Final Review - New Construction
<b>Use:</b>	Residential

The PUD specifies that review of all buildings shall be done by the DRB. This has not come before the DRB previously.

Marina Village is a 5.64 acre mixed use infill redevelopment project. Up to 58 residential units are permitted; internal parking is required. There is a landscaped buffer/berm along Sea Island Parkway at the location of this lot.

### **Development Standards:**

Zoning – PUD

Setbacks:     Front: 0-12' build-to line  
                  Side: 0'  
                  Rear: 0'

Maximum Height: 50'

Maximum Site Coverage: 100%

Minimum Porch/Awning Coverage: 10%

Parking: 1 space per unit is required

Critical line Setback: 30' – special areas of up to 25% of the property along the critical line may encroach to up to 20' from the critical line.

### 3 APPLICABLE GUIDELINES

---

The Adopted PUD applies to this project

### 4 STAFF ASSESSMENT

---

1. The building meets all the requirements of the PUD.
2. There is a provision in the PUD for a public marsh boardwalk in the future. It appears that this can be accommodated in this plan.
3. Samples for exterior materials and paint colors will be available at the meeting.
4. The building has been approved by the Marina Village Architectural Review Board.

### 5 STAFF RECOMMENDATION

---

Staff takes no exception to this project and recommends approval by the Board.



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

\$ PAID 1/16/2020

Application Fee:
\$200/meeting
\$500/special meeting

20-03 DRB.1

w/codes

OFFICE USE ONLY: Date Filed: 1/16/2020 Application #: 20075 Zoning District: LPW Arch. Survey? Y N

Schedule: The Design Review Board (DRB) typically meets the 2nd Thursday of each month at 2pm. The complete schedule, along with the list of deadlines, may be found here - http://www.cityofbeaufort.org/design-review-board.aspx

Submittal Requirements: All forms and information shall be submitted digitally. In addition to a complete application form, applicants shall submit the required items according to the checklists on the subsequent page.

Review Request: [ ] Conceptual [ ] Preliminary [X] Final

Pursuant to Section 6-29-1145 of the South Carolina Code of Laws, is this tract or parcel restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity described in this application? [ ] Yes [X] No

Applicant, Property, and Project Information

Applicant Name: LIVE OAK BUILDERS

Applicant Address: 2020 RIBAUT ROAD PORT ROYAL SC 29935

Applicant E-mail: JASON@LIVEOAKBUILDERS.COM Applicant Phone Number: 843-524-2343

Applicant Title: [ ] Homeowner [ ] Tenant [ ] Architect [ ] Engineer [ ] Developer [X] CONTRACTOR

Owner (if other than the Applicant): MIKE HIPPS

Owner Address: 226 GOLDENSTAR LN. GREEN SC 29651

Project Name: HIPPS

Property Address: 104 FACTORY CREEK CT.

Property Identification Number (Tax Map & Parcel Number): R123 015 0000 0785 0000

Date Submitted: 1/10/2020

Certification of Correctness: I/we certify that the information in this application is correct.

Applicant's Signature: [Signature] Date: 1.16.20

Owner's Signature: [Signature] Date: 1.16.20

(The owner's signature is required if the applicant is not the owner.)



DEVELOPMENT REVIEW PROCESS
DESIGN REVIEW BOARD APPLICATION

Community and Economic Development Department
1911 Boundary Street, Beaufort, South Carolina, 29902
p. (843) 525-7011 / f. (843) 986-5606
www.cityofbeaufort.org

Required Project Information

Project Name: H.P.P.S

Property Size in Acres: 0.18 Proposed Building Use: RESIDENCE

Building Square Footage (if multiple buildings, please list each one and their square footage by floor):

2250 H/C TOTAL UNDER ROOF 4884

# of Parking Spaces Required: # of Parking Spaces Provided:

Is this project a redevelopment project: Y [X]

Are there existing buildings on the site? Y [X] if yes, will they remain? Y N

Provide a brief Project Narrative and outline any specific questions you would like addressed.

Multiple horizontal lines for project narrative input.

CONTACT INFORMATION -

Attention: Julie A. Bachety, Administrative Assistant II

City of Beaufort Department of Planning & Development Services

1911 Boundary Street, Beaufort, South Carolina 29902

E-Mail: jbachety@cityofbeaufort.org | Phone: (843) 525-7011 | Fax: (843) 986-5606

**Lisa Simmons**

---

**Subject:** FW: Re: Hipps-Lot 5 construction plans

----- Forwarded Message -----

**Subject:** Re: Hipps-Lot 5 construction plans  
**Date:** Thu, 29 Aug 2019 12:59:29 +0000 (UTC)  
**From:** mike spalding <[mikespalding@att.net](mailto:mikespalding@att.net)>  
**To:** michael hipps <[michael.hipps@oracle.com](mailto:michael.hipps@oracle.com)>

Hi Mike,

I must apologize for not getting back to you until today but I had an eye surgery up here in Indianapolis at noon yesterday and did not see your email until last night.

After reviewing your plans and as President of the POA of Cottages at Factory Creek I do hereby give approval for you to move forward. There are however a few questions I have regarding the finishes of some of the outside surfaces.

We will not be back in Beaufort until late Saturday afternoon and I would look forward to meeting you any time after then, preferably Sunday if possible.

You are always welcome to call me at any time on my mobile # 317-418-8866 and I would appreciate if you did so upon receiving this email.

Thanks,

Mike

On Wednesday, August 28, 2019, 12:18:58 PM EDT, michael hipps <[michael.hipps@oracle.com](mailto:michael.hipps@oracle.com)> wrote:

Hi Mike,

Here is a preliminary submission for approval to build my permanent residence at 104 Factory Creek Court, Lot 5.

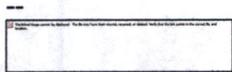
Files included are plans with all elevations shown, tree and topo, and site plan with proposed footprint.

Todd Bradley, Live Oak Builders, will be the builder.

I'm in town for the next several days if you would like to discuss, or meet at the lot.

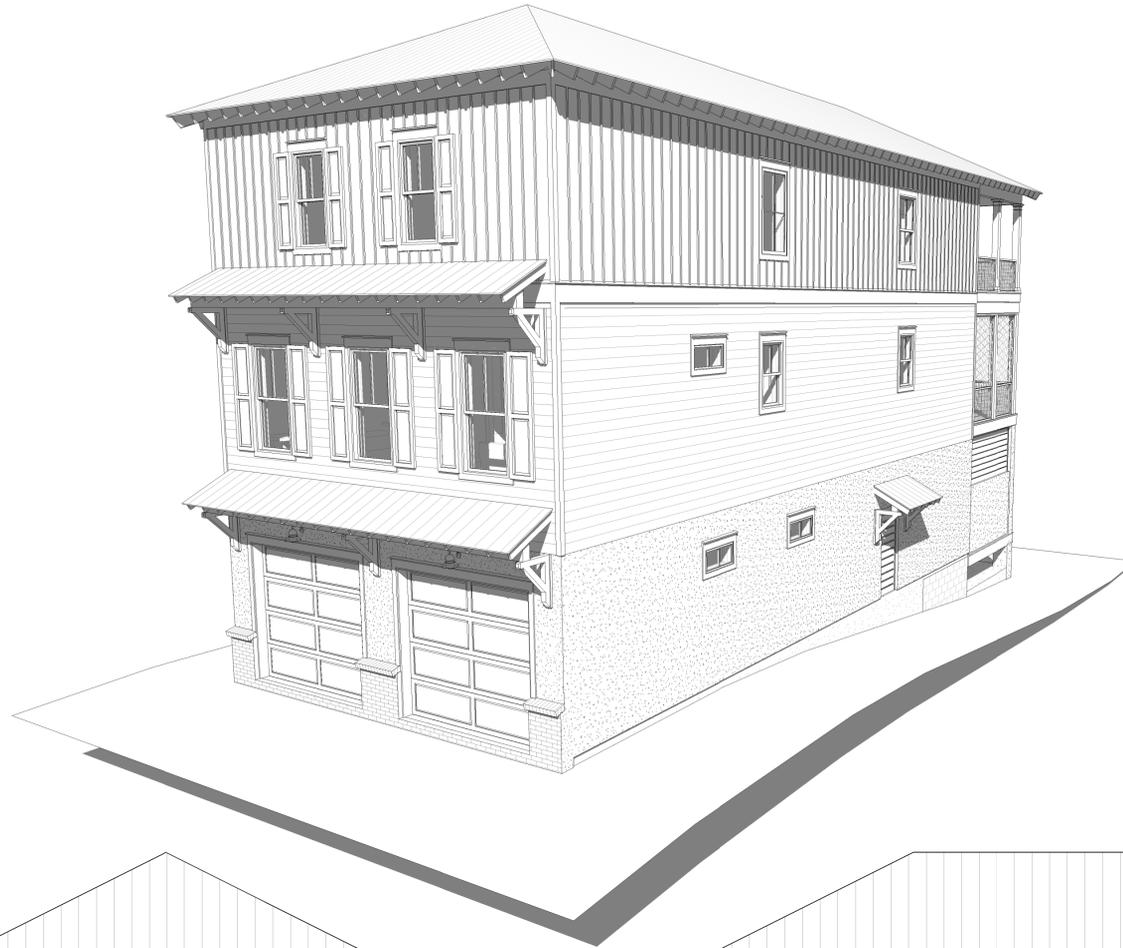
And if you don't mind sharing, I would appreciate your mobile #. Mine is below.

Thanks, Mike

--  
  
Mike Hipps | Sr. Director, Sales Consulting  
Mobile: +1 8647873197

# New Residence for Mike & Michelle Hipps

104 Factory Creek Ct  
Beaufort, SC 29907



Sheet List	
Sheet Name	Sheet Number
Cover Sheet	A10
Floor Plans	A11
Elevations - Front & Right	A21
Elevations - Rear & Left	A22
Site	C11
Drainage & Grading	C12
Electrical - Ground & First Floor	E11
Electrical - Second Floor	E12
Foundation & Ground Floor Deck Framing	S11
1st, 2nd, & 2nd Ceiling Framing	S12
Roof Framing & Framing Details	S13
Strapping & Holdowns - Mono Slabs	S21
Strapping & Holdowns - Stem Wall	S22

Area Schedule	
<b>Heated</b>	
First Floor	1350 SF
Second Floor	900 SF
	2250 SF
<b>Unheated</b>	
Garage	755 SF
"Creekside Lounge" / Stairwell	577 SF
Outdoor Kitchen	300 SF
First Floor Screen Porch	300 SF
Second Floor Covered Porch	300 SF
Attic / Storage	402 SF
	2634 SF
<b>Total</b>	<b>4884 SF</b>



**LIVE OAK BUILDERS**  
2020 Ribaut Road, Port Royal, SC 29935  
(843) 524-2343 liveoakbuilders@embarqmail.com

No.	Description	Date

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104 Factory Creek Ct  
Beaufort, SC 29907

Date Dec. 23, 2019

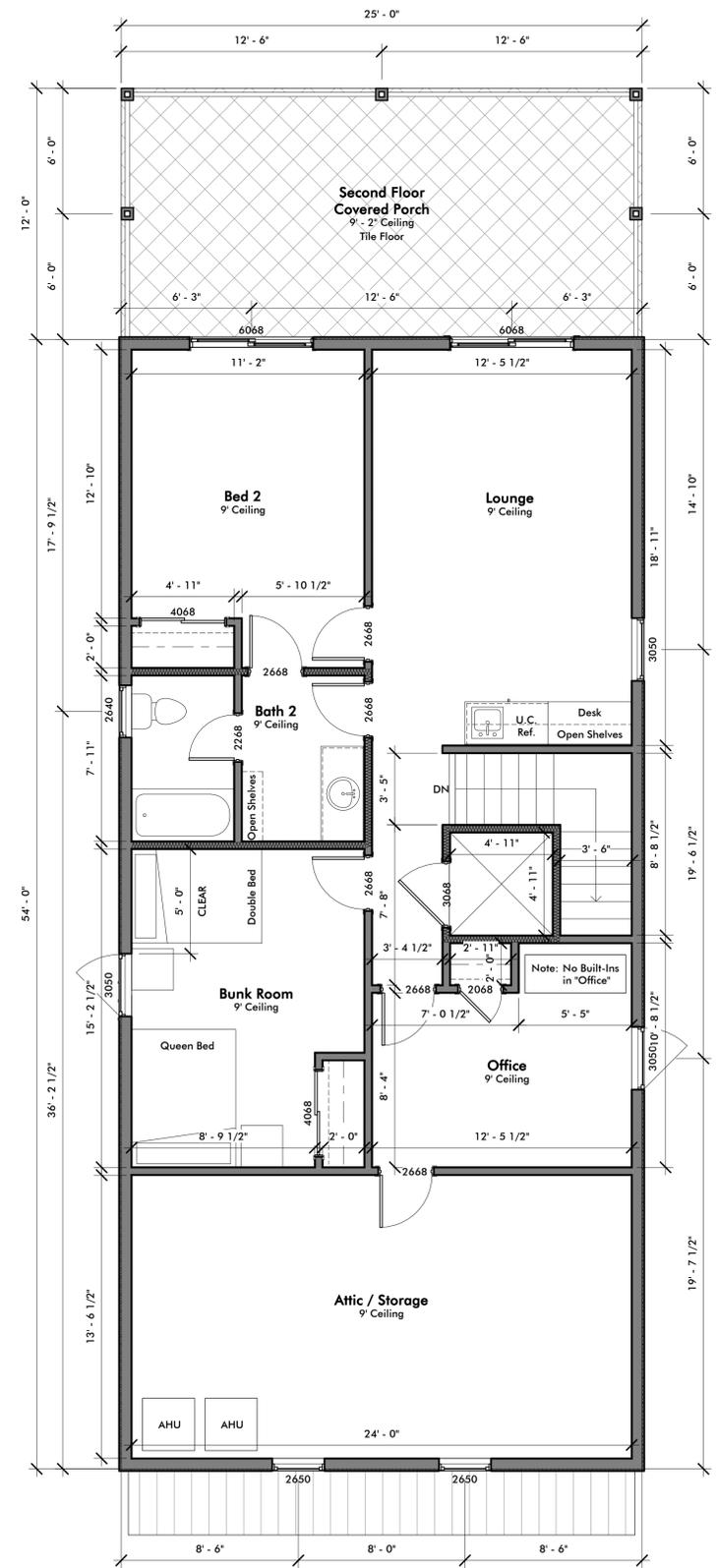
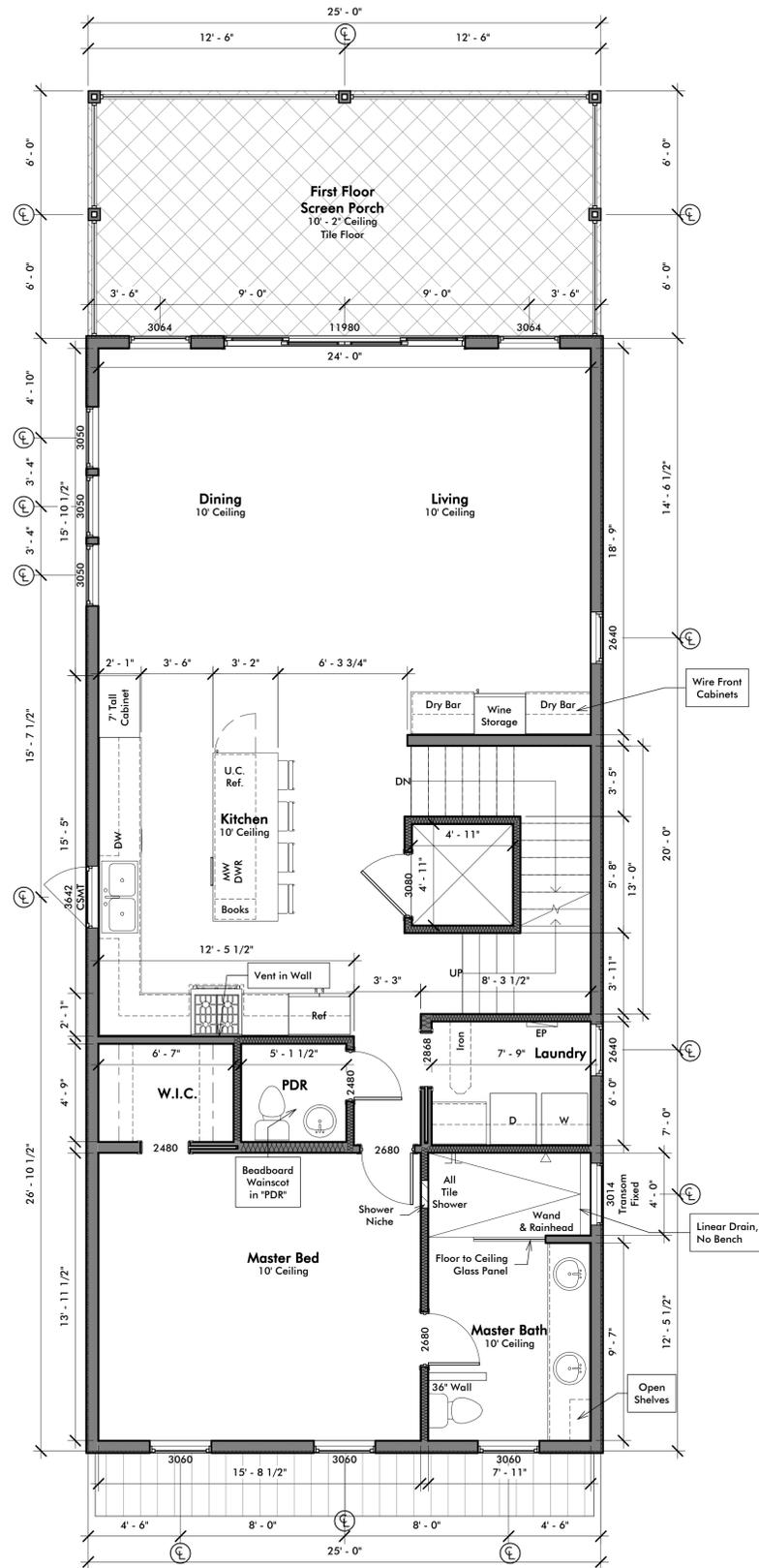
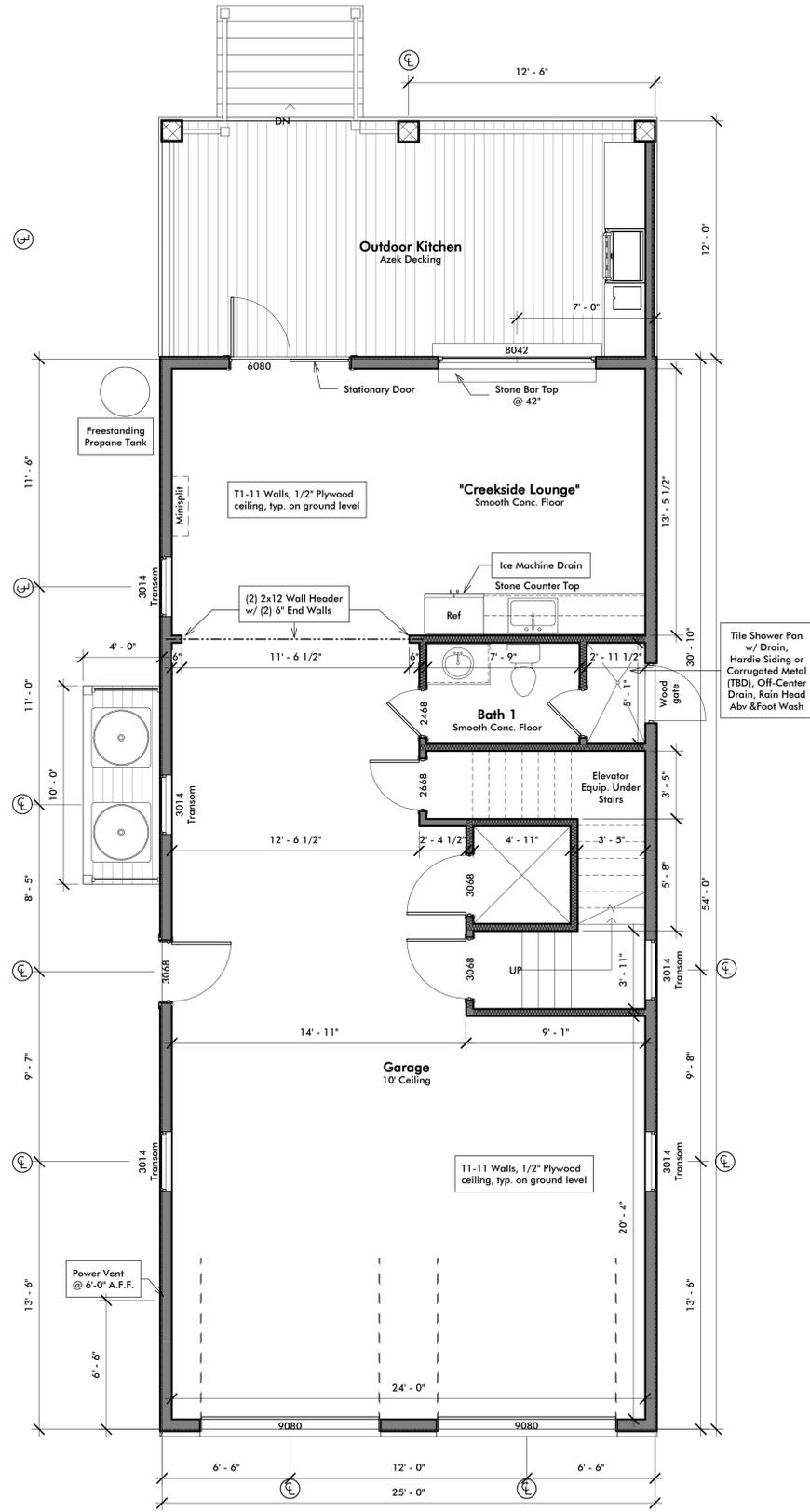
Scale 1/4" = 1'-0"

Cover Sheet

**A10**

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12/23/2019 11:02:17 AM



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(843) 524-2343 liveoakbuilders@embarqmail.com

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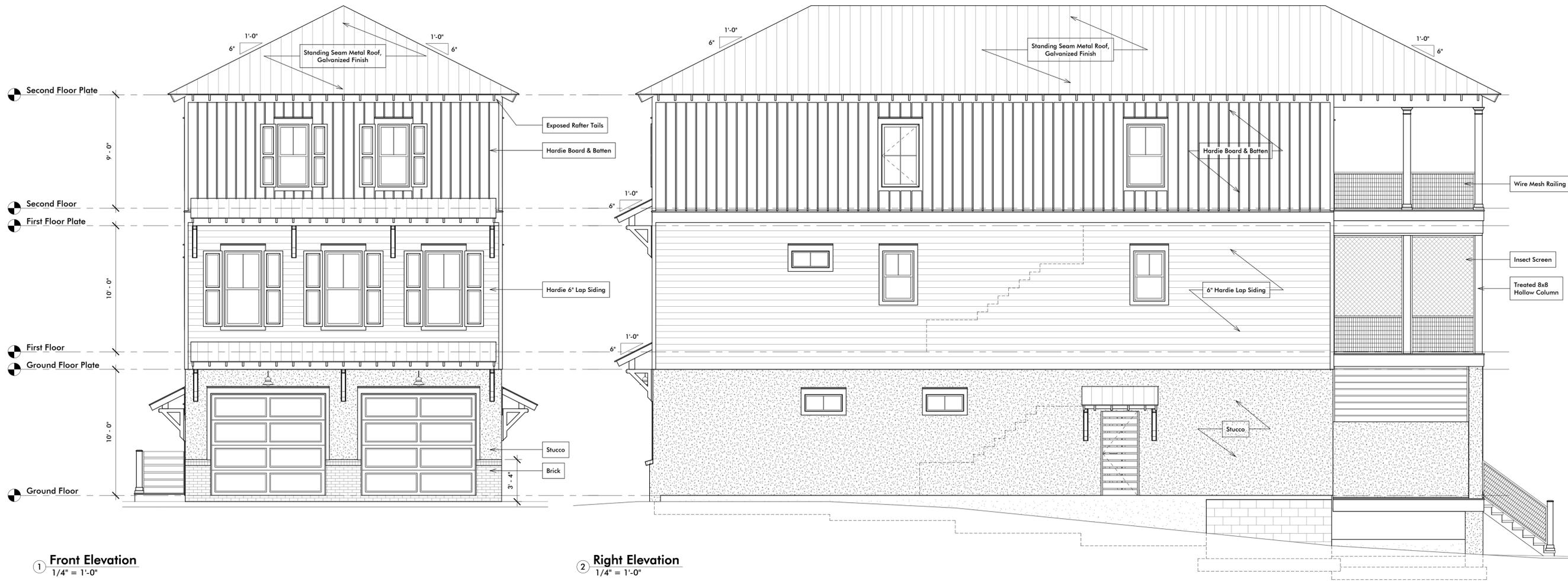
Date Dec. 23, 2019  
Scale 1/4" = 1'-0"

Floor Plans

A11

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① **Front Elevation**  
 1/4" = 1'-0"

② **Right Elevation**  
 1/4" = 1'-0"

No.	Description	Date

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 Mike & Michelle Hipps**

104 Factory Creek Ct  
 Beaufort, SC 29907

Date Dec. 23, 2019  
 Scale 1/4" = 1'-0"

Elevations -  
 Front & Right

**A21**

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① **Rear Elevation**  
 1/4" = 1'-0"

② **Left Elevation**  
 1/4" = 1'-0"

No.	Description	Date

**New Residence for  
 Mike & Michelle Hipps**

104 Factory Creek Ct  
 Beaufort, SC 29907

Date Dec. 23, 2019  
 Scale 1/4" = 1'-0"

**Elevations -  
 Rear & Left**

**A22**

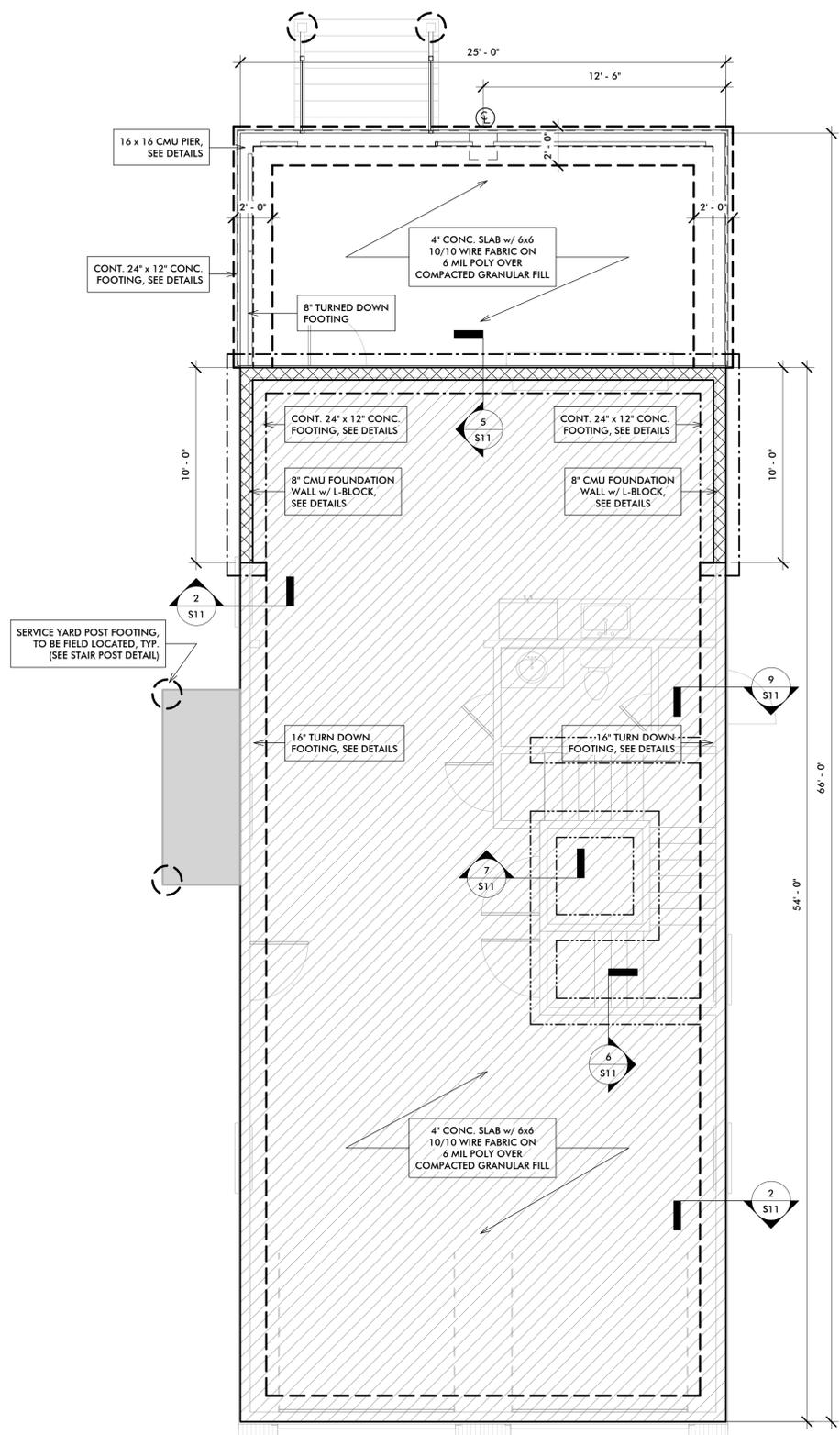
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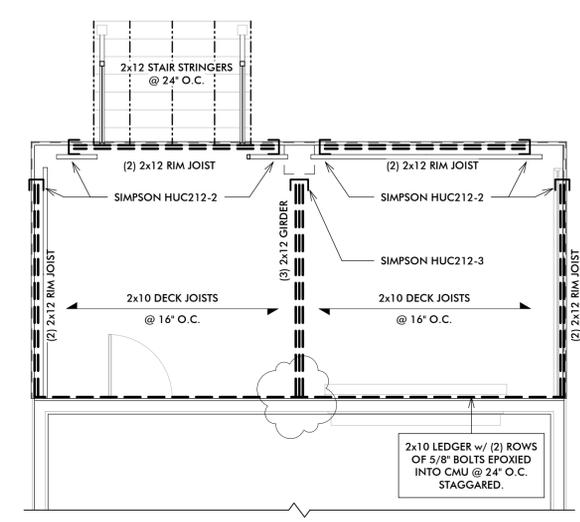








**1 Foundation**  
1/4" = 1'-0"



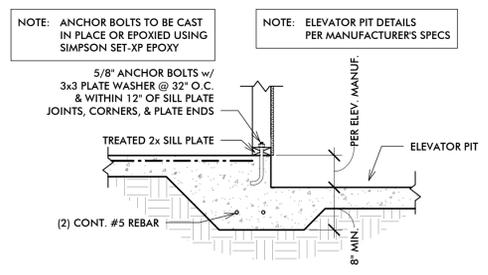
**4 Ground Floor Deck Framing**  
1/4" = 1'-0"

**FOUNDATION NOTES**

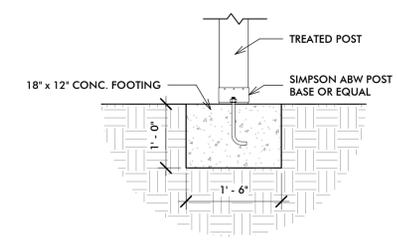
**EARTHWORK, FILL, COMPACTION**  
COMPACTION OF SUBGRADE & FILL SHALL BE 95% MINIMUM DENSITY PER ASTM D-1557. THIS FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF.

**CONCRETE**  
ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318. ALL CONCRETE STRENGTH SHALL BE A MINIMUM OF 3,000 PSI @ 28 DAYS.

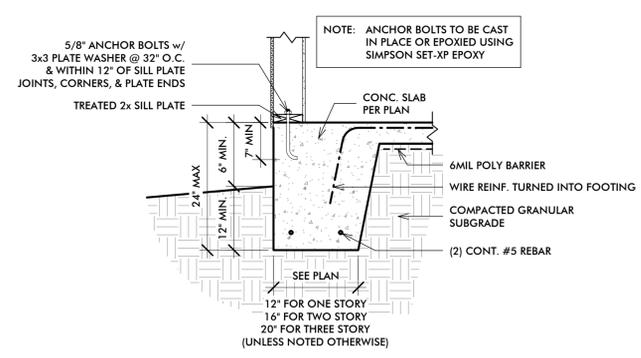
**REINFORCING STEEL**  
ALL REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. BARS SHALL BE LAPPED A MINIMUM OF 36". REINFORCING SHALL HAVE 3" OF CONCRETE COVER WHERE CONCRETE IS TO BE IN CONTACT WITH EARTH OR SAND FILL.



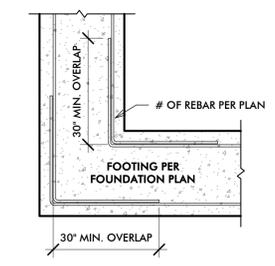
**7 Slab & Footing @ Elevator Pit**  
3/4" = 1'-0"



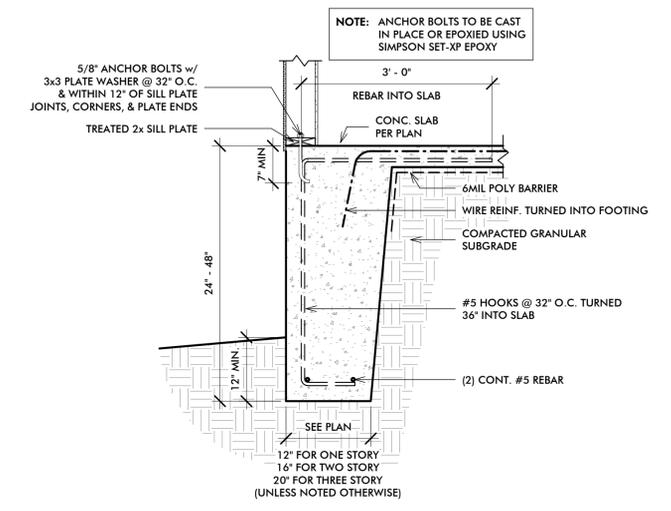
**8 Stair Landing Post Footing**  
3/4" = 1'-0"



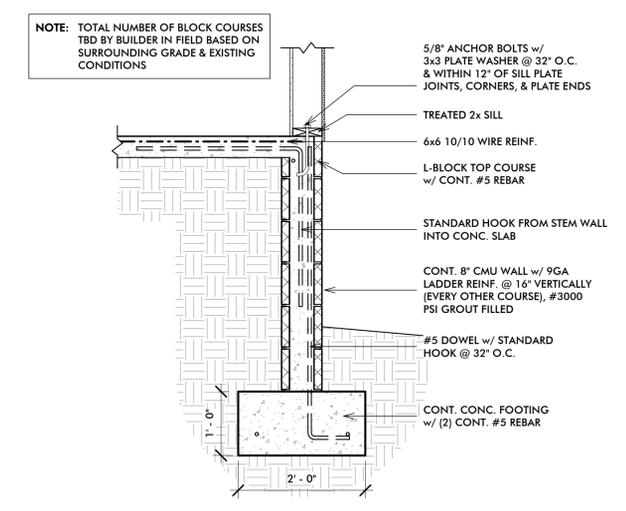
**2 Monolithic Slab - 24" Max**  
3/4" = 1'-0"



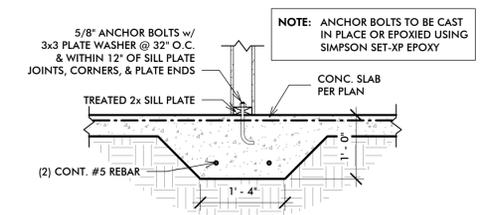
**3 Footing Corner Detail**  
1/2" = 1'-0"



**9 Monolithic Slab - 24"-48"**  
3/4" = 1'-0"



**5 CMU Stem Wall & Concrete Slab**  
3/4" = 1'-0"



**6 Interior Footing / Bearing Wall Section**  
3/4" = 1'-0"

Date	Description
Date 1	Revision 1
No.	1

**New Residence for Mike & Michelle Hipps**

104 Factory Creek Ct  
Beaufort, SC 29907

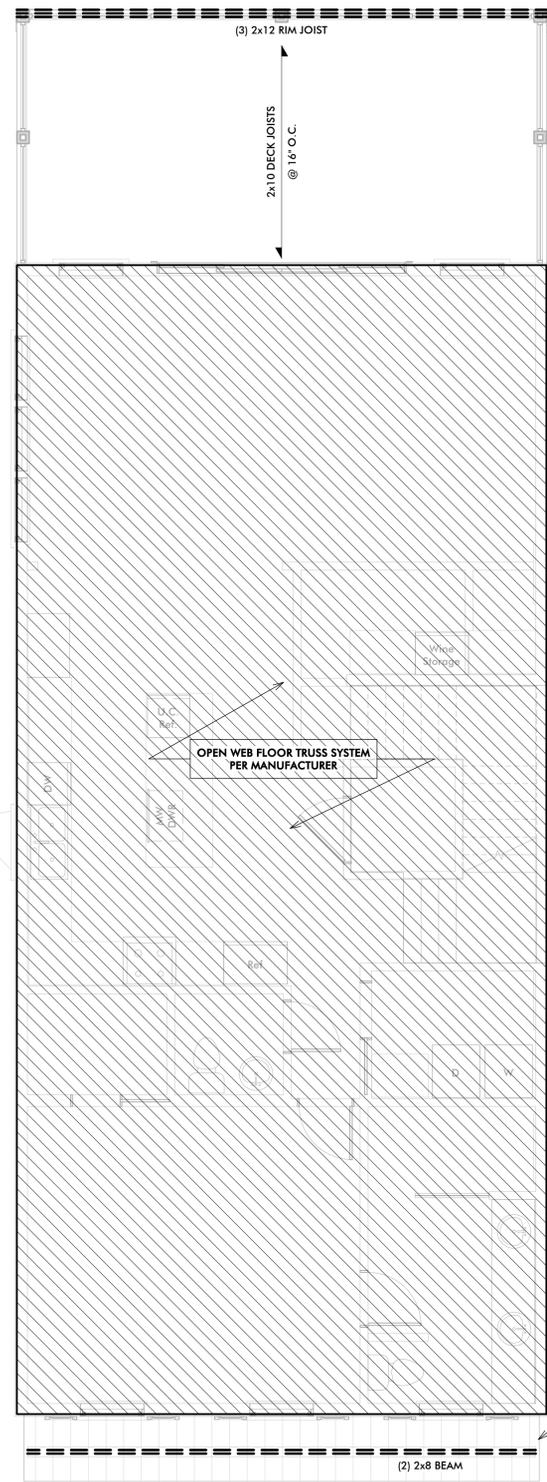
Date Dec. 23, 2019  
Scale As indicated

**Foundation & Ground Floor Deck Framing**

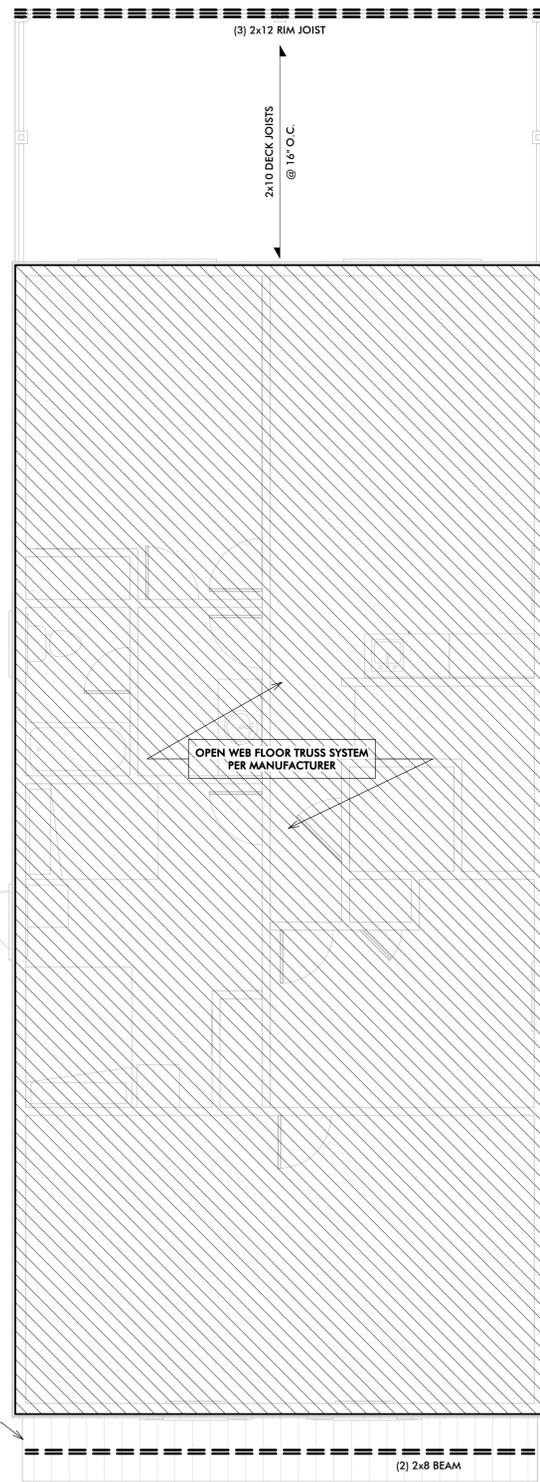
**S11**

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2 First Floor Framing  
1/4" = 1'-0"

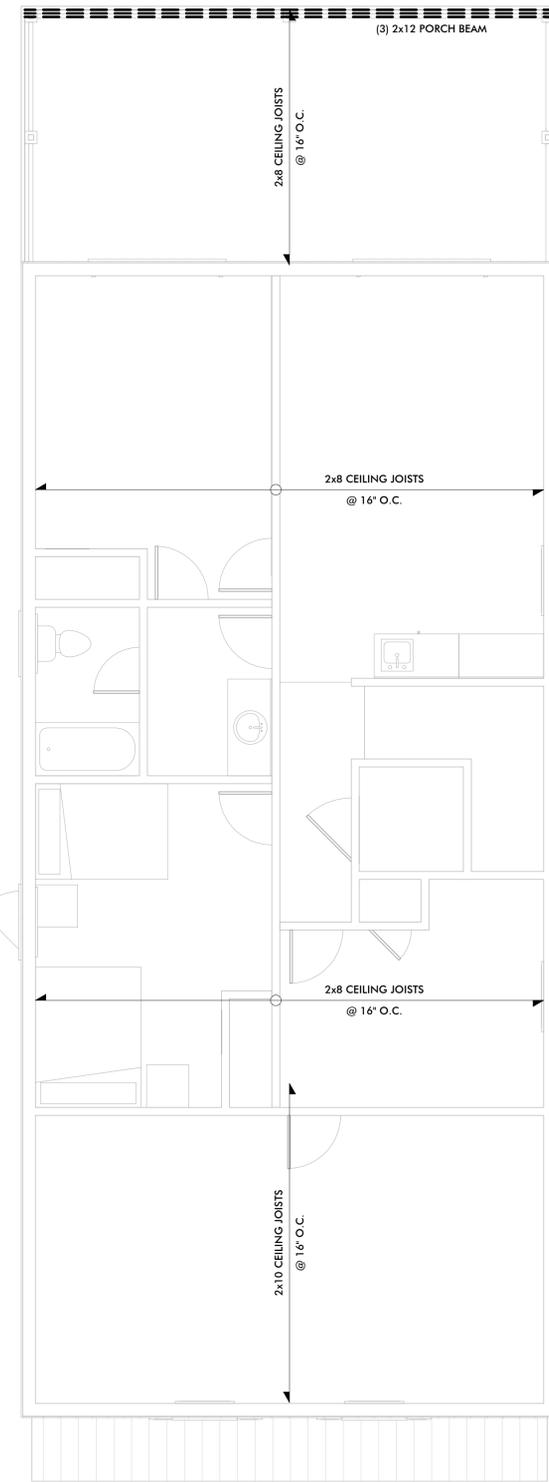
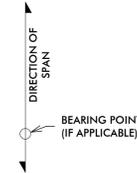


3 Second Floor Framing  
1/4" = 1'-0"

**FRAMING NOTES**

- 1) DOUBLE JOISTS TO BE INSTALLED DIRECTLY BELOW PARALLEL WALLS & CABINETS
- 2) ALL POINT LOADS FROM ABOVE TO BE TRANSFERRED THROUGH FLOOR SYSTEM TO FOUNDATION BELOW w/ SQUASH BLOCKING OR STUD PACKS EQUAL TO NUMBER OF STUDS ABOVE
- 3) ALL DIMENSIONAL LUMBER MUST BE MIN. #2SP UNLESS OTHERWISE SPECIFIED
- 4) FRAMING SIZES AND SPANS SHOWN MUST BE VERIFIED IN FIELD
- 5) ALL LUMBER EXPOSED TO WEATHER, GRADE, OR CONCRETE / CMU TO BE PRESSURE TREATED
- 6) SOLID 2x BLOCKING TO BE INSTALLED AT MIDSPAN OF EACH JOIST OVER 8' LONG
- 7) ALL JOIST HANGERS & OTHER FRAMING HARDWARE TO BE INSTALLED PER MANUFACTURER'S SPECS

DJ = DOUBLE JOIST  
DR = DOUBLE RAFTER



1 Second Floor Ceiling Framing  
1/4" = 1'-0"



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Date Dec. 23, 2019

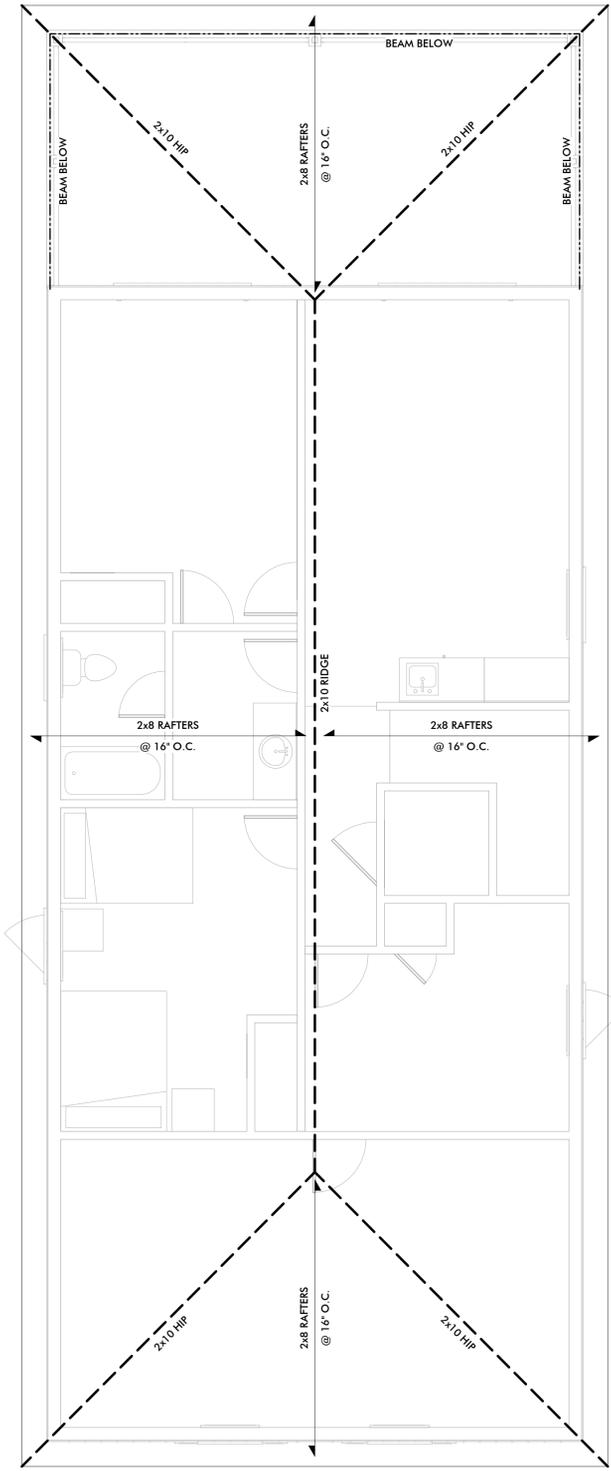
Scale 1/4" = 1'-0"

1st, 2nd, &  
2nd Ceiling  
Framing

**S12**

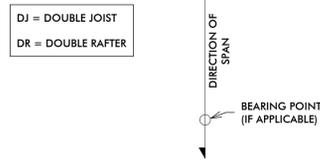
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**FRAMING NOTES**

- 1) DOUBLE JOISTS TO BE INSTALLED DIRECTLY BELOW PARALLEL WALLS & CABINETS
- 2) ALL POINT LOADS FROM ABOVE TO BE TRANSFERRED THROUGH FLOOR SYSTEM TO FOUNDATION BELOW w/ SQUASH BLOCKING OR STUD PACKS EQUAL TO NUMBER OF STUDS ABOVE
- 3) ALL DIMENSIONAL LUMBER MUST BE MIN. #2SP UNLESS OTHERWISE SPECIFIED
- 4) FRAMING SIZES AND SPANS SHOWN MUST BE VERIFIED IN FIELD
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- 7) ALL JOIST HANGERS & OTHER FRAMING HARDWARE TO BE INSTALLED PER MANUFACTURER'S SPECS

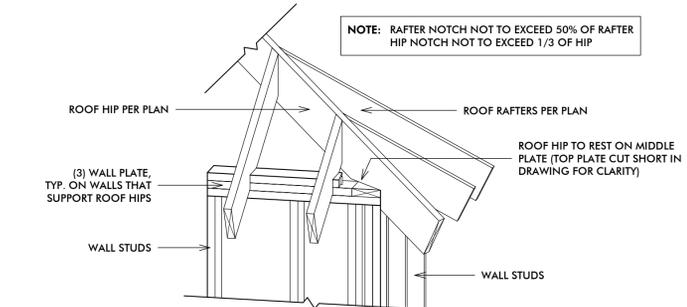
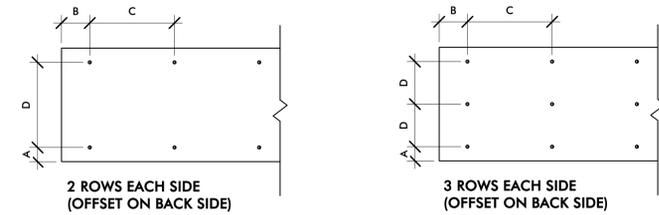


**MINIMUM FASTENING REQUIREMENTS FOR TOP AND SIDE LOADED MEMBERS**

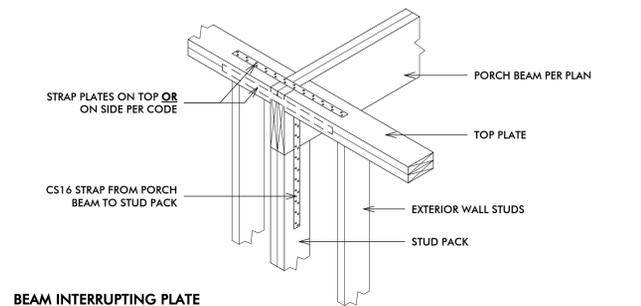
FASTENER TYPE	LVL DEPTH	2-PLY 1 3/4"	3-PLY 1 3/4"	1 3/4" + 3 1/2"	4-PLY 1 3/4"	2-PLY 1 3/4" + 3 1/2"	2-PLY 3 1/2"
10d (0.128" x 3") NAILS	7 1/4" ≤ d < 14"	3 ROWS @ 12" O.C.	3 ROWS @ 12" O.C. (EACH SIDE)	3 ROWS @ 12" O.C.		3 ROWS @ 12" O.C. (EACH SIDE)	
	d ≤ 14"	4 ROWS @ 12" O.C.	4 ROWS @ 12" O.C. (EACH SIDE)	4 ROWS @ 12" O.C.		4 ROWS @ 12" O.C. (EACH SIDE)	
16d (0.162" x 3 1/2") NAILS	7 1/4" ≤ d < 14"	2 ROWS @ 12" O.C.	2 ROWS @ 12" O.C. (EACH SIDE)	2 ROWS @ 12" O.C.		2 ROWS @ 12" O.C. (EACH SIDE)	
	d ≤ 14"	3 ROWS @ 12" O.C.	3 ROWS @ 12" O.C. (EACH SIDE)	3 ROWS @ 12" O.C.		3 ROWS @ 12" O.C. (EACH SIDE)	
1/2" THROUGH BOLTS		2 ROWS @ 24" O.C.	2 ROWS @ 24" O.C.	2 ROWS @ 24" O.C.		2 ROWS @ 24" O.C.	
SDS 1/4" x 3 1/2", WS35, 3 3/8" TRUSSLOK	d ≤ 7 1/4"	2 ROWS @ 24" O.C.	2 ROWS @ 24" O.C. (EACH SIDE)	2 ROWS @ 24" O.C.		2 ROWS @ 24" O.C. (EACH SIDE)	
SDS 1/4" x 6", WS6						2 ROWS @ 24" O.C. (EACH SIDE)	
5" TRUSSLOK			2 ROWS @ 24" O.C.				
6 3/4" TRUSSLOK						2 ROWS @ 24" O.C.	

**FASTENER CLEARANCES FOR MULTIPLE-PLY MEMBERS**

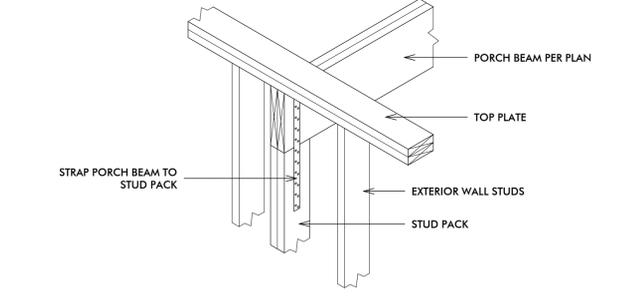
FASTENER	A		B		C		D	
	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.
10d & 16d NAILS	2"	2"	12"	4"	12"	3"		
BOLTS & SCREWS	2"	4"	24"	4"	24"	3"		



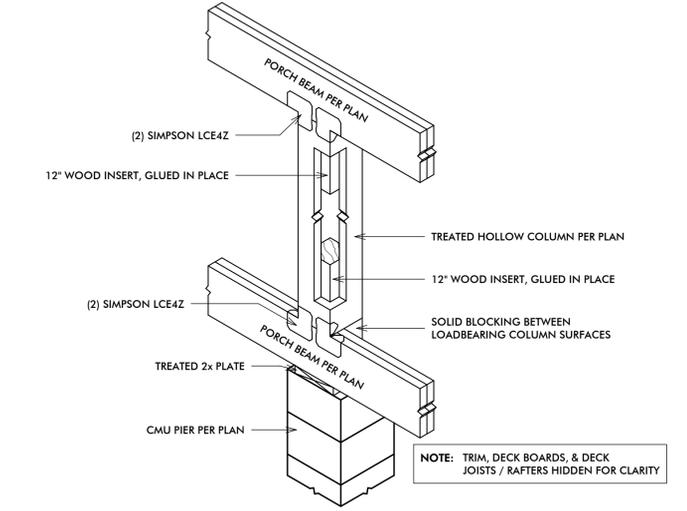
5 Hip Detail  
3/4" = 1'-0"



2 Porch Beam in Stud Wall  
3/4" = 1'-0"



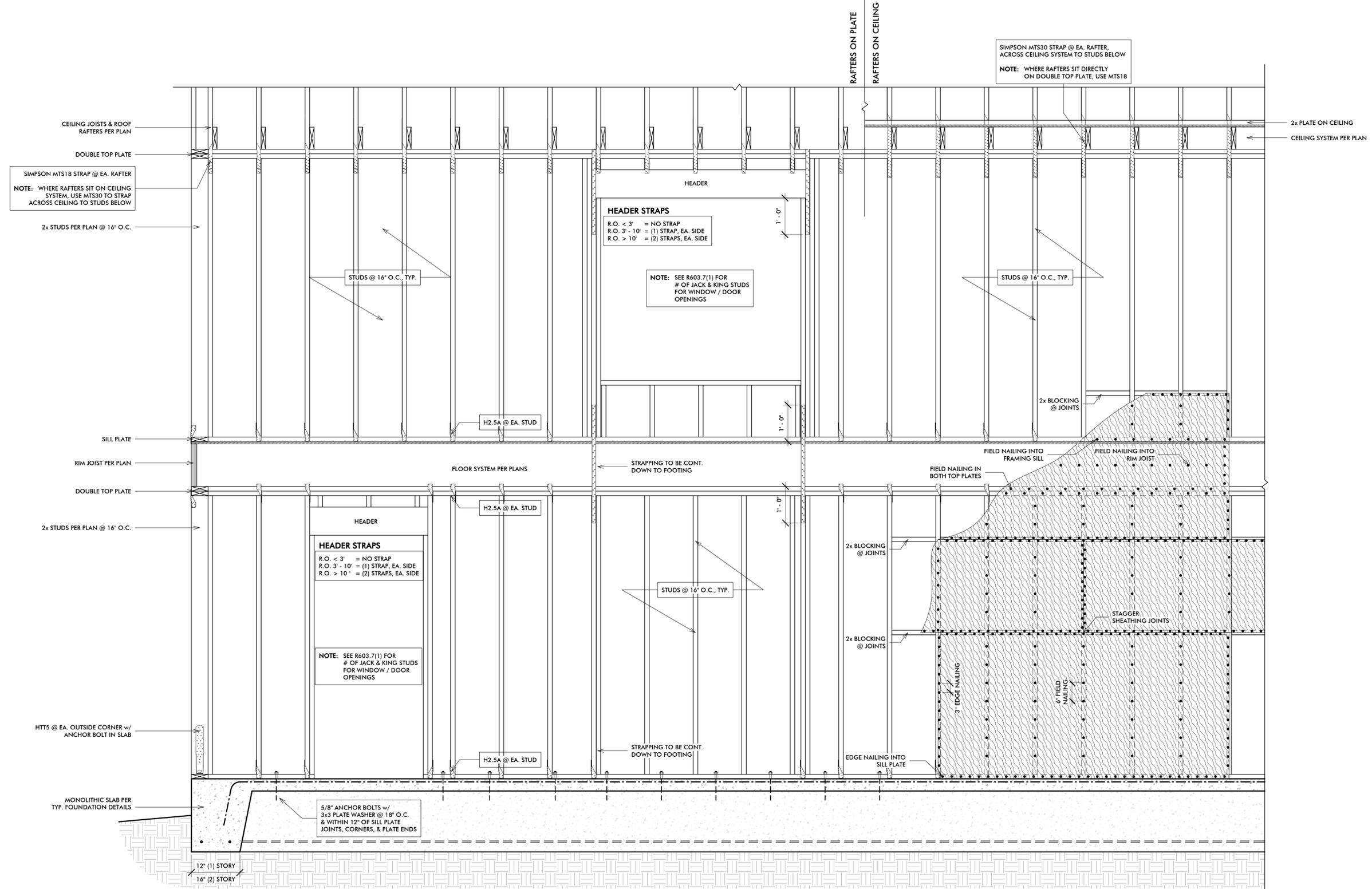
4 Hollow Column Holdown Connections  
3/4" = 1'-0"



4 Hollow Column Holdown Connections  
3/4" = 1'-0"

1 Roof Framing  
1/4" = 1'-0"

No.	Description	Date



**Typ. Strapping & Holdown Details - Monolithic Slab**  
3/4" = 1'-0"

No.	Description	Date

**New Residence for Mike & Michelle Hipps**

104 Factory Creek Ct  
Beaufort, SC 29907

Date Dec. 23, 2019  
Scale 3/4" = 1'-0"

**Strapping & Holdowns - Mono Slabs**

**S21**

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 (843) 524-2343 liveoakbuilders@embarqmail.com

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 Beaufort, SC 29907

Date Dec. 23, 2019

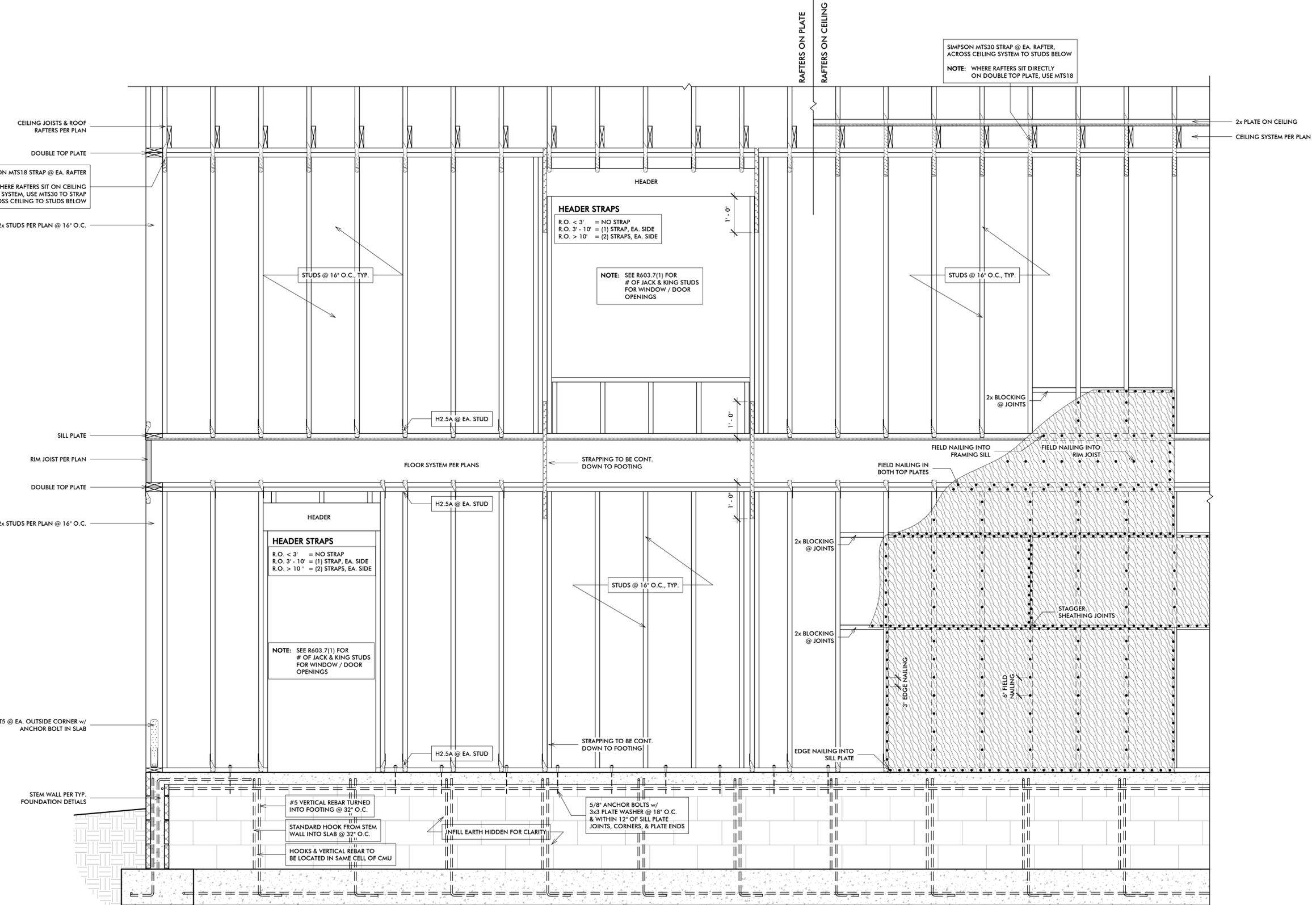
Scale 3/4" = 1'-0"

Strapping & Holdowns - Stem Wall

**S22**

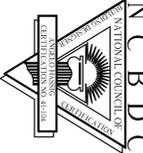
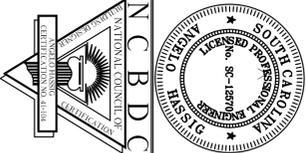
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1 Typ. Strapping & Holdown Details - Slab on Stem Wall  
 3/4" = 1'-0"





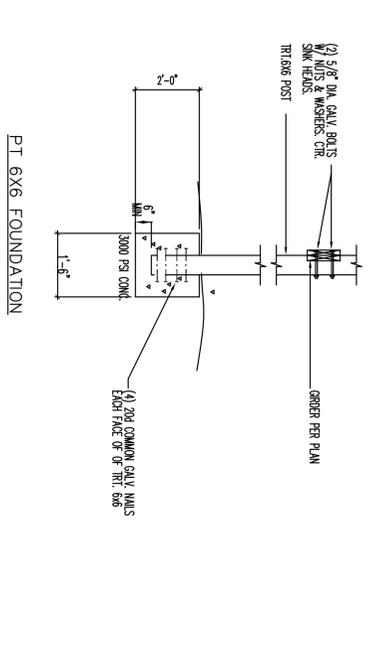
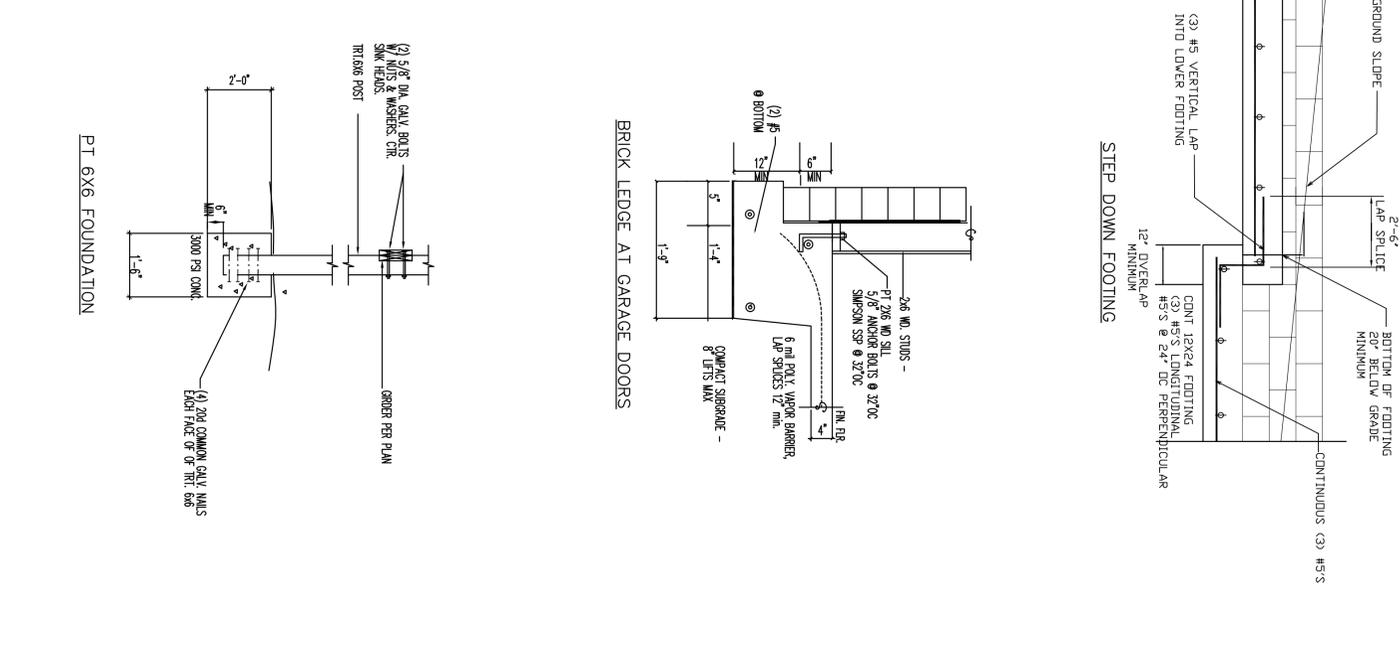
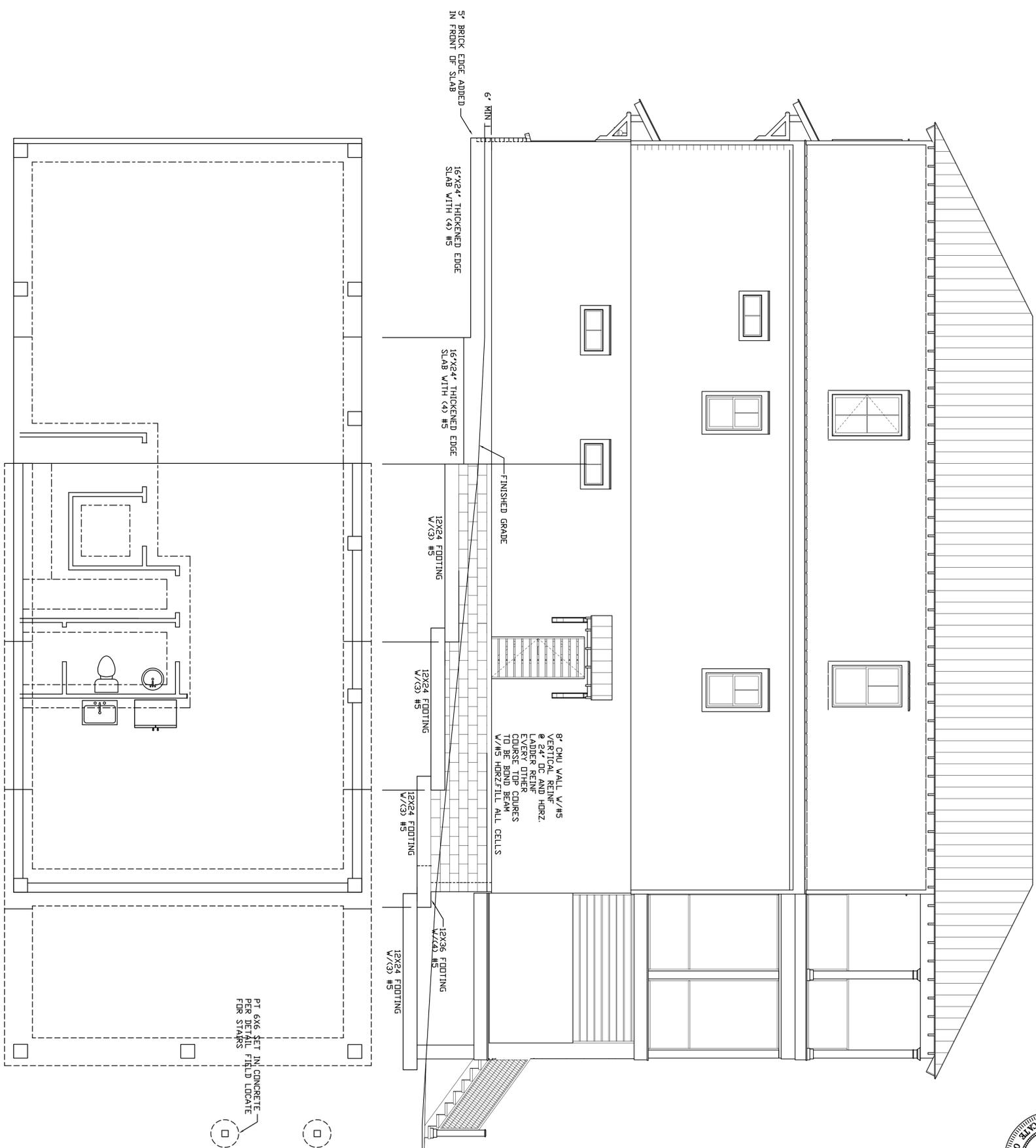
REVISION	DATE

HASSIG ENGINEERING, INC.  
 1112 Deleisseline Blvd.  
 Mt. Pleasant, SC 29464  
 angelo@hassig.comcast.net

SUPPLEMENTAL CONSTRUCTION DRAWINGS  
 FOR  
 THE HIPPS RESIDENCE  
 SOUTH CAROLINA  
 104 FACTORY CREEK CT  
 BEAUFORT

JOB NO.  
 DATE: DEC 2019  
 DRAWN:  
 CHECKED: AJH  
 SCALE:

SHEET  
 S2

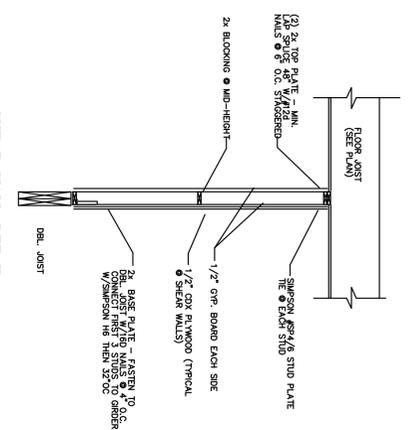


FOUNDATION PLAN IN SECTION  
 1/4" = 1'-0"

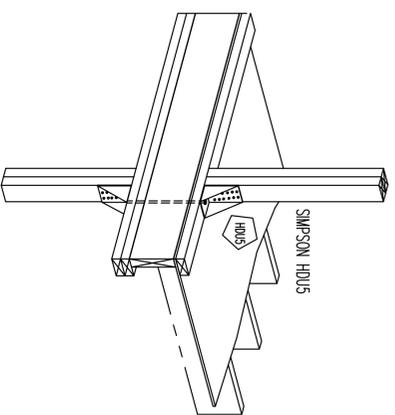
review set  
 not for construction

NOTE:  
 THESE PLANS TO SERVE AS SUPPLEMENTAL STRUCTURAL PLANS TO THE ORIGINAL ARCHITECTURAL PLANS BY LIVE OAK BUILDERS DESIGN CO. TO ASSURE STRUCTURE MEETS IRC2015 CODE REQUIREMENTS. PLEASE VERIFY ALL DIMENSIONS ON ORIGINAL ARCHITECTURAL PLANS.

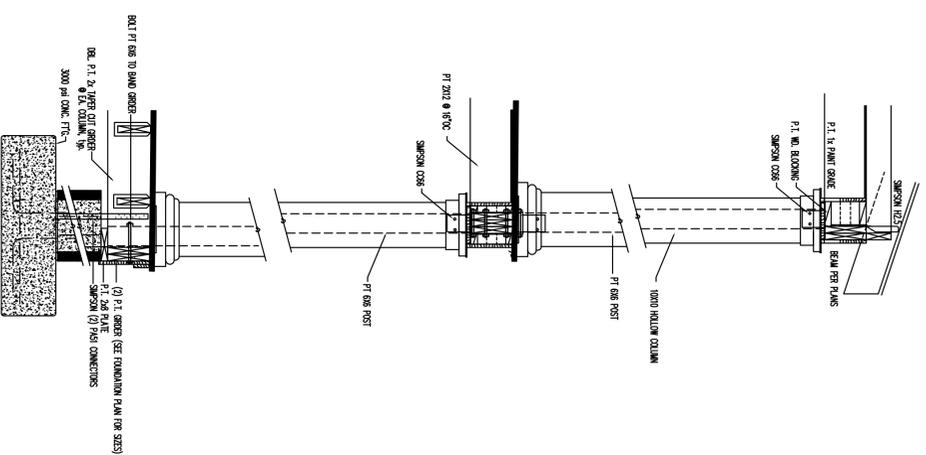




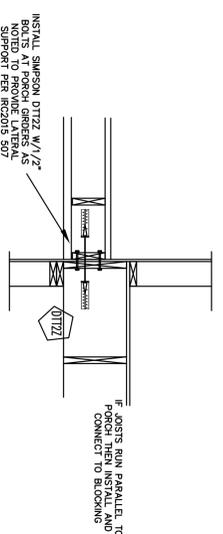
SHEAR WALL DETAIL



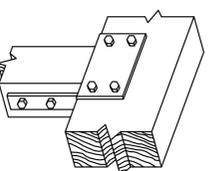
FIRST FLOOR TO SECOND FLOOR HOLDDOWN DETAIL



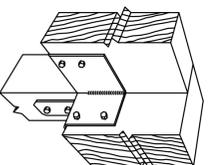
COLUMN DETAIL



DECK LATERAL CONNECTION

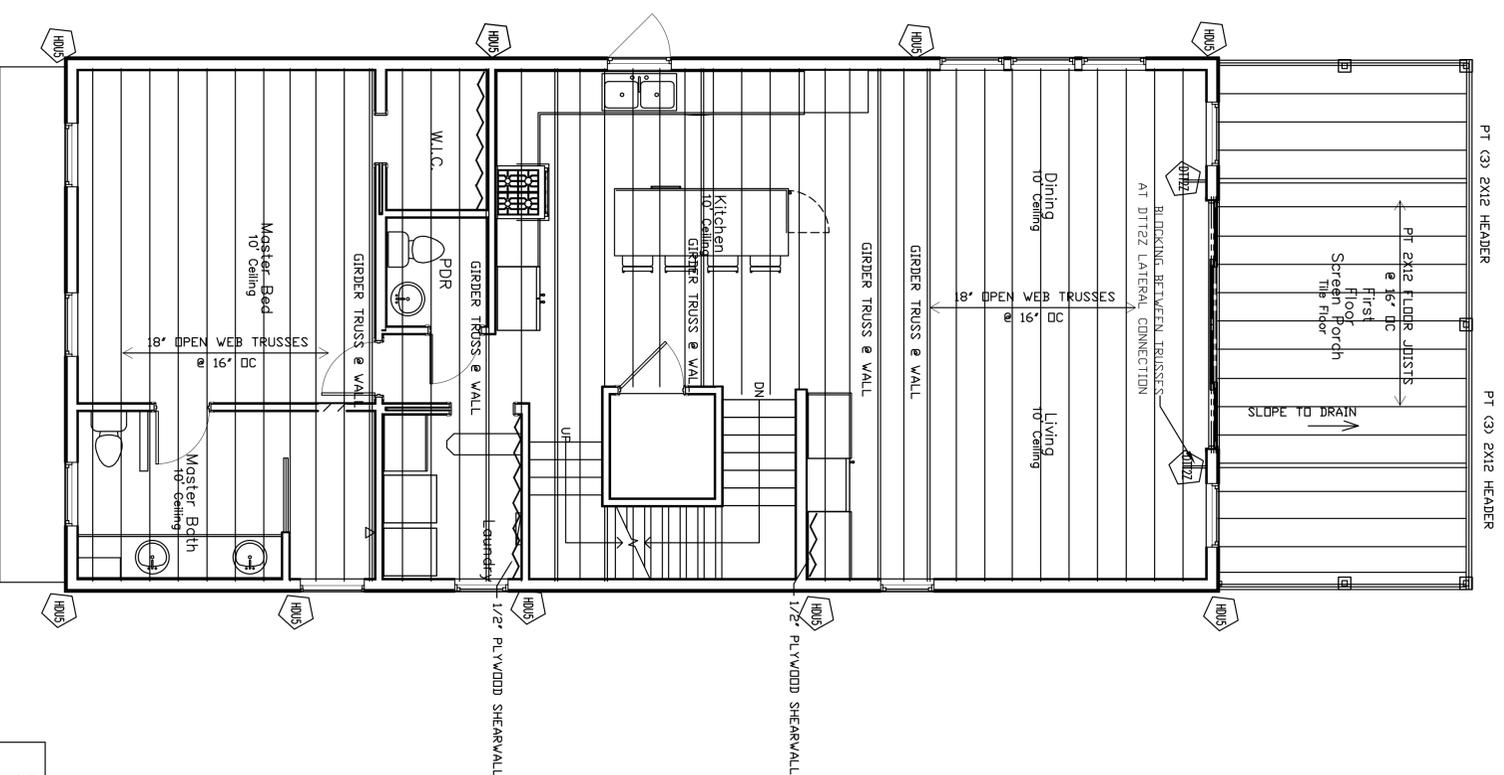


SIMPSON 6X6 COLUMN CAP



SIMPSON ECC COLUMN CAP

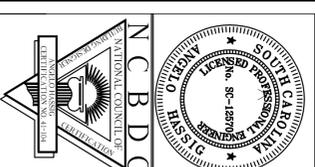
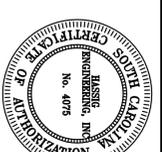
review set  
not for construction



FIRST FLOOR SHOWING SECOND FLOOR FRAMING  
1/4" = 1'-0"

	SIMPSON HOUS (6x6 ROD)
	1/2" PL W/WOOD OR O.S.B. SHEAR WALL
	TOTAL TRUSS DEFLECTION TO BE LIMITED TO L/600
	OPEN WEB TRUSSES TO BE LIMITED TO L/600
	BLOCKING AS SHOWN

NOTE: THESE PLANS TO SERVE AS SUPPLEMENTAL STRUCTURAL PLANS TO THE ORIGINAL ARCHITECTURAL PLANS BY LIVE OAK BUILDERS DESIGN CO. TO ASSURE STRUCTURE MEETS IRC2015 CODE REQUIREMENTS. PLEASE VERIFY ALL DIMENSIONS ON ORIGINAL ARCHITECTURAL PLANS.



REVISION	DATE

HASSIG ENGINEERING, INC.  
1112 Deleisseline Blvd.  
Mt. Pleasant, SC 29464  
angelohassig@comcast.net

SUPPLEMENTAL CONSTRUCTION DRAWINGS  
FOR  
THE HIPPS RESIDENCE  
BEAUFORT SOUTH CAROLINA  
104 FACTORY CREEK CT

JOB NO.  
DATE: DEC 2019  
DRAWN:  
CHECKED: AJH  
SCALE:

SHEET  
S4

**104 FACTORY CREEK COURT**

**SAMPLES FOR EXTERIOR MATERIALS  
AND PAINT COLORS  
WILL BE AVAILABLE AT THE MEETING**

## Hipps Exterior Materials & Paint Colors

Ground floor: Tabby stucco & Old Savannah Gray Brick Accent

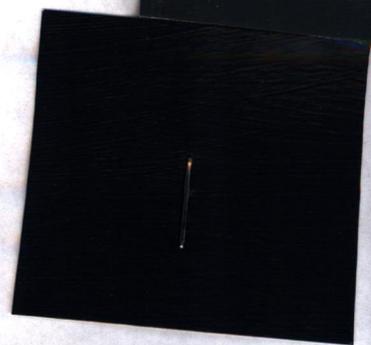
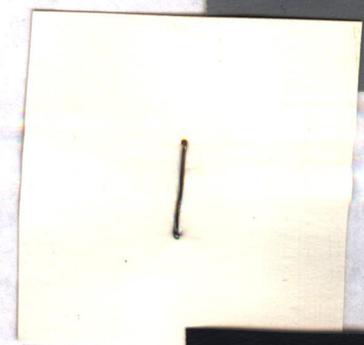
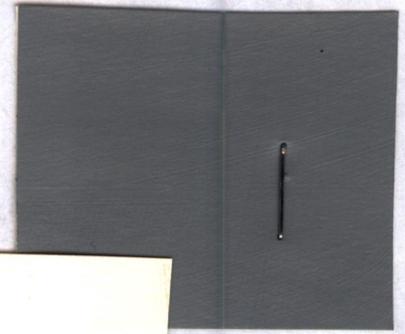
*See attached*

2nd and 3rd floor siding, Benjamin Moore - Timber Wolf (gray)

Trim, Benjamin Moore - Seashell 926

Shutters, Benjamin Moore - Anchor Gray 2126-30

Exterior door, Benjamin Moore - Hale Navy HC-154





FACADE OF GROUND FLOOR



CHEROKEE ENGINEER TUMBLE OLD SAVANNAH

BRICK ACENT - FRONT OF HOUSE

